



**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

**ATTACHMENT C**

# ODYSSEY SCHOOL CAMPUS EXPANSION

## 201 POLHEMUS ROAD, SAN MATEO, CA 94402

Studio  
Bondy  
Architecture

110 LINDEN STREET | OAKLAND, CA | 94607  
510.836.6594 | studiobondy.com

### ODYSSEY SCHOOL CAMPUS EXPANSION

PROJECT NO.: 1524.00

201 POLHEMUS RD | SAN MATEO | CA 94402  
P: 650.548.1500 |

#### CIVIL ENGINEER

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1730 N. FIRST STREET, SUITE 600  
SAN JOSE, CA 95112  
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#### RECEIVED

NOV 15 2019  
San Mateo County  
Planning Division

PLN2002\_00650

### ABBREVIATIONS

KEY	DESCRIPTION	KEY	DESCRIPTION	KEY	DESCRIPTION
CL	CENTERLINE	HDCP.	HANDICAPPED	SCHED.	SCHEDULE
AT	AT	H.M.	HOLLOW METAL	S.E.D.	SEE ELECTRICAL DRAWINGS
(E)	EXISTING	HORIZ.	HORIZONTAL	SHT.	SHEET
(N)	NEW	H.P.	HIGH POINT	SIM.	SIMILAR
(R)	REMOVE	HGT./HT.	HEIGHT	S.J.	SCORE JOINT
ABV.	ABOVE	INFO.	INFORMATION	S.L.D.	SEE LANDSCAPE DRAWINGS
A.D.	AREA DRAIN	INSUL.	INSULATION	S.M.	SEE MECHANICAL DRAWINGS
ALUM.	ALUMINUM	INT.	INTERIOR	S.M.D.	SLAB ON GRADE
APPROX.	APPROXIMATE	INV.	INVERT	S.O.C.	SEE PLUMBING DRAWINGS
ASPH.	ASPHALT	JAN.	JANITOR	S.P.D.	SPECIFICATION
A.F.F.	ABOVE FINISHED FLOOR	LAV.	LAVATORY	SPEC.	SPECIFICATION
BLDG.	BUILDING	LT.	LIGHT	SQ.	SQUARE
B/W	BOTH WAYS	MAX.	MAXIMUM	S.S.T.	STAINLESS STEEL
BOT./B.O.	BOTTOM/BOTTOM OF	M.D.F.	MEDIUM DENSITY FIBER	S.S.D.	SEE STRUCTURAL DRAWINGS
C.B.	CATCH BASIN	BOARD	BOARD	STD.	STANDARD
C.J.	CONTROL JOINT	MECH.	MECHANICAL	STL.	STEEL
CLG.	CEILING	MEMB.	MEMBRANE	STOR.	STORAGE
C.M.U.	CONCRETE MASONRY UNIT	MFR.	MANUFACTURER	SYM.	SYMMETRICAL
COL.	COLUMN	MH.	MANHOLE	T.O.	TOP OF
CONC.	CONCRETE	MIN.	MINIMUM	T.O.C.	TOP OF CURB
CONT.	CONTINUOUS	MTL.	METAL	T.P.	TOP OF PAVEMENT
CTR.	CENTER	MUL.	MULLION	T.O.W.	TOP OF WALL
DEMO.	DEMOLITION	N.A.	NOT APPLICABLE	TYP.	TYPICAL
DEPT.	DEPARTMENT	N.I.C.	NOT IN CONTRACT	UNF.	UNFINISHED
D.F.	DRINKING FOUNTAIN	NOM.	NOMINAL	U.O.N.	UNLESS OTHERWISE NOTED
DIA.	DIAMETER	N.T.S.	NOT TO SCALE	VEST.	VESTIBULE
DIM.	DIMENSION	OBS.	OBSURE	V.I.F.	VERIFY IN FIELD
DN.	DOWN	O.C.	ON CENTER	W/	WITH
D.S.	DOWNSPOUT	O.F.D.	OVERFLOW DRAIN	W.C.	WATER CLOSET
EA.	EACH	OPP.	OPPOSITE	WD.	WOOD
E.J.	EXPANSION JOINT	PTD.	PAINTED	W/O	WITHOUT
EL.	ELEVATION	PNTD.A.	PRE-CAST	WP.	WATERPROOF
ELEC.	ELECTRICAL	P.LAM.	PLASTIC LAMINATE	W.P.	WORK POINT
ELEV.	ELEVATOR	PLAS.	PLASTER	W.R.B.	WATER-RESISTANT BARRIER
EQ.	EQUAL	PLYWD.	PLYWOOD		
EQPT.	EQUIPMENT	PCP.	PORTLAND CEMENT PLASTER		
E/W	EACH WAY	PT	PRESSURE TREATED		
F.D.	FLOOR DRAIN	PTCL.BD.	PARTICLE BOARD		
FL.	FLOOR	PTD.	PAINTED		
FLASH.	FLASHING	R.C.P.	REFLECTED CEILING PLAN		
F.O.C.	FACE OF CONCRETE	R.D.	ROOF DRAIN		
F.O.F.	FACE OF FINISH	REF.	REFERENCE		
F.O.S.	FACE OF STUDS	REQ./REQD.	REQUIRED		
FT.	FOOT OR FEET	R.W.L.	RAIN WATER LEADER		
FUT.	FUTURE	REFL.	REFLECTED		
GALV.	GALVANIZED	RE.	REFER TO		
G.L.	GRID LINE	S.A.S.M.	SELF-ADHERED SHEET		
H.B.	HOSE BIBB	S.C.D.	SEE CIVIL DRAWINGS		

### PROJECT INFORMATION

APPLICABLE CODES AND ORDINANCES  
 2016 CALIFORNIA BUILDING CODE  
 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE  
 2016 CALIFORNIA MECHANICAL CODE  
 2016 CALIFORNIA PLUMBING CODE  
 2016 CALIFORNIA ENERGY CODE  
 2016 CALIFORNIA ELECTRICAL CODE  
 2016 CALIFORNIA FIRE CODE  
 UNIFORM CONSTRUCTION ADMINISTRATION CODE OF SAN MATEO COUNTY

PROPERTY IS LOCATED IN CAL FIRE STATE RESPONSIBILITY AREA - VERY HIGH FIRE SEVERITY

#### PROJECT DESCRIPTION

THE PROPOSED PROJECT CONSISTS OF A THREE CLASSROOM EXPANSION OF THE EXISTING SCHOOL CAMPUS LOCATED AT 201 POLHEMUS ROAD AT THE INTERSECTION WITH CRYSTAL SPRINGS ROAD IN UNINCORPORATED SAN MATEO COUNTY.

THE CAMPUS EXPANSION CONSISTS OF THREE PROPOSED INDIVIDUAL CLASSROOM BUILDINGS; TWO CLASSROOMS ARE EACH 886 GROSS SQ. FT.; ONE CLASSROOM BUILDING IS 2,338 GROSS SQ. FT. AND IN ADDITION TO A 1,200 SQ.FT. CLASSROOM ALSO CONTAINS ADULT AND STUDENT RESTROOMS, AND ACCESSORY OFFICE SPACE.

THE PROPOSED CLASSROOM BUILDINGS ARE CONNECTED TO EACH OTHER AND THE EXISTING BUILDING BY MEANS OF AN EXTERIOR DECK, NEW ADA PLATFORM LIFT, SEVERAL EXTERIOR STAIRWAYS AND ACCESSIBLE RAMPS.

#### SITE INFORMATION

201 POLHEMUS RD.  
 SAN MATEO, CA 94402  
 APN: 038-131-020  
 ZONE 'RM' DISTRICT  
 CAL FIRE: S.R.A. - VERY HIGH FIRE SEVERITY  
 TOTAL SITE AREA: 138,600 SQ.FT. APPROX. (3.182± ACRES)

#### ZONING SUMMARY

'RM' DISTRICT: SCHOOL IS PERMITTED USE

#### MINIMUM YARDS:

FRONT YARD: 50 FEET  
 SIDE YARD: 20 FEET  
 REAR YARD: 20 FEET

#### PROPOSED BUILDING AREA (SQUARE FOOTAGES)

EXISTING BUILDING 'A': 3,743 SF  
 CLASSROOM 1: 2,338 SF  
 CLASSROOM 2: 886 SF  
 CLASSROOM 3: 886 SF  
 TOTAL BUILDING AREA: 7,853 SF

SEE SHEET A0.01 FOR BUILDING SITE COVERAGE CALCULATIONS.

#### ALLOWABLE STRUCTURE HEIGHT PER 'RM' DISTRICT ZONING ORDINANCE:

MAXIMUM ALLOWABLE STRUCTURE HEIGHT: THREE STORIES -OR- 36'-0"

#### PROPOSED BUILDING HEIGHTS (AVERAGE HEIGHT OF PITCHED ROOF TO AVERAGE GRADE):

CLASSROOM 1: 23'-1"±  
 CLASSROOM 2: 14'-3"±  
 CLASSROOM 3: 19'-3"±

#### PARKING SUMMARY:

17 PARKING SPACES ARE PROVIDED  
 2 ACCESSIBLE SPACES (REQUIRED PER CBC TABLE 11B-208.2, INCLUDING ONE VAN ACCESSIBLE)

#### BUILDING CODE SUMMARY

BUILDING TYPE: TYPE V-B, FULLY SPRINKLERED  
 OCCUPANCY CLASSIFICATION: E OCCUPANCY

#### CBC 503.1.2 BUILDINGS ON SAME LOT.

TWO OR MORE BUILDINGS ON THE SAME LOT SHALL BE REGULATED AS SEPARATE BUILDINGS OR SHALL BE CONSIDERED AS PORTIONS OF ONE BUILDING WHERE THE BUILDING HEIGHT, NUMBER OF STORIES OF EACH BUILDING AND THE AGGREGATE BUILDING AREA OF THE BUILDINGS ARE WITHIN THE LIMITATIONS SPECIFIED IN SECTIONS 504 AND 506. THE PROVISIONS OF THIS CODE APPLICABLE TO THE AGGREGATE BUILDING SHALL BE APPLICABLE TO EACH BUILDING.

#### ALLOWABLE AREA CALCULATION FOR E OCCUPANCY:

$$A_n = A_f + (NS \times I_n)$$

$$A_n = 38,000 + (9,500 \times 0)$$

$$A_n = 38,000 + 0$$

$$A_n = 38,000 \text{ SF}$$

TOTAL ALLOWABLE AREA: 38,000 SF

ACTUAL AGGREGATE BUILDING AREA: 7,853 SF

### SHEET INDEX

SHT.	SHEET TITLE
A0.00	COVER SHEET & PROJECT INFORMATION
A0.01	PROPOSED BUILDING SITE COVERAGE PLAN & CALCULATIONS
SS-01	SURVEY SHEET 1
SS-02	SURVEY SHEET 2
C2.0	EXISTING CONDITIONS
C3.0	PRELIMINARY GRADING PLAN
C4.0	PRELIMINARY UTILITY PLAN
C5.0	EROSION CONTROL PLAN
C5.1	EROSION CONTROL DETAILS
C5.2	BEST MANAGEMENT PRACTICES
A1.00	EXISTING SITE PHOTOS
A1.01	PROPOSED SITE PLAN
A1.10	PROPOSED CONCEPTUAL PERSPECTIVES
A1.20	PROPOSED SITE SECTIONS
A2.10	CLASSROOM 1 - FLOOR PLAN, ROOF PLAN, EXTERIOR ELEVATIONS
A2.20	CLASSROOM 2 - FLOOR PLAN, ROOF PLAN, EXTERIOR ELEVATIONS
A2.30	CLASSROOM 3 - FLOOR PLAN, ROOF PLAN, EXTERIOR ELEVATIONS
A8.01	WALL TYPE SCHEDULE, TYPICAL DETAILS, PRODUCT CUTSHEETS

### SYMBOLS LEGEND

	COLUMN REFERENCE GRID		PARTITION TYPE DESIGNATION: FINE PARTITION DESIGNATION: SEE ILL. LISTING BOOK FOR COMPLETE DESCRIPTION OF COMPONENTS & WALL ASSEMBLIES FOR ALL DESIGN NUMBERS LISTED
	EXTERIOR ELEVATION DRAWING REFERENCE: ARROW INDICATES DIRECTION OF VIEW		PARTITION TYPE DESIGNATION: INDICATES NON-RATED PARTITION
	INTERIOR ELEVATION DRAWING REFERENCE: ARROW INDICATES DIRECTION OF VIEW		REVISION CLOUD: CLOUD REPRESENTS EXTENT OF DRAWING REVISION
	BUILDING SECTION REFERENCE: ARROW INDICATES DIRECTION OF VIEW		REVISION REFERENCE NUMBER
	DETAIL DRAWING REFERENCE SYMBOL: DETAIL NUMBER TO BE REFERENCED SHEET NUMBER TO BE REFERENCED		ELEVATION (EXISTING)
	LARGE SCALE PLAN OR ENLARGED SECTIONAL DETAIL: DETAIL NUMBER TO BE REFERENCED SHEET NUMBER TO BE REFERENCED		ELEVATION (NEW)
	ROOM NAME		C.L. HT. AT DESIGNATED LOCATION
	ROOM NUMBER		INDICATES LEVEL LINE, CONTROL POINT, OR DATUM
	DOOR DESIGNATION MARK: SEE DOOR SCHEDULE		MATCH LINE
	WINDOW OR LOUVER DESIGNATION MARK: SEE WINDOW / LOUVER SCHEDULE		ALIGN FACE OF FINISH WITH ADJACENT FACE OF FINISH
	WINDOW TYPE		PROPERTY LINE
	WINDOW NUMBER		CENTERLINE
			KEY NOTE DESIGNATION: SEE KEY NOTE LEGEND
			PROJECT NORTH
			TRUE NORTH
			EQUIPMENT DESIGNATION: SEE SPEC FOR EQUIPMENT SCHEDULE

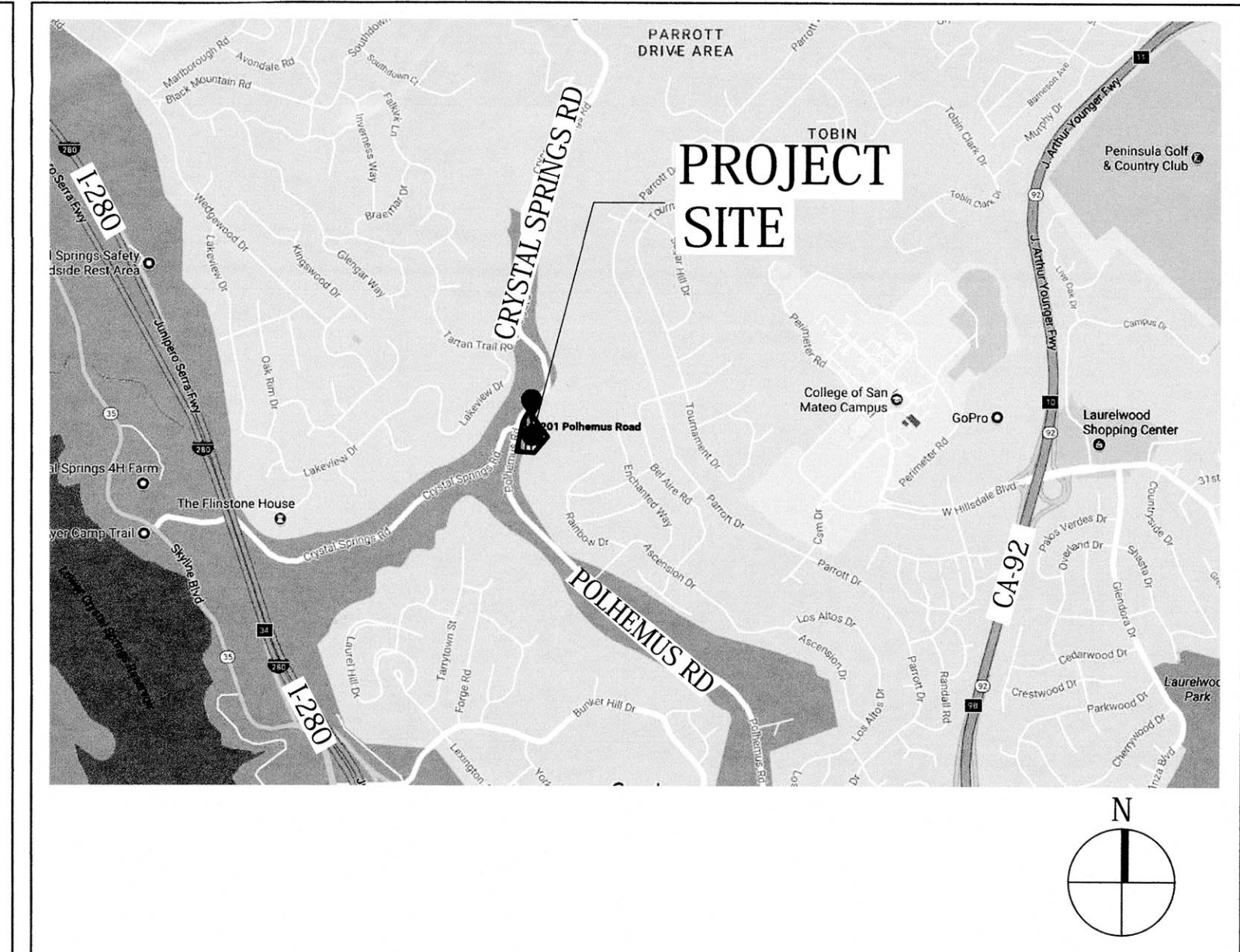
### PROJECT TEAM

APPLICANT  
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 (650) 548-1500

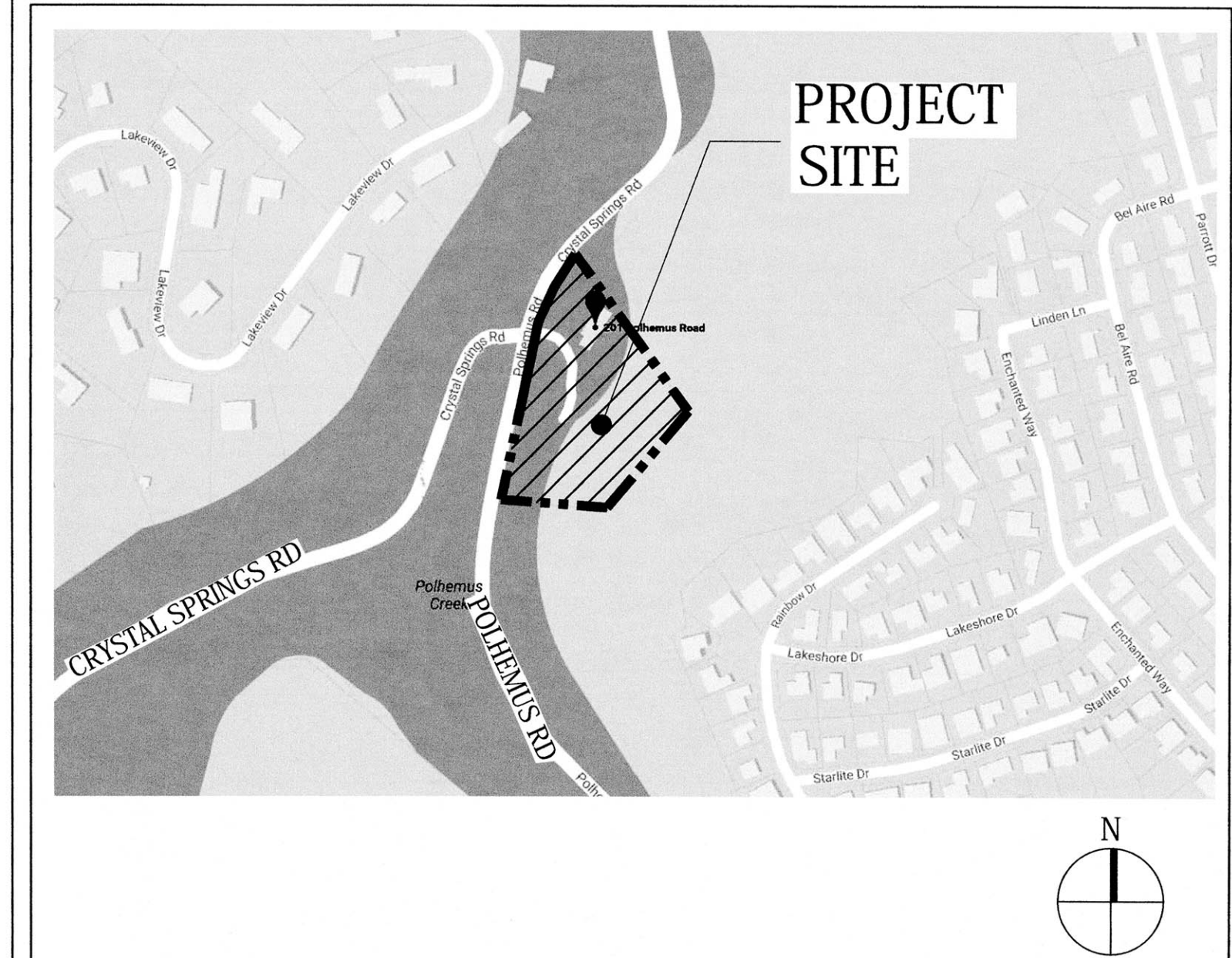
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### VICINITY MAP



### LOCATION MAP



NOT TO SCALE

NOT TO SCALE

### USE PERMIT APPLICATION

INITIAL SUBMITTAL 11.20.2017  
 DELTA 1 RESUBMITTAL 11.13.2019

### COVER SHEET & PROJECT INFORMATION

A0.00

STUDIO BONDY ARCHITECTURE OWNS ALL COPYRIGHTS AND OTHER INTELLECTUAL PROPERTY RIGHTS IN THIS WORK PRODUCT AND IT IS PROTECTED BY UNITED STATES COPYRIGHT LAWS AND INTERNATIONAL TREATY PROVISIONS - REFER TO THE PROJECT MANUAL FOR APPLICABLE USE RESTRICTIONS



EXISTING SITE PHOTO - EXISTING UPPER PARKING LOT 4



EXISTING SITE PHOTO - MAIN ENTRY • EXISTING BUILDING 'A' 3



EXISTING SITE PHOTO - POLHEMUS RD LOOKING WEST AWAY FROM SUBJECT PROPERTY 2



EXISTING SITE PHOTO - LOOKING EAST TOWARD SUBJECT PROPERTY • INTERSECTION OF CRYSTAL SPRINGS + POLHEMUS ROADS 1

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ODYSSEY  
SCHOOL  
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USE PERMIT  
APPLICATION

INITIAL SUBMITTAL 3.22.2018

N.T.S.

EXISTING  
SITE PHOTOS

A1.00

ODYSSEY  
SCHOOL  
CAMPUS  
EXPANSION

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PROPOSED LOT COVERAGE CALCULATIONS

LOT SIZE (APPROX): 138,600 SQ.FT.

ZONE 'RM' - REGULATIONS

MAXIMUM BUILDING SITE COVERAGE RATIO FOR 'RM' DISTRICT: 40%

138,600 X 40% = 55,440 SQ.FT. MAXIMUM COVERAGE

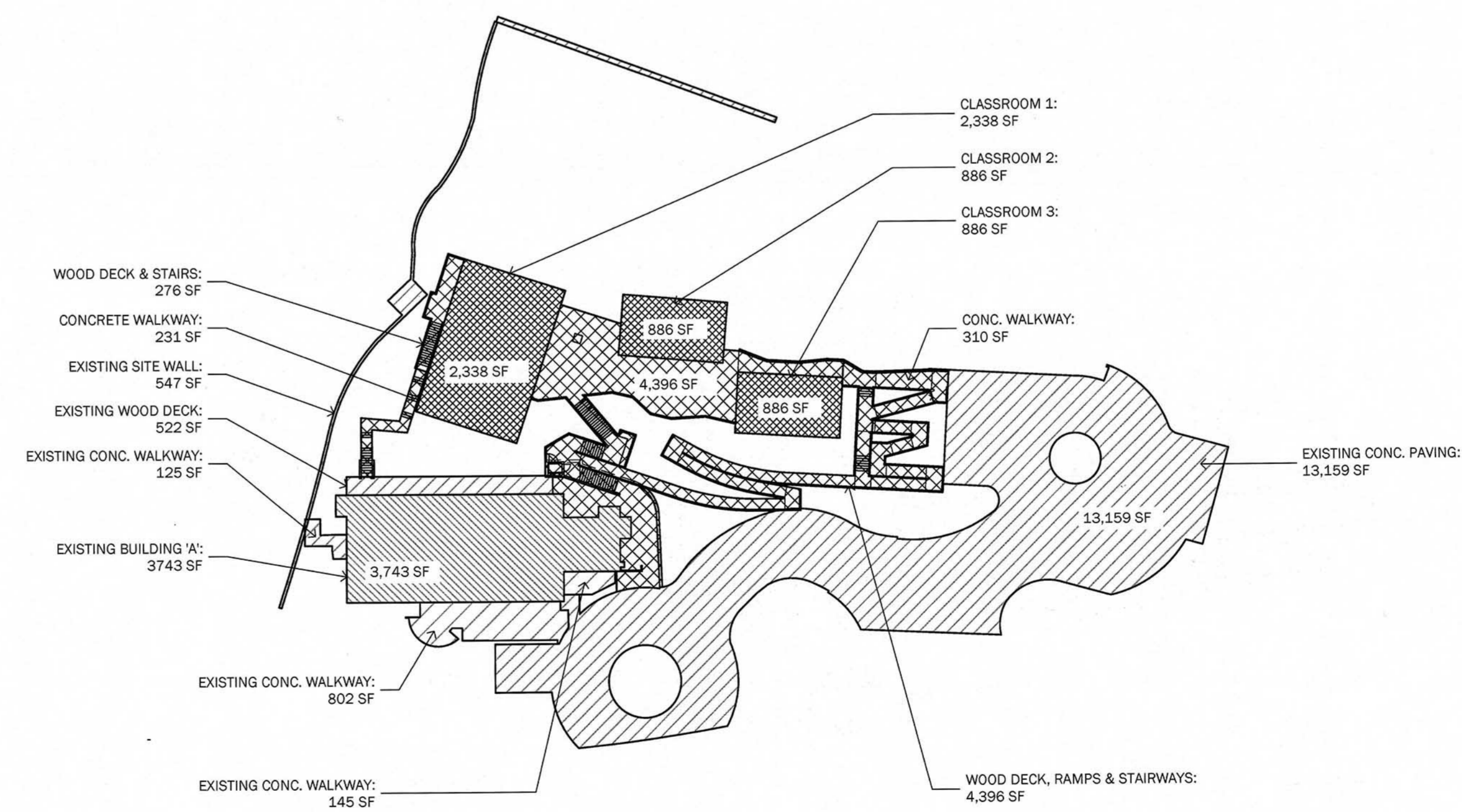
BUILDING SITE (SQ.FT.)	PROPOSED
EXISTING BUILDING 'A':	3,743 SQ.FT.
CLASSROOM 1:	2,338 SQ.FT.
CLASSROOM 2:	886 SQ.FT.
CLASSROOM 3:	886 SQ.FT.
EXIST. CONC. PAVING:	13,160 SQ.FT.
EXIST. CONC. WALKWAYS:	1,071 SQ.FT.
EXIST. WOOD DECKS:	522 SQ.FT.
EXIST. SITE WALL:	547 SQ.FT.
NEW WOOD DECKS / STAIRS:	4,634 SQ.FT.
NEW CONC. WALKWAYS:	1,313 SQ.FT.
TOTAL BUILDING SITE:	29,100 SQ.FT.

29,100 / 138,600 = 21% BUILDING SITE COVERAGE

PROPOSED BUILDING SITE COVERAGE CALCULATIONS 2

LEGEND

	EXISTING BUILDING
	EXISTING SITE STRUCTURES / IMPERVIOUS
	NEW BUILDINGS
	NEW SITE STRUCTURES / IMPERVIOUS



PROPOSED BUILDING SITE COVERAGE PLAN DIAGRAM 1

1" = 40'-0"

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APPLICATION

INITIAL SUBMITTAL 3.22.2018

1" = 40'-0"

PROPOSED  
BUILDING SITE  
COVERAGE PLAN &  
CALCULATIONS

A0.01

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# Studio Bondy Architecture

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GENERAL NOTES  
SEE SHEET A1.00 FOR KEYS EXISTING SITE PHOTOS;  
SEE SHEET A1.10 FOR KEYS CONCEPTUAL PERSPECTIVES;  
SEE SHEET A1.20 FOR KEYS SITE SECTIONS

LEGEND  
NEW CONSTRUCTION  
NEW SITE STRUCTURES



### USE PERMIT APPLICATION

INITIAL SUBMITTAL 3.22.2018

1" = 20'-0"

### PROPOSED SITE PLAN

# A1.01

PROPOSED SITE PLAN 1  
1" = 20'-0"

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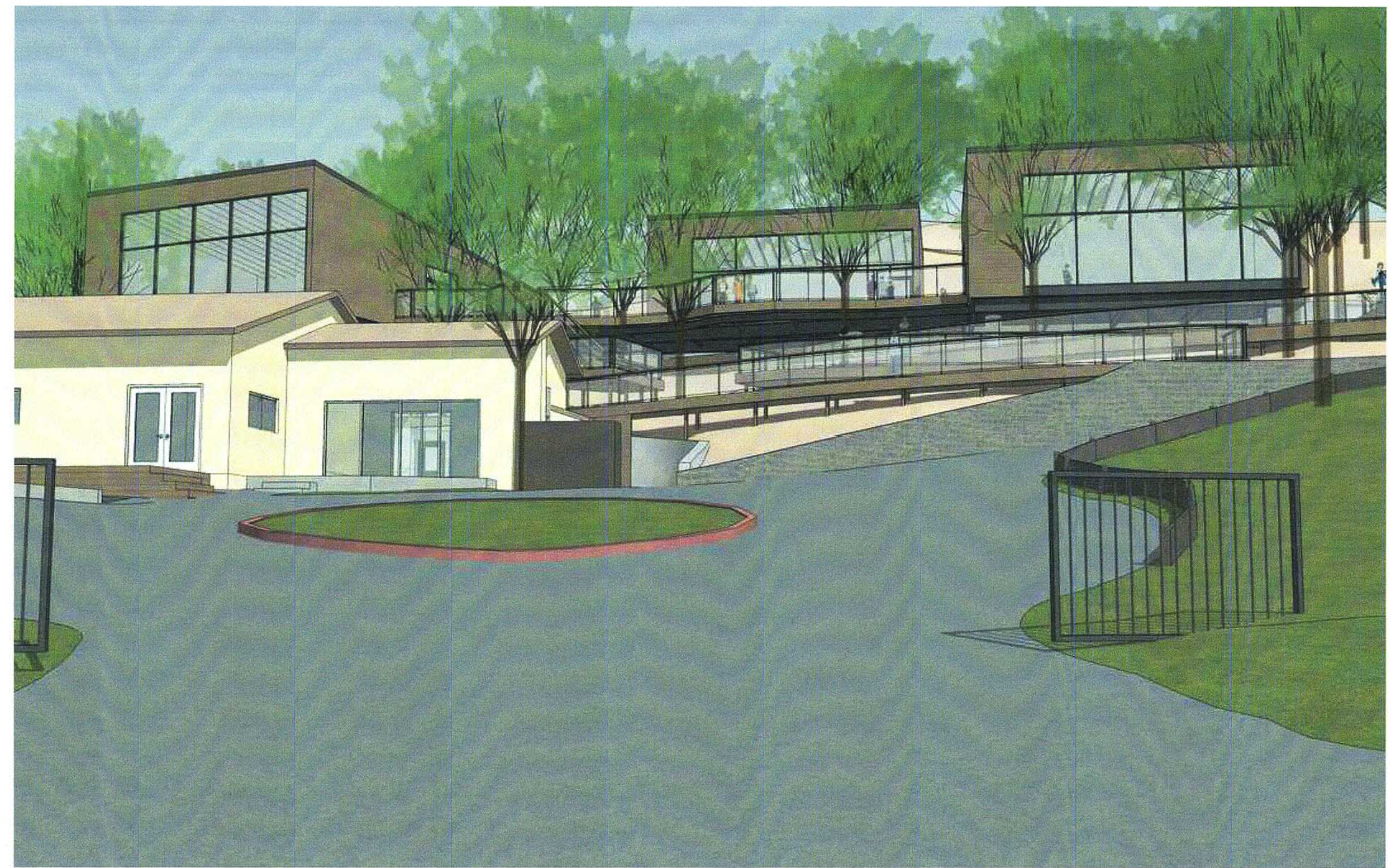
AERIAL VIEW FROM NORTHWEST  
N.T.S. 4



AERIAL VIEW FROM SOUTHWEST  
N.T.S. 2



VIEW FROM EXISTING DRIVEWAY  
N.T.S. 3



VIEW FROM MAIN ENTRY GATE  
N.T.S. 1

ODYSSEY  
SCHOOL  
CAMPUS  
EXPANSION

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USE PERMIT  
APPLICATION

INITIAL SUBMITTAL 3.22.2018

N.T.S.

PROPOSED  
CONCEPTUAL  
PERSPECTIVES

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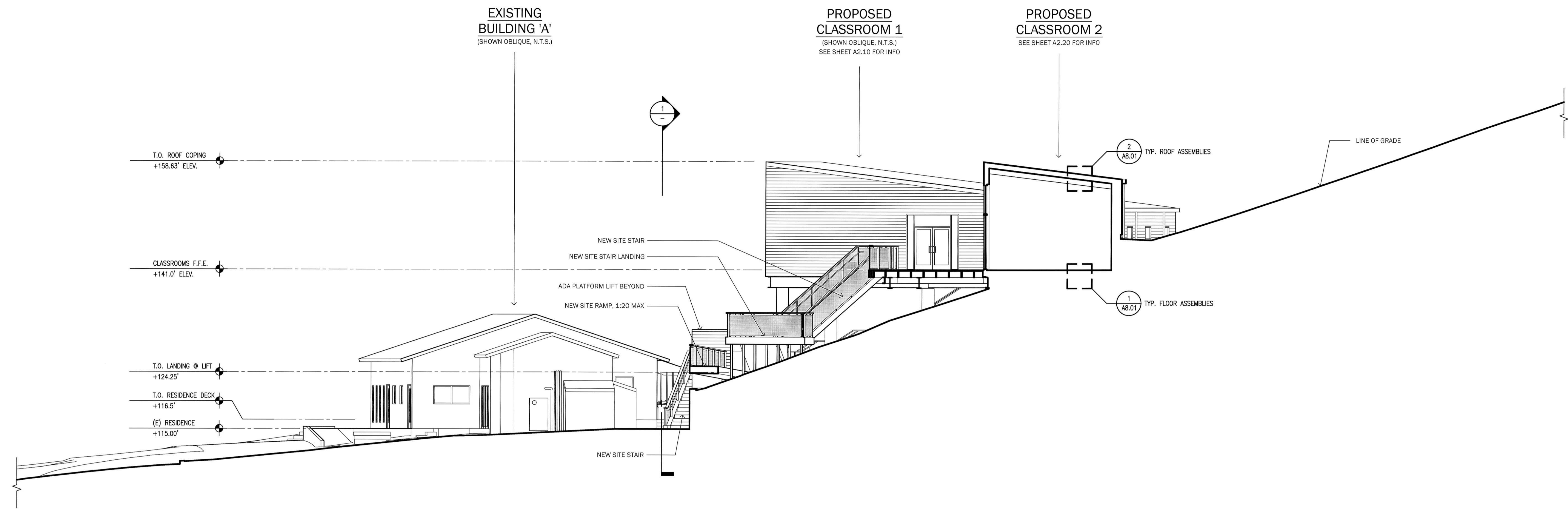
ODYSSEY  
SCHOOL  
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PROJECT NO.: 1524.00

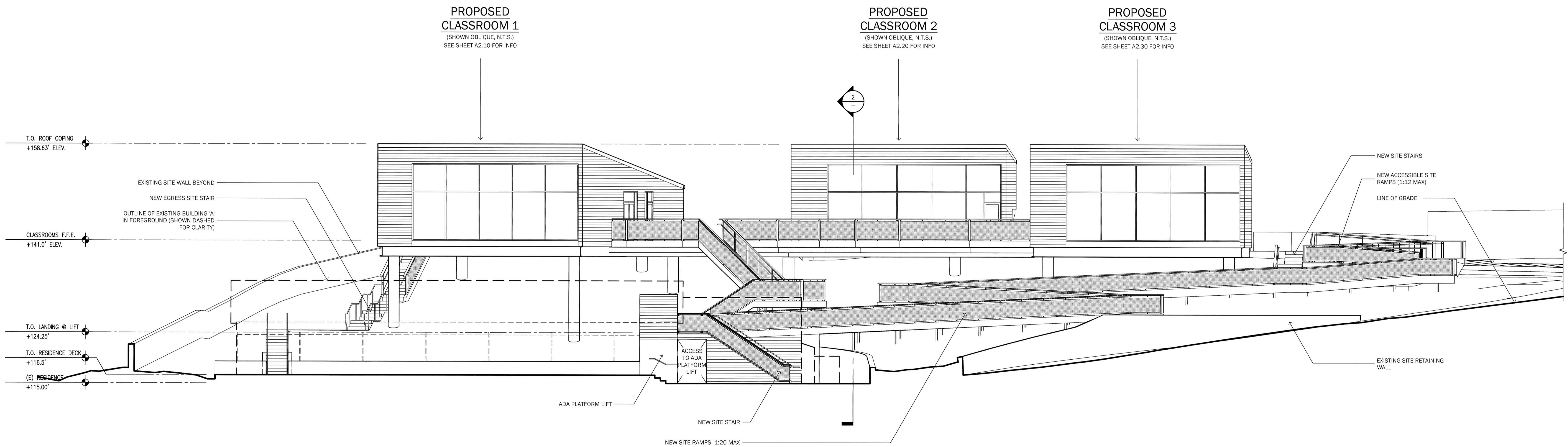
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PROPOSED TRANSVERSE SITE SECTION 2  
1/8" = 1'-0"



PROPOSED LONGITUDINAL SITE SECTION 1  
1/8" = 1'-0"

USE PERMIT  
APPLICATION

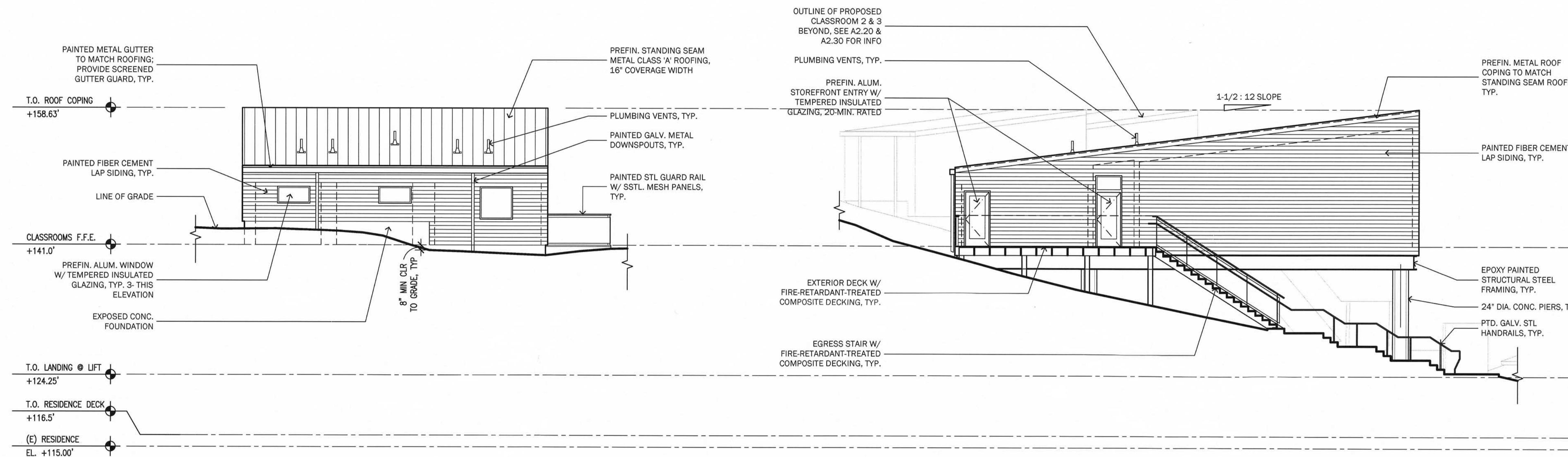
INITIAL SUBMITTAL 3.22.2018

1/8" = 1'-0"

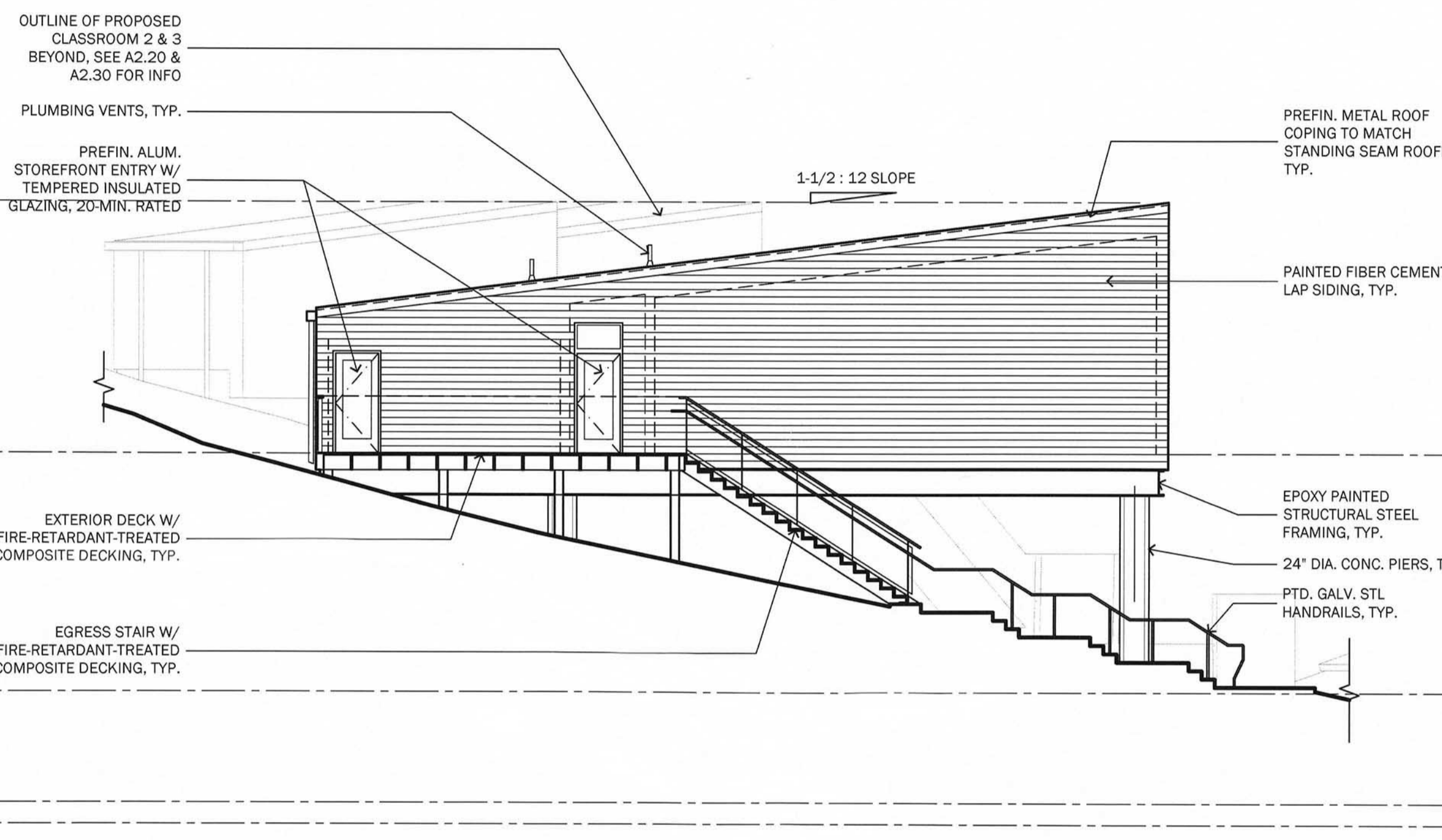
PROPOSED  
SITE SECTIONS

A1.20

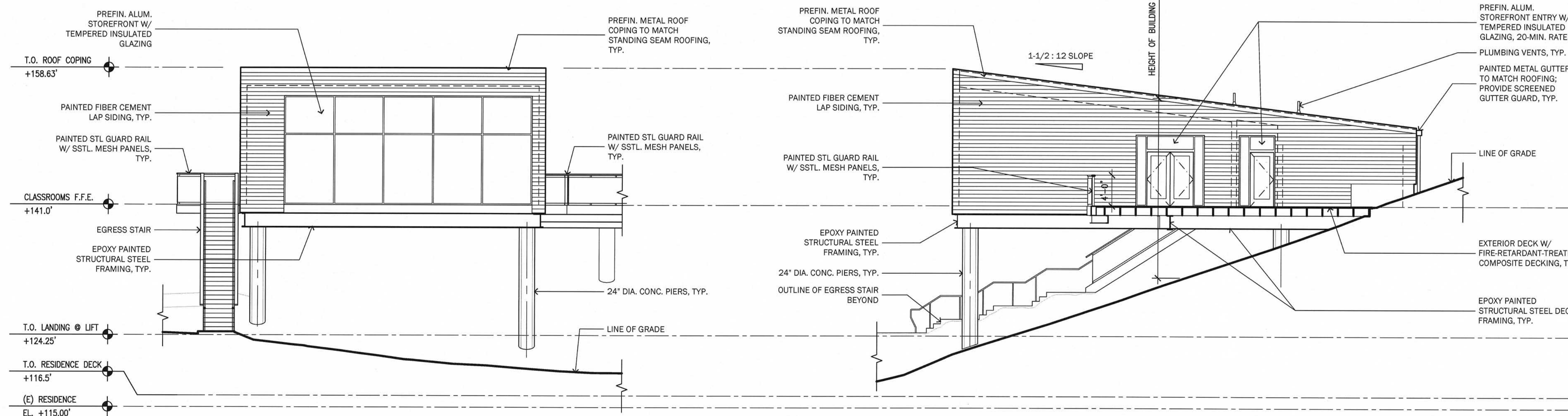
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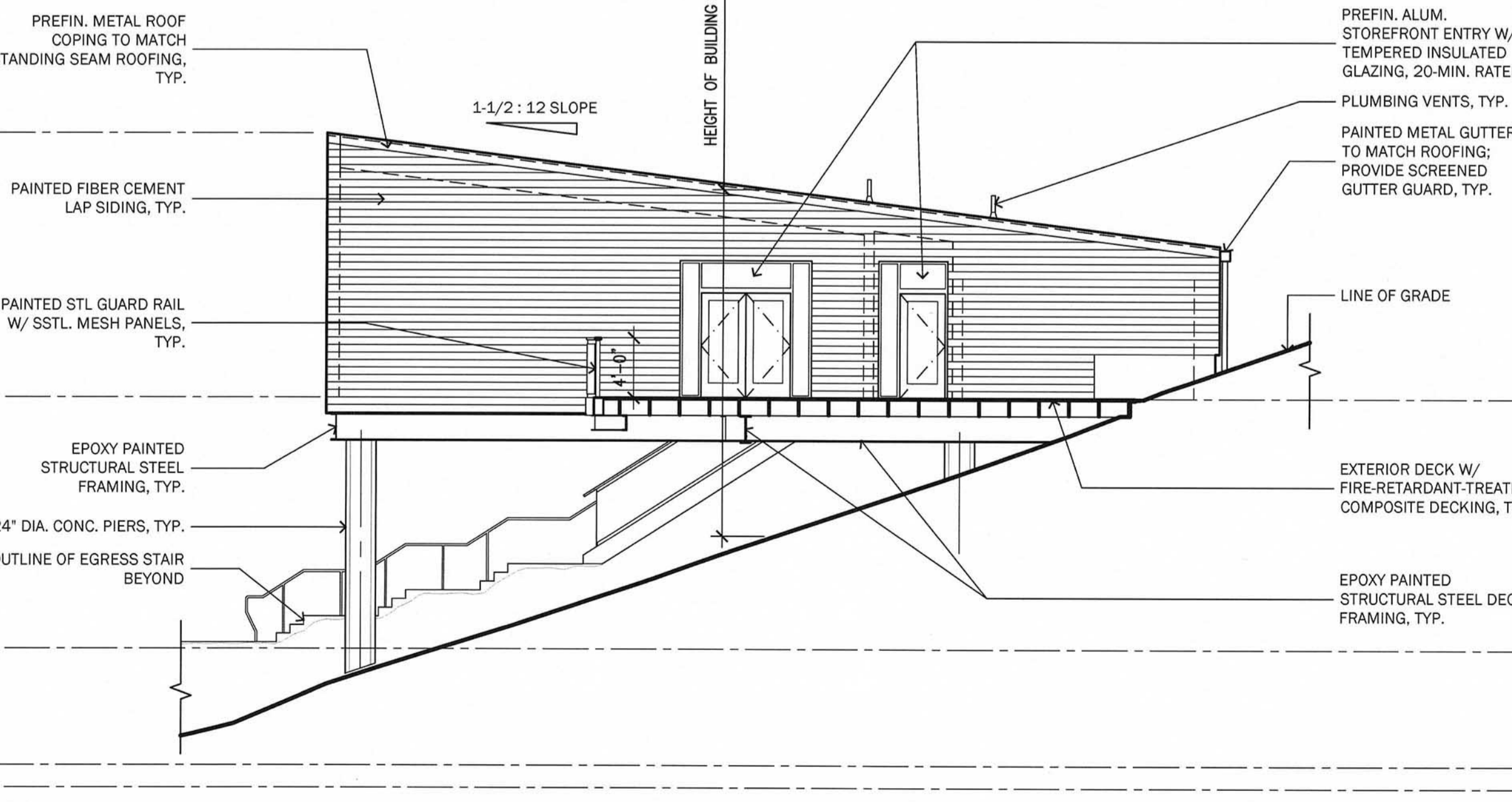
CLASSROOM 1 - EAST EXTERIOR ELEVATION  
1/8" = 1'-0"



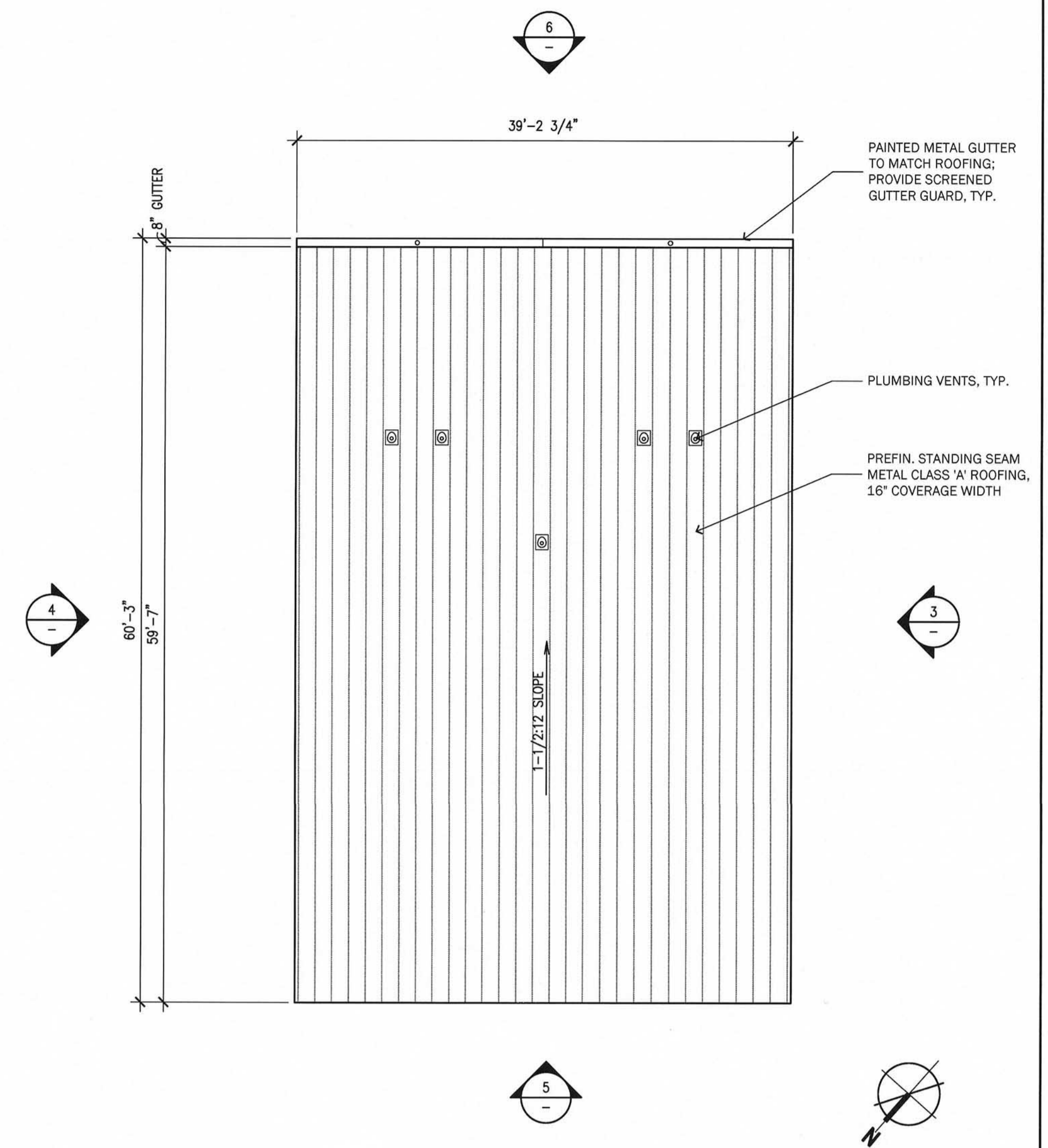
CLASSROOM 1 - NORTH EXTERIOR ELEVATION  
1/8" = 1'-0"



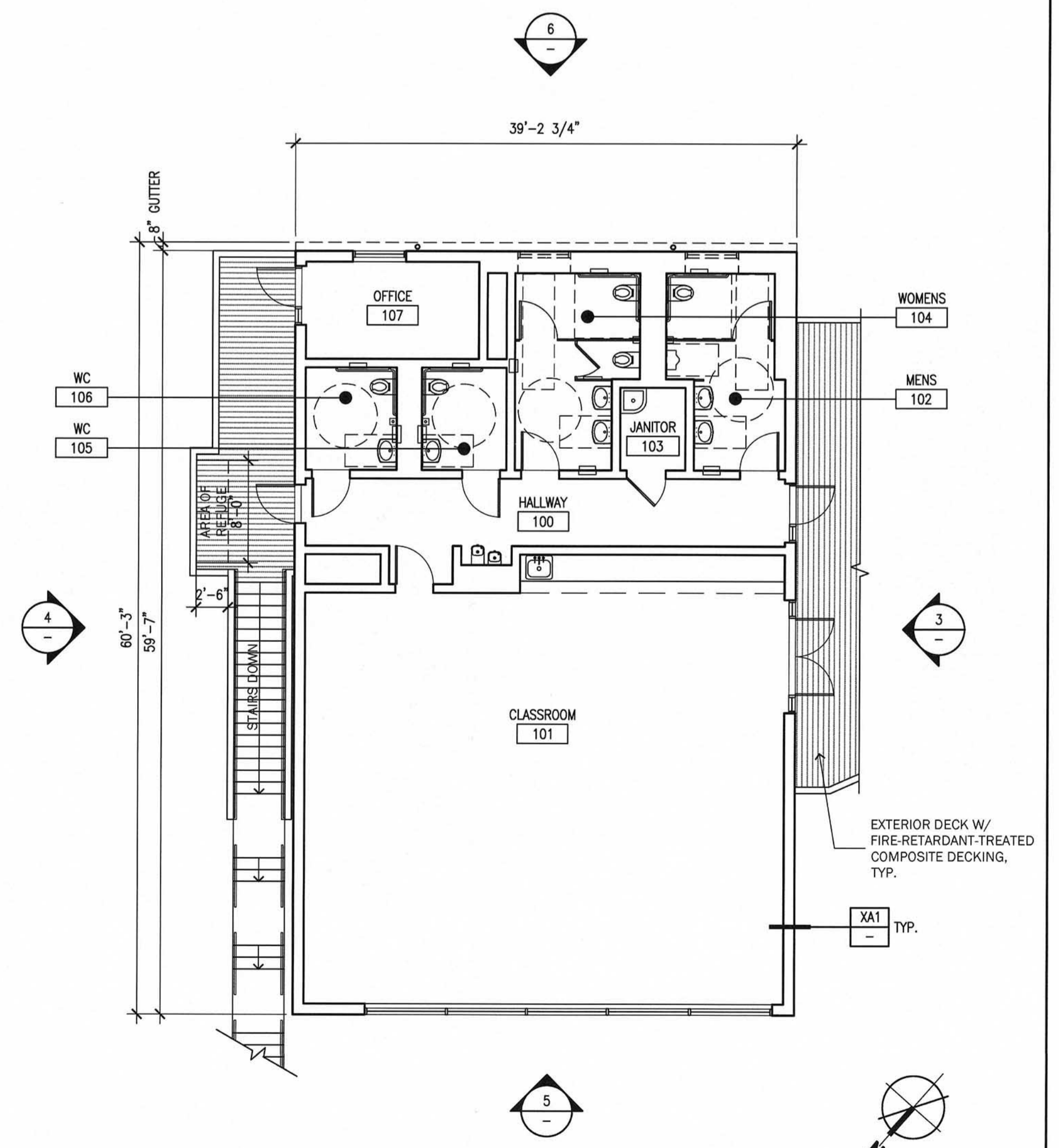
CLASSROOM 1 - WEST EXTERIOR ELEVATION  
1/8" = 1'-0"



CLASSROOM 1 - SOUTH EXTERIOR ELEVATION  
1/8" = 1'-0"



CLASSROOM 1 - ROOF PLAN  
1/8" = 1'-0"



CLASSROOM 1 - FLOOR PLAN  
1/8" = 1'-0"

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INITIAL SUBMITTAL 3.22.2018

1/8" = 1'-0"

CLASSROOM 1  
FLOOR PLAN  
ROOF PLAN  
EXTERIOR ELEVATIONS

A2.10

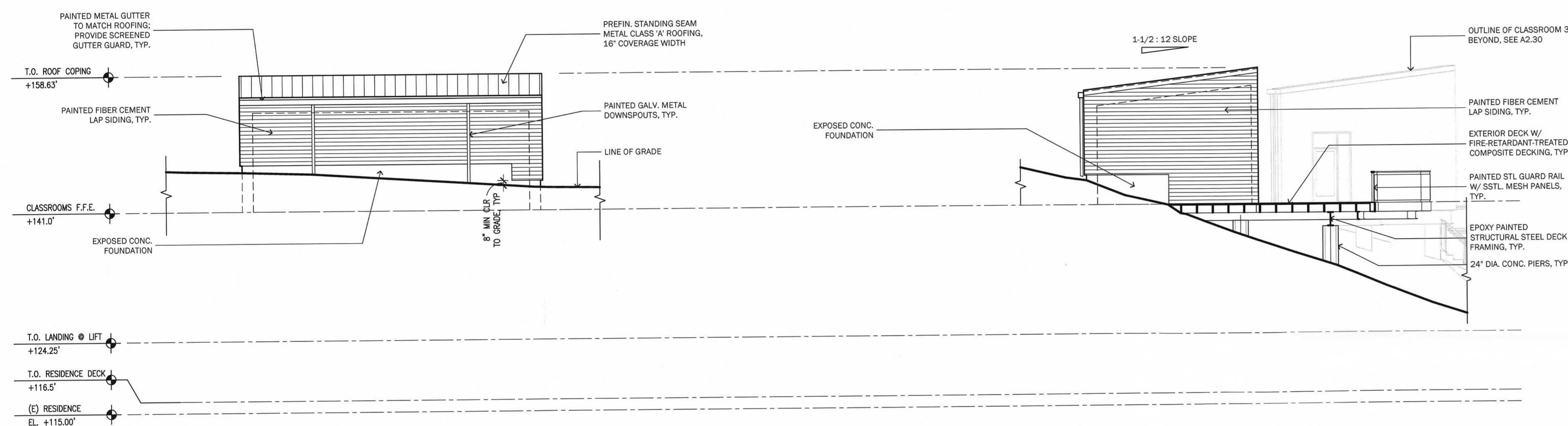


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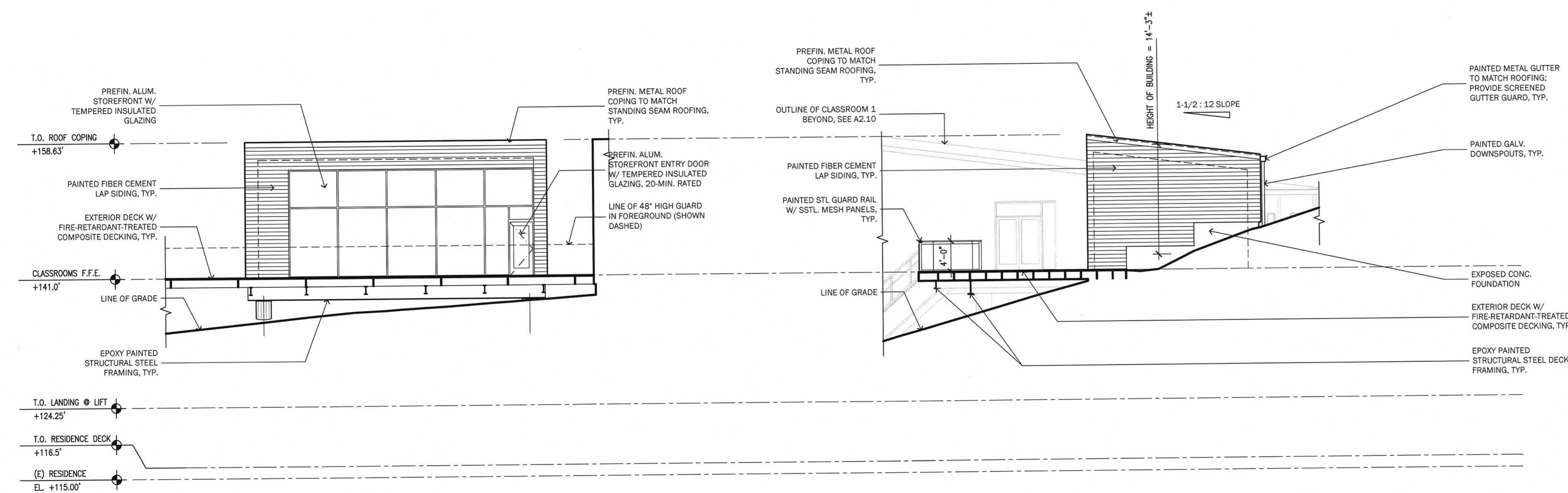
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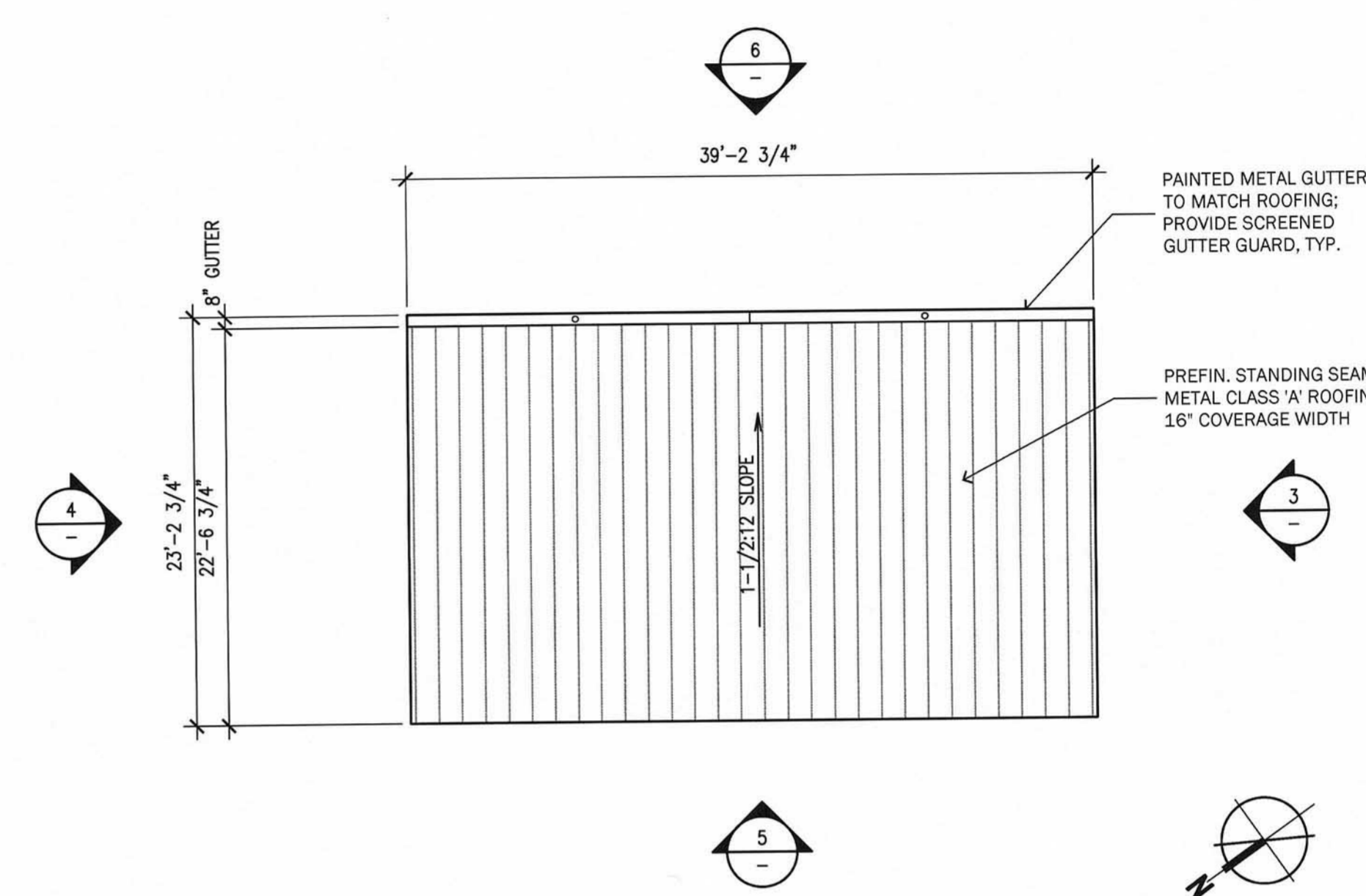
CLASSROOM 2 - EAST EXTERIOR ELEVATION  
1/8" = 1'-0" 6

CLASSROOM 2 - NORTH EXTERIOR ELEVATION  
1/8" = 1'-0" 4

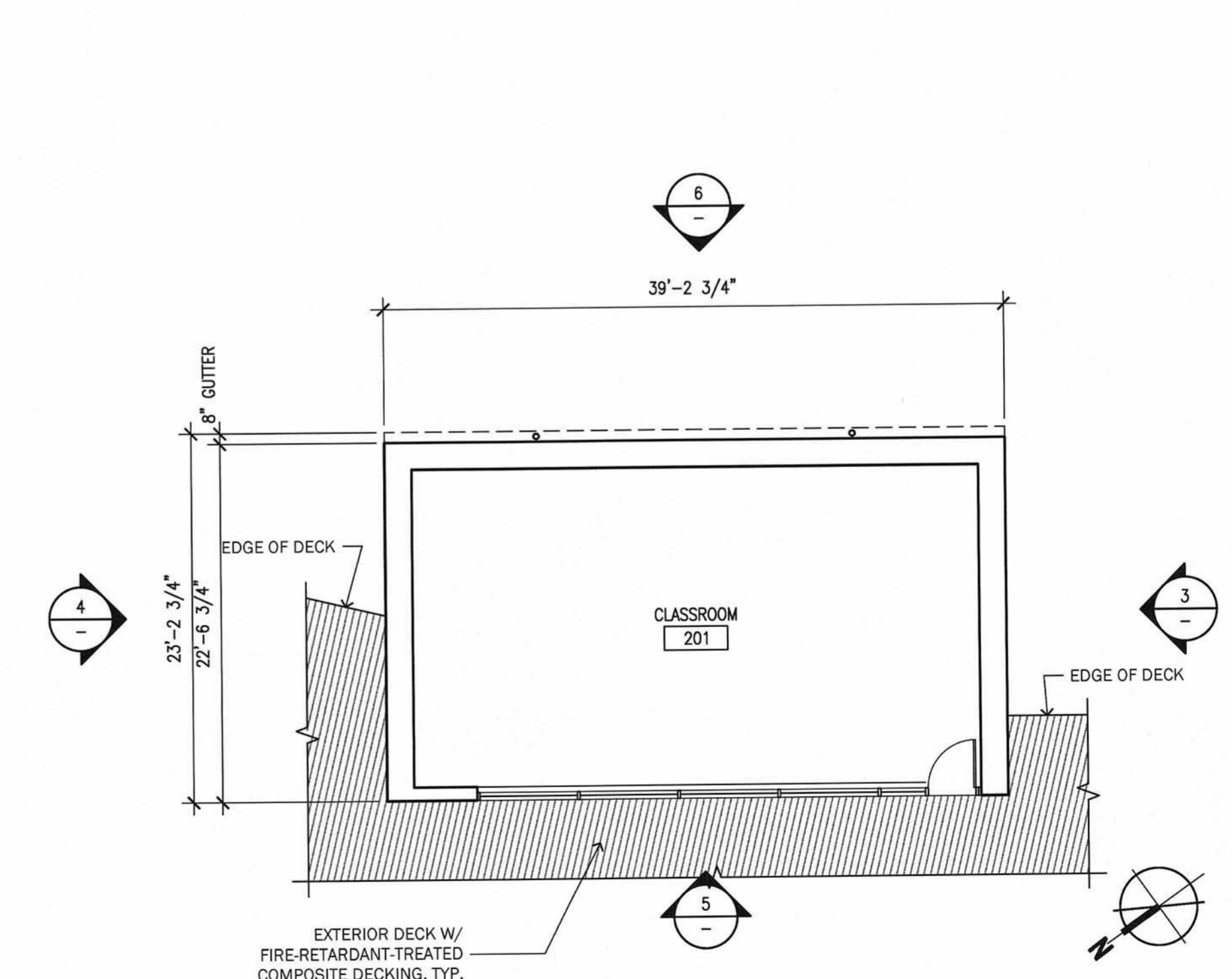


CLASSROOM 2 - WEST EXTERIOR ELEVATION  
1/8" = 1'-0" 5

CLASSROOM 2 - SOUTH EXTERIOR ELEVATION  
1/8" = 1'-0" 3



CLASSROOM 2 - ROOF PLAN  
1/8" = 1'-0" 2



CLASSROOM 2 - FLOOR PLAN  
1/8" = 1'-0" 1

USE PERMIT  
APPLICATION

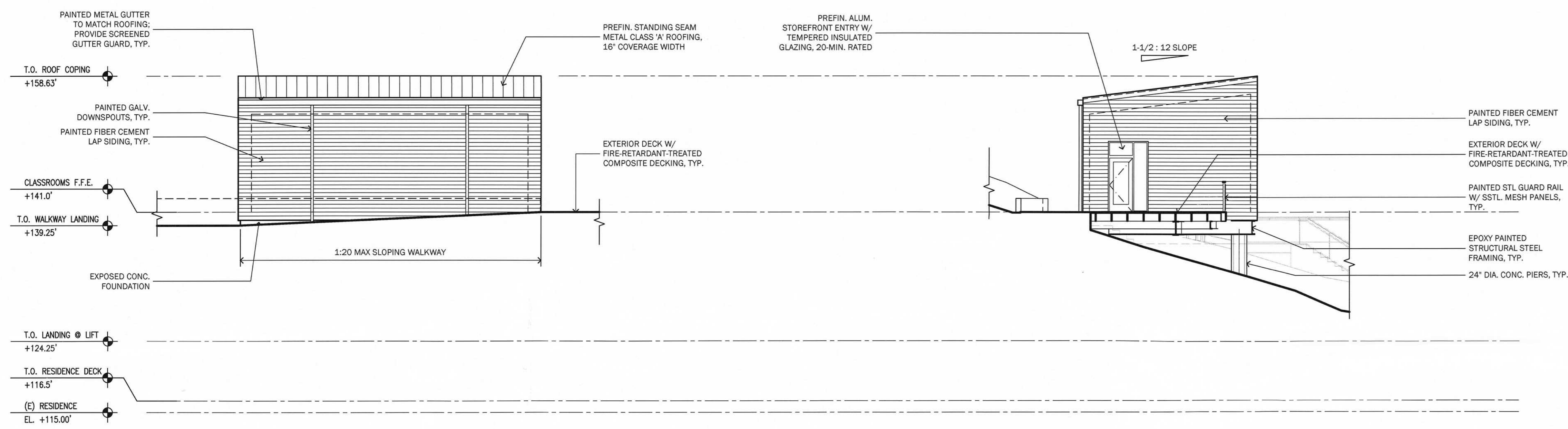
INITIAL SUBMITTAL 3.22.2018

CLASSROOM 2  
FLOOR PLAN  
ROOF PLAN  
EXTERIOR ELEVATIONS

A2.20

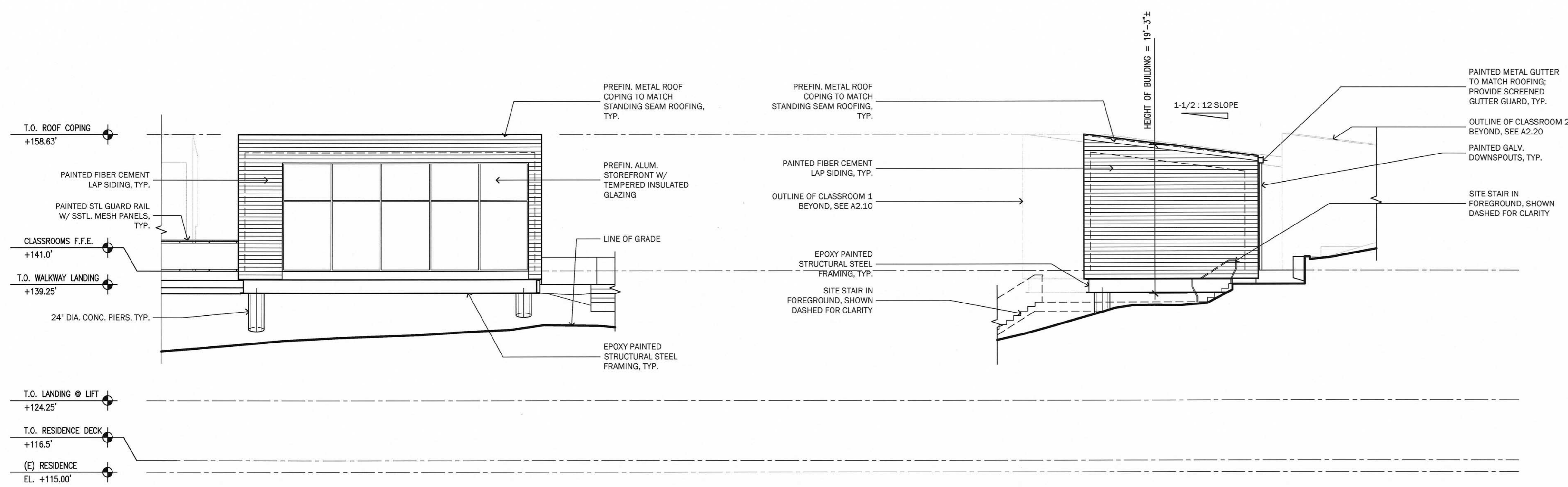
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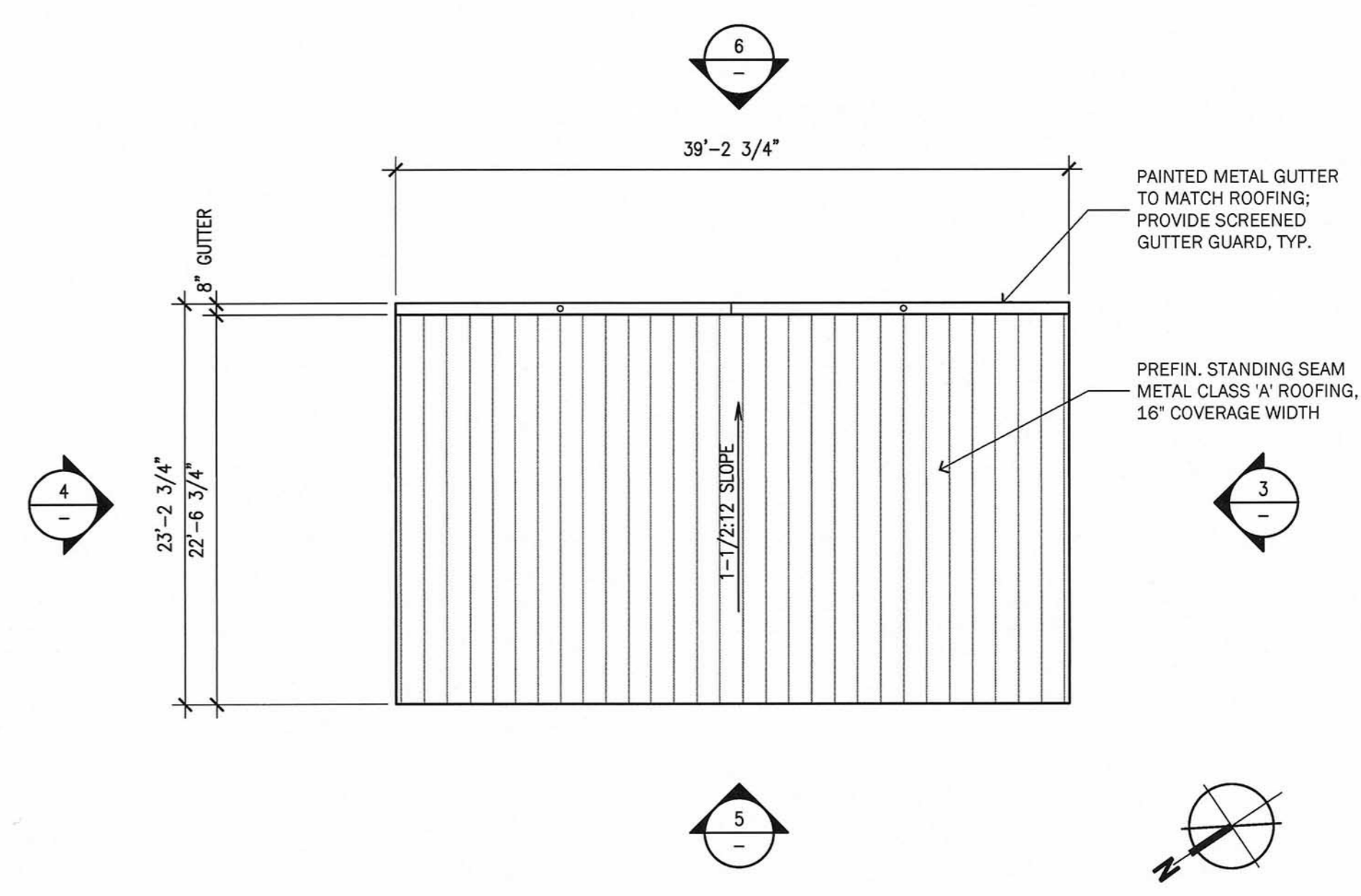
**CLASSROOM 3 - EAST EXTERIOR ELEVATION** 6  
1/8" = 1'-0"

**CLASSROOM 3 - NORTH EXTERIOR ELEVATION** 4  
1/8" = 1'-0"

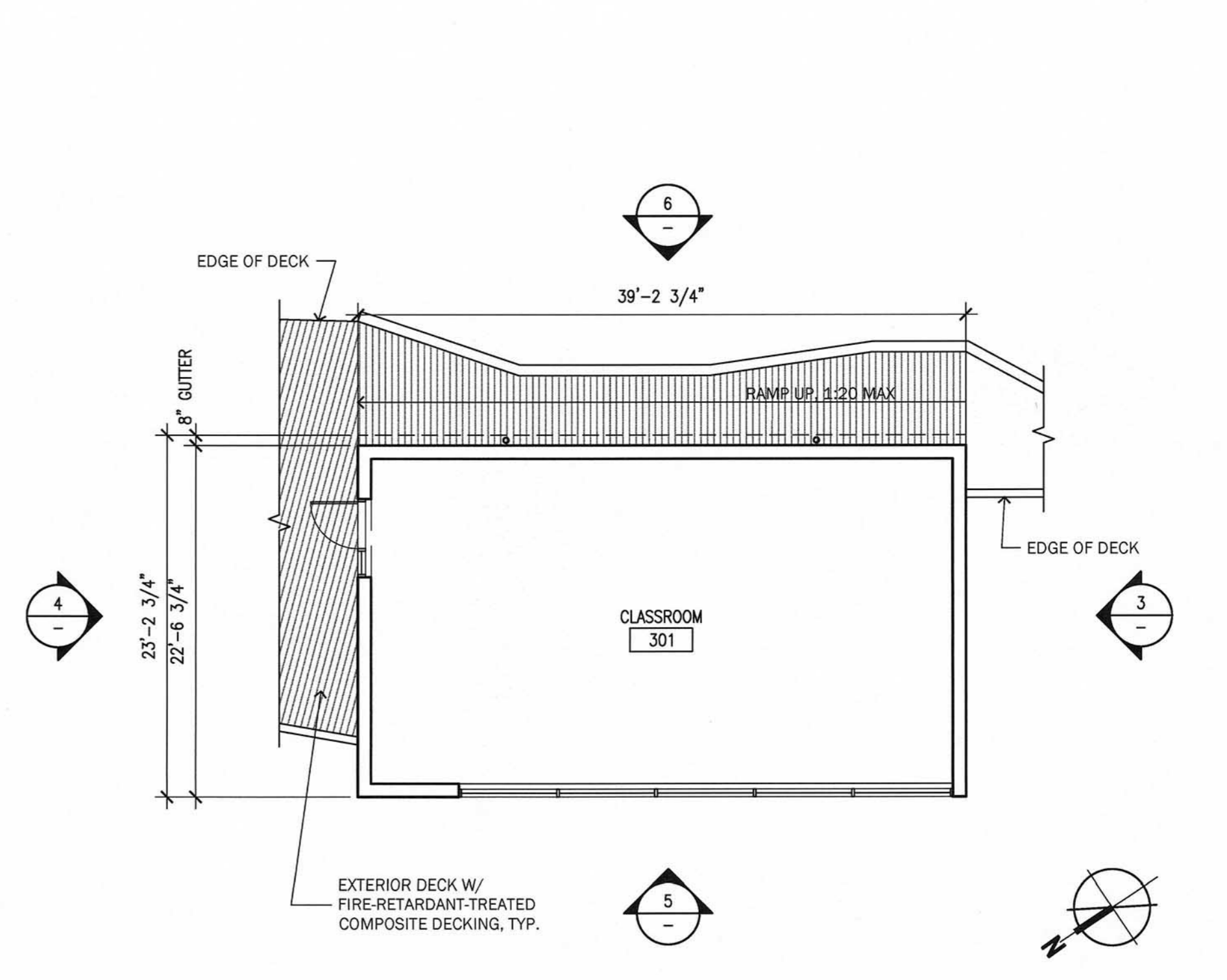


**CLASSROOM 3 - WEST EXTERIOR ELEVATION** 5  
1/8" = 1'-0"

**CLASSROOM 3 - SOUTH EXTERIOR ELEVATION** 3  
1/8" = 1'-0"



**CLASSROOM 3 - ROOF PLAN** 2  
1/8" = 1'-0"



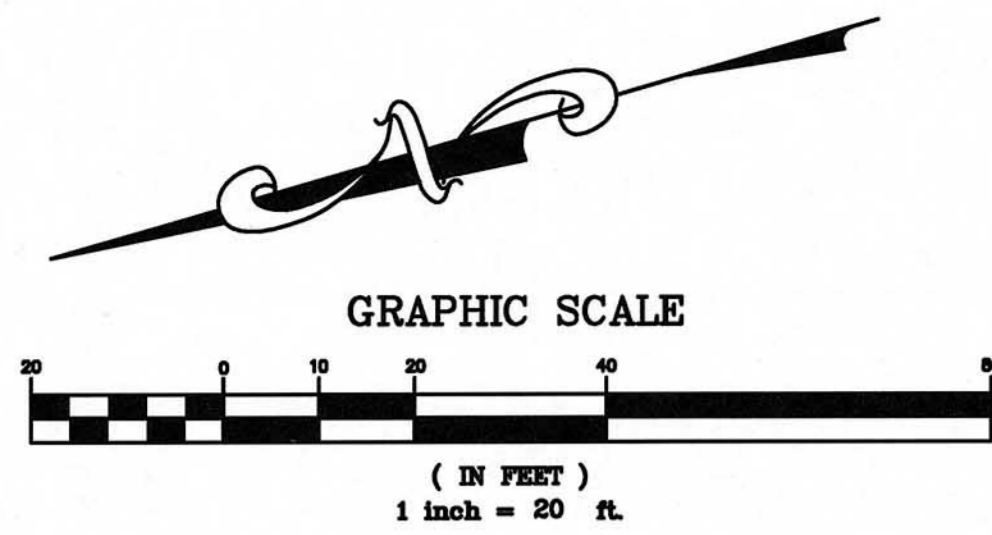
**CLASSROOM 3 - FLOOR PLAN** 1  
1/8" = 1'-0"

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APPLICATION**

INITIAL SUBMITTAL 3.22.2018

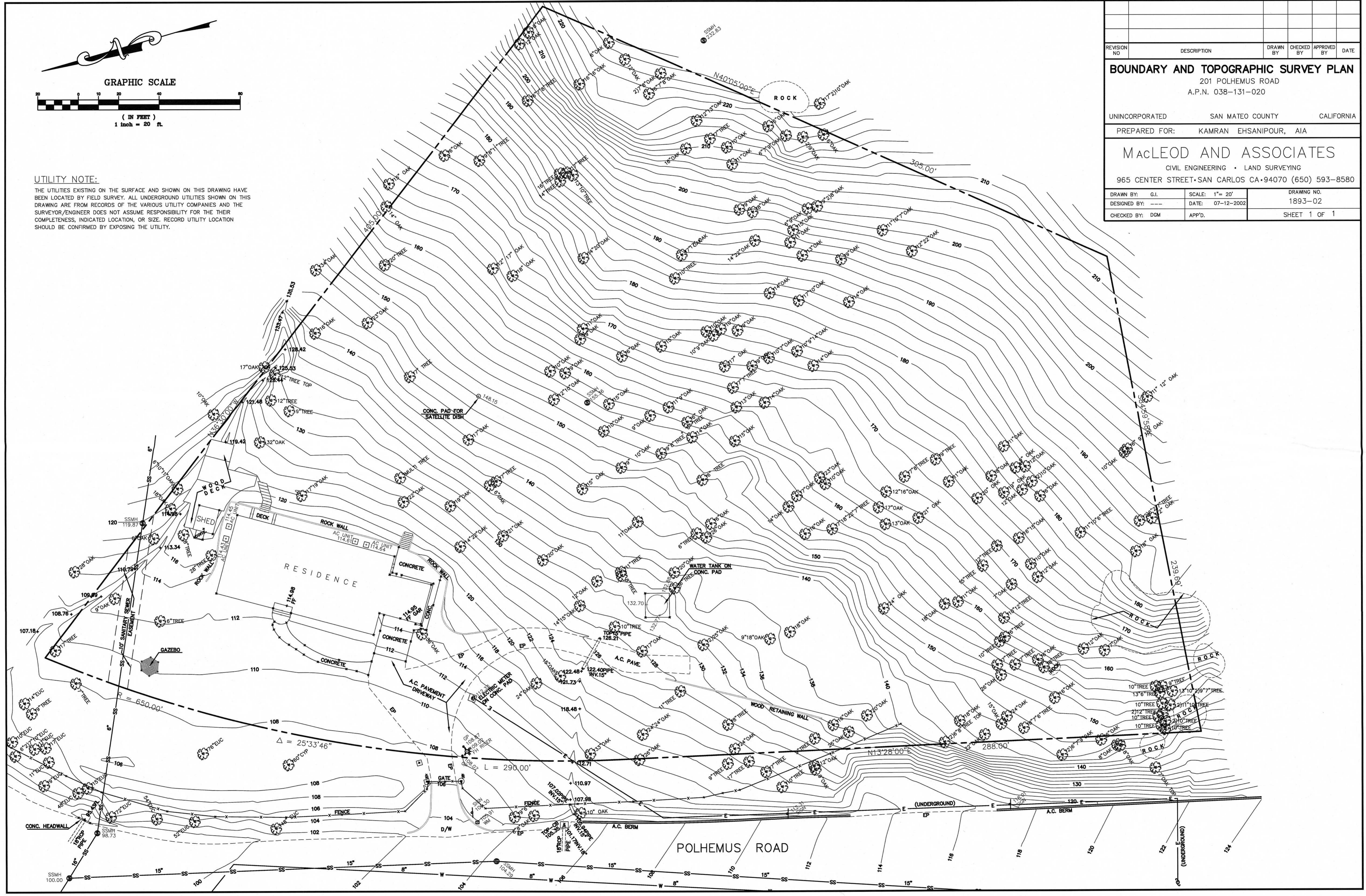
CLASSROOM 3  
FLOOR PLAN  
ROOF PLAN  
EXTERIOR ELEVATIONS

**A2.30**

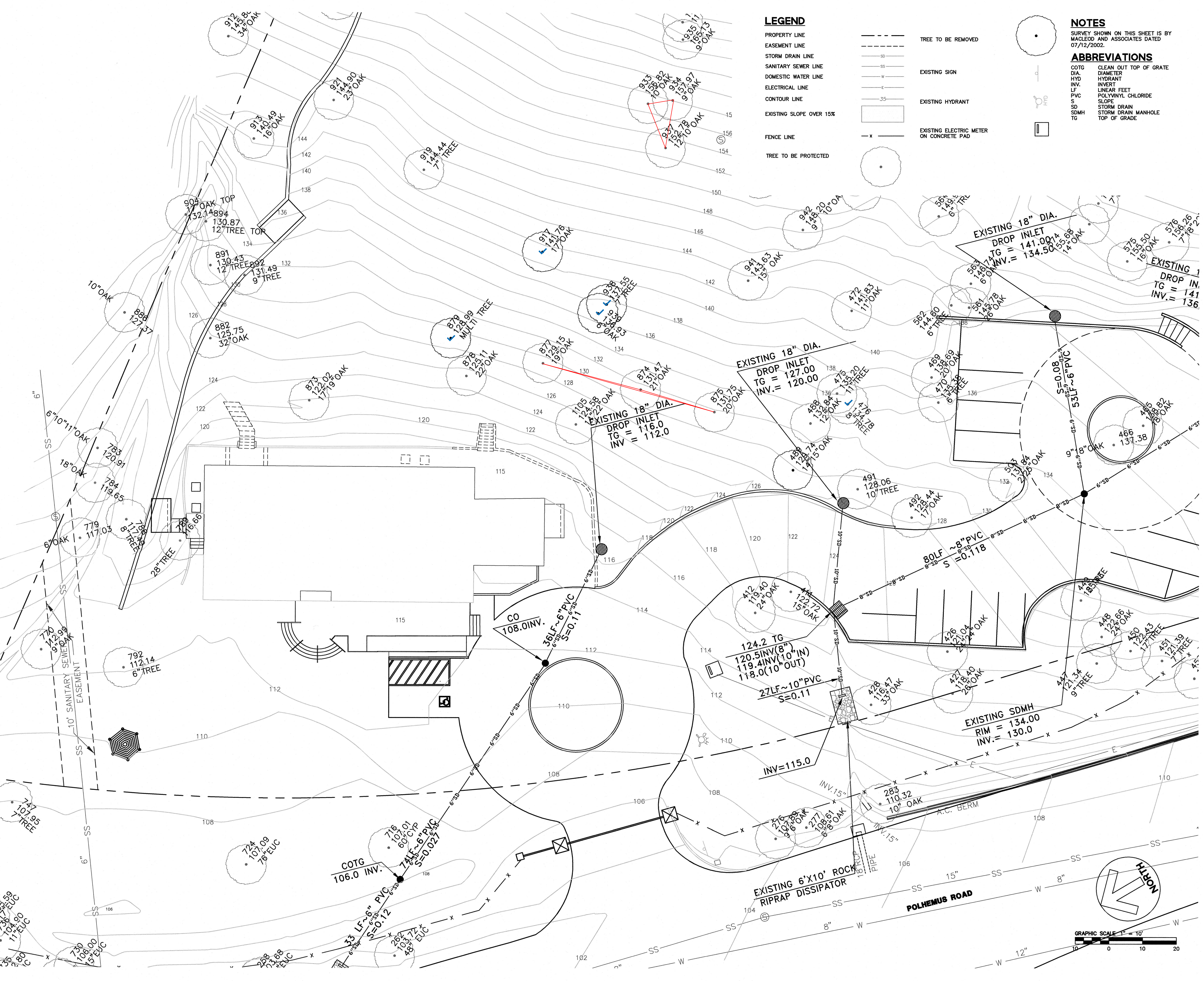


REVISION NO	DESCRIPTION	DRAWN BY	CHECKED BY	APPROVED BY	DATE
<b>BOUNDARY AND TOPOGRAPHIC SURVEY PLAN</b>					
201 POLHEMUS ROAD A.P.N. 038-131-020					
UNINCORPORATED		SAN MATEO COUNTY		CALIFORNIA	
PREPARED FOR: KAMRAN EHSANIPOUR, AIA					
<b>MacLEOD AND ASSOCIATES</b>					
CIVIL ENGINEERING • LAND SURVEYING					
965 CENTER STREET • SAN CARLOS CA • 94070 (650) 593-8580					
DRAWN BY: G.I.	SCALE: 1" = 20'	DRAWING NO.		1893-02	
DESIGNED BY: ---	DATE: 07-12-2002	CHECKED BY: DGM		APP'D.	
				SHEET 1 OF 1	

**UTILITY NOTE:**  
 THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR/ENGINEER DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.



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**LEGEND**

PROPERTY LINE	---	TREE TO BE REMOVED	(Circle with dot)
EASEMENT LINE	- - - -	EXISTING SIGN	(Square with 'S')
STORM DRAIN LINE	SD	EXISTING HYDRANT	(Circle with 'H')
SANITARY SEWER LINE	SS	EXISTING ELECTRIC METER ON CONCRETE PAD	(Square with 'E')
DOMESTIC WATER LINE	W		
ELECTRICAL LINE	E		
CONTOUR LINE	35		
EXISTING SLOPE OVER 15%	[Shaded area]		
FENCE LINE	- x -		
TREE TO BE PROTECTED	(Circle with dot and 'x')		

**NOTES**  
 SURVEY SHOWN ON THIS SHEET IS BY  
 MACLEOD AND ASSOCIATES DATED  
 07/12/2002.

**ABBREVIATIONS**

COTG	CLEAN OUT TOP OF GRATE
DIA.	DIAMETER
HYD	HYDRANT
INV.	INVERT
LF	LINEAR FEET
PVC	POLYVINYL CHLORIDE
SLOPE	SLOPE
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
TG	TOP OF GRADE

**Studio Bondy Architecture**

110 LINDEN STREET | OAKLAND, CA | 94607  
 510.836.6594 | studiobondy.com

**ODYSSEY SCHOOL CAMPUS EXPANSION**

PROJECT NO: 1524.00  
 201 POLHEMUS RD | SAN MATEO | CA 94402  
 P: 650.548.1500 |

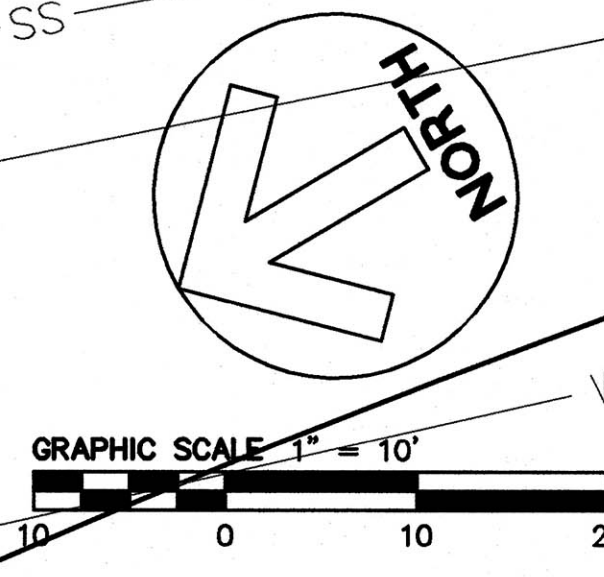
**CIVIL ENGINEER**  
 BKF ENGINEERS  
 1730 N. FIRST STREET, SUITE 600  
 SAN JOSE, CA 95112  
 CONTACT: COLE GAUMNITZ  
 408.467.9166 P  
 EMAIL: CGAUMNITZ@BKF.COM

**USE PERMIT APPLICATION**

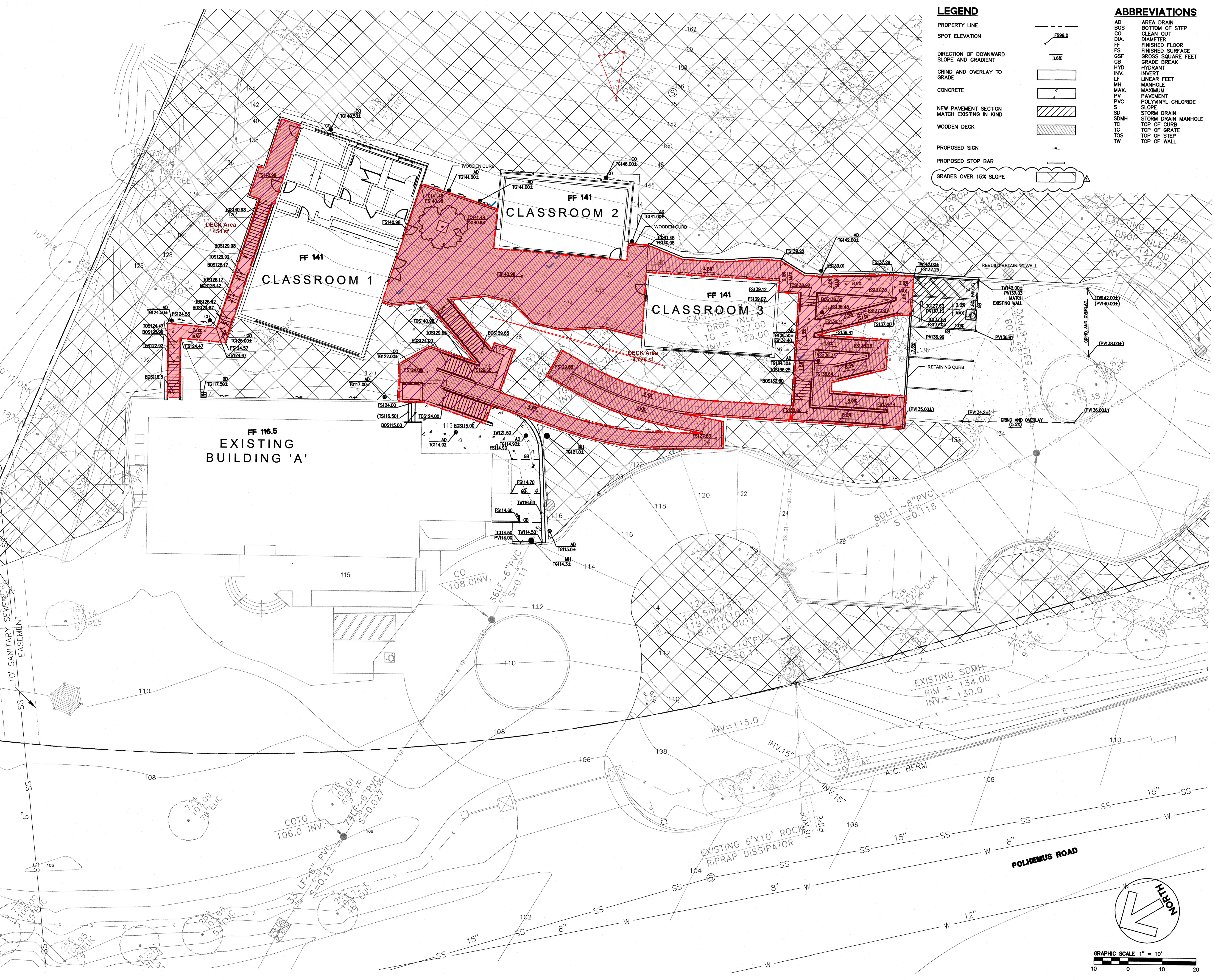
INITIAL SUBMITTAL 11.20.2017

EXISTING CONDITIONS

**C2.0**



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**LEGEND**

- PROPERTY LINE
- SPOT ELEVATION
- DIRECTION OF DOWNWARD SLOPE AND GRADIENT
- GRIND AND OVERLAY TO GRADE
- CONCRETE
- NEW PAVEMENT SECTION MATCH EXISTING IN KIND
- WOODEN DECK
- PROPOSED SIGN
- PROPOSED STOP BAR
- GRADES OVER 15% SLOPE

**ABBREVIATIONS**

- AD AREA DRAIN
- BOS BOTTOM OF STEP
- CO CLEAN OUT
- DIA. DIAMETER
- FF FINISHED FLOOR
- FS FINISHED SURFACE
- GSF GROSS SQUARE FEET
- GB GRADE BREAK
- HYD HYDRANT
- INV. INVERT
- LF LINEAR FEET
- MH MANHOLE
- MAX. MAXIMUM
- PV PAVEMENT
- PVC POLYVINYL CHLORIDE
- S SLOPE
- SD STORM DRAIN
- SDMH STORM DRAIN MANHOLE
- TC TOP OF CURB
- TG TOP OF GRATE
- TOS TOP OF STEP
- TW TOP OF WALL

# Studio Bondy Architecture

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## ODYSSEY SCHOOL CAMPUS EXPANSION

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CONTACT: COLE GAUMINIZ  
408.467.9186 P  
EMAIL: CGAUMINIZ@BKF.COM

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### USE PERMIT APPLICATION

INITIAL SUBMITTAL 11.20.2017  
DELTA 1 RESUBMITTAL 11.13.2019

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PRELIMINARY GRADING PLAN

# C3.0

