

Tree Management Experts

Consulting Arborists

3109 Sacramento Street
San Francisco, CA 94115

Member, American Society of Consulting Arborists
Certified Arborists, Certified Tree Risk Assessors

cell/voicemail 415.606.3610 office 415.921.3610 fax 415.921.7711 email Roy@treemanagementexperts.com



Paul McGregor
168 Westpoint Ave.
Half Moon Bay, CA 94019

RE: 1900 East Avenue, Montara, CA

Date: 1/11/19

ARBORIST REPORT and TREE PROTECTION PLAN

Arborist Report

- Review pre-existing relevant work product, as provided, such as Architectural drawings, plans and communications between parties.
- Visit the Project Site to verify preexisting work product as related to trees, to evaluate site conditions, and to provide a tree assessment.
- Provide an Arborist Report that determines what trees may be retained and what trees must be removed. For the preservation of remaining trees, the Report will facilitate design refinement and identify the work limits and methods of work to be performed in the tree protection zones.
- Develop recommendations to lessen impact to trees by considering the following:
 - Modification of design.
 - Mitigation of impacts through tree protection.
 - Site utilization planning.
 - Staging.
 - Equipment access.
 - Tree maintenance.
- Provide revisions per Planning Department requests.
- Provide the Report in digital form as a pdf.

Background

The property at 1900 East Ave is currently a Vacant Lot. The present owners are proposing the construction of a new Single Family Residence and Road Extension for access to the property.

The following documents were reviewed for this report:

- A Landscape Plan dated August 19, 2016, produced by Anne Gustin Design, Inc.
- A Road Plan dated August 24, 2017, produced by Sigma Prime Geosciences, Inc.

Tree Management Experts

Consulting Arborists

3109 Sacramento Street
San Francisco, CA 94115

Member, American Society of Consulting Arborists
Certified Arborists, Certified Tree Risk Assessors



cell/voicemail 415.606.3610 office 415.921.3610 fax 415.921.7711 email Roy@treemanagementexperts.com

The owner, contractor, and architect are all responsible for knowing the information included in this Arborist Report and adhering to the conditions provided.

Planning Department review and comments were provided, and this report is revised in response to those requests.

Tree Assessment

A total of 28 regulated trees were found that will be affected by this project both on and off the subject lot. Tree numbers were assigned to each tree and correspond to those used on the Site Plan with Additions. A set of 28 photographs were taken and marked to identify each tree by number. An aluminum tree tag was attached at about 18 inches height on each of the 28 trees with the corresponding tree number. The data for tree identification, trunk diameter and recommendations are listed on the attached data table:

Tree Removals

18 significant trees are proposed for removal. The reasons for each removal are given in the attached data table. Two trees fall within the footprint of the planned road layout, and would either suffer too much root damage for survival or fall entirely within the planned road area. 5 trees fall within the footprint of the planned residence and would also require removal. The remainder of the trees to be removed are poor health, structurally unsound, or are interior trees to a grove that would be exposed to the potential for windthrow after other trees are removed.

Trees to be Protected and Preserved

A total of 10 trees are to be protected and preserved, as shown in the attached data table. Each of these trees is accommodated in the new design and intended uses and was found to be of fair to good health and structurally sound. Tree Protection Zones (TPZ) have been developed for each of these trees, and recommendations that follow apply to all TPZ areas.

Privacy to Neighboring Properties

Tree 17 contributes to privacy screening for adjacent properties and should be retained if possible.

Site and Soil Conditions

The site appears to have alluvial toe-slope sandy clay loam soil that is reasonably undisturbed. Characteristic sandy-loam soils in Montara are moderately well drained, percolate water moderately well and are quite deep.

Tree Management Experts

Consulting Arborists

3109 Sacramento Street
San Francisco, CA 94115

Member, American Society of Consulting Arborists
Certified Arborists, Certified Tree Risk Assessors



cell/voicemail 415.606.3610 office 415.921.3610 fax 415.921.7711 email Roy@treemanagementexperts.com

When this soil is wet, equipment cannot be operated within any TPZ area without causing a separation of coarse particles from fine particles, a process that crushes pores in soil and causes compaction and formation of layers and destroys the horticultural properties of the soil.

Tree Protection Plan

Construction Procedures

DEMOLITION

All tree protective fencing, root buffers, mulch and irrigation must be in place prior to demolition. Refer to specific sections below for proper installation of each of these items.

At no time is any wheeled equipment or an excavator allowed to enter or cross over TPZ areas, except where a temporary root buffer has been installed or pavement already exists and is in good condition. A tracked Bobcat® type loader may be used within TPZ areas only when we, the Project Arborist, are on site to determine appropriate access points and to monitor soil and root conditions.

ROAD EXTENSION AND DRIVEWAY CONSTRUCTION

Because of the Tree Protection Zones associated with the driveway and road extension, care should be taken in grading the road, digging swales, and constructing energy dissipaters, with the Project Arborist on site to document root cutting and ensure that it is carried out properly. This includes work around Trees 1, 2, 3, 4, 5, 7, 8 and 11.

FOUNDATION PERIMETER CONSTRUCTION

Foundation perimeter construction within TPZ areas around tree 17 must be done with tree protective fencing, root buffers, irrigation and mulch in place at all times. Equipment must remain within the new building footprints, on suitable root buffers or outside TPZ areas.

STAGING AREAS

Staging areas are available outside of TPZ areas along the planned road and on the lot once the planned tree removals are conducted. Storing and staging within TPZ areas can only be done on top of a required root buffer and with proper trunk protection, as specified in this report.

BACKFILL AND FILL SOIL

Within TPZ areas, all backfill and fill soil shall be comprised of clean native topsoil. Soil must be placed without tamping, vibration, rolling, saturating or otherwise causing

Tree Management Experts

Consulting Arborists

3109 Sacramento Street
San Francisco, CA 94115

Member, American Society of Consulting Arborists
Certified Arborists, Certified Tree Risk Assessors



cell/voicemail 415.606.3610 office 415.921.3610 fax 415.921.7711 email Roy@treemanagementexperts.com

compaction that exceeds 85 percent. No fill soil movement or placement may be done during wet soil conditions. Do not place any fill soil within TPZ areas, except where backfilling against the construction perimeter.

Tree Protection Measures

A total of 10 significant trees, are to be protected and preserved, as shown in the attached data table. Each of these trees is accommodated in the new design and intended uses and was found to be of good health and structurally sound.

Tree Protection Implementation Methods

To implement tree protection measures effectively, precise measurement for fence locations is critical. Proper skills and equipment are required to place fences where they belong. Measurement of distances must be to within 6 inches and cannot be completed properly by using either estimated or "paced off" distances. Required equipment will include an appropriate Engineer's scale and either a laser range finder or a 100-foot tape measure with a helper. Tree Protection Zones will extend to the dripline of a protected tree.

It is recommended that fence posts be installed first. Measure each Tree Protection Zone (TPZ), scaling distances off the Site Plans and marking the TPZ locations with marking paint. Similarly, where root buffers are to be installed, measure the precise location of the footings, scaling distances off the Site Plans and marking the footing locations with marking paint. Measure fence locations at the appropriate distance away from each footing.

Fence boundaries must meet, match and enclose areas defined by existing sidewalk and driveway surfaces and property line fences. The exact location of existing sidewalks and fences is not known and must be determined in the field.

Surface installations such as root buffers, irrigation and mulch must be installed in appropriate locations between areas identified by fence posts.

Following surface installations, 5-foot hi-vis orange plastic fencing must be strung tightly and closed off at all locations.

Tree Protection Measures for All Areas

TREE PROTECTIVE FENCING AND WARNING SIGNS

Placement: all fence installation lines are indicated on the Site Plan with Additions. Trees affected will include Trees 1, 3, 4, 6, 7, 8 and 11.

Type and Size: 5-foot high vi-vis orange plastic fencing shall be placed on posts driven a minimum of 1 foot into undisturbed soil and spaced not more than 8 feet on center.

Tree Management Experts

Consulting Arborists

3109 Sacramento Street
San Francisco, CA 94115

Member, American Society of Consulting Arborists
Certified Arborists, Certified Tree Risk Assessors



cell/voicemail 415.606.3610 office 415.921.3610 fax 415.921.7711 email Roy@treemanagementexperts.com

Duration: Tree fencing shall be erected prior to any demolition activity and shall remain in place for the duration of the project.

'Warning' Signs: 'Warning' signs shall be posted on Tree Protective Fencing not more than every 20 feet stating "TREE PROTECTION FENCE – DO NOT MOVE OR REMOVE WITHOUT APPROVAL"

TRUNK WRAP

The trunk of Trees 3, 5, 7, 8, 11, and 17 shall be wrapped with the following protection:

Option 1: Straw Wattles: The trunk would be wrapped with a coil of straw wattles followed by a layer of orange plastic fencing.

Option 2: Planking: The trunk would be wrapped with 4 layers of orange plastic fencing, then a layer of 2X4 planks set on end, edge-to-edge and wrapped with a minimum of 4 additional layers of orange plastic fencing. Do not nail the planks or wattles to the trunk. The protection should extend at least 8 feet up the trunk.

MULCH

Placement: All areas enclosed by Tree Protective Fencing shall have a 4 to 6-inch deep layer of mulch applied, leaving a 12-inch distance around each tree trunk free of mulch. Mulch placement is shown on the Site Plan with Additions.

Type and Size: Mulch material shall be 2-inch unpainted, untreated wood chip mulch or an approved equal.

Duration: Mulch shall be placed in all designated areas prior to any demolition or construction activity.

ROOT BUFFER

Placement: A temporary protective Root Buffer must be installed before any driving, storing or staging takes place within any TPZ areas not already paved.

Type and Size: The Root Buffer shall consist of a base course of tree chips spread over each designated area to a minimum depth of 6 inches, capped by a base course of 3/4-inch quarry gravel to stabilize 3/4-inch plywood on top. Additional wood chips may be added periodically upon the recommendation of the Project Arborist following monthly inspections.

Duration: All Root Buffers shall remain in place for the duration of the project.

Tree Management Experts

Consulting Arborists

3109 Sacramento Street
San Francisco, CA 94115

Member, American Society of Consulting Arborists
Certified Arborists, Certified Tree Risk Assessors



cell/voicemail 415.606.3610 office 415.921.3610 fax 415.921.7711 email Roy@treemanagementexperts.com

Construction Impact Mitigation

GRADE CHANGES

Grading changes should not exceed 4 inches of depth in cuts, or 6 inches of depth in fill where such grade changes are within Tree Protection Zones.

UTILITY TRENCHING

If any utility trenches must be excavated through any TPZ area, either directional boring or Air-spade® (or equivalent) excavation is required.

FOUNDATION AND ROAD CONSTRUCTION

Foundation and grading work will cause root impacts from perimeter excavation along the Western perimeter of the new building and along the curve of the road extension. Root losses are anticipated for Tree 17, a Protected Tree. The following mitigation is required:

Hand Excavation

All portions of foundation excavation occurring within TPZ areas shall be completed by hand. All roots encountered of any size whatsoever shall be cleanly cut with a sharp tool at the excavation perimeter. Hand excavation shall be performed under the direction of the Project Arborist.

Excavation Tailings

All tailings derived from excavation of the perimeter footings shall be immediately placed within the confines of the perimeter foundation, or outside all TPZ areas. No tailings shall be stockpiled, abandoned or allowed to remain overnight in any TPZ area.

Soil Fracturing

All inadvertent compaction of soil within any TPZ shall be loosened by soil fracturing with Air-spade® (or equivalent) excavation equipment subsequent to all equipment access needs.

Tree Management Experts

Consulting Arborists

3109 Sacramento Street
San Francisco, CA 94115

Member, American Society of Consulting Arborists
Certified Arborists, Certified Tree Risk Assessors



cell/voicemail 415.606.3610 office 415.921.3610 fax 415.921.7711 email Roy@treemanagementexperts.com

Maintenance and Ongoing Care

Tree maintenance and ongoing care is necessary in preparation for construction, and throughout the entire timeline for construction. Anticipated needs include pruning, irrigation and tree protection during landscape construction:

PRUNING

Pruning shall be done by a Certified Arborist in accordance with the current ANSI A300 Pruning Standards and International Society of Arboriculture (ISA) Best Management Practices.

For all trees, remove broken or dead limbs and prune lower limbs to maintain vertical clearances of 8 feet over grade.

Trees 3 and 5 will require pruning to elevate their canopies to accommodate vehicle traffic along the road extension.

IRRIGATION

Long-term temporary irrigation must be supplied to all protected trees. All water supply lines shall be run above soil surfaces and without any trenching in any TPZ area. Water shall be provided to all TPZ areas indicated as receiving mulch and irrigation on the Site Plan with Additions, through standard gear-driven irrigation heads or through soaker hoses.

Water quantity and frequency shall be 1 time per month during the irrigation season (usually March through September) using an automatic watering system applying 10 gallons per inch of trunk diameter.

LANDSCAPING

Care must be exercised during landscape construction to avoid any trenches across existing TPZ areas. If sub-surface trenches must be installed, common trenches should be used and they should stay as far away from the trees as possible. A trench running along a radius line directly toward a tree is preferable to a cross trench.

Landscape construction plans are subject to review and comment by the Project Arborist. If extensive trenching is required, Air-spade® excavation may be required.

Care must be taken to keep mulch away from the base of all trees and other woody plants. Similarly, soil grades must be carefully monitored to keep excess soil from accumulating around the base of trees and shrubs.

Tree Management Experts

Consulting Arborists

3109 Sacramento Street
San Francisco, CA 94115

Member, American Society of Consulting Arborists
Certified Arborists, Certified Tree Risk Assessors



cell/voicemail 415.606.3610 office 415.921.3610 fax 415.921.7711 email Roy@treemanagementexperts.com

Supervision & Reporting Requirements

Any work within any TPZ requiring excavation, pruning or otherwise affecting the tree or the soil within the TPZ shall require the supervision on site of the Project Arborist. Also, any damage to protected trees, incidental or accidental shall require an inspection by the Project Arborist. After any event requiring the presence of the Project Arborist, the Arborist shall prepare a letter outlining how work was carried out, and any necessary mitigation requirements. At this time this includes: inspecting Tree Protection prior to construction beginning, during new foundation excavation, during road grading and construction, during any pruning, and any time the Project Arborist is required on site.

Tree Management Experts

Consulting Arborists

3109 Sacramento Street
San Francisco, CA 94115

Member, American Society of Consulting Arborists
Certified Arborists, Certified Tree Risk Assessors

cell/voicemail 415.606.3610

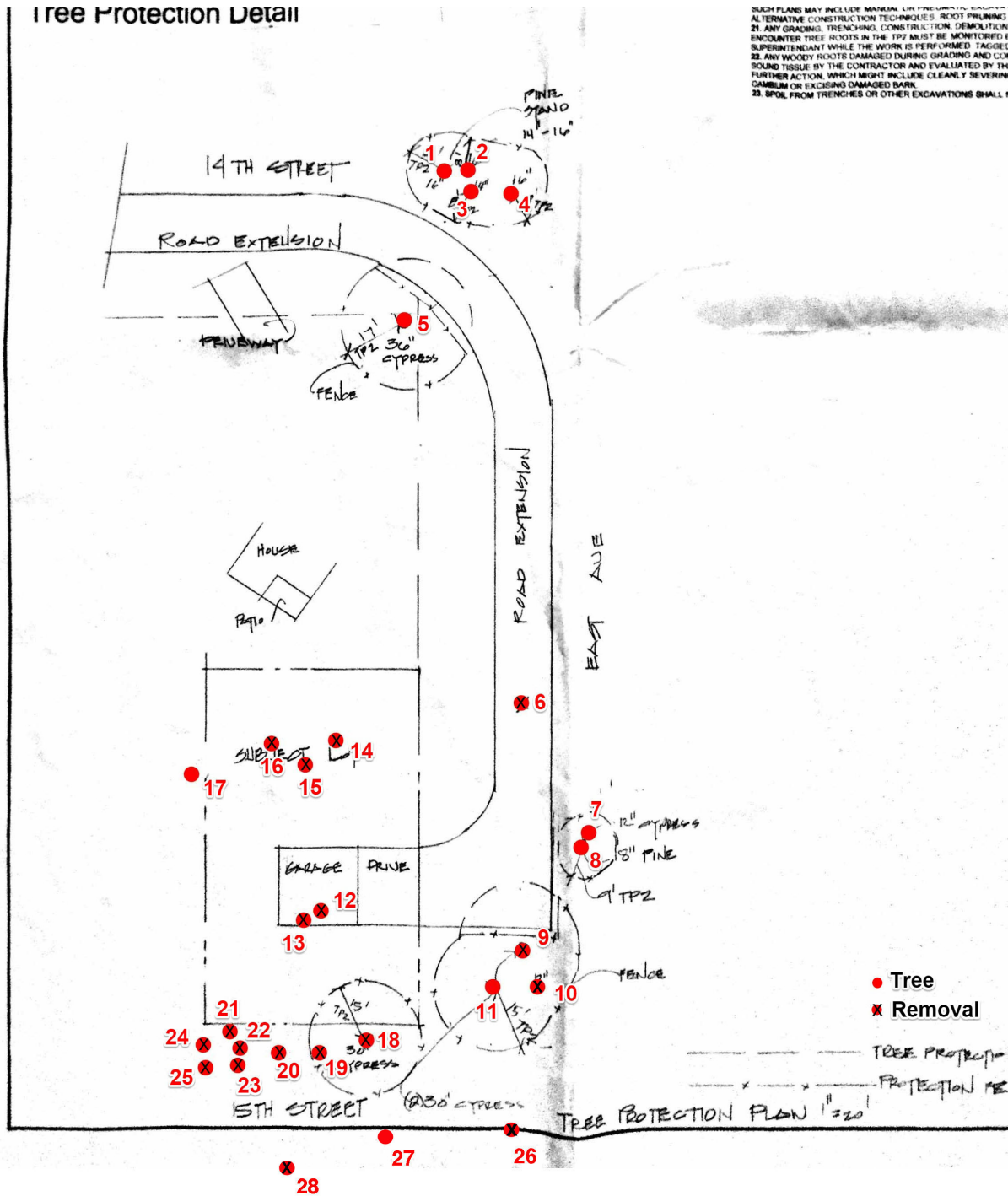
office 415.921.3610

fax 415.921.7711

email Roy@treemanagementexperts.com



Site Plan with Additions



Tree Management Experts

Consulting Arborists

3109 Sacramento Street
San Francisco, CA 94115

Member, American Society of Consulting Arborists
Certified Arborists, Certified Tree Risk Assessors



cell/voicemail 415.606.3610 office 415.921.3610 fax 415.921.7711 email Roy@treemanagementexperts.com

Tree Management Experts

Consulting Arborists

3109 Sacramento Street
San Francisco, CA 94115

Member, American Society of Consulting Arborists
Certified Arborists, Certified Tree Risk Assessors



cell/voicemail 415.606.3610 office 415.921.3610 fax 415.921.7711 email Roy@treemanagementexperts.com

Assumptions and Limiting Conditions

1. Any legal description provided to the consultant is assumed to be correct. Title and ownership of all property considered are assumed to be good and marketable. No responsibility is assumed for matters legal in character. Any and all property is appraised or evaluated as though free and clear, under responsible ownership and competent management.
2. It is assumed that any property is not in violation of any applicable codes, ordinances, statutes or other governmental regulations.
3. Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible. The consultant can neither guarantee nor be responsible for the accuracy of information provided by others.
4. Various diagrams, sketches and photographs in this report are intended as visual aids and are not to scale, unless specifically stated as such on the drawing. These communication tools in no way substitute for nor should be construed as surveys, architectural or engineering drawings.
5. Loss or alteration of any part of this report invalidates the entire report.
6. Possession of this report or a copy thereof does not imply right of publication or use for any purpose by any other than the person to whom it is addressed, without the prior written or verbal consent of the consultant.
7. This report is confidential and to be distributed only to the individual or entity to whom it is addressed. Any or all of the contents of this report may be conveyed to another party only with the express prior written or verbal consent of the consultant. Such limitations apply to the original report, a copy, facsimile, scanned image or digital version thereof.
8. This report represents the opinion of the consultant. In no way is the consultant's fee contingent upon a stipulated result, the occurrence of a subsequent event, nor upon any finding to be reported.
9. The consultant shall not be required to give testimony or to attend court by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services as described in the fee schedule, an agreement or a contract.
10. Information contained in this report reflects observations made only to those items described and only reflects the condition of those items at the time of the site visit. Furthermore, the inspection is limited to visual examination of items and elements at the site, unless expressly stated otherwise. There is no expressed or implied warranty or guarantee that problems or deficiencies of the plants or property inspected may not arise in the future.

Disclosure Statement

Arborists are tree specialists who use their education, knowledge, training, and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of the arborist, or to seek additional advice.

Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that fail in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like any medicine, cannot be guaranteed.

Tree Management Experts

Consulting Arborists

3109 Sacramento Street
San Francisco, CA 94115

Member, American Society of Consulting Arborists
Certified Arborists, Certified Tree Risk Assessors



cell/voicemail 415.606.3610 office 415.921.3610 fax 415.921.7711 email Roy@treemanagementexperts.com

Treatment, pruning, and removal of trees may involve considerations beyond the scope of the arborist's services such as property boundaries, property ownership, site lines, disputes between neighbors, and other issues. An arborist cannot take such considerations into account unless complete and accurate information is disclosed to the arborist. An arborist should then be expected to reasonably rely upon the completeness and accuracy of the information provided.

Trees can be managed, but they cannot be controlled. To live near trees is to accept some degree of risk. The only way to eliminate all risk associated with trees is to eliminate the trees.

Certification of Performance

I, Aaron Wang, Certify:

- That we have inspected the trees and/or property evaluated in this report. We have stated findings accurately, insofar as the limitations of the Assignment and within the extent and context identified by this report;
- That we have no current or prospective interest in the vegetation or any real estate that is the subject of this report, and have no personal interest or bias with respect to the parties involved;
- That the analysis, opinions and conclusions stated herein are original and are based on current scientific procedures and facts and according to commonly accepted arboricultural practices;
- That no significant professional assistance was provided, except as indicated by the inclusion of another professional report within this report;
- That compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party.

I am a member and Certified Arborist with the International Society of Arboriculture.

I have attained professional training in all areas of knowledge asserted through this report by completion of a Bachelor of Science degree in Forestry and Natural Resources, by routinely attending pertinent professional conferences and by reading current research from professional journals, books and other media.

I have rendered professional services in a full time capacity in the field of horticulture and arboriculture for more than 5 years.

Signed: _____

Date: 1/11/19

Tree Management Experts

Consulting Arborists

3109 Sacramento Street
San Francisco, CA 94115

Member, American Society of Consulting Arborists
Certified Arborists, Certified Tree Risk Assessors



cell/voicemail 415.606.3610 office 415.921.3610 fax 415.921.7711 email Roy@treemanagementexperts.com

Certification of Performance

I, Roy C. Leggitt, III, Certify:

- That we have inspected the trees and/or property evaluated in this report. We have stated findings accurately, insofar as the limitations of the Assignment and within the extent and context identified by this report;
- That we have no current or prospective interest in the vegetation or any real estate that is the subject of this report, and have no personal interest or bias with respect to the parties involved;
- That the analysis, opinions and conclusions stated herein are original and are based on current scientific procedures and facts and according to commonly accepted arboricultural practices;
- That no significant professional assistance was provided, except as indicated by the inclusion of another professional report within this report;
- That compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party.

I am a member in good standing of the American Society of Consulting Arborists and a member and Certified Arborist with the International Society of Arboriculture.

I have attained professional training in all areas of knowledge asserted through this report by completion of a Bachelor of Science degree in Plant Science, by routinely attending pertinent professional conferences and by reading current research from professional journals, books and other media.

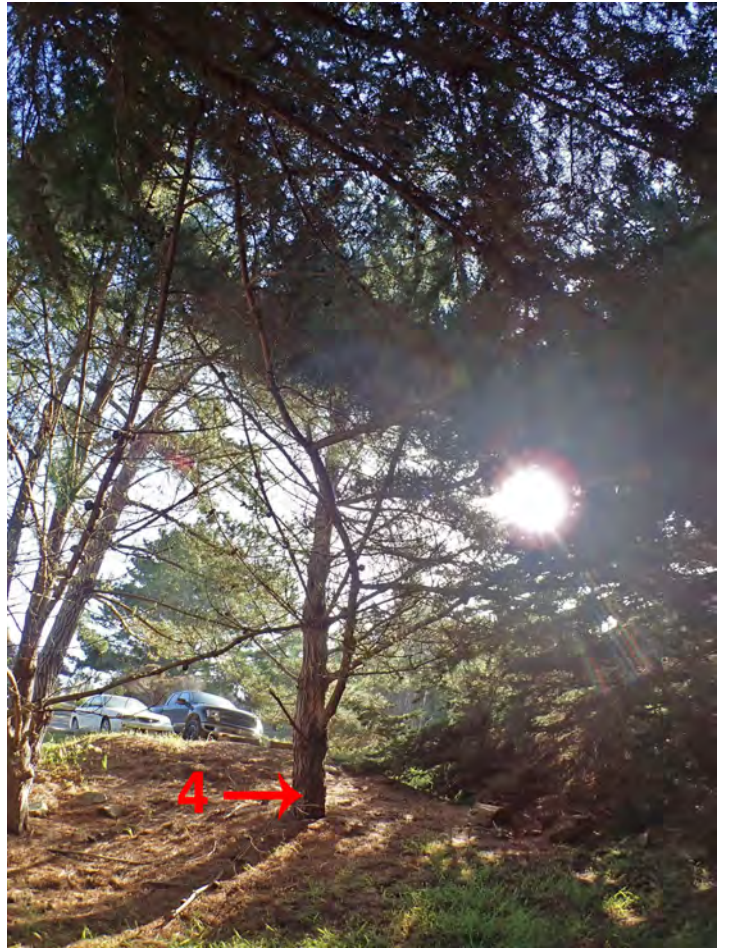
I have rendered professional services in a full-time capacity in the field of horticulture and arboriculture for more than 30 years.

Roy C. Leggitt, III
Signed: _____

Date: 1/11/19

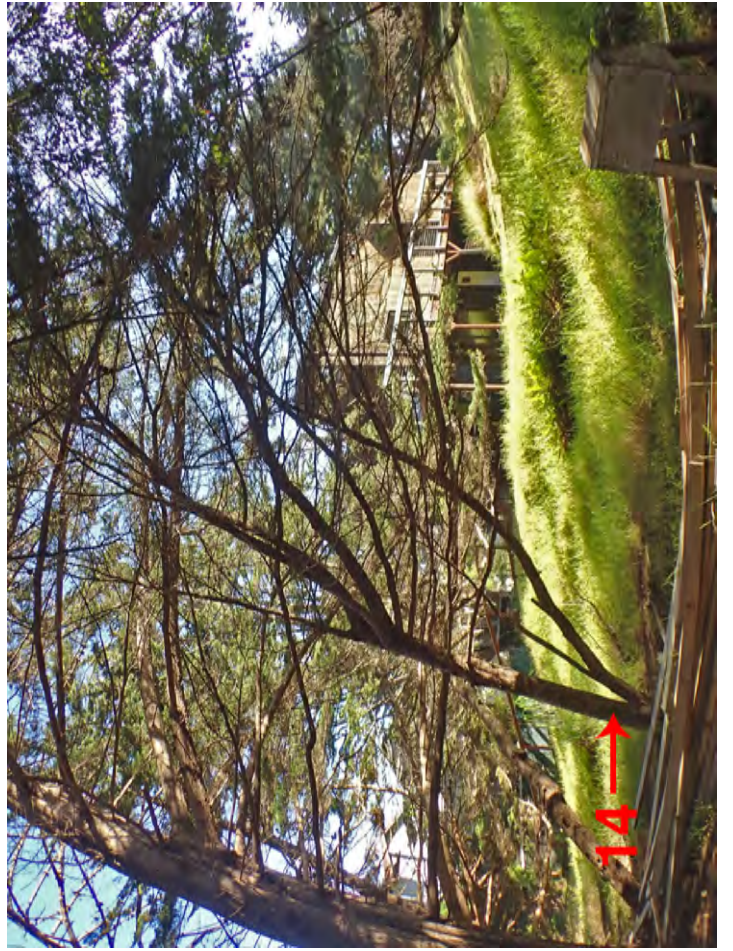
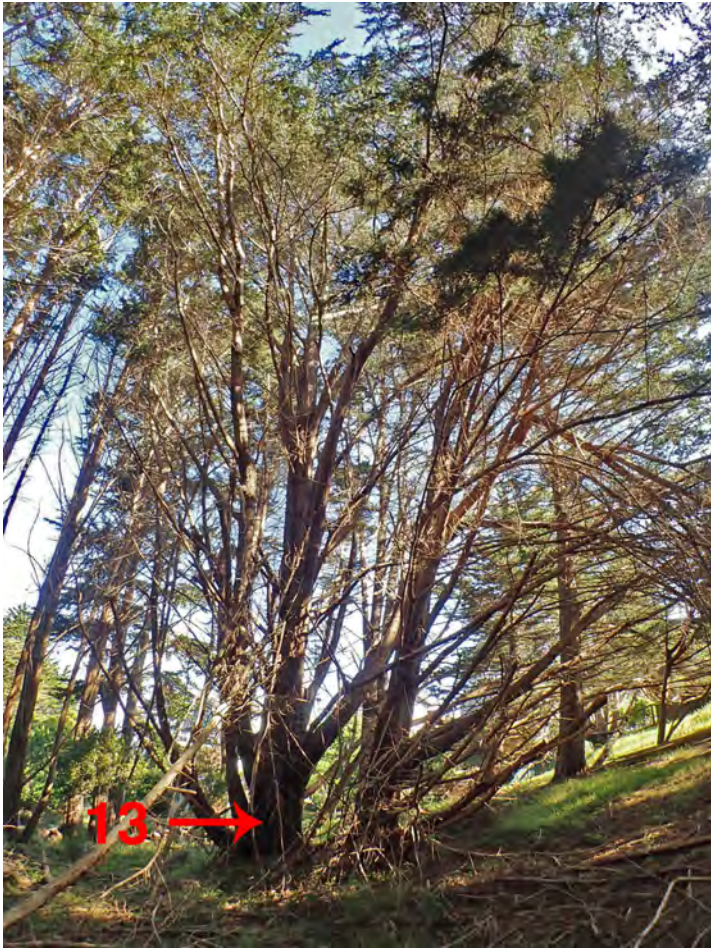
1900 East Ave.
Tree Data Sheet

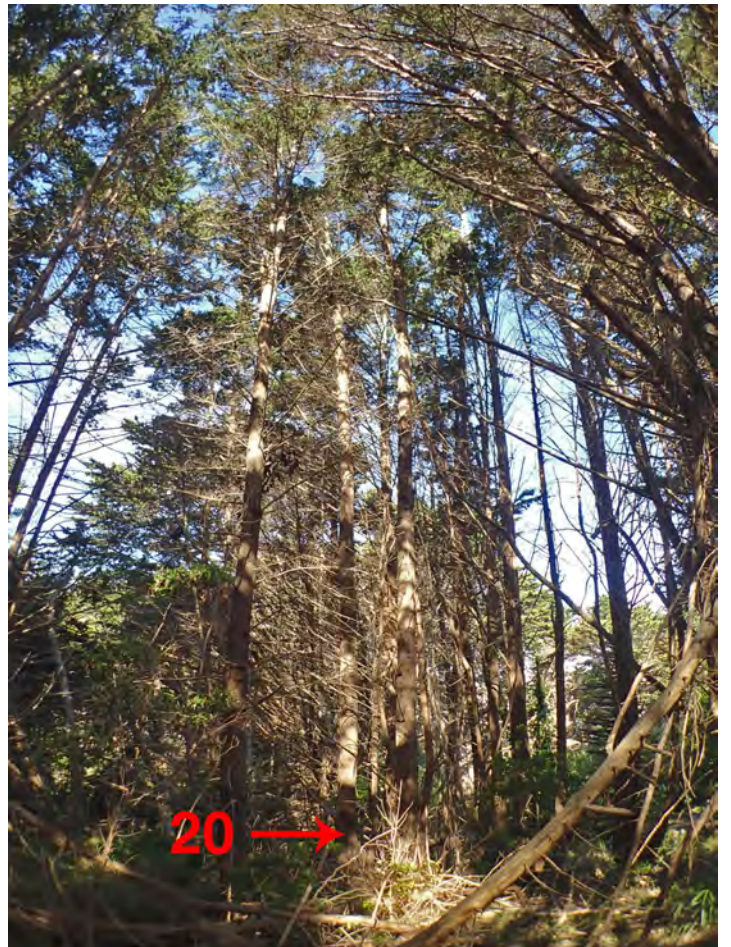
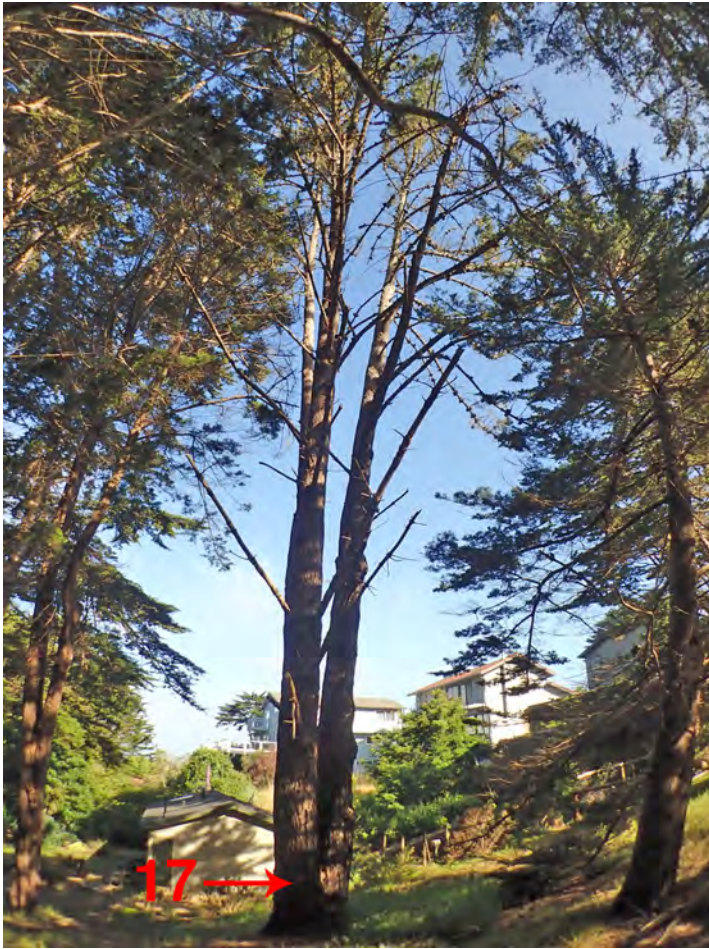
Tree #	Species Name	Common Name	Diameter (in)	Height (ft)	Spread (ft)	Health	Remove	Reason for Removal					Notes
								Road Layout	Building Footprint	Poor Health	Exposed Edge Tree	Hazard Tree	
1	<i>Pinus radiata</i>	Monterey Pine	19.6	50	20	Good							
2	<i>Pinus radiata</i>	Monterey Pine	17.8	50	20	Good							
3	<i>Pinus radiata</i>	Monterey Pine	10.9,13.0	40	20	Good							Elevate for Clearance
4	<i>Pinus radiata</i>	Monterey Pine	16.6	40	30	Good							
5	<i>Hesperocyparis macrocarpa</i>	Monterey Cypress	40.9	70	60	Good							Elevate for Clearance
6	<i>Pinus radiata</i>	Monterey Pine	29.8	60	50	Fair	X	X		X			Pine Pitch Canker
7	<i>Hesperocyparis macrocarpa</i>	Monterey Cypress	13.6	60	20	Fair							Low LCR
8	<i>Pinus radiata</i>	Monterey Pine	23.2	60	20	Fair							Low LCR
9	<i>Hesperocyparis macrocarpa</i>	Monterey Cypress	40e	70	50	Fair	X	X				X	Low LCR
10	<i>Hesperocyparis macrocarpa</i>	Monterey Cypress	26.2	70	50	Fair	X						Low LCR
11	<i>Hesperocyparis macrocarpa</i>	Monterey Cypress	33.8	70	50	Fair							Low LCR
12	<i>Hesperocyparis macrocarpa</i>	Monterey Cypress	27.1	50	40	Fair	X		X				
13	<i>Hesperocyparis macrocarpa</i>	Monterey Cypress	51.1	70	40	Fair	X		X				
14	<i>Hesperocyparis macrocarpa</i>	Monterey Cypress	5.6, 9.0	30	20	Poor	X		X	X			
15	<i>Hesperocyparis macrocarpa</i>	Monterey Cypress	9.2,36.6	70	40	Fair	X		X				
16	<i>Hesperocyparis macrocarpa</i>	Monterey Cypress	21.0	50	40	Good	X		X				
17	<i>Pinus radiata</i>	Monterey Pine	27.2, 29.1	70	40	Fair							Dead Wood Prune
18	<i>Hesperocyparis macrocarpa</i>	Monterey Cypress	28.5	60	30	Poor	X			X		X	Low LCR
19	<i>Hesperocyparis macrocarpa</i>	Monterey Cypress	20.0	70	20	Poor	X				X		
20	<i>Hesperocyparis macrocarpa</i>	Monterey Cypress	20.2, 21.5	70	30	Dead	X			X	X	X	
21	<i>Hesperocyparis macrocarpa</i>	Monterey Cypress	9.6, 24.2	70	20	Poor	X			X	X		
22	<i>Hesperocyparis macrocarpa</i>	Monterey Cypress	20.4	70	20	Poor	X			X	X		
23	<i>Hesperocyparis macrocarpa</i>	Monterey Cypress	13.0	60	20	Poor	X			X	X		
24	<i>Hesperocyparis macrocarpa</i>	Monterey Cypress	15.0	60	20	Dead	X			X	X	X	
25	<i>Hesperocyparis macrocarpa</i>	Monterey Cypress	13.7	60	20	Dead	X			X	X	X	
26	<i>Hesperocyparis macrocarpa</i>	Monterey Cypress	28.0	70	40	Fair	X			X		X	
27	<i>Hesperocyparis macrocarpa</i>	Monterey Cypress	38.9	70	40	Fair							
28	<i>Hesperocyparis macrocarpa</i>	Monterey Cypress	36.3	70	40	Fair	X			X		X	

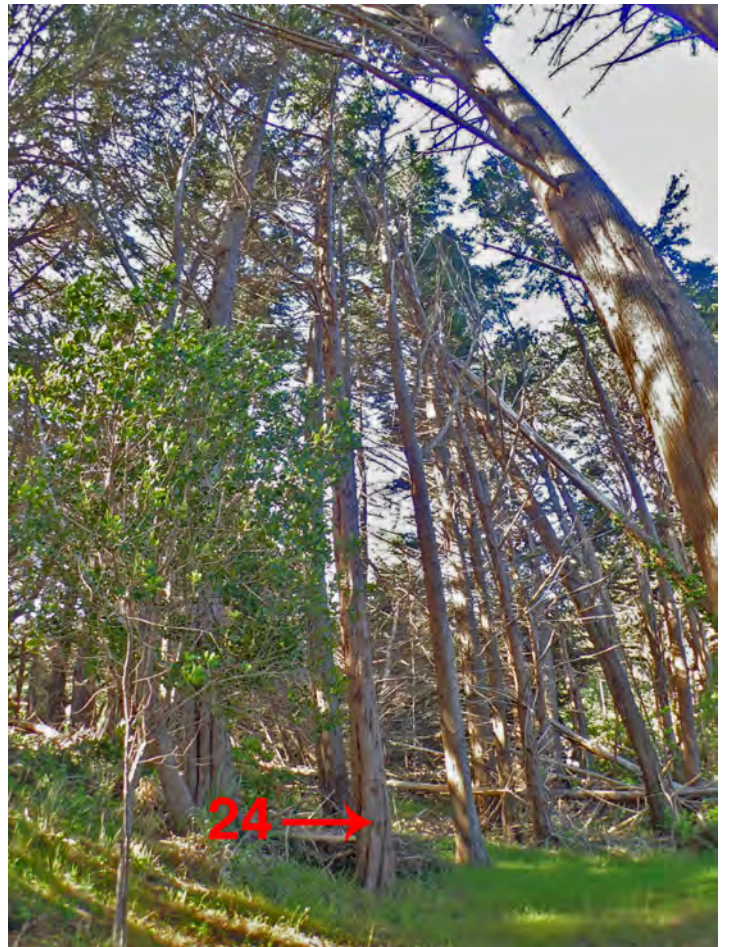


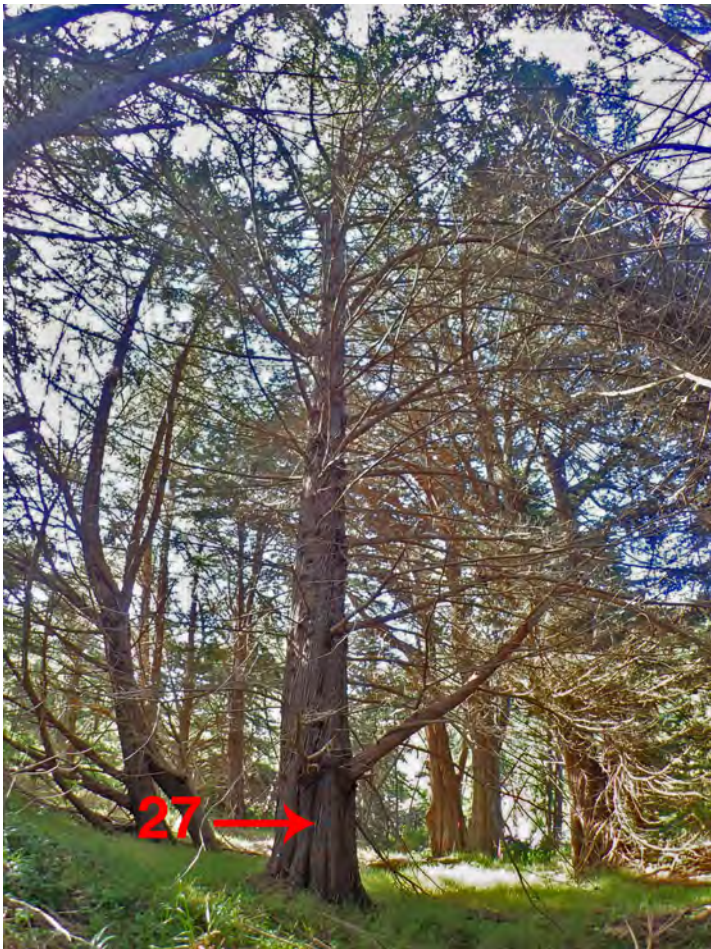
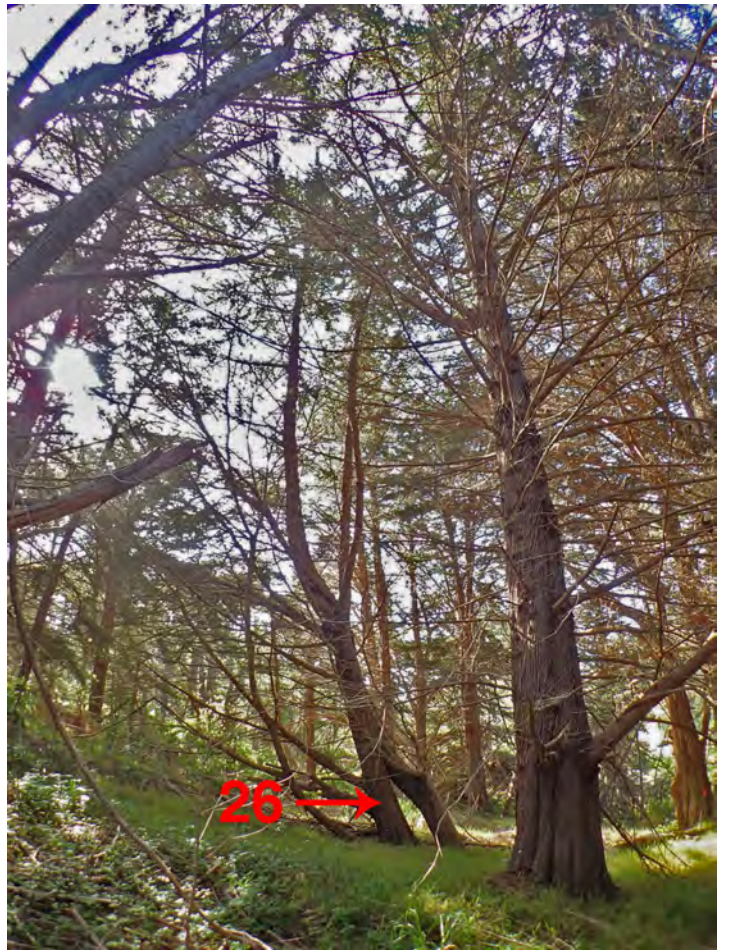
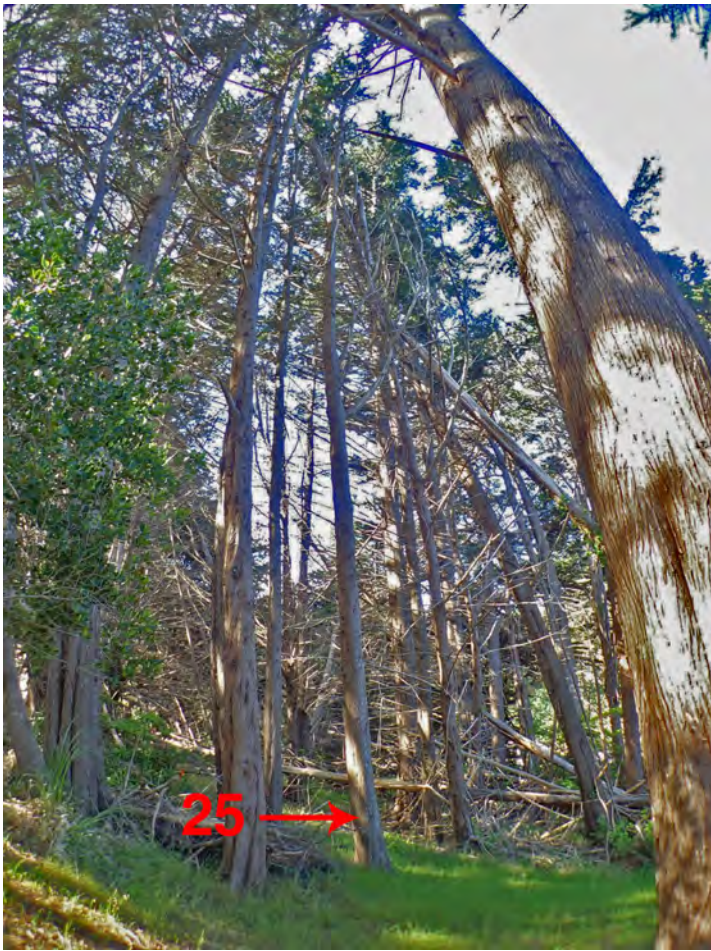












Camille Leung

From: Daniel Krug
Sent: Thursday, January 3, 2019 11:34 AM
To: Camille Leung
Subject: Re: 1900 East PLN2014-00490

Hi Camille,

I came down stairs yesterday to discuss but I guess you were out. Sorry to have missed you.

You're correct. The additional step of Geo-grid would be an additional mitigation measure which may go above and beyond for the scope of the project. I tossed that in as an possibility since the MCC is requiring this tree to remain on site and it's installation should further minimize unnecessary root cutting and compaction.

Thanks!

From: Camille Leung
Sent: Thursday, January 3, 2019 11:09:32 AM
To: Daniel Krug
Subject: RE: 1900 East PLN2014-00490

Hi Dan,

Ok, so just confirming, County recommends keeping the proposed road location (see attached). I will add your suggestion re: using a pneumatic air-tool to excavate the soil beneath the Cypress' dripline as a Mitigation Measure in the Neg Dec.

Did I get this right?

Thanks!

From: Daniel Krug
Sent: Wednesday, January 02, 2019 9:31 AM
To: Camille Leung <cleung@smcgov.org>
Subject: RE: 1900 East PLN2014-00490

I agree with some of the comments in the email chain below. Pushing the drive further from the tree will impact the water absorbing roots significantly more than the existing location. While minimal grading is ideal, compaction of the road surface and subgrade will also have a negative impact to the tree. Root compaction will occur within the dripline during construction of the driveway, regardless of the depth of grading, compaction within this area will have impact to the tree, only time will tell what the level of impact will be.

There are really two things at play here:

- 1) impact to canopy by pruning; we've already established that a number of low limbs (some of larger diameter) will need to be removed to accommodate the installed road and the necessary construction equipment/trucks etc.
- 2) the road grading and impact under the trees dripline.

In an effort to minimize impact during the 6" grading cut has any thought been put into using a pneumatic air-tool to excavate the soil beneath the Cypress' dripline? This could work to minimize unnecessary root cutting and allow the arborist to better qualify which roots could reasonably be cut to truly minimize impact to the tree. Furthermore, installation of geo-grid or other structural geotextile fabrics could be utilized to minimize excavation and preserve the trees root. Since the plans are preliminary this could be perceived as a reasonable effort to preserve the tree as requested by the MCC.

Dan Krug

County Arborist

San Mateo County Parks Department

ISA Certified Arborist IL-4996A

ISA Tree Risk Assessment Qualified

[\(650\) 599-1371](tel:6505991371) Direct Line

www.smcoparks.org

From: Camille Leung
Sent: Wednesday, December 26, 2018 11:04 AM
To: Daniel Krug <dkrug@smcgov.org>
Subject: FW: 1900 East PLN2014-00490

What do you think? Lets review when you get back 😊

From: Roy Leggitt [<mailto:roy@treemanagementexperts.com>]
Sent: Friday, December 21, 2018 9:37 AM
To: Camille Leung <cleung@smcgov.org>
Cc: Sigma Prime Geosciences, Inc. <sigmaprm@gmail.com>; Paul McGregor <macky8@dslextreme.com>; Daniel Krug <dkrug@smcgov.org>
Subject: Re: 1900 East PLN2014-00490

Hi Camille,

I think that Charles has the best design as is. The percentage encroachment within the dripline is not really the point, but instead its about the percentage of root loss, both structural roots and water absorbing roots.

If the road were moved further from the trunk of the tree then it would require more grading with both deeper cuts and fills, and with a much larger percentage of water absorbing roots impacted. Moving the road away from the trunk would basically place all the impacts right on the dripline and would eliminate most if not all of the water absorbing roots on that side of the tree. This is due to the placement of the road, but also due to the increased cut and fill that extends beyond the road.

Leaving the road where currently designed will keep the width of the road and the depth of disturbance to a minimum. The structural roots will be present in either scenario, and this area will need to be carefully graded under our direction. If we encounter a structural root that needs to be worked around, the base rock can be modified to preserve it. I doubt that we will need to do that given the minimal 6-inch cut.

The best approach is to reduce root disturbance, and minimizing grading is the way to achieve that in this case.

Regards, Roy

Roy Leggitt
Cell 415.606.3610
roy@treemanagementexperts.com

Tree Management Experts

3109 Sacramento Street, San Francisco, CA 94115
Consulting Arborists, Certified Arborists, Qualified Tree Risk Assessors
Contractor's License #885953 C61/D49 Tree Service
www.treemanagementexperts.blogspot.com

On Dec 19, 2018, at 3:20 PM, Camille Leung <cleung@smcgov.org> wrote:

Dan or Roy can confirm the actual percentage, but if there is encroachment into the dripline of some percentage (10%??) that is considered acceptable.

From: Sigma Prime Geosciences, Inc. [<mailto:sigmaprm@gmail.com>]
Sent: Wednesday, December 19, 2018 3:03 PM
To: Camille Leung <cleung@smcgov.org>
Cc: Paul McGregor <macky8@dslextreme.com>
Subject: RE: 1900 East PLN2014-00490

So does the road have to be completely outside the drip line? If so, we can likely get it to work with less than 250 CY of earthwork.

Charles Kissick
Sigma Prime Geosciences, Inc.
332 Princeton Avenue
Half Moon Bay, CA 94019
650-728-3590

From: [Camille Leung](#)
Sent: Wednesday, December 19, 2018 2:54 PM
To: [Sigma Prime Geosciences, Inc.](#)
Cc: [Paul McGregor](#)
Subject: RE: 1900 East PLN2014-00490

Hi Charlie,

How much more grading would be needed to move the road away from the 40" Tree? If under 250 cy, I would still move it. I will also likely require it as a mitigation if its not proposed by the applicant. The MCC recommended this to save the 40" tree. I would take this into consideration as Lisa Ketcham is now on the PC.

As stated in my previous emails, the other trees on the other side of the road can be removed in order to save this one.

Also, you had indicated that these plans are preliminary and you were going to prepare "proper plans" (see email at the end of this chain). I was asking about the status of those....

Thanks

From: Sigma Prime Geosciences, Inc. [<mailto:sigmaprm@gmail.com>]
Sent: Wednesday, December 19, 2018 2:10 PM
To: Camille Leung <cleung@smcgov.org>
Cc: Paul Mcgregor <macky8@dslextreme.com>
Subject: RE: 1900 East PLN2014-00490

Hello Camille,

As described in an earlier email by the arborist, Roy Leggitt, he thinks that the road alignment should stay as-is. It minimizes grading, which is currently at 65 CY cut+fill. Also, it preserves the four pine trees on the other side of the road. Moving the road away from the big tree would require removal of the four trees and increase grading. And Mr. Leggit does not foresee any potential harm to the big tree, as the grading will be very shallow. It will only require removal of the upper 6 inches of organic-rich soil and placement of base rock.

Charles Kissick
Sigma Prime Geosciences, Inc.
332 Princeton Avenue
Half Moon Bay, CA 94019
650-728-3590

From: [Camille Leung](#)
Sent: Wednesday, December 19, 2018 10:10 AM
To: [Sigma Prime Geosciences, Inc.](#)
Cc: [Paul Mcgregor](#)
Subject: RE: 1900 East PLN2014-00490

Hi Charlie,

What is the timeframe for the revise civil plans? I cannot finish the Neg Dec or take this to Design Review without those plans. Please see what you can do to give Tree 5 more room and to keep grading at less than 250 cy.

Thanks

From: Camille Leung
Sent: Friday, November 30, 2018 10:23 AM
To: 'Sigma Prime Geosciences, Inc.' <sigmaprm@gmail.com>; Diana Shu <dshu@smcgov.org>
Cc: Paul Mcgregor <macky8@dslextreme.com>
Subject: RE: 1900 East PLN2014-00490

Hi Charlie,

I will wait for revised civil plans to be resubmitted. Please see what you can do to give Tree 5 more room and to keep grading at less than 250 cy.

Thanks

From: Sigma Prime Geosciences, Inc. [<mailto:sigmaprm@gmail.com>]
Sent: Friday, November 30, 2018 9:04 AM
To: Diana Shu <dshu@smcgov.org>; Camille Leung <cleung@smcgov.org>
Subject: RE: 1900 East PLN2014-00490

Hello Diana,

I had prepared these plans a long time ago to give Mr. McGregor an idea of what the road would look like, and to bring in for a pre-submittal meeting. It wasn't meant for an official submittal. I'll talk to Mr. McGregor about this and prepare proper plans.

Charles Kissick
Sigma Prime Geosciences, Inc.
332 Princeton Avenue
Half Moon Bay, CA 94019
650-728-3590

From: [Diana Shu](#)
Sent: Thursday, November 29, 2018 5:12 PM
To: [Sigma Prime Geosciences, Inc.](#); [Camille Leung](#)
Subject: 1900 East PLN2014-00490

Camille

Please find our civil comments for just the road portion of this project.

Revise and resubmit.

Thanks
Diana

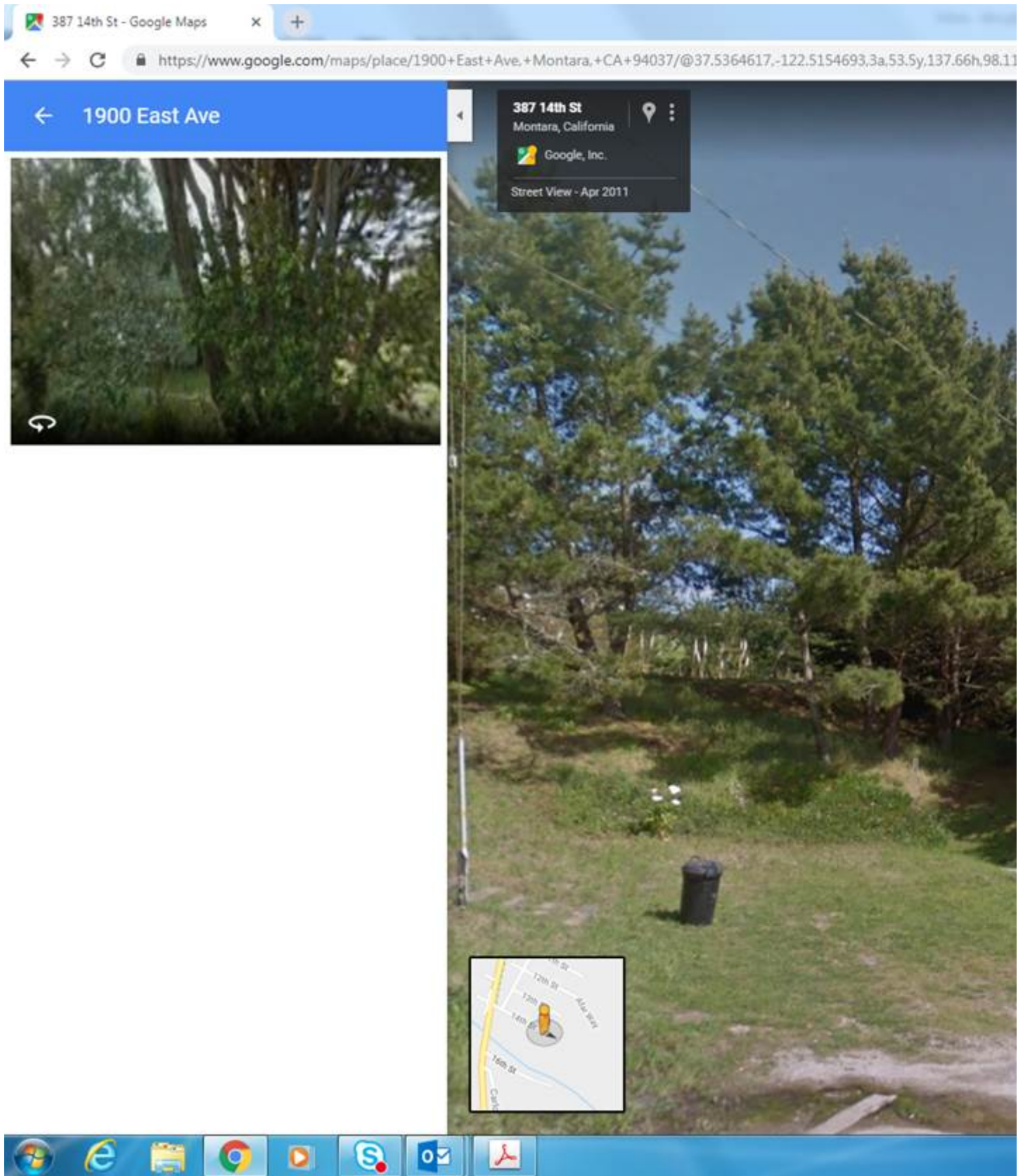
Camille Leung

From: Daniel Krug
Sent: Monday, December 3, 2018 11:51 AM
To: Camille Leung
Subject: RE: 1900 East Ave, Montara

Hi Camile,

Another thing which needs to be considered for the large 40" Cypress (Tree 5) is impact by pruning (to allow access) for ingress/egress. To provide adequate clearance over the proposed driveway a low large lateral limb will need to be removed. Vertical clearance over the driveway to provide truck access during construction will likely require a minimum vertical clearance of 15'. Not sure exactly how high that is off the ground according to this street view image, however, this was from 2011! The image in the Leggit report is distorted and appears to show multiple large diameter limbs which will require removal.

Thanks!



From: Camille Leung

Sent: Thursday, November 29, 2018 11:23 AM

To: Sigma Prime Geosciences, Inc. <sigmaprm@gmail.com>; Roy Leggitt <roy@treemanagementexperts.com>

Cc: Paul McGregor <macky8@dslextreme.com>; Daniel Krug <dkrug@smcgov.org>; Dana Riggs

<driggs@solecology.com>

Subject: RE: 1900 East Ave, Montara

[Here you go](#)

From: Sigma Prime Geosciences, Inc. [<mailto:sigmaprm@gmail.com>]

Sent: Thursday, November 29, 2018 11:21 AM

To: Camille Leung <cleung@smcgov.org>; Roy Leggitt <roy@treemanagementexperts.com>

Cc: Paul McGregor <macky8@dslextreme.com>; Daniel Krug <dkrug@smcgov.org>; Dana Riggs <driggs@solecology.com>

Subject: RE: 1900 East Ave, Montara

Could someone please send me Roy's plan? Thank you. Does it show drip lines?

Charles Kissick

Sigma Prime Geosciences, Inc.

332 Princeton Avenue

Half Moon Bay, CA 94019

650-728-3590

From: [Camille Leung](#)

Sent: Tuesday, November 27, 2018 5:47 PM

To: [Roy Leggitt](#); [Sigma Prime Geosciences, Inc.](#)

Cc: [Paul McGregor](#); [Daniel Krug](#); [Dana Riggs](#)

Subject: RE: 1900 East Ave, Montara

Hi Roy and Sigma Prime,

A few questions for you:

1. Roy - Tree #10 is not marked for removal on the map but is shown in the table as to be removed. Please clarify.
2. Roy and Sigma - The MidCoast Community Council has suggested that the curve of the driveway at 14th/East Avenue be widened to avoid intruding in the drip line canopy of the large 40" Cypress tree (shown as 36" in civil plans). Smaller trees are located to the north of driveway perhaps can accommodate greater canopy intrusion in order to save/better protect this tree?
3. Roy - Please clarify the diameter of Tree #9 as shown in the table.
4. Sigma – For purposes of the Neg Dec, can you synch the tree dimensions provided on your plans with those Roy has provided. This would avoid a lot of confusion.

Thanks

From: Roy Leggitt [<mailto:roy@treemanagementexperts.com>]

Sent: Sunday, October 21, 2018 10:53 PM

To: Camille Leung <cleung@smcgov.org>

Cc: Paul McGregor <macky8@dslextreme.com>; Daniel Krug <dkrug@smcgov.org>; Dana Riggs <driggs@solecology.com>

Subject: Re: 1900 East Ave, Montara

Hi All,

Please find our revised Arborist Report attached.

Regards, Roy

Roy Leggitt
Cell 415.606.3610
roy@treemanagementexperts.com

Tree Management Experts

3109 Sacramento Street, San Francisco, CA 94115
Consulting Arborists, Certified Arborists, Qualified Tree Risk Assessors
Contractor's License #885953 C61/D49 Tree Service
www.treemanagementexperts.blogspot.com

On Oct 11, 2018, at 1:59 PM, Camille Leung <cleung@smcgov.org> wrote:

Hi Paul,

Sorry for the delay. Items A and B need to be addressed, prior to preparation of a Mitigated Neg Dec for the project:

A. Dan (County Arborist) and I reviewed the Arborist Report dated 6/8/18. Here are our comments:

1. Item #3 from 4/2/18 comments (see below) has not been addressed.
2. On table, show Tree #26 as to be removed.
3. On map, show Tree #28 with an "x", as it is shown as to be removed on the table.

B. Due to the amount of time that has gone by since the Biologist, Dana Riggs, last looked at this (Bio Report is dated 12/13/17), please have her assess whether site conditions have changed significantly.

Based on the bio report provided, the current description of the project is:

Coastside Design Review & CDX for new 3,152 sq/ft residence (includes 625 s/f garage & 60 s/f covered porch) on a 6,000 s/f legal parcel; includes grading of 65 cy for both house and road/driveway and removal of 17 trees. Project requires a Mitigated Negative Declaration due to the potential presence of the CA Red Legged Frog on the property. Project is not appealable to the CCC.

No CDP or grading permit is required. Please submit a revised Arborist Report and Bio Letter. Once these are done, I can start on the Mitigated Negative Declaration.

Thanks!

Camille Leung, Senior Planner
Planning & Building Department
San Mateo County
455 County Center, 2nd Floor
Redwood City, CA 94063
Phone - 650-363-1826
Fax – 650-363-4849

4/2/18 CML - Met with Dan K. and applicant to review what we need from the Project Arborist:

1. Provide photos of trees being evaluated. Identify trees in each picture.
2. Add 3 trees to arborist report (60", 30", and 36" Cypress in the right-of-way)
3. Add discussion of impact to trees from proposed drainage features and associated grading in driplines.
4. Show trees to be removed with an "X" on the plan.
5. Recommendation: Tag all trees to be preserved

-----Original Message-----

From: Paul McGregor [<mailto:macky8@dslextreme.com>]
Sent: Thursday, October 04, 2018 4:28 PM
To: Camille Leung <cleung@smcgov.org>
Subject: Re: GP Amendment - PLN2018-00036

Good afternoon Camille, I'm writing about East Street in monter, I was in over a month and a half ago and you said you would have the review done on the arborist report into weeks I'm still waiting for a response can you let me know what the update is please. Thank you sincerely Paul W McGregor

----- Original Message -----

From: Camille Leung <cleung@smcgov.org>
To: macky8@dslextreme.com
Cc: Dennis Aguirre <daguirre@smcgov.org>
Sent: Tue, 21 Aug 2018 14:55:34 -0400 (EDT)
Subject: GP Amendment - PLN2018-00036

Hi Paul,

Per our discussion, I added this note. I revised my time estimate to 8 months as that is what is realistic for 2 hearings.

8/21/18 CML - Spoke with Steve M. and relayed info to Paul over email and phone regarding fees. Per Steve, we will process this on a time and material basis using Dennis' fully loaded rate. Paul will need to submit the General Plan Amendment form with fees (deposit of \$5000). We will let him know if we need additional funds. I estimated an 8 months (approximate time) process time from our receipt of the General Plan Amendment application to prepare the Neg Dec and Planning Commission and Board hearings. The Design Review process will occur afterwards (no included in minimum 8 months estimate).

See attached for the application (Check Map Amendment).

Fees due are:

\$5000- deposit for General Plan Amendment

\$250 - 5% Legal Counsel

\$1707 - Hearing level CDP (Gave you credit as we already charged you for a Staff-Level CDP for the house) TOTAL = \$6957

Camille Leung, Senior Planner
Planning & Building Department
San Mateo County
455 County Center, 2nd Floor
Redwood City, CA 94063
Phone - 650-363-1826
Fax - 650-363-4849