

NEW RESIDENCE AT 634 PALOMAR DRIVE REDWOOD CITY, CA 94062

PROJECT TEAM

OWNERS
634 PALOMAR DRIVE
REDWOOD CITY, CA 94062
CONTACT: ANUSHA THALAPANENI
DAVID JACKSON

PROJECT MANAGER
M DESIGNS ARCHITECTS
4131 W. EL CAMINO REAL, STE 200
PALO ALTO, CA 94306
CONTACT: MAURITS A.V. DE GANS
PHONE: 650.565.9036 x. 109
CELL: 650.946.6490
EMAIL: maurits@mdesignsarchitects.com

ARCHITECT
M DESIGNS ARCHITECTS
4131 W. EL CAMINO REAL, STE 200
PALO ALTO, CA 94306
CONTACT: ALPHEUS W. JESSUP
PHONE: 650.565.9036
FAX: 949.625.7869
EMAIL: ajw@mdesignsarchitects.com

SURVEYOR
GIULIANI & KULL, INC.
4880 STEVENS CREEK BLVD, STE 205
SAN JOSE, CA 95129
CONTACT: MARK HELTON
PHONE: 408.615.4000
EMAIL: mhelton@gkengineers.com

CIVIL ENGINEER
LEA & BRAZZE ENGINEERING, INC.
1723 HAMILTON AVENUE, STE 101
SAN JOSE, CA 95125
CONTACT: PETE CARLINO
PHONE: 510.887.4086 x.117
EMAIL: pcarlino@leabrazze.com

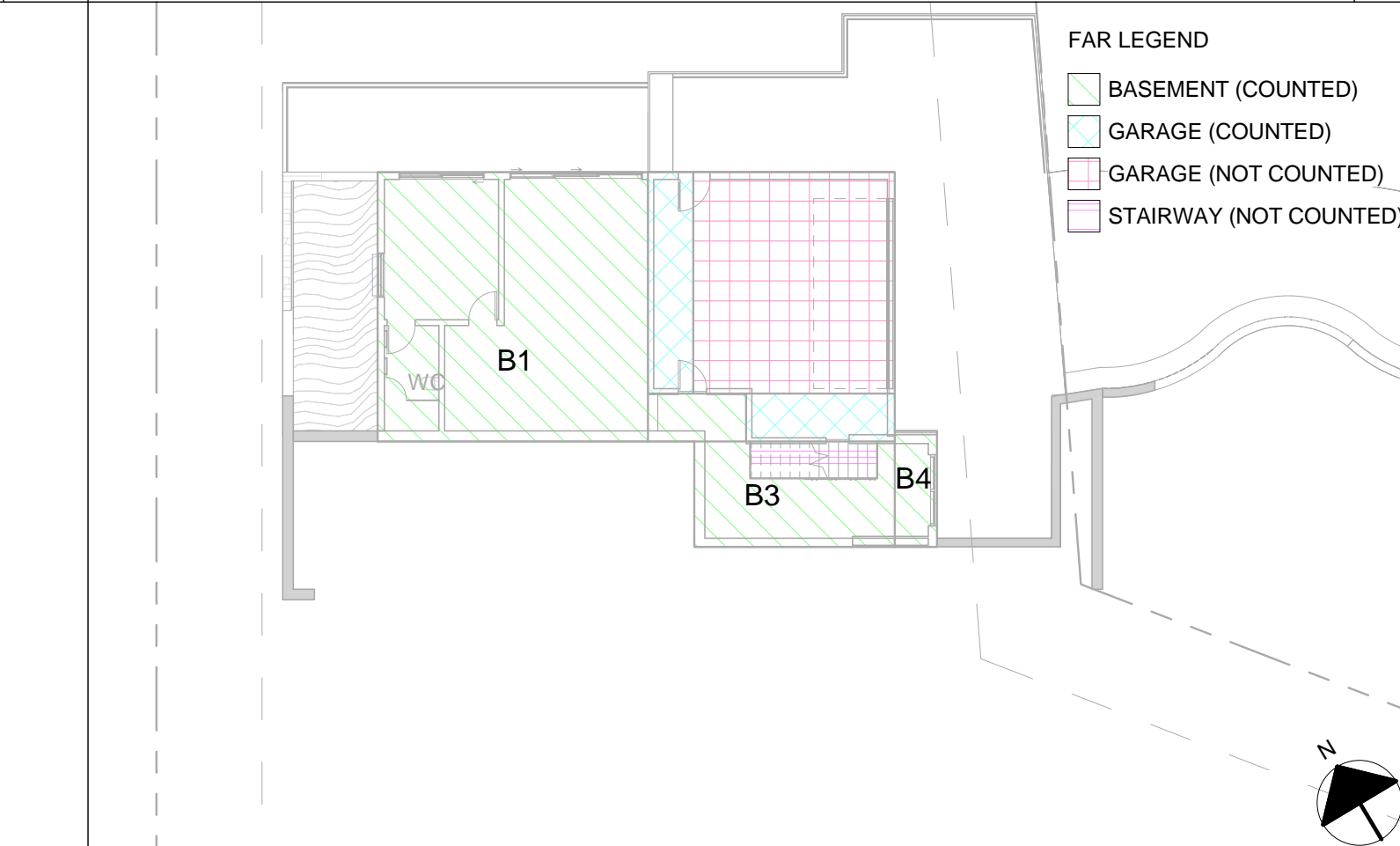
LANDSCAPE
CONTACT: YANIV SHMELZER
PHONE: 408.702.5141
EMAIL: yaniv@visiontocompletion.com

GENERAL CONTRACTOR
CONTACT: TBD
PHONE:
EMAIL:

GEOTECHNICAL SERVICE
GEOSPHERE CONSULTANTS, INC.
CONTACT: JOEL BALDWIN
PHONE: 650.557.0262
EMAIL: earthinvestigations@comcast.net

ARBORIST
TREE MANAGEMENT EXPERTS
3109 SACRAMENTO STREET
SAN FRANCISCO, CA 94115
CONTACT: ROY C. LEGGITT, III
PHONE: 415.921.3610
EMAIL: RCL3@mindspring.com

5 FAR - BASEMENT DIAGRAM (SEE A1.2)



Description
REVISION 1 12/18/2020
REVISION 3 12/20/2021

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PROJECT DATA TABLES

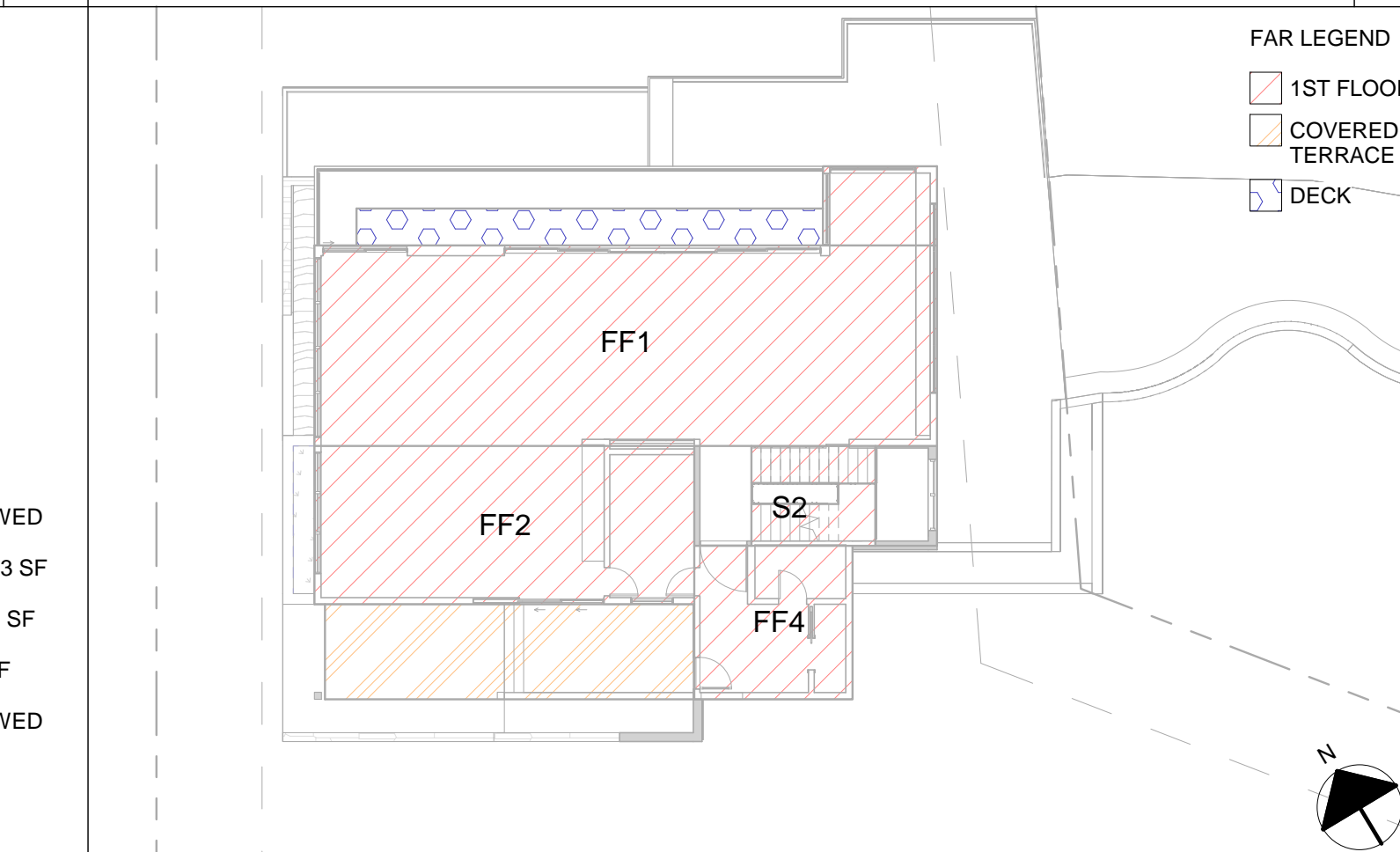
ZONING SUMMARY

ZONE: R-1,S-91 COMBINING DISTCT. DR - PALOMAR PARK
APN: 051-022-380
FLOOD ZONE: X
PUBLIC R.O.W.: NA
CONFORMITY: VACANT LOT
LOT DIMENSIONS: +/- 18,122 SF (VERIFY SURVEY)
SCOPE OF WORK: NEW RESIDENCE ON A VACANT LOT BASEMENT + TWO-STORIES AND OUTDOOR SWIMMING POOL

LOT AREA SUMMARY

| DESCRIPTION | EXISTING | PROPOSED | ALLOWED |
|----------------------|----------|------------|------------|
| FLOOR AREA RATIO | NA | 4906.00 SF | 5036.73 SF |
| LOT COVERAGE | NA | 3154.00 SF | 5436.6 SF |
| LANDSCAPE AREA | NA | ####SF | ####SF |
| FAR BREAKDOWN | EXISTING | PROPOSED | ALLOWED |
| BASEMENT | N/A | 1041.00 SF | |
| FIRST FLOOR | N/A | 2524.00 SF | |
| SECOND FLOOR | N/A | 1340.00 SF | |
| TOTAL | N/A | 5034.00 SF | 5036.73 SF |

6 FAR - 1ST FLOOR DIAGRAM (SEE A1.2)



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PARCEL MAP



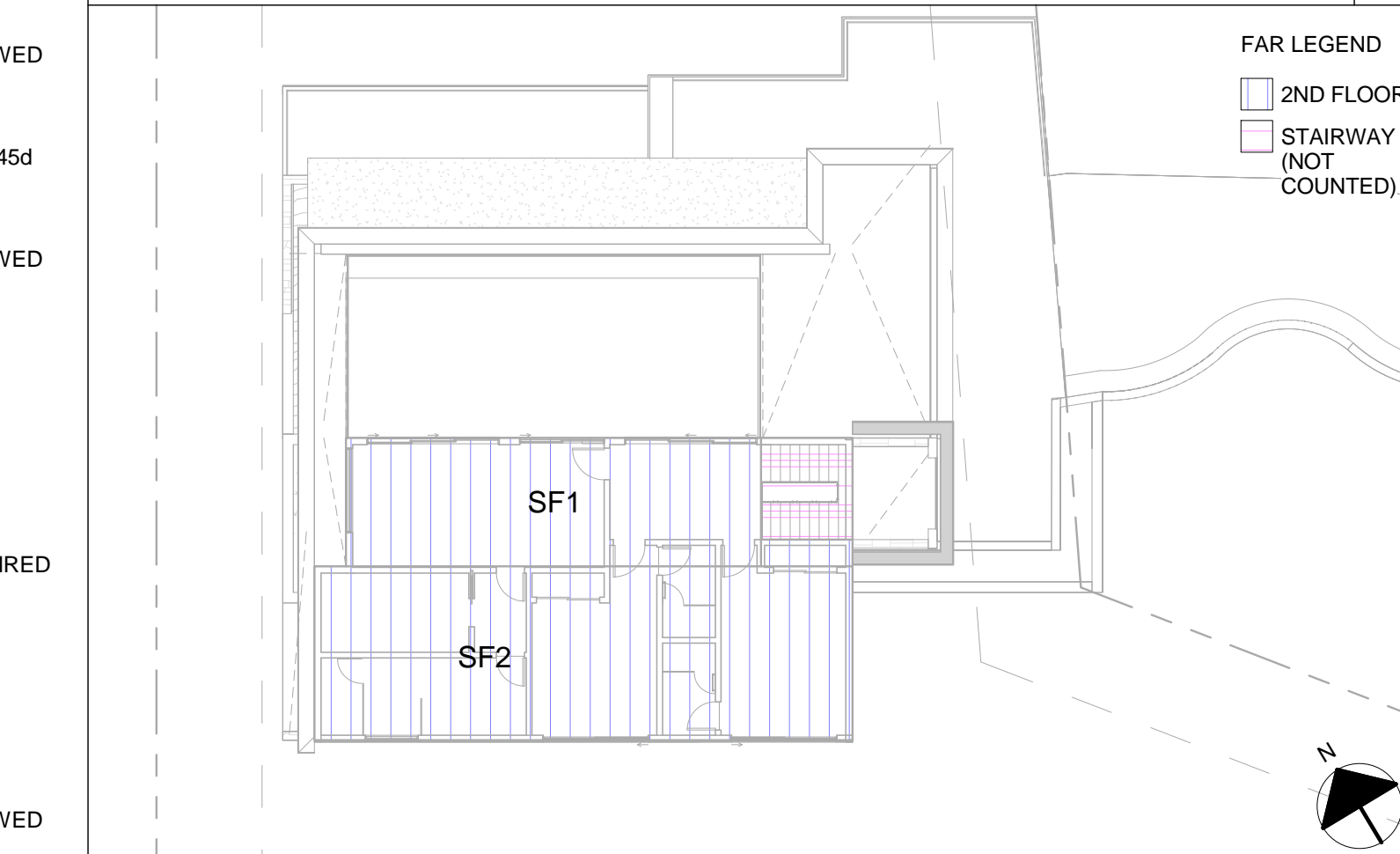
1 SHEET INDEX

| | |
|---|---------------------------------|
| IN.1 (P) ELEVATIONS- 1ST FLR - PANTRY | A6.1 (P) NORTH ELEVATIONS |
| IN.2 (P) ELEVATIONS- 1ST FLR - MUD ROOM | A6.2 (P) EAST ELEVATIONS |
| IN.3 (P) ELEVATIONS- 2ND FLR- BATH 1, 2, 3 | A6.3 (P) SOUTH ELEVATION |
| IN.4 (P) ENLARGED PLAN & ELEVATIONS - 1ST FLR - STORAGE | A6.4 (P) WEST ELEVATION |
| IN.5 (P) ENLARGED PLAN & ELEVATIONS - 1ST FLR - KITCHEN | A10.1 SPECIFICATION SHEET |
| IN.6 (P) ENLARGED PLAN & ELEVATIONS - 1ST FLR - DINING | CB.1 COLOR/MATERIAL BOARD |
| | E2.0 EXTERIOR LIGHTING |
| T0.1 TITLE SHEET | 1 TOPOGRAPHIC SURVEY |
| T0.2 EXHIBITS | BMP BEST MANAGEMENT PRACTICES |
| T1.2 (P) FLOOR AREA DIAGRAMS | C-1.0 TITLE SHEET |
| T1.3 (P) LOT COVERAGE CALCULATIONS | C-2.0 GRADING & DRAINAGE PLAN |
| T2.1 ARBORIST REPORT | C-3.0 UTILITY PLAN |
| T2.2 ARBORIST REPORT | C-4.0 DETAILS |
| | C-4.1 DETAILS |
| A1.1 (E) SITE PLAN / TREE PROTECTION MEASURES | C-5.0 GRADING SPECIFICATIONS |
| A1.2 (P) SITE PLAN | ER-1 EROSION CONTROL |
| A2.1 (P) BASE FLOOR PLAN | ER-2 EROSION CONTROL DETAILS |
| A2.2 (P) 1ST FLOOR PLAN | SS-1 SEPTIC CONSTRUCTION PLAN |
| A2.3 (P) 2ND FLOOR PLAN | SS-2 SEPTIC DETAILS |
| A4.1 (P) ROOF PLAN | SS-3 SEPTIC DETAILS |
| A5.1 (P) A-A SECTION | SS-4 SEPTIC DETAILS |
| A5.2 (P) B-B SECTION | SS-5 SEPTIC DETAILS |
| A5.3 (P) C-C SECTION | L-1 LANDSCAPE PLAN |
| | L-2 HYDROZONE PLAN |
| | L-3 LANDSCAPE PLANTING MATERIAL |

Total Sheets: 46

3

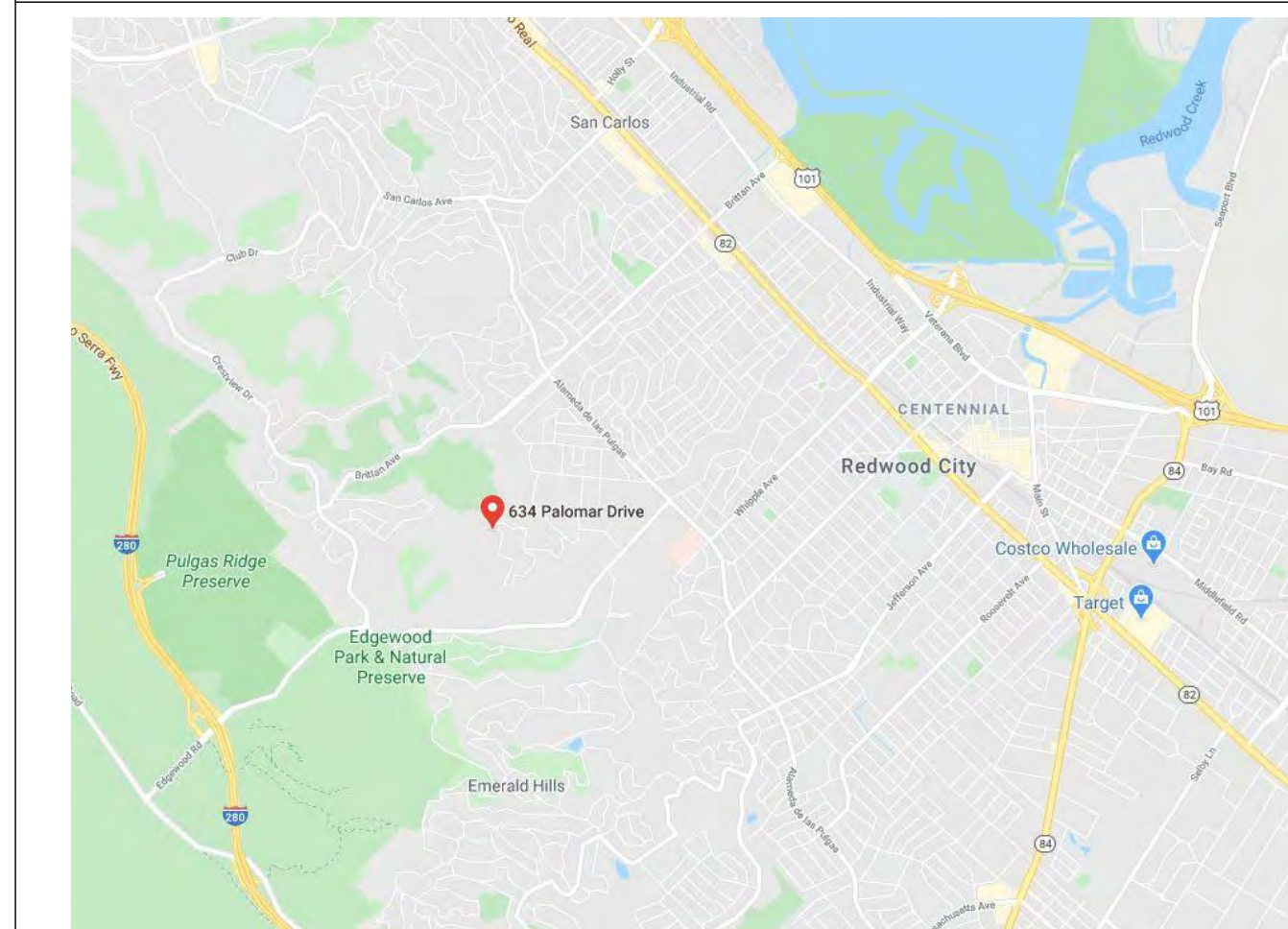
7 FAR - 2ND FLOOR DIAGRAM (SEE A1.2)



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VICINITY MAP



2 CODE COMPLIANCE

APPLICABLE CODES

- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA ENERGY CODE
- 2019 CALIFORNIA RESIDENTIAL CODE
- REDWOOD CITY MUNICIPAL CODE

CODE SUMMARY

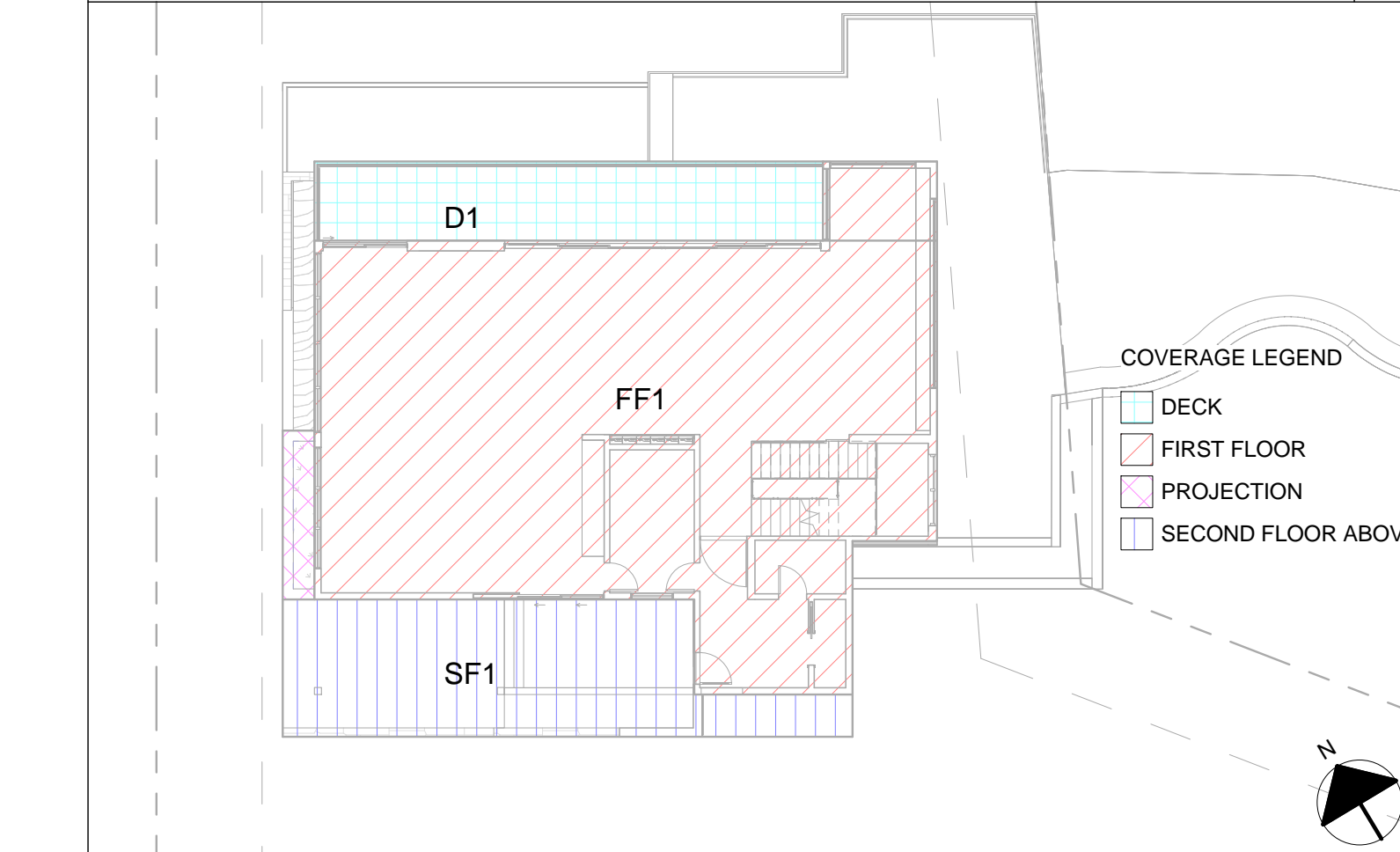
| | |
|-----------------------------|-------------|
| OCCUPANCY: | R3/U |
| OCCUPANT LOAD: | 200 GROSS |
| TYPE OF CONSTRUCTION: | V-B |
| FIRE SUPPRESSION: | SPRINKLED |
| OCCUPANCY SEPARATION: | 1-HOUR |
| HEIGHT MAXIMUM: | 28'-0" |
| ALLOWABLE FLOOR AREA RATIO: | 5,036.73 SF |
| ALLOWABLE COVERAGE: | 5,436.73 SF |

DEFERRED SUBMITTALS

- POOL
- PRE-MANUFACTURED GUARDRAILS & HANDRAILS
- PRE-MANUFACTURED STAIRWAY
- POTABLE WATER
- GAS LINE DIAGRAM
- LANDSCAPING
- FIRE SUPPRESSION SYSTEM
 - THE BUILDING SHALL BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM.
- FIRE ALARM SYSTEM

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8 LOT COVERAGE DIAGRAM (SEE A1.3)



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09/22/2022

T0.1

NEW RESIDENCE AT
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REDWOOD CITY, CA 94062

INTERIOR DESIGN PACKAGE

TITLE SHEET

San Mateo County
Planning and Building Department
 455 County Center, 2nd Floor • Redwood City, CA 94063
 Main Dept. P.O. Box 122 • Tel: (650) 363-4111 • Fax: (650) 363-3497
 www.sanmateocalifornia.gov/planning

PLN: _____
BLD: _____

Applicant Information
 Applicant: **Maurits de Gans**
 Mailing Address: **4131 W. El Camino Real Suite 200,**
Palo Alto, CA Zip: **94306**
 Phone: **6505659036** H: _____
 Email Address: **maurits@mdesignsarchitects.com** FAX: _____

Name of Owner (1): Anusha Thalapaneni **Name of Owner (2): David Jackson**
 Mailing Address: **634 Palomar Drive** **Mailing Address: 634 Palomar Drive**
Redwood City, CA **Redwood City, CA**
 Zip: **94062** Zip: **94062**
 Phone: **6507950800** Phone: **6502239468**
 H: _____ H: _____
 Email Address: **athalapa@gmail.com** Email Address: **djackson32@gmail.com**

Project Information
Project Location (address): _____
634 Palomar Drive, Redwood City, CA
Assessor's Parcel Numbers: **51 - 22 - 380**
Zoning: **R-1/S-91/DR** **Parcel/lot size:** **18,295** **SF (Square Feet)**

List all elements of proposed project (e.g. access, site and location, primary and accessory structures, well, septic, tank)
 Shared access driveway on existing easement. Primary 4259 sq ft residence with 4 bedrooms, 4 bathrooms, and pool incorporated into footprint. Septic field and tank behind house.

Describe Existing Site Conditions/Features (e.g. topography, water bodies, vegetation):
 Existing site is moderately sloped vacant lot with natural vegetation including healthy trees and native grasses.

Describe Existing Structures and/or Development:
 Vacant lot

Signatures
 We hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of our knowledge. It is our responsibility to inform the County of San Mateo through our assigned project planner of any changes to information represented in these submittals.

Owner's signature: *Anusha Thalapaneni*
 Owner's signature: *David Jackson*
 Applicant's signature: _____

DocuSign Envelope ID: 1B7CCFC-4861-428D-9F9E-70DF4A7F44F6

County of San Mateo
Planning and Building Department
 PLN: _____
 BLD: _____

Project Address: 634 Palomar Drive
Redwood City, CA
Assessor's Parcel No.: 51 - 22 - 380
Zoning District: R-1/S-91/DR

Name of Owner: Anusha Thalapaneni & David Jackson
Address: 634 Palomar Drive
Redwood City, CA Phone: _____
Name of Applicant: Maurits de Gans
Address: 4131 W. El Camino Real Suite 200
Palo Alto, CA Phone: **6505659036**

Existing Site Conditions
 Parcel size: 18,295
 Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation). Estimate property to a contour on a Precipitation Map, sign of SMC. 12 assessment possible copies from the web.

Existing property is a vacant lot in Palomar Park region of SMC. 12' easement provides access from the south-east. Scattered trees noted in Arborist report amongst native grasses.

Environmental Review Checklist
1. California Environmental Quality Act (CEQA) Review

| Yes | No | Will this project involve: |
|-------------------------------------|-------------------------------------|---|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft.? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | b. Construction of a new multi-family residential structure having 5 or more units? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | c. Construction of a commercial structure > 2,500 sq. ft.? |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | d. Removal of mature tree(s) (≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? 3 |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation: _____ c.y. Fill: _____ c.y. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | f. Subdivision of land into 5 or more parcels? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | g. Construction within a State or County scenic corridor? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | h. Construction within a sensitive habitat? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | i. Construction within a hazard area (i.e. seismic fault, landslide, flood)? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | j. Construction on a hazardous waste site (check with Co. Env. Health Division)? |

Please explain all "Yes" answers:
 Home is placed on site to minimize disturbing natural trees, footprint encroaches on one mature Coast Live Oak. This placement preserves majority of trees on site. Septic field requires area occupied by 2 Tasmanian Blue Gum trees in fair condition. Slope will be graded minimally to allow for footprint of building at least sloped area of site.

Signature required on reverse →

2. National Marine Fisheries Rule 4(d) Review

| Yes | No | Will the project involve: |
|--------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | a. Construction outside of the footprint of an existing, legal structure? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | b. Extensive construction within 100-foot of a stream? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | d. Land-use within a riparian area? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | e. Timber harvesting, mining, grazing or grading? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | f. Any work inside of a stream, riparian corridor, or shoreline? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | g. Release or capture of fish or commerce dealing with fish? |

Please explain any "Yes" answers:

3. National Pollutant Discharge Elimination System (NPDES) Review

| Yes | No | Will the project involve: |
|--------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | a. A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface? If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | b. Land disturbance of 1 acre or more of area? If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) prior to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit. |

Certification
 I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed: _____ Date: July 12, 2020
 (Applicant may sign)

Description **Date**

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**NEW RESIDENCE AT
 634 PALOMAR DRIVE
 REDWOOD CITY, CA 94062**

**INTERIOR DESIGN PACKAGE
 EXHIBITS**

09/22/2022

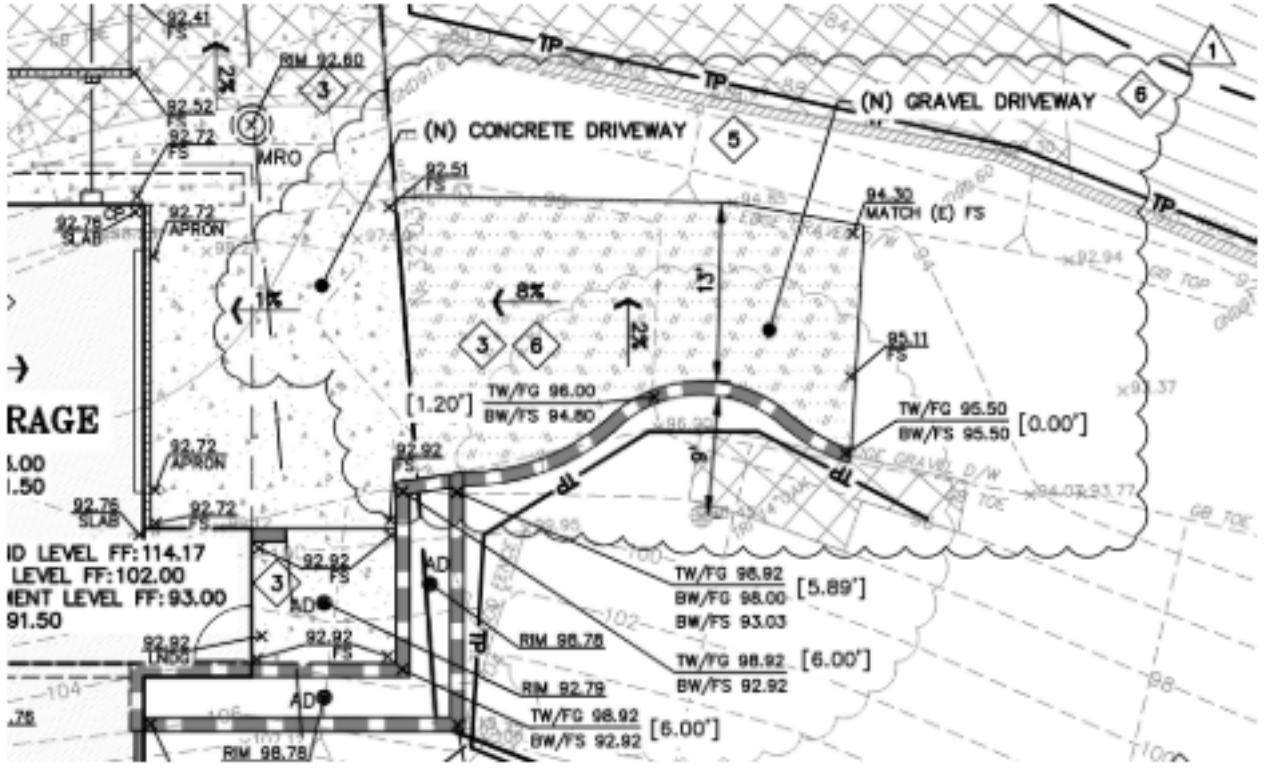
T0.2

County of San Mateo
Planning & Building Department
 455 County Center, 2nd Floor
 Redwood City, CA 94063

DATE: 12/10/2020

To Whom It May Concern,

As the owner of 636 Palomar Drive Redwood City (unincorporated San Mateo County) We are aware and approve of the proposed development at 634 Palomar Drive and the work proposed to encroach onto our property. This work as we understand it will include the construction of a new retaining wall and grading of the roadway along our western property line. The retaining wall adjacent to the driveway has been revised from its original proposed location to help maintain the health of the existing 14" Oak tree. Below is an image of the proposed work we approve of to be conducted on our property at 636 Palomar Drive.



Sincerely,

June 29, 2020

M-DESIGNS ARCHITECTS

San Mateo County Planning Department
 455 County Center
 Redwood City, California 94063
 Attn: Camille Leung -clueng@smcgov.org

Subject: **Letter of Concurrence**
 Regarding Property: 634 Palomar Drive
 Redwood City, California 94063
 County's Permit #: Unknown

To Whom It May Concern:

We, Anusha Thalapaneni & David Jackson, hereby authorize M Designs Architects to take over the authority of information and relevant documents regarding our property at 634 Palomar Drive, Redwood City, CA in an unincorporated area of San Mateo County. They will be responsible for collecting official documents, receiving them, and signing papers related to Planning and Building Department Applications. This right is effective from June 29, 2020.

Very truly yours,

Approved by: *Anusha Thalapaneni* July 9, 2020
 Approved by: *David Jackson* July 9, 2020

www.M-DesignsArchitects.com
 4131 El Camino Real, Suite 200 - Palo Alto, California, 94008 (800) 565-9036

| Description | Date |
|-------------|------------|
| REVISION 1 | 12/18/2020 |
| REVISION 3 | 12/20/2021 |



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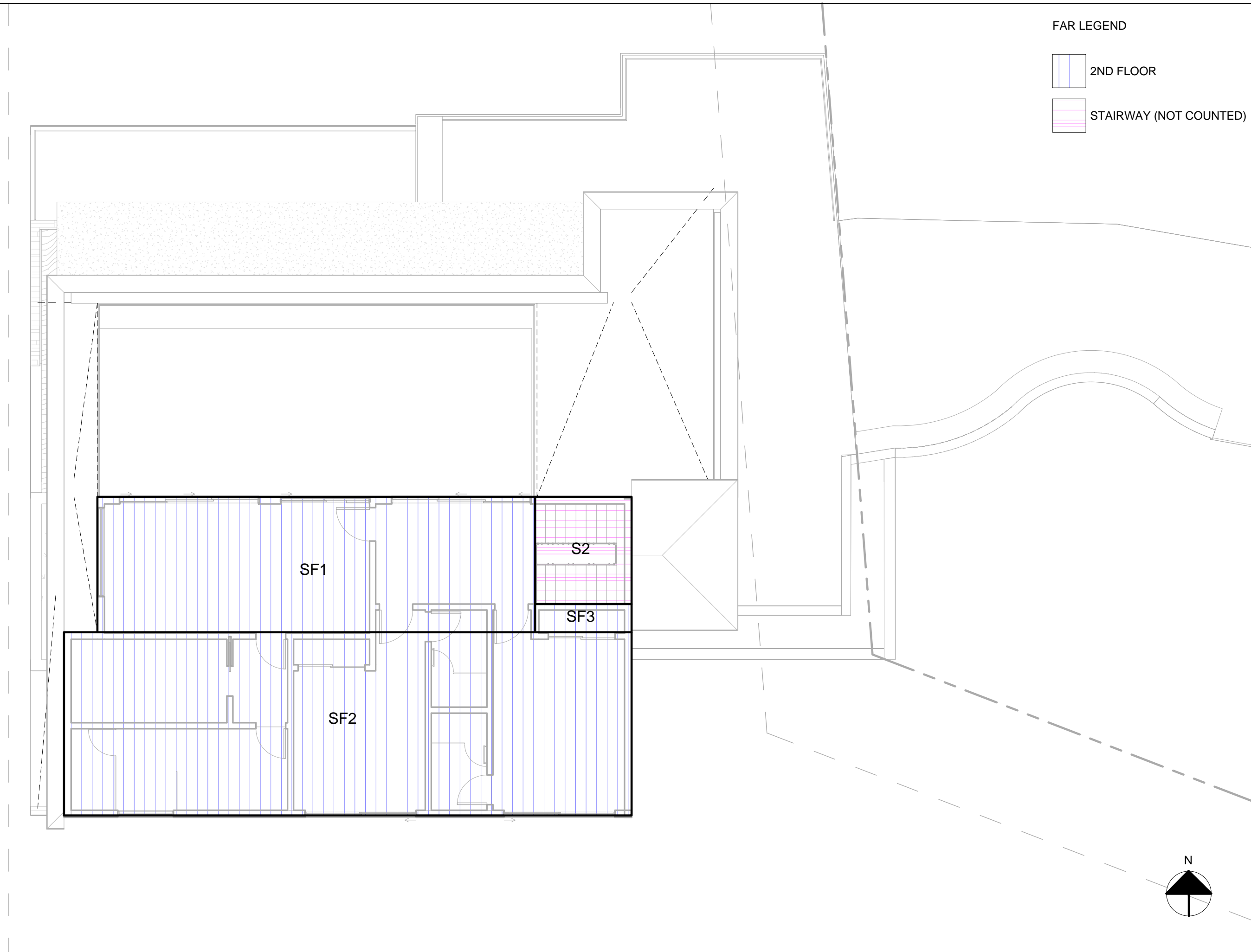
NEW RESIDENCE AT
 634 PALOMAR DRIVE
 REDWOOD CITY, CA 94062

INTERIOR DESIGN PACKAGE
 (P) FLOOR AREA DIAGRAMS

09/22/2022

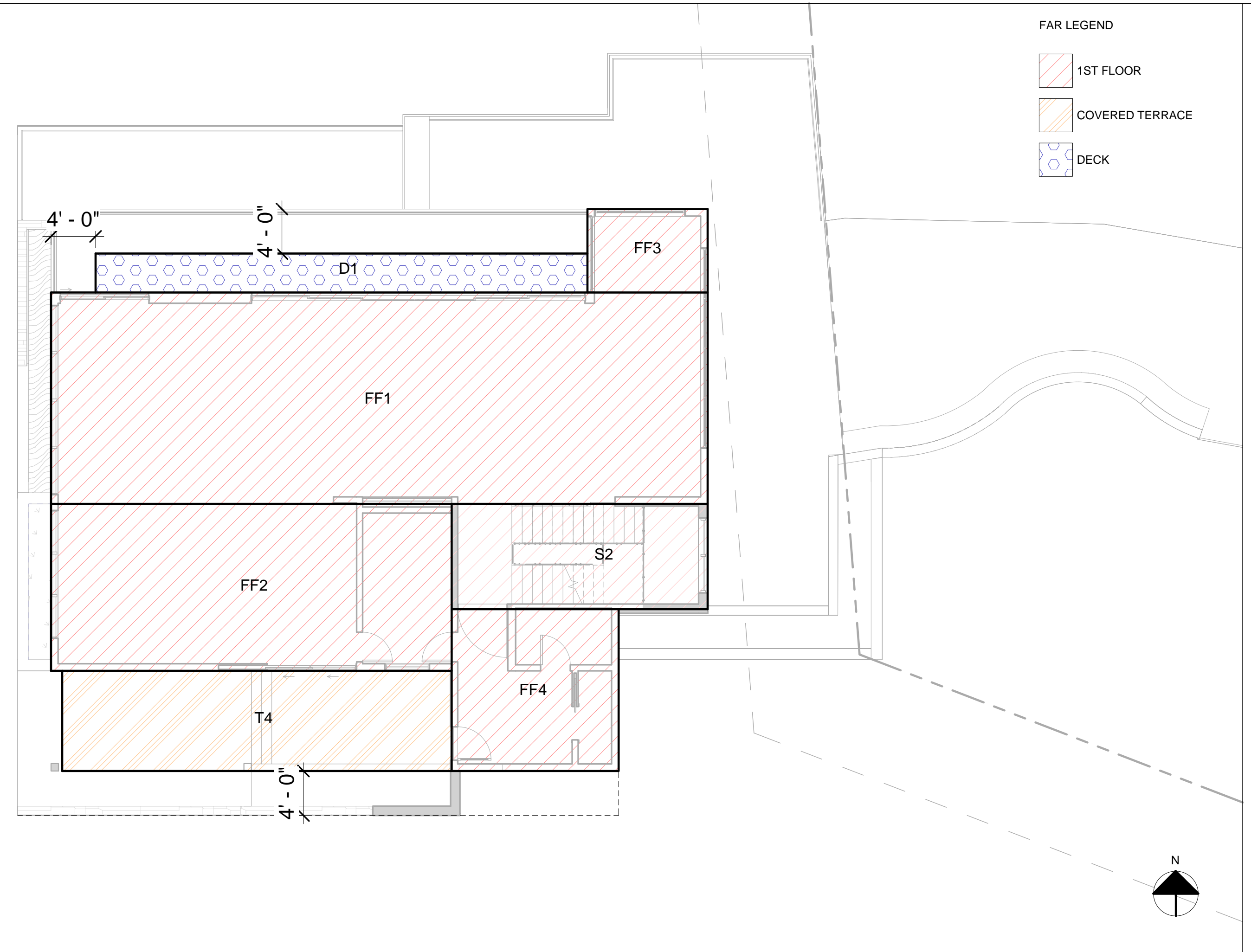
T1.2

- FAR LEGEND
- 2ND FLOOR
 - STAIRWAY (NOT COUNTED)



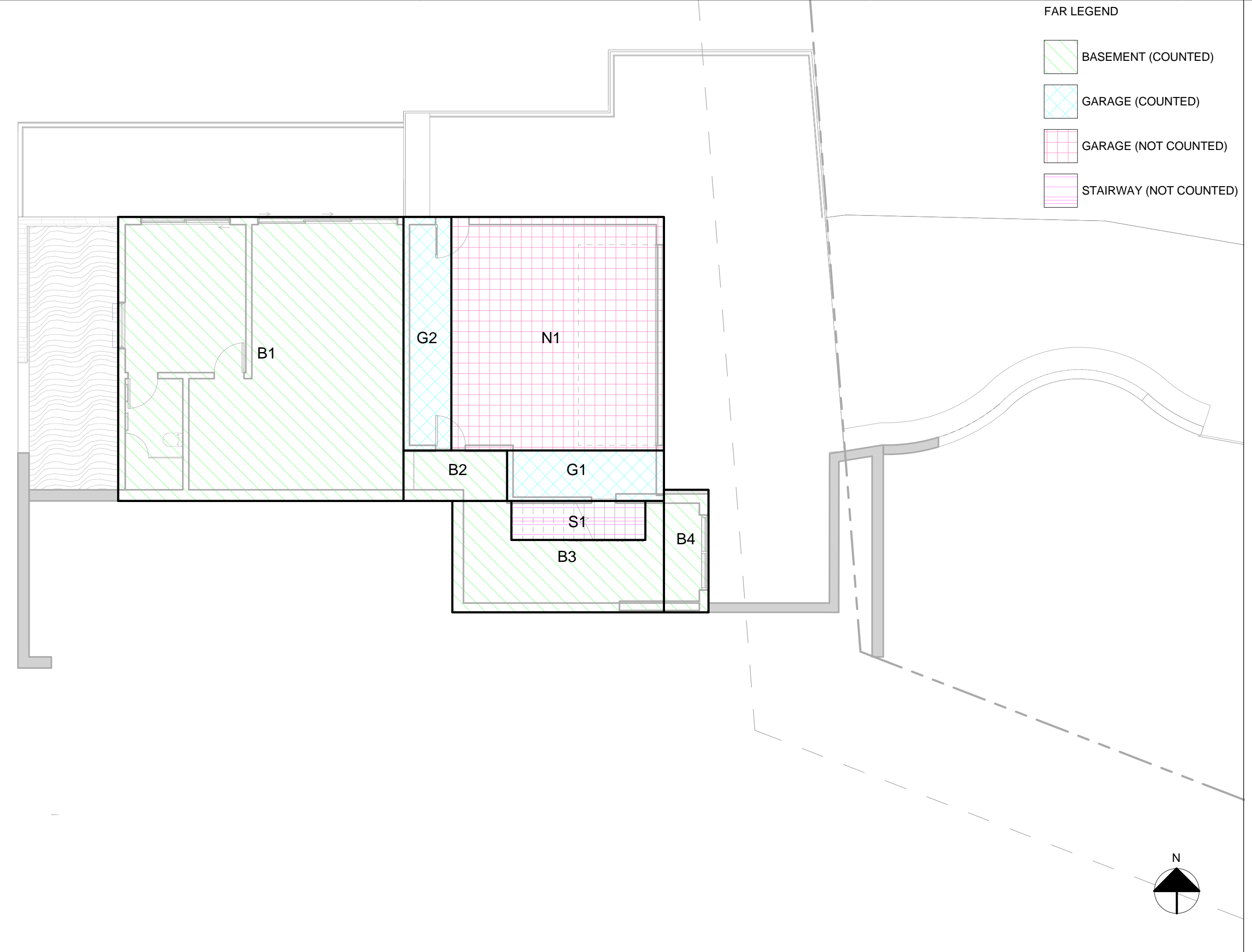
SCALE: 1/8" = 1'-0" 2

- FAR LEGEND
- 1ST FLOOR
 - COVERED TERRACE
 - DECK



SCALE: 1/8" = 1'-0" 1

- FAR LEGEND
- BASEMENT (COUNTED)
 - GARAGE (COUNTED)
 - GARAGE (NOT COUNTED)
 - STAIRWAY (NOT COUNTED)

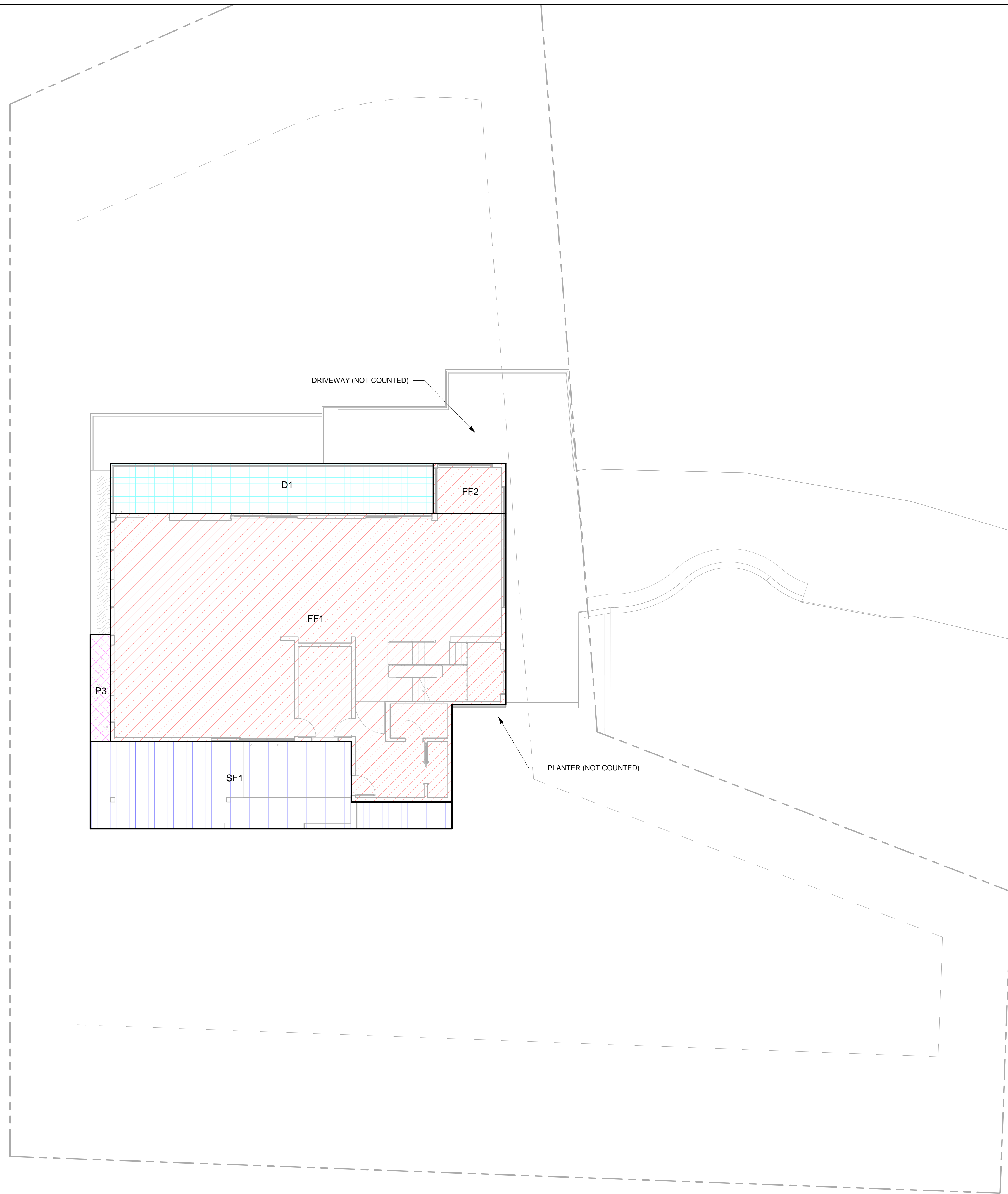


SCALE: 1/8" = 1'-0" 3

| (P) FLOOR AREA RATIO | | | |
|---------------------------|-----------|----------|------------|
| NO. | WIDTH | LENGTH | AREA |
| BASEMENT (COUNTED) | | | |
| B1 | 25' - 7" | 25' - 6" | 653 SF |
| B2 | 9' - 4" | 4' - 6" | 42 SF |
| B3 | 27' - 0" | 5' - 6" | 148 SF |
| B4 | 11' - 0" | 4' - 0" | 44 SF |
| | | | 887 SF |
| GARAGE (COUNTED) | | | |
| G1 | 14' - 1" | 4' - 6" | 64 SF |
| G2 | 21' - 0" | 4' - 4" | 90 SF |
| | | | 154 SF |
| BASE FLR | | | 1041 SF |
| 1ST FLOOR | | | |
| FF1 | 59' - 0" | 19' - 0" | 1121 SF |
| FF2 | 36' - 0" | 15' - 0" | 540 SF |
| FF3 | 10' - 10" | 7' - 6" | 81 SF |
| FF4 | 15' - 0" | 14' - 7" | 218 SF |
| S2 | 25' - 9" | 3' - 8" | 95 SF |
| | | | 2055 SF |
| COVERED TERRACE | | | |
| T4 | 35' - 0" | 9' - 0" | 315 SF |
| | | | 315 SF |
| DECK | | | |
| D1 | 44' - 2" | 3' - 6" | 155 SF |
| | | | 155 SF |
| 1ST FLR | | | 2524 SF |
| 2ND FLOOR | | | |
| SF1 | 39' - 4" | 12' - 2" | 479 SF |
| SF2 | 51' - 0" | 16' - 6" | 840 SF |
| SF3 | 8' - 8" | 2' - 6" | 22 SF |
| | | | 1340 SF |
| 2ND FLR | | | 1340 SF |
| TOTAL | | | 4906 SF |
| ALLOWED | | | 5036.73 SF |

| (P) FLOOR AREA RATIO (NOT COUNTED) | | | |
|------------------------------------|----------|----------|--------|
| NO. | WIDTH | LENGTH | AREA |
| GARAGE (NOT COUNTED) | | | |
| N1 | 21' - 0" | 19' - 1" | 400 SF |
| | | | 400 SF |
| STAIRWAY (NOT COUNTED) | | | |
| S1 | 12' - 0" | 3' - 6" | 42 SF |
| | | | 42 SF |
| BASE FLR | | | 442 SF |
| STAIRWAY (NOT COUNTED) | | | |
| S2 | 9' - 8" | 8' - 8" | 84 SF |
| | | | 84 SF |
| 2ND FLR | | | 84 SF |
| TOTAL | | | 526 SF |

4



| (P) LOT COVERAGE CALCULATIONS | | |
|-------------------------------|------------------|---------------|
| NO. | AREA | PERCENTAGE |
| DECK | | |
| D1 | 361 SF | 1.99% |
| | 361 SF | 1.99% |
| FIRST FLOOR | | |
| FF1 | 2097 SF | 11.57% |
| FF2 | 81 SF | 0.45% |
| | 2178 SF | 12.02% |
| PROJECTION | | |
| P2 | Not Placed | |
| P3 | 48 SF | 0.26% |
| | 48 SF | 0.26% |
| SECOND FLOOR ABOVE | | |
| SF1 | 567 SF | 3.13% |
| | 567 SF | 3.13% |
| TOTAL | 3154 SF | 17.41% |
| ALLOWED | 5436.6 SF | 30.00% |

COVER AGE LEGEND

| | |
|--|--------------------|
| | DECK |
| | FIRST FLOOR |
| | PROJECTION |
| | SECOND FLOOR ABOVE |

| Description | Date |
|-------------|------------|
| REVISION 1 | 12/18/2020 |
| REVISION 2 | 04/19/2021 |
| REVISION 3 | 12/20/2021 |

M·DESIGNS ARCHITECTS

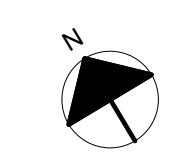
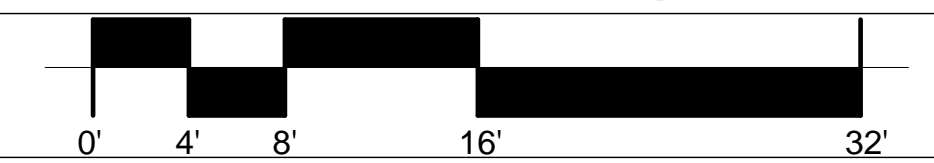
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 REDWOOD CITY, CA 94062**

**INTERIOR DESIGN PACKAGE
 (P) LOT COVERAGE
 CALCULATIONS**

09/22/2022

T1.3



Tree Management Experts

Consulting Arborists
3109 Sacramento Street
San Francisco, CA 94115
Member, American Society of Consulting Arborists
Certified Arborists, Tree Risk Assessment Qualified

Cal 415.606.9611 email:roy@treemanagementexperts.com

process. In the event that small branches are damaged, re-pruning to repair or correct any issue will likely best be left until the close of construction. Any branches larger than 1-inch diameter that are damaged should be reported immediately to the Project Arborist for their evaluation.

Post-construction Pruning

Pruning for overall structural improvement of the protected trees should occur at the close of construction, and before landscape installation. The exact pruning needs will need to be determined at that time, but will include improving the balance of canopies, shortening branches that are end-heavy and prone to breakage, and re-cutting or removing any branches that were broken during construction.

IRRIGATION

No supplemental irrigation is needed for the protected trees. These are all native species that are adapted to summer drought conditions. Summer irrigation of oak trees would put the trees at risk of developing root rot diseases. Construction impacts to the root systems are not expected to be severe enough to warrant the risks posed by summer irrigation.

New landscaping will require irrigation, and the plans are subject to review and approval by the Project Arborist. As a guideline, the new irrigation system should be low water use, should only operate during the dry season, and should be set up for drought tolerant and low water use plant material. It is our recommendation that plants native to the area be used for landscape purposes, and that the new irrigation system be designed for use on a minimal level and such that it is not necessary during drought conditions.

LANDSCAPING

New landscape designs are subject to reviewed and approval by the Project Arborist.

The new irrigation system must be designed to avoid the use of trenches across existing T22 areas. If such trenches must be installed, common trenches should be used and they should stay as far away from the trees as possible. A trench running along a radius line directly toward a tree is preferable to a cross trench. If extensive trenching is done, Air-spade® excavation will be required.

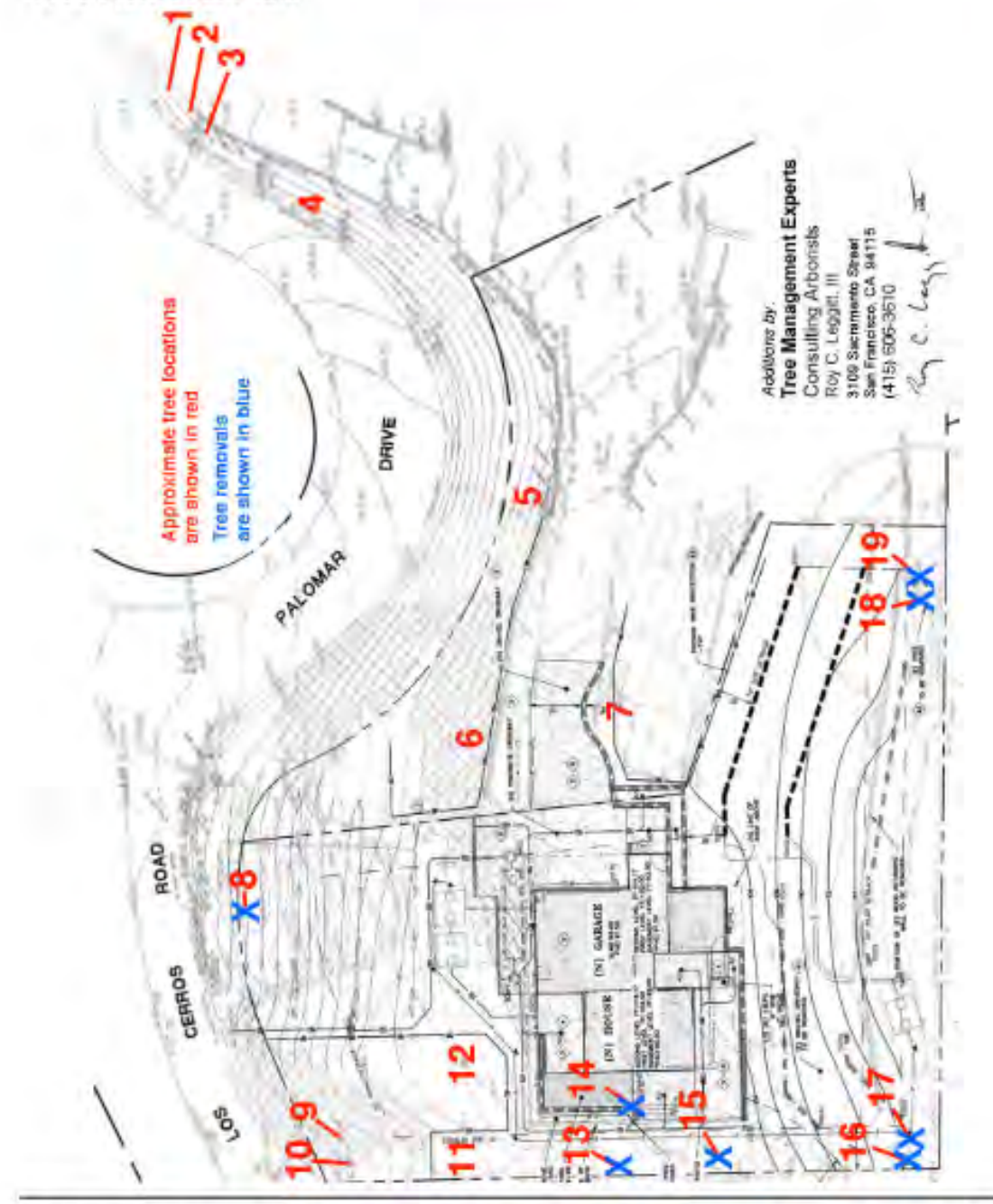
Care must be taken to keep mulch away from the base of all trees and other woody plants. Similarly, soil grades must be carefully monitored to keep excess soil from accumulating around the base of trees and shrubs.

Tree Management Experts

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Tree Removal Plan

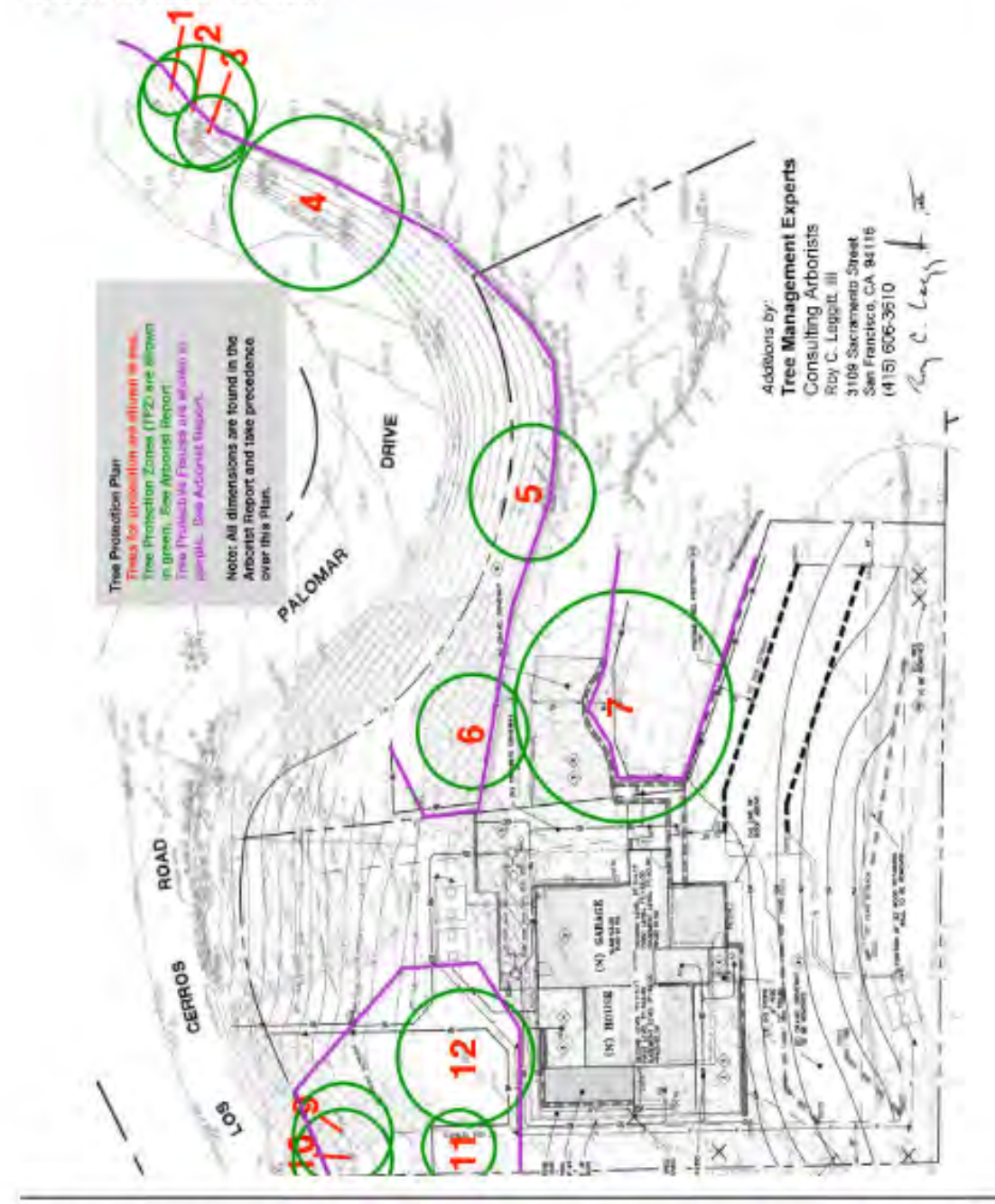


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Tree Protection Plan



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Assumptions and Limiting Conditions

- Any legal description provided to the consultant is assumed to be correct. Title and ownership of all property considered are assumed to be good and marketable. No responsibility is assumed for matters legal in character. Any and all property is appraised or evaluated as though free and clear, under responsible ownership and competent management.
- It is assumed that any property is not in violation of any applicable codes, ordinances, statutes or other governmental regulations.
- Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible. The consultant can neither guarantee nor be responsible for the accuracy of information provided by others.
- Verbal diagrams, sketches and photographs in this report are intended as visual aids and are not to scale, unless specifically stated as such on the drawing. These communication tools in no way substitute for nor should be construed as surveys, architectural or engineering drawings.
- Loss or alteration of any part of this report invalidates the entire report.
- Possession of this report or a copy thereof does not imply right of publication or use for any purpose by any other than the person to whom it is addressed, without the prior written or verbal consent of the consultant.
- This report is confidential and to be distributed only to the individual or entity to whom it is addressed. Any or all of the contents of this report may be conveyed to another party only with the express prior written or verbal consent of the consultant. Such limitations apply to the original report, a copy, facsimile, scanned image or digital version thereof.
- This report represents the opinion of the consultant. In no way is the consultant's fee contingent upon a stipulated result, the occurrence of a subsequent event, nor upon any finding to be reported.
- The consultant shall not be required to give testimony or to attend court by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services as described in the fee schedule, an agreement or a contract.
- Information contained in this report reflects observations made only to those items described and only reflects the condition of those items at the time of the site visit. Furthermore, the inspection is limited to visual examination of items and elements at the site, unless expressly stated otherwise. There is no expressed or implied warranty or guarantee that problems or deficiencies of the plants or property inspected may not arise in the future.

Disclosure Statement

Arborists are tree specialists who use their education, knowledge, training, and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of the arborist, or to seek additional advice.

Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that fall in ways we do not fully understand. Conditions are often hidden within trunks and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like any medicine, cannot be guaranteed.

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Treatment, pruning, and removal of trees may involve considerations beyond the scope of the arborist's services such as property boundaries, property ownership, title lines, disputes between neighbors, and other issues. An arborist cannot take such considerations into account unless complete and accurate information is disclosed to the arborist. An arborist should then be expected to reasonably rely upon the completeness and accuracy of the information provided.

Trees can be managed, but they cannot be controlled. To live near trees is to accept some degree of risk. The only way to eliminate all risk associated with trees is to eliminate the trees.

Certification of Performance

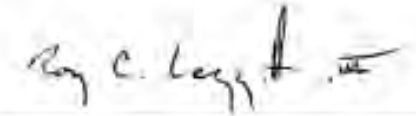
I, Roy C. Leggett, III, Certify:

- That we have inspected the trees and/or property evaluated in this report. We have stated findings accurately, insofar as the limitations of the Assignment and within the extent and context identified by this report.
- That we have no current or prospective interest in the vegetation or any real estate that is the subject of this report, and have no personal interest or bias with respect to the parties involved;
- That the analysis, opinions and conclusions stated herein are original and are based on current scientific procedures and facts and according to commonly accepted arboricultural practices;
- That no significant professional assistance was provided, except as indicated by the inclusion of another professional report within this report;
- That compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party.

I am a member in good standing of the American Society of Consulting Arborists and a member and Certified Arborist with the International Society of Arboriculture.

I have attained professional training in all areas of knowledge asserted through this report by completion of a Bachelor of Science degree in Plant Science, by routinely attending pertinent professional conferences and by reading current research from professional journals, books and other media.

I have rendered professional services in a full-time capacity in the field of horticulture and arboriculture for more than 30 years.

Signature: 
Date: 12/12/20



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NEW RESIDENCE AT
634 PALOMAR DRIVE
REDWOOD CITY, CA 94062

INTERIOR DESIGN PACKAGE

ARBORIST REPORT

09/22/2022

T2.2

| Description | Date |
|-------------|------------|
| REVISION 1 | 12/18/2020 |

- LEGEND
- PROPERTY LINES
 - PROPERTY LINES
 - BASEMENT OUTLINE
 - 1ST FLOOR OUTLINE
 - 2ND FLOOR OUTLINE
 - ELEC. LINE
 - GAS LINE
 - SANITARY SEWER LINE
 - WATER LINE
 - FENCE LINE
 - TPZ FENCING



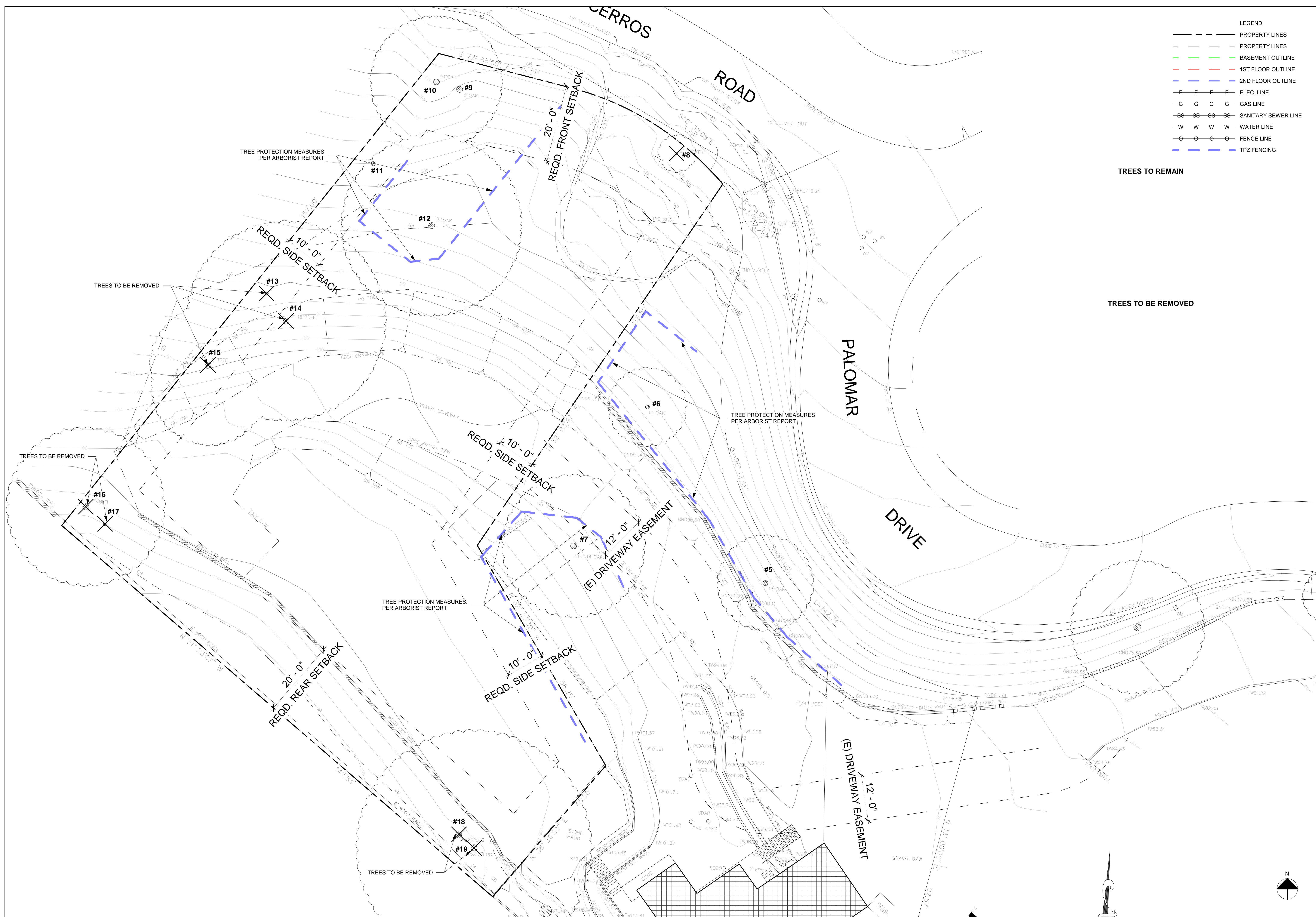
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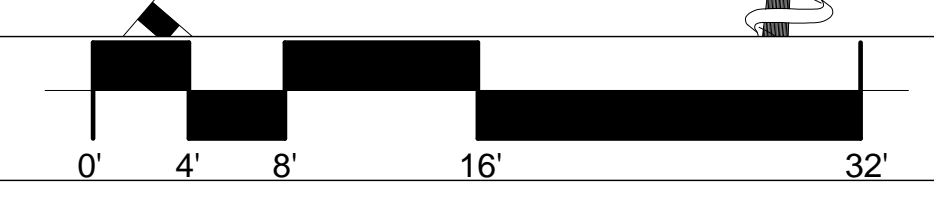
INTERIOR DESIGN PACKAGE
 (E) SITE PLAN / TREE
 PROTECTION MEASURES

09/22/2022

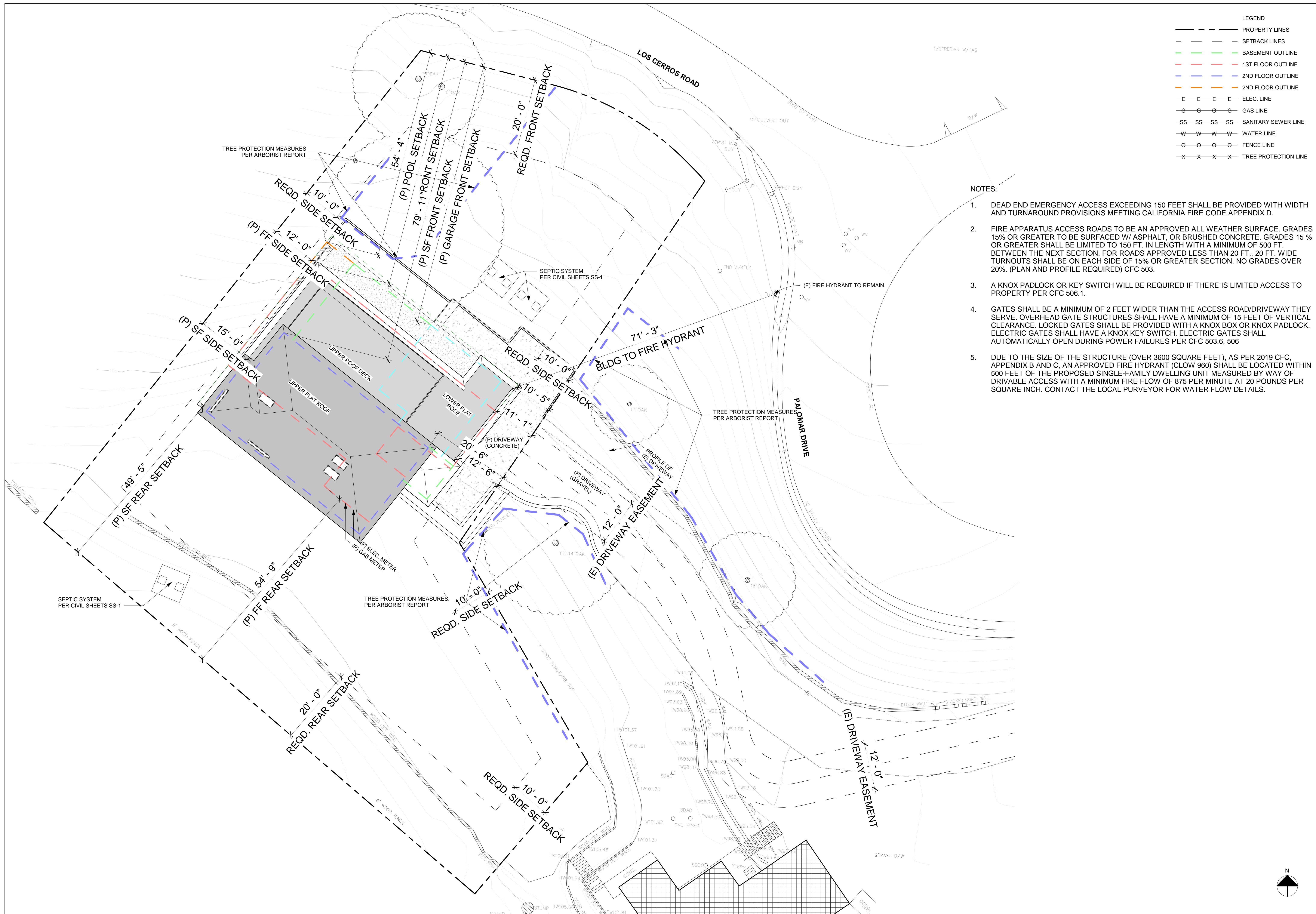
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(E) SITE PLAN / TREE PROTECTION MEASURES



SCALE: 3/32" = 1'-0" 1



LEGEND

| | |
|---------------------|----------------------|
| --- | PROPERTY LINES |
| - - - | SETBACK LINES |
| - - - | BASEMENT OUTLINE |
| - - - | 1ST FLOOR OUTLINE |
| - - - | 2ND FLOOR OUTLINE |
| - - - | 2ND FLOOR OUTLINE |
| - E - E - E - E | ELEC. LINE |
| - G - G - G - G | GAS LINE |
| - SS - SS - SS - SS | SANITARY SEWER LINE |
| - W - W - W - W | WATER LINE |
| - O - O - O - O | FENCE LINE |
| - X - X - X - X | TREE PROTECTION LINE |

- NOTES:
- DEAD END EMERGENCY ACCESS EXCEEDING 150 FEET SHALL BE PROVIDED WITH WIDTH AND TURNAROUND PROVISIONS MEETING CALIFORNIA FIRE CODE APPENDIX D.
 - FIRE APPARATUS ACCESS ROADS TO BE AN APPROVED ALL WEATHER SURFACE. GRADES 15% OR GREATER TO BE SURFACED W/ ASPHALT, OR BRUSHED CONCRETE. GRADES 15% OR GREATER SHALL BE LIMITED TO 150 FT. IN LENGTH WITH A MINIMUM OF 500 FT. BETWEEN THE NEXT SECTION. FOR ROADS APPROVED LESS THAN 20 FT., 20 FT. WIDE TURNOUTS SHALL BE ON EACH SIDE OF 15% OR GREATER SECTION. NO GRADES OVER 20%. (PLAN AND PROFILE REQUIRED) CFC 503.
 - A KNOX PADLOCK OR KEY SWITCH WILL BE REQUIRED IF THERE IS LIMITED ACCESS TO PROPERTY PER CFC 506.1.
 - GATES SHALL BE A MINIMUM OF 2 FEET WIDER THAN THE ACCESS ROAD/DRIVEWAY THEY SERVE. OVERHEAD GATE STRUCTURES SHALL HAVE A MINIMUM OF 15 FEET OF VERTICAL CLEARANCE. LOCKED GATES SHALL BE PROVIDED WITH A KNOX BOX OR KNOX PADLOCK. ELECTRIC GATES SHALL HAVE A KNOX KEY SWITCH. ELECTRIC GATES SHALL AUTOMATICALLY OPEN DURING POWER FAILURES PER CFC 503.6, 506
 - DUE TO THE SIZE OF THE STRUCTURE (OVER 3600 SQUARE FEET), AS PER 2019 CFC, APPENDIX B AND C, AN APPROVED FIRE HYDRANT (CLOW 960) SHALL BE LOCATED WITHIN 500 FEET OF THE PROPOSED SINGLE-FAMILY DWELLING UNIT MEASURED BY WAY OF DRIVABLE ACCESS WITH A MINIMUM FIRE FLOW OF 875 PER MINUTE AT 20 POUNDS PER SQUARE INCH. CONTACT THE LOCAL PURVEYOR FOR WATER FLOW DETAILS.

| Description | Date |
|-------------|------------|
| REVISION 1 | 12/18/2020 |
| REVISION 3 | 12/20/2021 |



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INTERIOR DESIGN PACKAGE

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(P) SITE PLAN

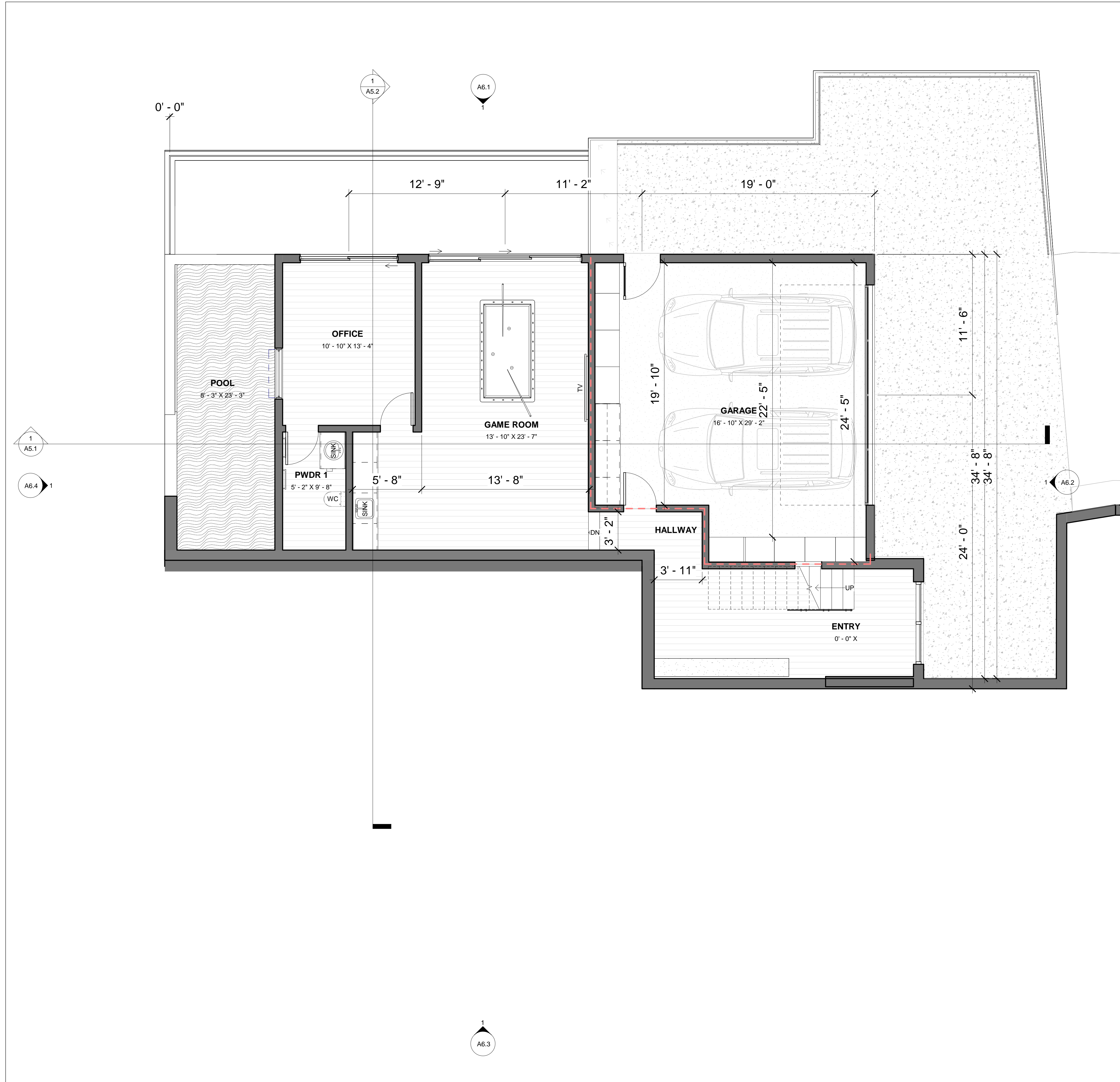
09/22/2022

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(P) SITE PLAN



SCALE: 3/32" = 1'-0" 1



LEGEND

| | |
|--|----------------------------------|
| | (E) WALLS TO REMAIN |
| | (P) NEW WALLS |
| | 1-HOUR FIRE-RATED WALLS |
| | WALL TAG |
| | WINDOW TAG |
| | DOOR TAG |
| | TEMPERED TAG |
| | OBSCURE TAG |
| | PLAN NOTE |
| | SMOKE DETECTOR |
| | SMOKE & CARBON MONOXIDE DETECTOR |
| | ELECTRIC METER |
| | GAS METER |

- NOTES:
- SMOKE ALARM SHALL BE HARD WIRED PER THE CALIFORNIA BUILDING CODE, AND STATE FIRE MARSHAL REGULATIONS. THE APPLICANT IS REQUIRED TO INSTALL STATE FIRE MARSHAL APPROVED AND LISTED SMOKE DETECTORS WHICH ARE HARD WIRED, INTERCONNECTED, AND HAVE BATTERY BACKUP. THESE DETECTORS ARE REQUIRED TO BE PLACED IN EACH NEW AND RECONDITION SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA. IN EXISTING SLEEPING ROOMS, AREAS MAY HAVE BATTERY POWERED SMOKE ALARMS. A MINIMUM OF ONE DETECTOR SHALL BE PLACED ON EACH FLOOR. SMOKE DETECTORS SHALL BE TESTED AND APPROVED PRIOR TO THE BUILDING FINAL. DATE OF INSTALLATION MUST BE ADDED TO EXTERIOR OF THE SMOKE ALARM AND WILL BE CHECKED AT FINAL.
 - SMOKE ALARMS TO BE INSTALLED PER MANUFACTURES INSTRUCTION AND NFPA 72
 - ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET, 5.0 SQ. FT. ALLOWED AT GRADE. THE MINIMUM ET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. FINISHED SILL HEIGHT SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR. (CFC 2019 SECTION 1030.2).
 - NEW RESIDENTIAL BUILDINGS SHALL HAVE INTERNALLY ILLUMINATED ADDRESS NUMBERS CONTRASTING WITH THE BACKGROUND SO AS TO BE SEEN FROM THE PUBLIC WAY FRONTING THE BUILDING. THE LETTERS/NUMERALS FOR PERMANENT ADDRESS SIGNS SHALL BE 4 INCHES IN HEIGHT WITH A MINIMUM 1/2-INCH STROKE. RESIDENTIAL ADDRESS NUMBERS SHALL BE AT LEAST SIX FEET ABOVE THE FINISHED SURFACE OF THE DRIVEWAY. WHERE BUILDINGS ARE LOCATED REMOTELY TO THE PUBLIC ROADWAY, ADDITIONAL SIGNAGE AT THE DRIVEWAY/ROADWAY ENTRANCE LEADING TO THE BUILDING AND/OR ON EACH INDIVIDUAL BUILDING SHALL BE REQUIRED. THIS REMOTE SIGNAGE SHALL CONSIST OF A 6 INCH BY 18 INCH GREEN REFLECTIVE METAL SIGN WITH 3 INCH REFLECTIVE NUMBERS/ LETTERS SIMILAR TO HY-KO 911 OR EQUIVALENT. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE).
 - (FIRE SPRINKLER PLANS WILL REQUIRE A SEPARATE PERMIT). THE APPLICANT IS REQUIRED TO INSTALL AN AUTOMATIC FIRE SPRINKLER SYSTEM THROUGHOUT THE PROPOSED OR IMPROVED DWELLING AND GARAGE. ALL ATTIC ACCESS LOCATIONS SHALL BE PROVIDED WITH A PILOT HEAD ON A METAL UPRIGHT. SPRINKLER COVERAGE SHALL BE PROVIDED THROUGHOUT THE RESIDENCE TO INCLUDE ALL BATHROOMS, GARAGES, AND ANY AREA USED FOR STORAGE. THE ONLY EXCEPTION IS SMALL LINEN CLOSETS LESS THAN 24 SQUARE FEET WITH FULL DEPTH SHELVING. THE PLANS FOR THIS SYSTEM MUST BE SUBMITTED TO THE SAN MATEO COUNTY PLANNING AND BUILDING DEPARTMENT. A BUILDING PERMIT WILL NOT BE ISSUED UNTIL PLANS ARE RECEIVED, REVIEWED AND APPROVED. UPON SUBMISSION OF PLANS, THE COUNTY WILL FORWARD A COMPLETE SET TO THE COASTSIDE FIRE DISTRICT FOR REVIEW.
 - AN EXTERIOR BELL IS REQUIRED TO BE WIRED INTO THE REQUIRED FLOW SWITCH ON YOUR FIRE SPRINKLER SYSTEM

| Description | Date |
|-------------|------------|
| REVISION 1 | 12/18/2020 |
| REVISION 3 | 12/20/2021 |

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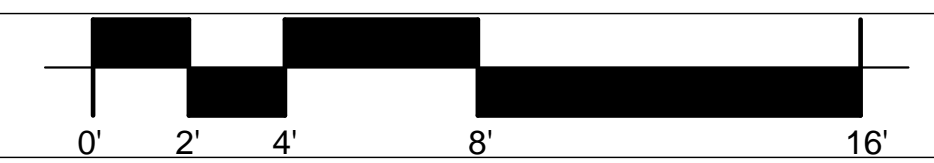
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INTERIOR DESIGN PACKAGE
 (P) BASE FLOOR PLAN

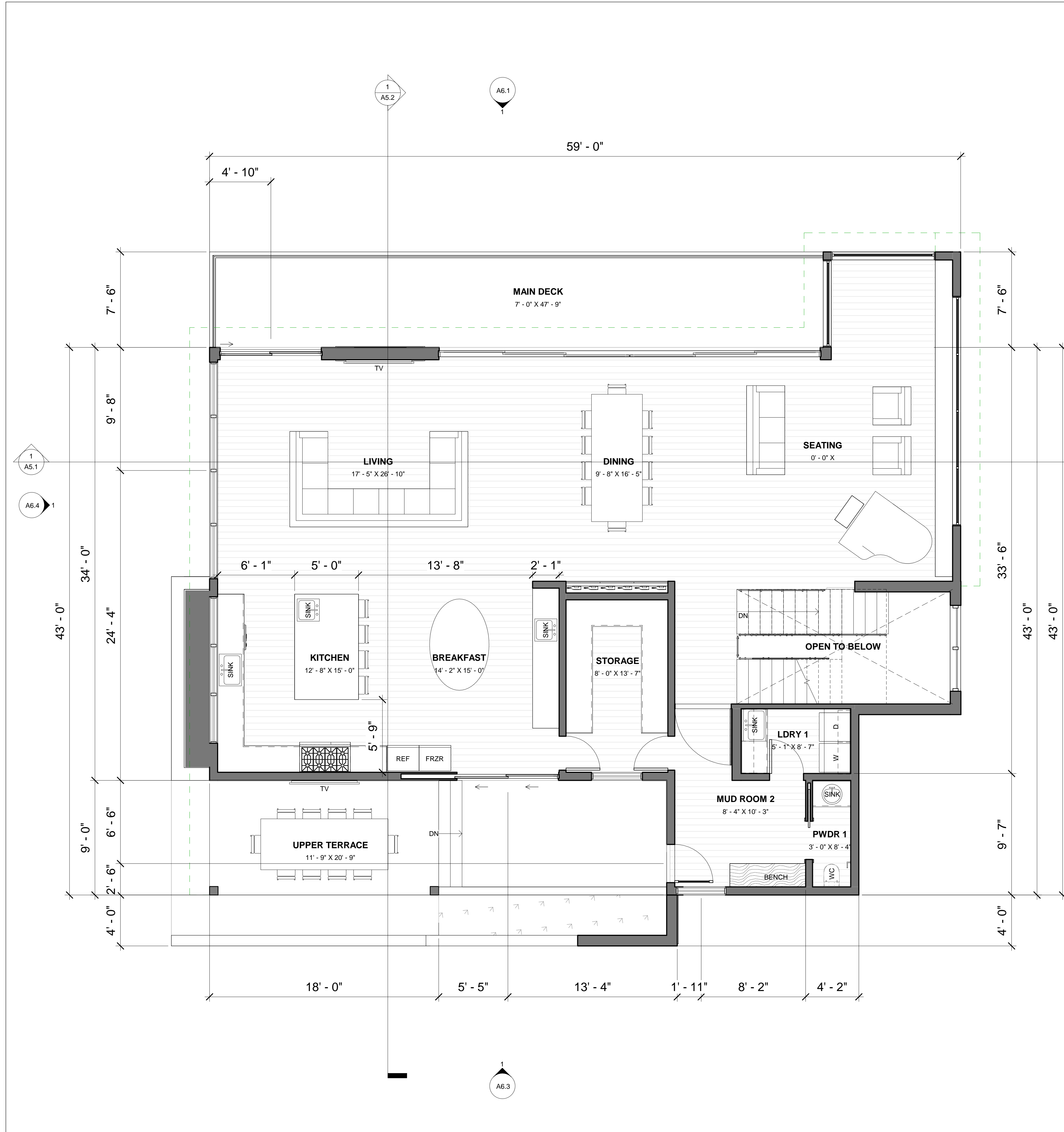
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(P) BASE FLOOR PLAN



SCALE: 1/4" = 1'-0" 1



NOTES:

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- NEW RESIDENTIAL BUILDINGS SHALL HAVE INTERNALLY ILLUMINATED ADDRESS NUMBERS CONTRASTING WITH THE BACKGROUND SO AS TO BE SEEN FROM THE PUBLIC WAY FRONTING THE BUILDING. THE LETTERS/NUMERALS FOR PERMANENT ADDRESS SIGNS SHALL BE 4 INCHES IN HEIGHT WITH A MINIMUM 1/2-INCH STROKE. RESIDENTIAL ADDRESS NUMBERS SHALL BE AT LEAST SIX FEET ABOVE THE FINISHED SURFACE OF THE DRIVEWAY. WHERE BUILDINGS ARE LOCATED REMOTELY TO THE PUBLIC ROADWAY, ADDITIONAL SIGNAGE AT THE DRIVEWAY/ROADWAY ENTRANCE LEADING TO THE BUILDING AND/OR ON EACH INDIVIDUAL BUILDING SHALL BE REQUIRED. THIS REMOTE SIGNAGE SHALL CONSIST OF A 6 INCH BY 18 INCH GREEN REFLECTIVE METAL SIGN WITH 3 INCH REFLECTIVE NUMBERS/ LETTERS SIMILAR TO HY-KO 911 OR EQUIVALENT. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE).
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- AN EXTERIOR BELL IS REQUIRED TO BE WIRED INTO THE REQUIRED FLOW SWITCH ON YOUR FIRE SPRINKLER SYSTEM

LEGEND

| | |
|--|----------------------------------|
| | (E) WALLS TO REMAIN |
| | (P) NEW WALLS |
| | 1-HOUR FIRE-RATED WALLS |
| | WALL TAG |
| | WINDOW TAG |
| | DOOR TAG |
| | TEMPERED TAG |
| | OBSCURE TAG |
| | PLAN NOTE |
| | SMOKE DETECTOR |
| | SMOKE & CARBON MONOXIDE DETECTOR |
| | ELECTRIC METER |
| | GAS METER |

| Description | Date |
|-------------|------------|
| REVISION 1 | 12/18/2020 |
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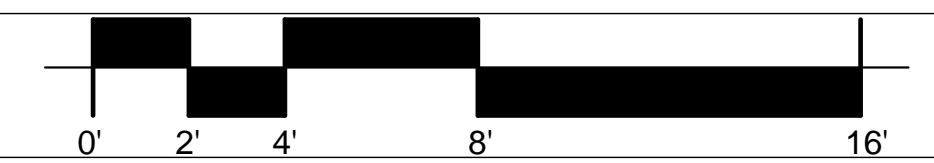
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**INTERIOR DESIGN PACKAGE
(P) 1ST FLOOR PLAN**

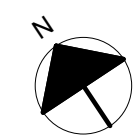
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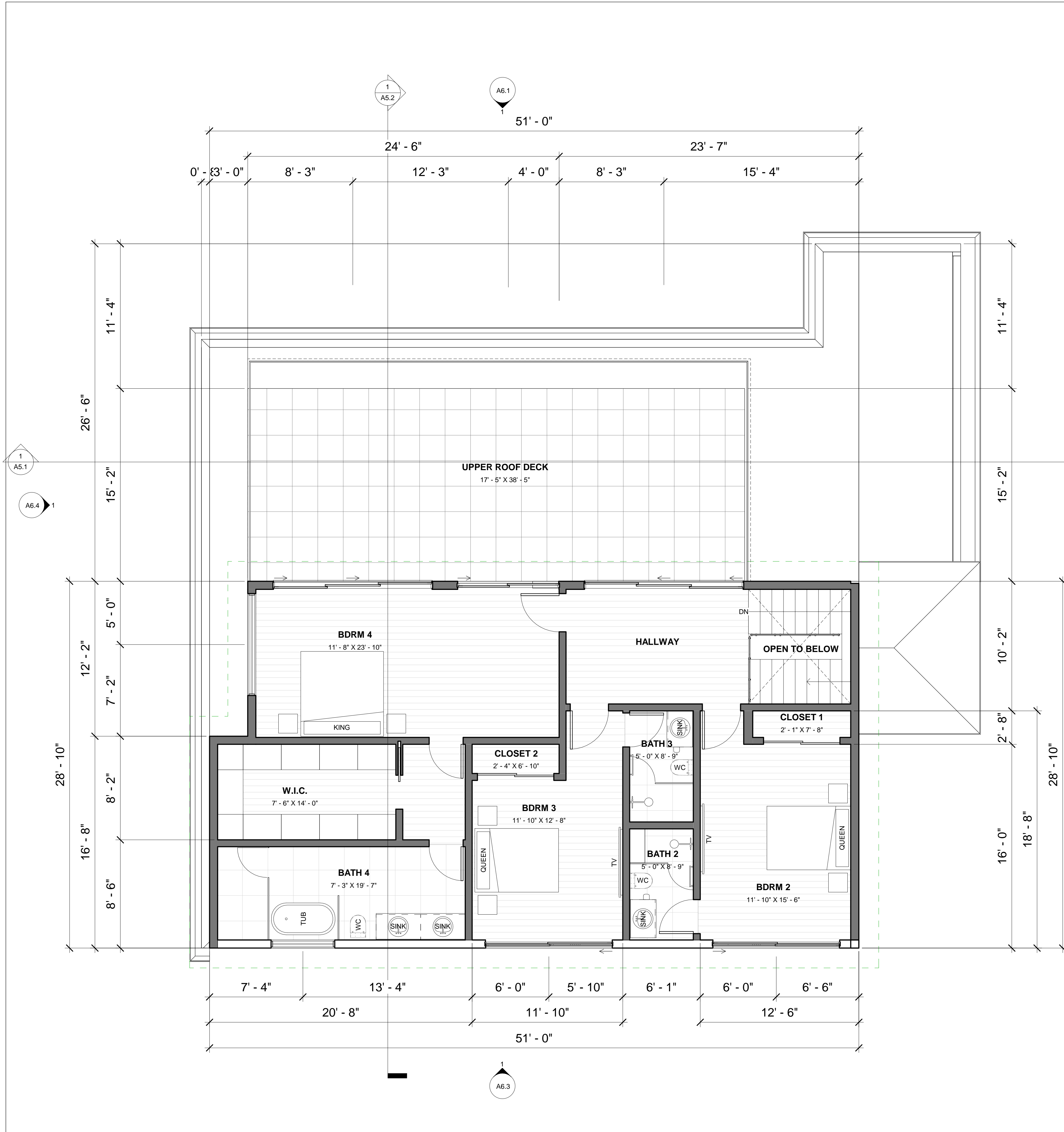
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(P) 1ST FLOOR PLAN



SCALE: 1/4" = 1'-0" 1





NOTES:

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- AN EXTERIOR BELL IS REQUIRED TO BE WIRED INTO THE REQUIRED FLOW SWITCH ON YOUR FIRE SPRINKLER SYSTEM

LEGEND

| | |
|--|----------------------------------|
| | (E) WALLS TO REMAIN |
| | (P) NEW WALLS |
| | 1-HOUR FIRE-RATED WALLS |
| | WALL TAG |
| | WINDOW TAG |
| | DOOR TAG |
| | TEMPERED TAG |
| | OBSCURE TAG |
| | PLAN NOTE |
| | SMOKE DETECTOR |
| | SMOKE & CARBON MONOXIDE DETECTOR |
| | ELECTRIC METER |
| | GAS METER |

| Description | Date |
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| REVISION 1 | 12/18/2020 |
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M-DESIGNS ARCHITECTS

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Email: info@mdesignsarchitects.com
Phone: 650-565-9036
Fax: 650-625-7869

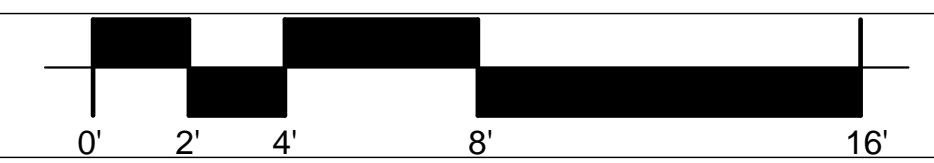
**NEW RESIDENCE AT
634 PALOMAR DRIVE
REDWOOD CITY, CA 94062**

**INTERIOR DESIGN PACKAGE
(P) 2ND FLOOR PLAN**

09/22/2022

A2.3

(P) 2ND FLOOR PLAN



SCALE: 1/4" = 1'-0" 1

NOTE: THE BUILDING IS IN A VERY HIGH FIRE HAZARD SEVERITY ZONE AND WILL REQUIRE A CLASS A ROOF.

| Description | Date |
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| REVISION 1 | 12/18/2020 |
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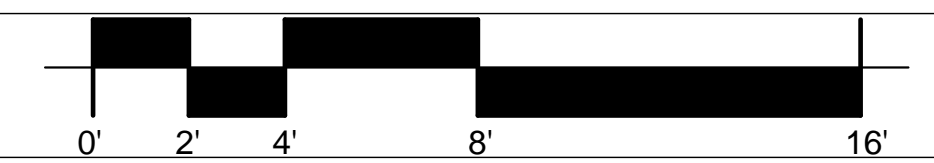
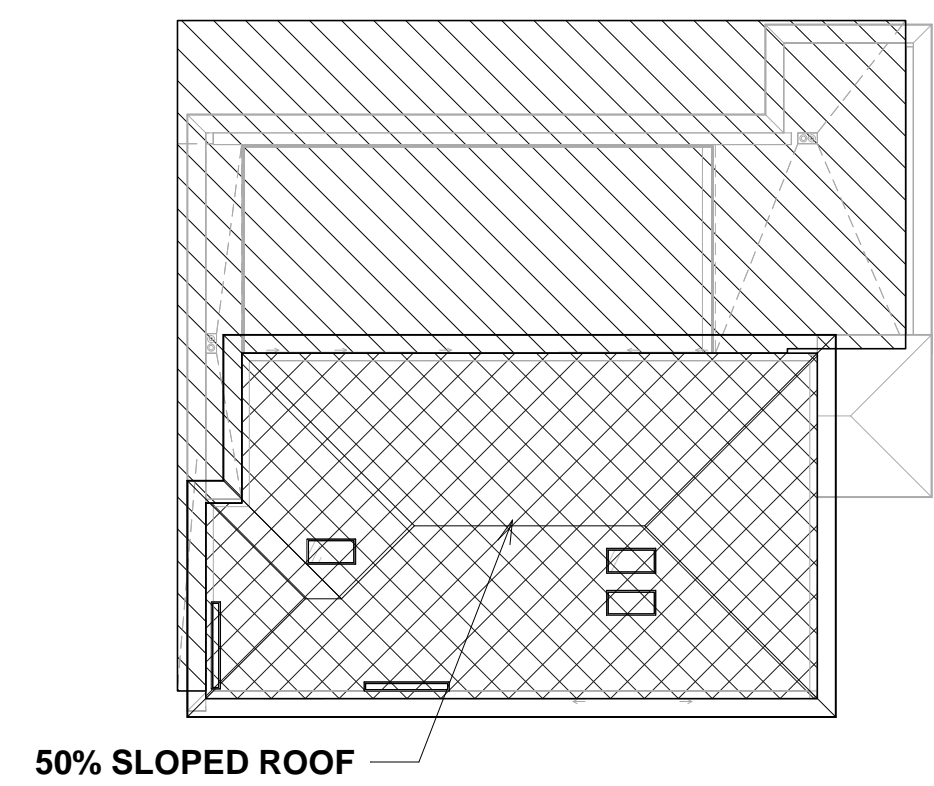
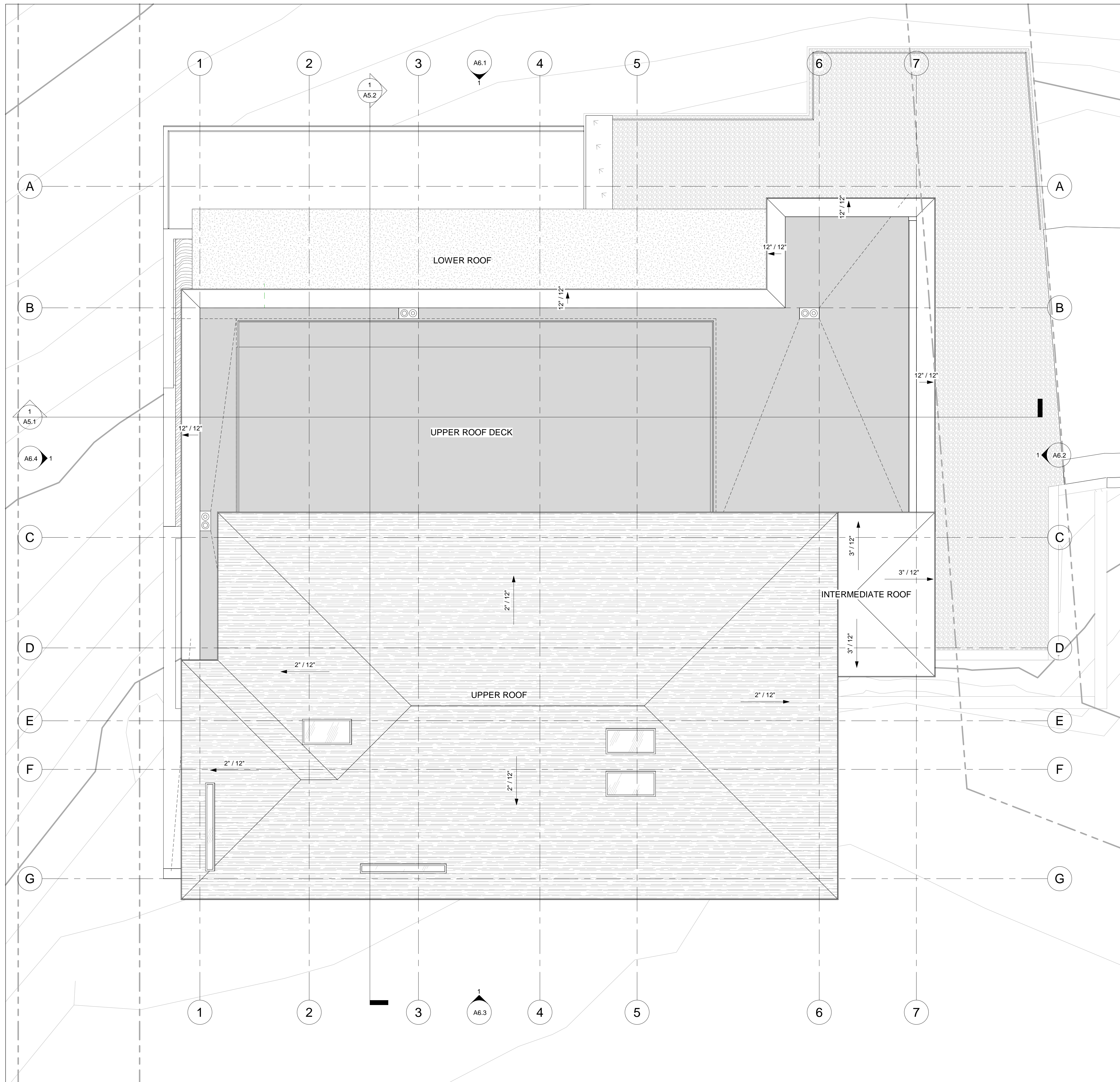
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INTERIOR DESIGN PACKAGE
 (P) ROOF PLAN

09/22/2022

A4.1



SCALE: As indicated 1

(P) ROOF PLAN

- LEGEND
- (E) WALLS, FLOORS, AND ROOFS TO REMAIN
 - (P) NEW WALLS, FLOORS AND ROOFS
 - # WALL TAG
 - # WALL TAG
 - # WINDOW TAG
 - # WINDOW TAG
 - # DOOR TAG
 - # DOOR TAG
 - T TEMPERED TAG
 - T TEMPERED TAG
 - OBS OBSCURE TAG
 - OBS OBSCURE TAG
 - # PLAN NOTE
 - # PLAN NOTE



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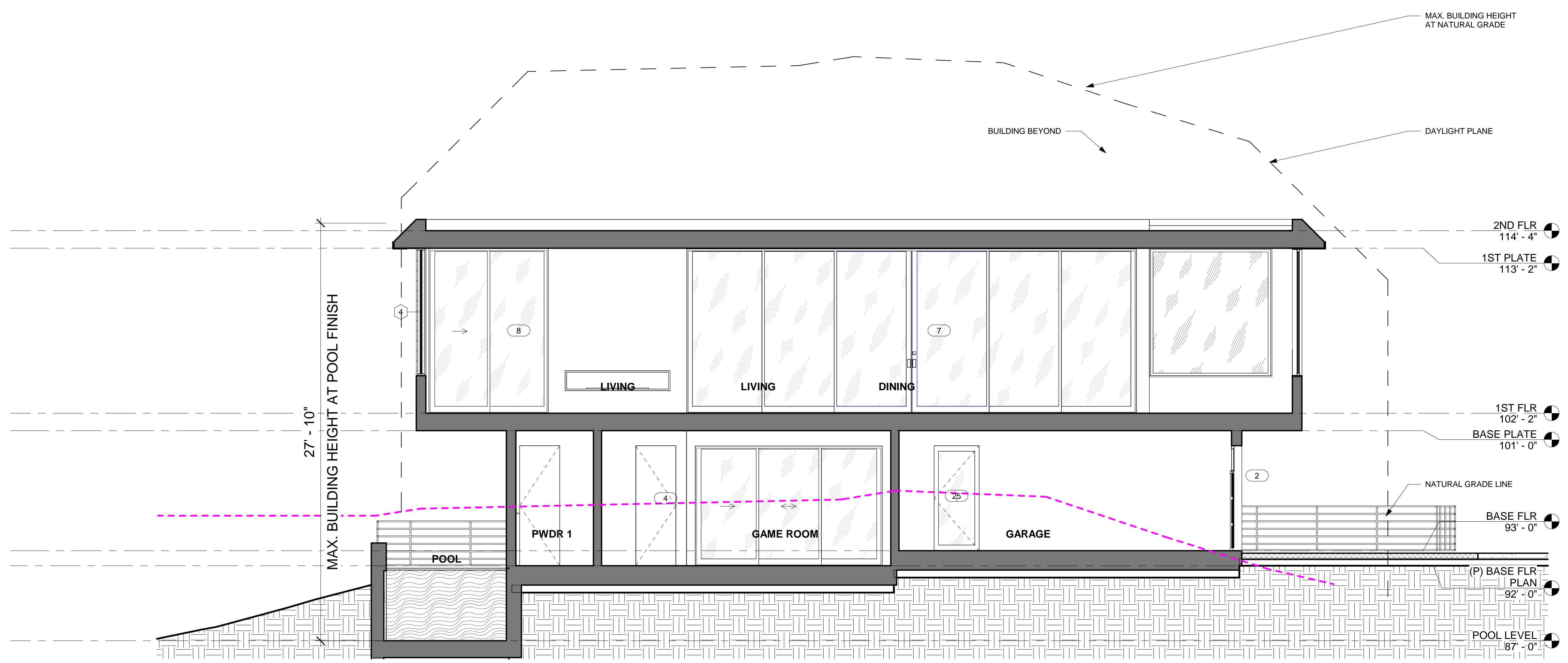
NEW RESIDENCE AT
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 REDWOOD CITY, CA 94062

INTERIOR DESIGN PACKAGE

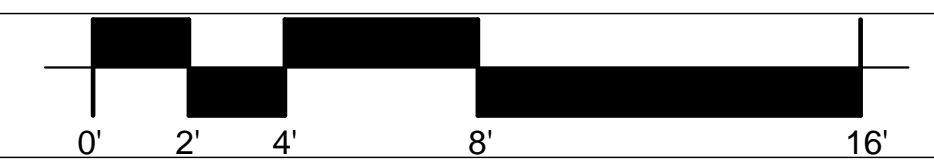
(P) A-A SECTION

09/22/2022

A5.1



(P) A-A SECTION



SCALE: 1/4" = 1'-0" 1

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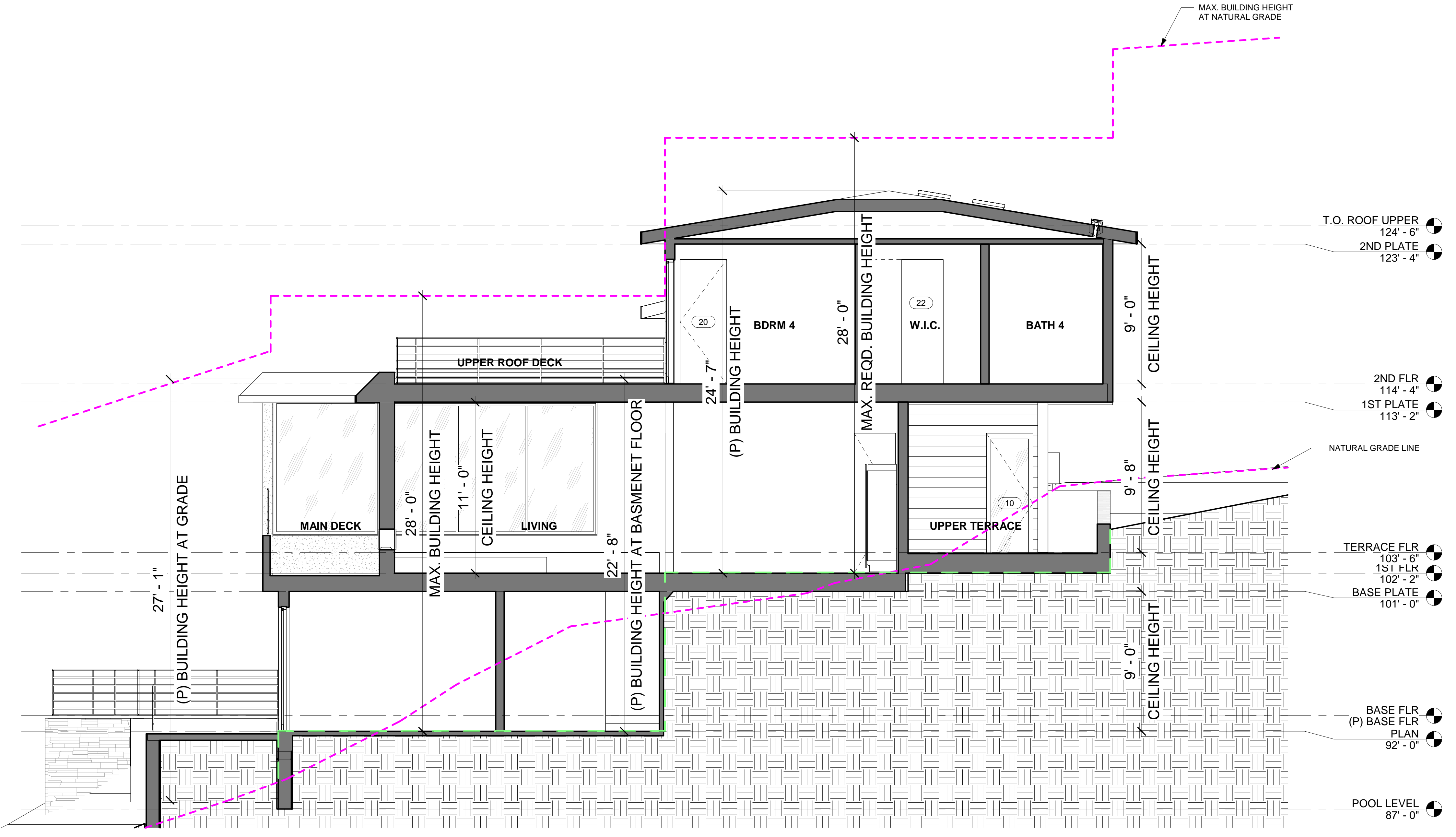
NEW RESIDENCE AT
 634 PALOMAR DRIVE
 REDWOOD CITY, CA 94062

INTERIOR DESIGN PACKAGE
 (P) B-B SECTION

09/22/2022

A5.2

- LEGEND
- ◇ # WALL TAG
 - ◻ # WINDOW TAG
 - ◻ # DOOR TAG
 - ⊕ TEMPERED TAG
 - OBS OBSOURE TAG
 - ⊕ # PLAN NOTE



| Description | Date |
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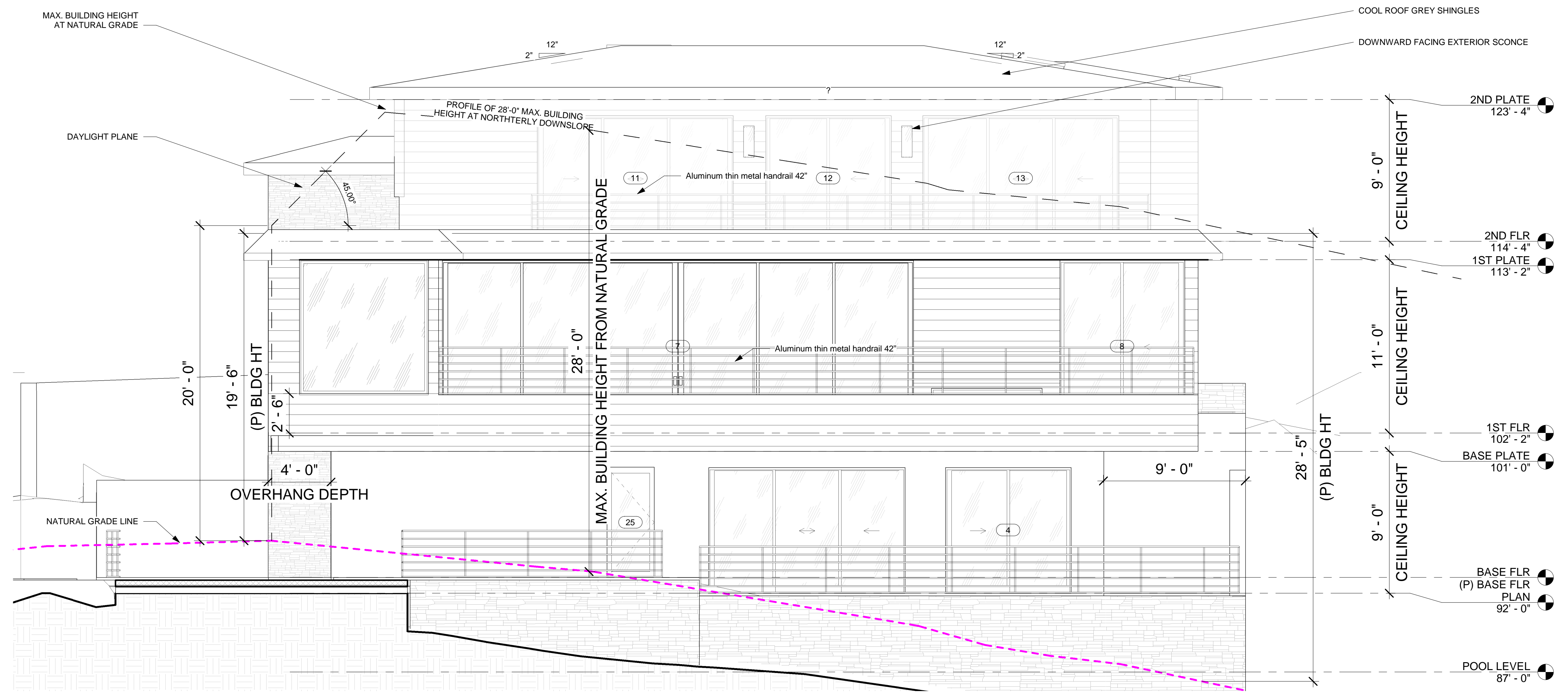
NEW RESIDENCE AT
 634 PALOMAR DRIVE
 REDWOOD CITY, CA 94062

INTERIOR DESIGN PACKAGE
 (P) NORTH ELEVATIONS

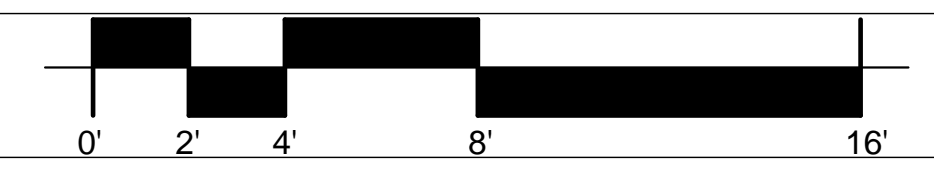
09/22/2022

A6.1

- LEGEND
- ◇ # WALL TAG
 - ◻ # WINDOW TAG
 - ▭ # DOOR TAG
 - ⊕ TEMPERED TAG
 - OBS OBLISCURE TAG
 - ⊙ # PLAN NOTE



(P) NORTH ELEVATIONS



SCALE: 1/4" = 1'-0" 1

| Description | Date |
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- LEGEND
- # WALL TAG
 - # WINDOW TAG
 - # DOOR TAG
 - T TEMPERED TAG
 - OBS OBSCURE TAG
 - # PLAN NOTE



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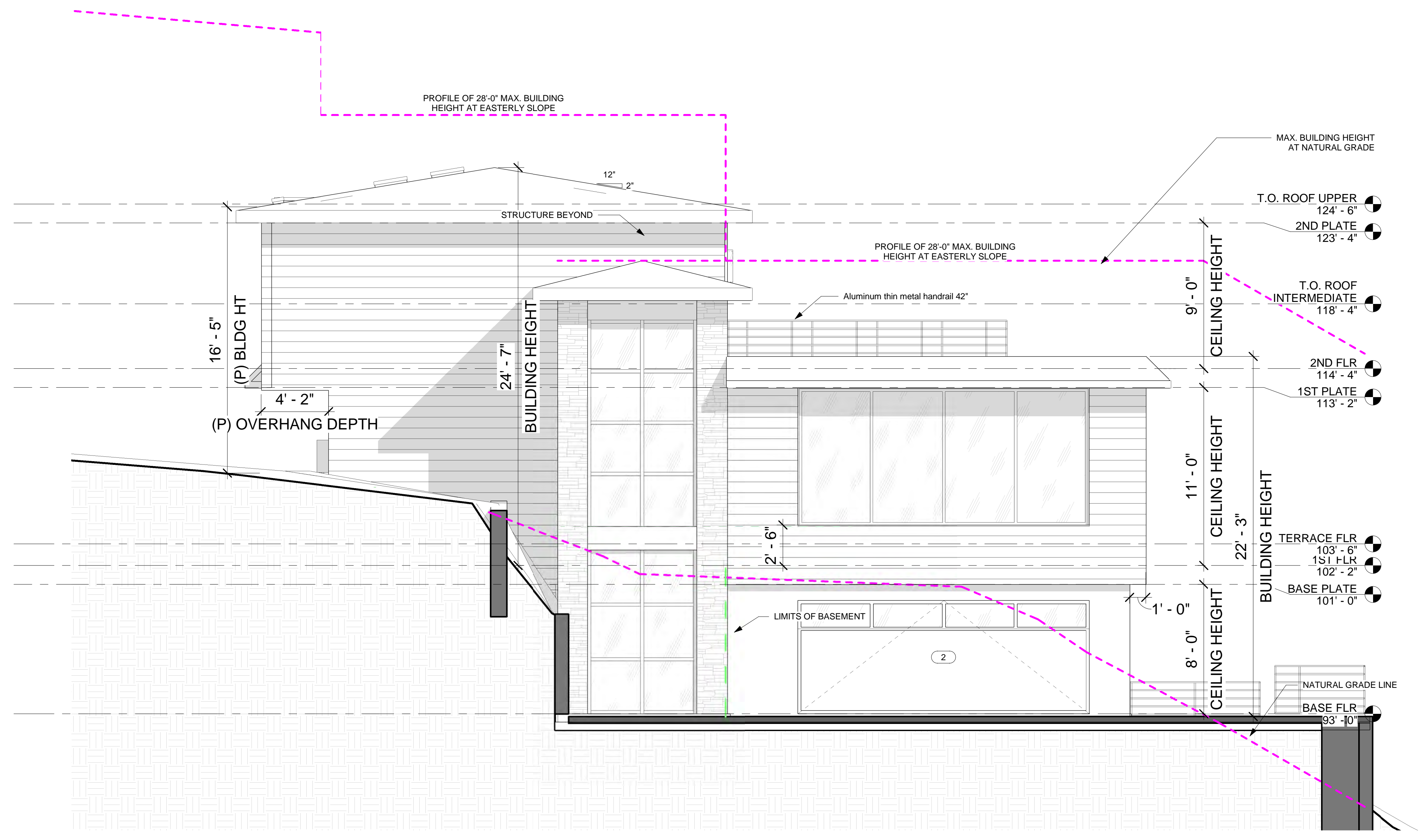
NEW RESIDENCE AT
 634 PALOMAR DRIVE
 REDWOOD CITY, CA 94062

INTERIOR DESIGN PACKAGE

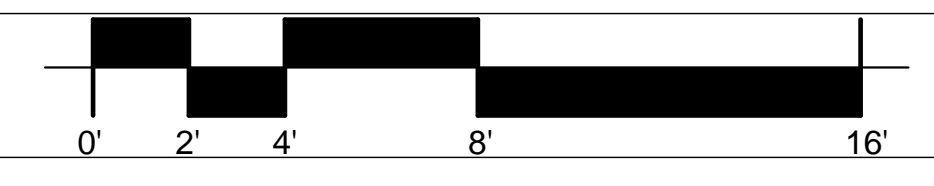
(P) EAST ELEVATIONS

09/22/2022

A6.2



(P) EAST ELEVATIONS



SCALE: 1/4" = 1'-0" 1

| Description | Date |
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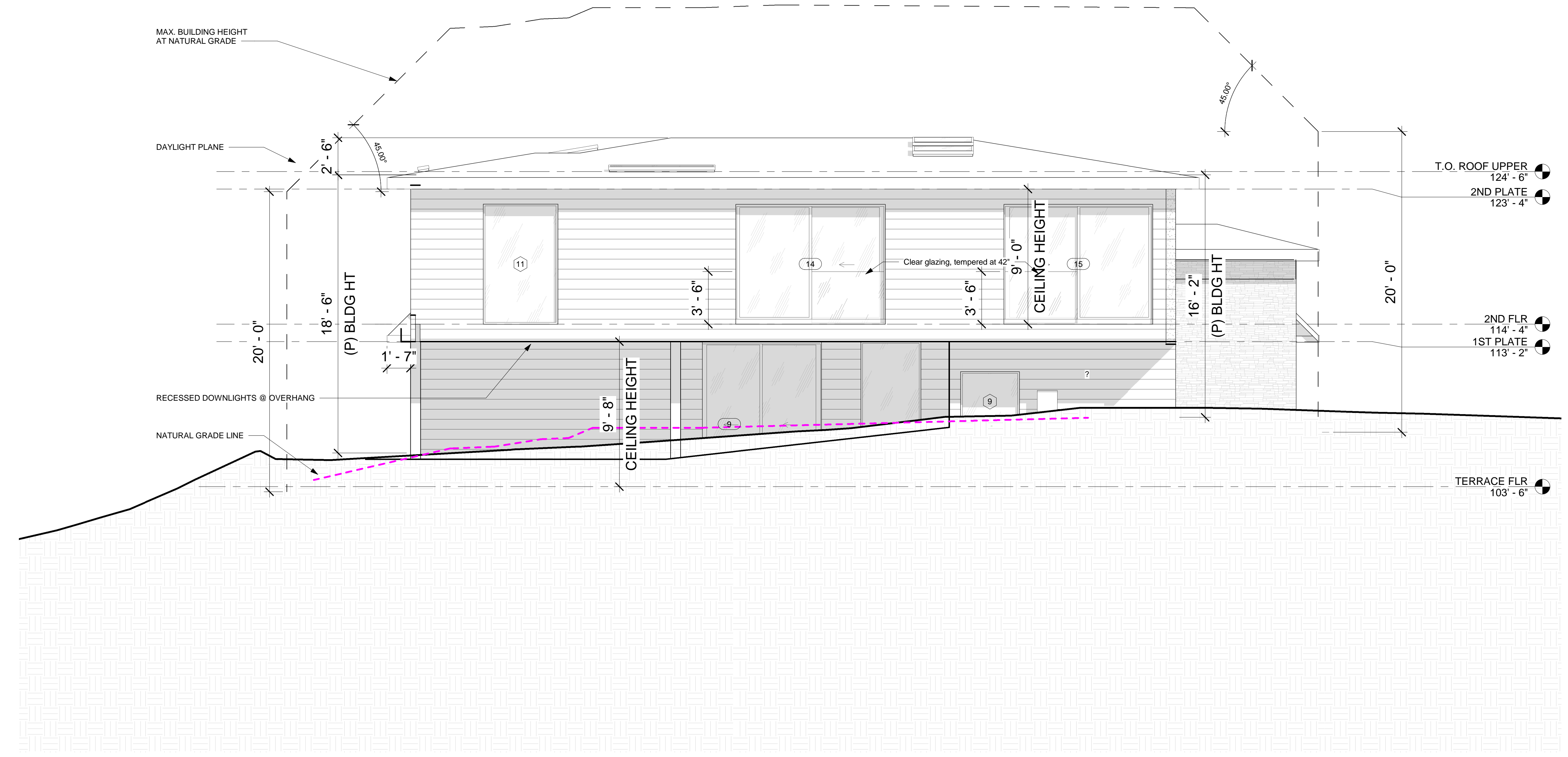
NEW RESIDENCE AT
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 REDWOOD CITY, CA 94062

INTERIOR DESIGN PACKAGE
 (P) SOUTH ELEVATION

09/22/2022

A6.3

- LEGEND
- ◆ WALL TAG
 - ⬢ WINDOW TAG
 - # DOOR TAG
 - T TEMPERED TAG
 - OBS OBSCURE TAG
 - # PLAN NOTE



(P) SOUTH ELEVATION



SCALE: 1/4" = 1'-0" 1

| Description | Date |
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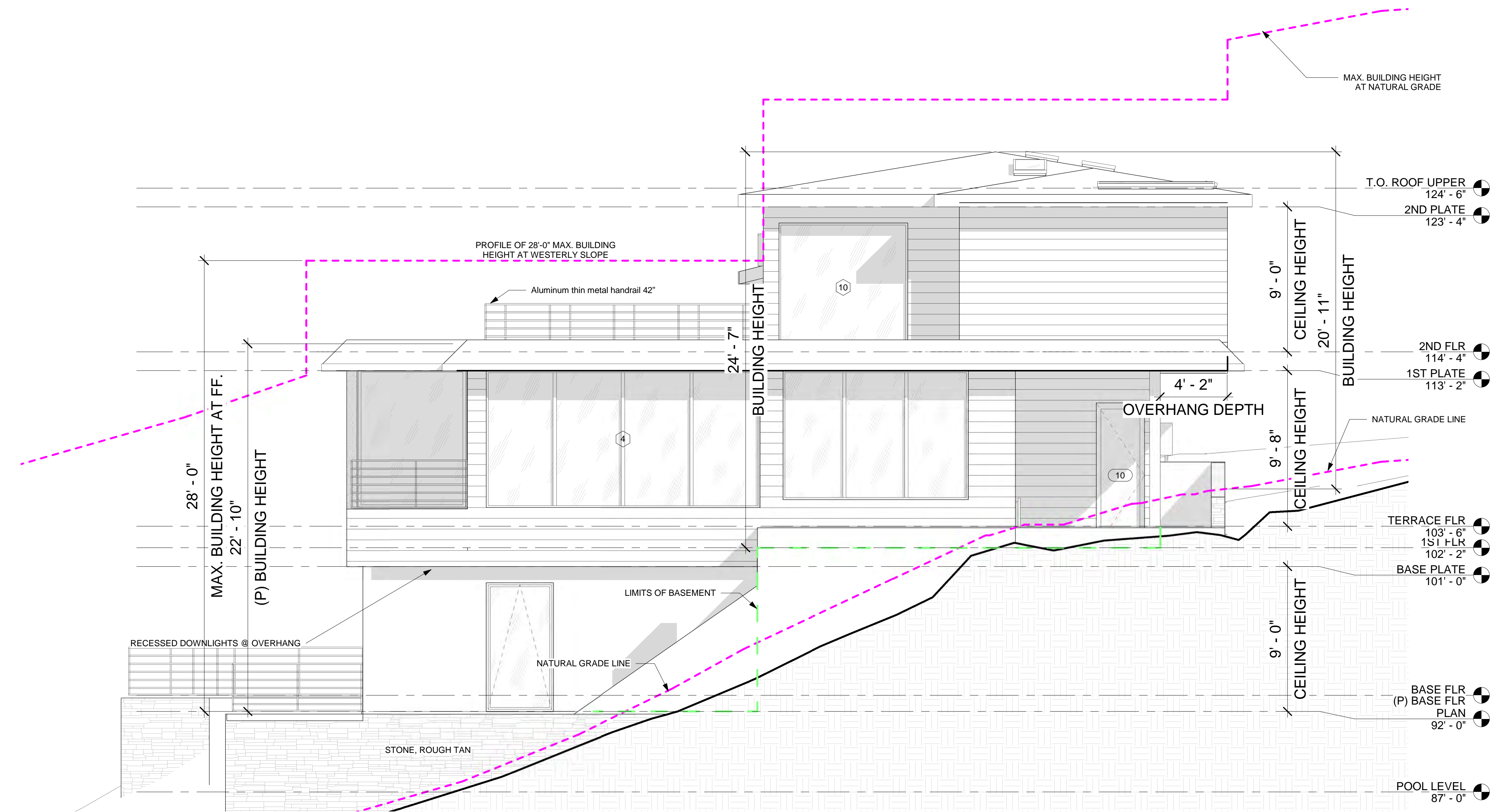
NEW RESIDENCE AT
 634 PALOMAR DRIVE
 REDWOOD CITY, CA 94062

INTERIOR DESIGN PACKAGE
 (P) WEST ELEVATION

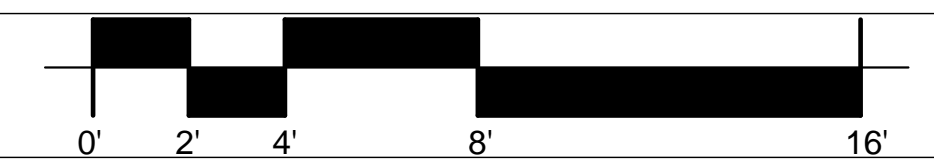
09/22/2022

A6.4

- LEGEND
- ◆ WALL TAG
 - ◻ WINDOW TAG
 - ⊞ DOOR TAG
 - Ⓣ TEMPERED TAG
 - Ⓞ OBS OBTUSE TAG
 - Ⓢ PLAN NOTE



(P) WEST ELEVATION



SCALE: 1/4" = 1'-0" 1



FRONT VIEW



REAR VIEW



STREET VIEW



September 26, 2022

Subject: MATERIALS BOARD
 Re: 634 PALOMAR DRIVE
 REDWOOD CITY, CA 94062

| | |
|---|---|
|  |  |
| ROOF - MENARD BLACK SHINGLES | WINDOWS & DOORS TRIM- BLACK |
|  |  |
| STONE - CORONADO VEIJO RANCH BLEND | WOOD SIDING - POPULAR WOOD T&G |

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| Description | Date |
|-------------|------------|
| REVISION 1 | 12/18/2020 |
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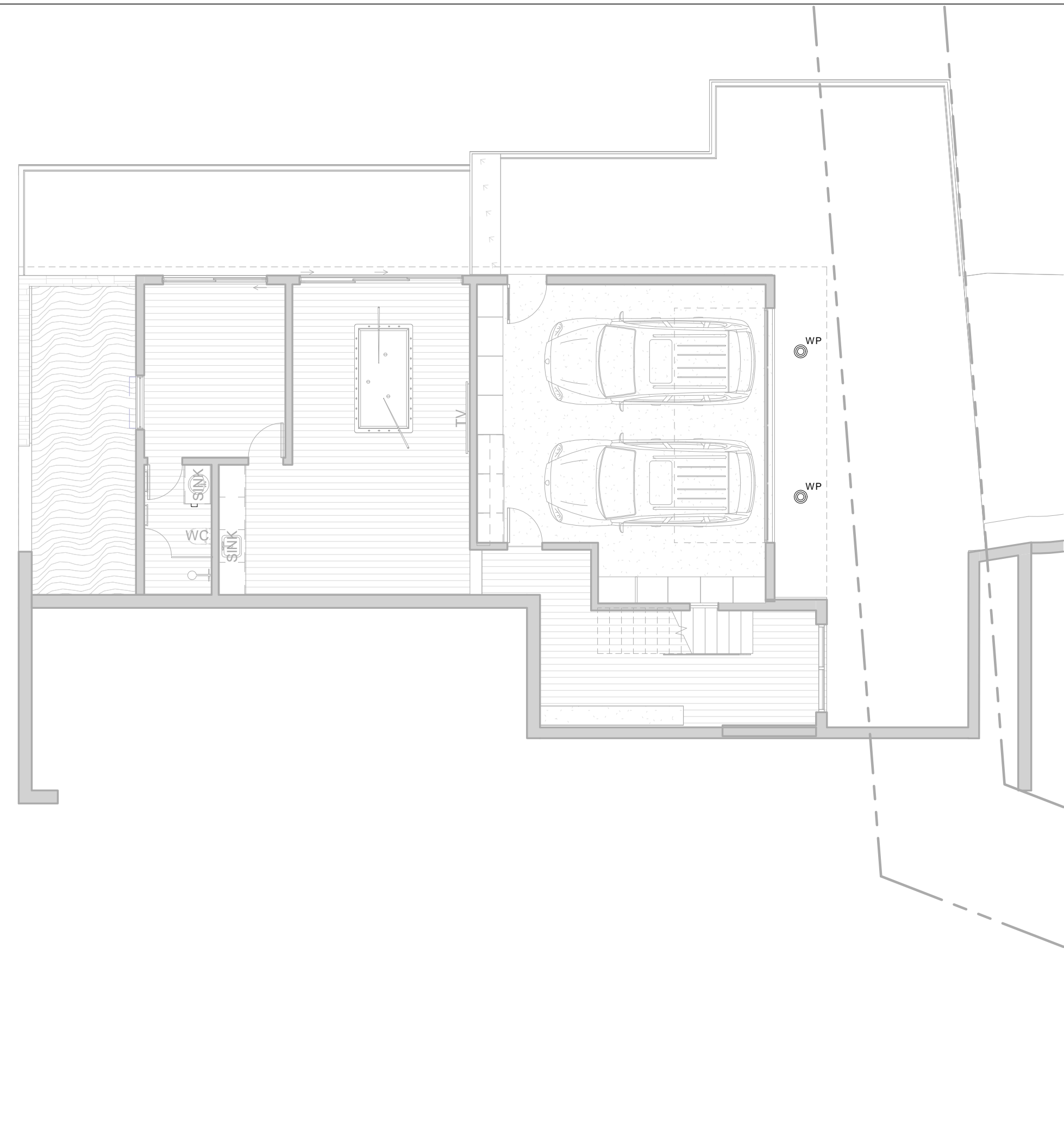
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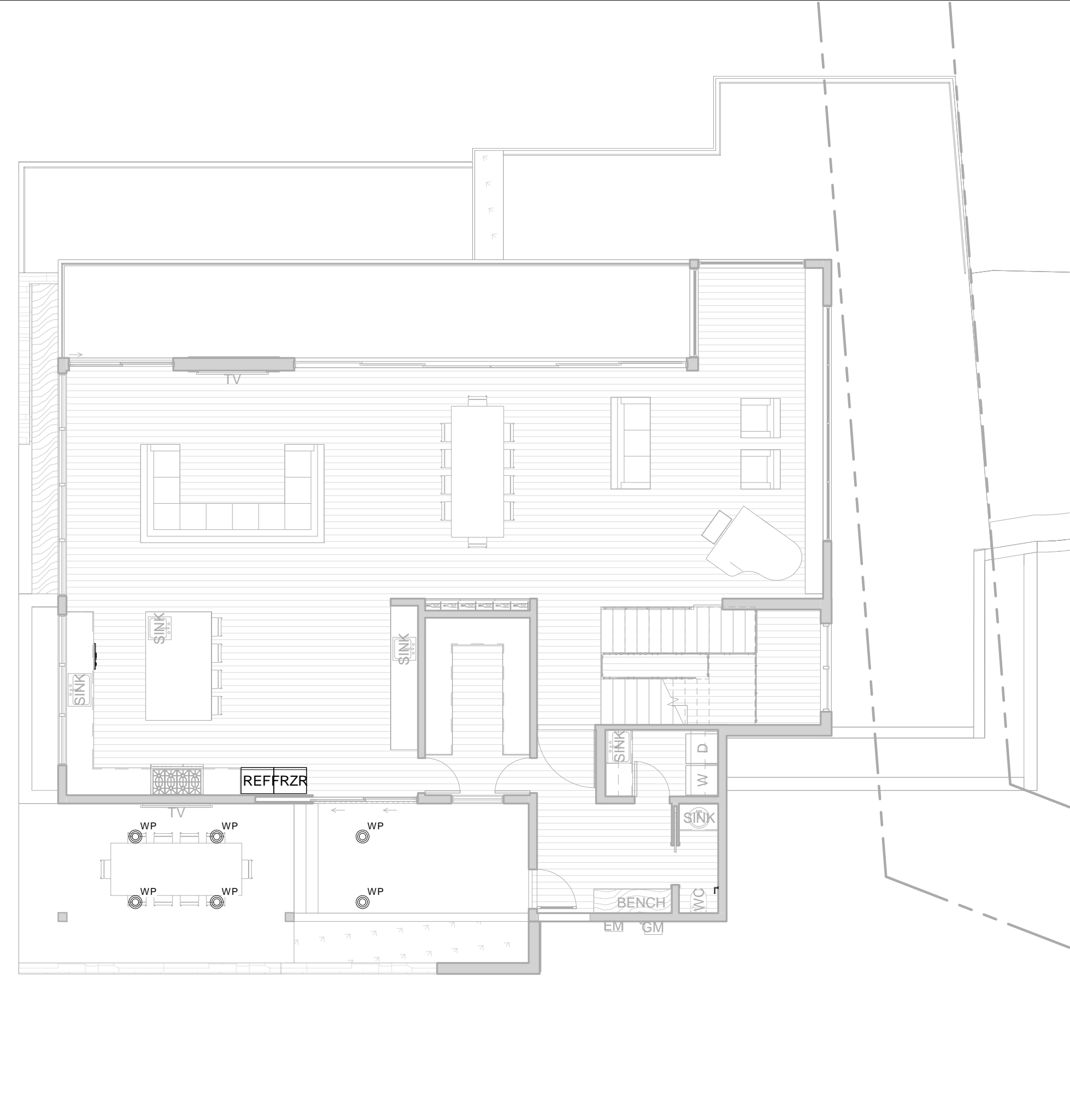
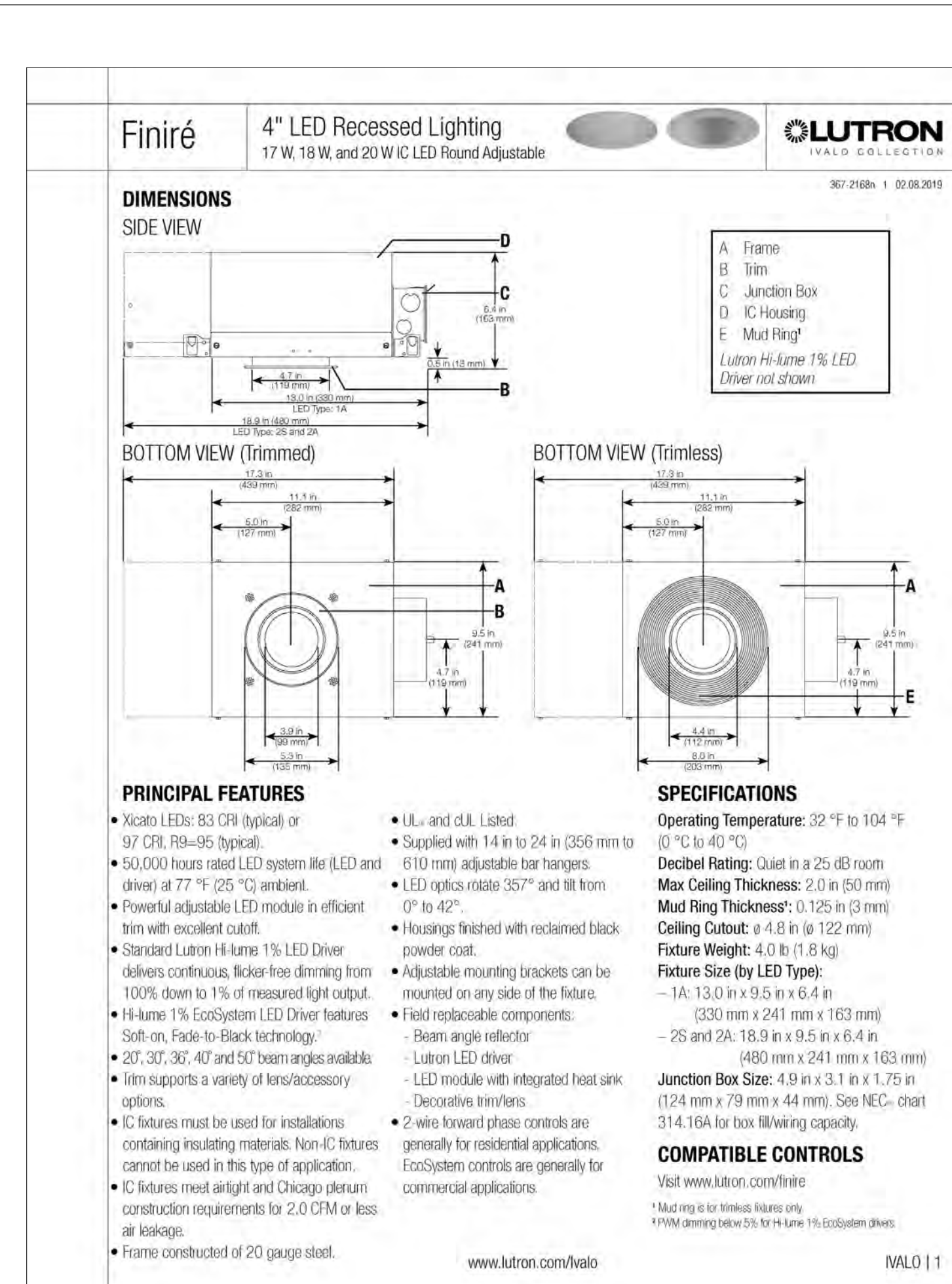
INTERIOR DESIGN PACKAGE
 COLOR/MATERIAL BOARD

09/22/2022

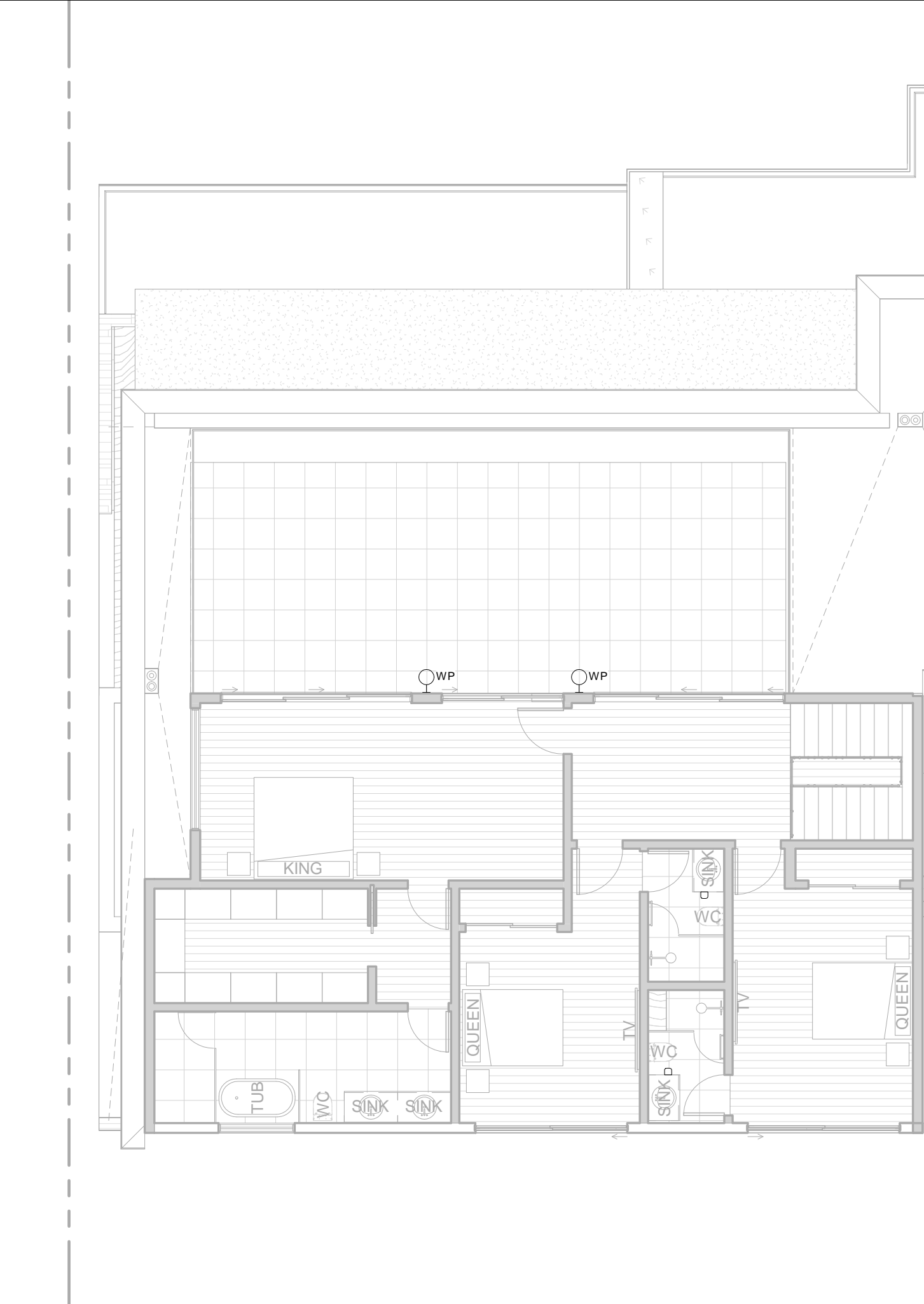
CB.1



BASEMENT FLOOR EXTERIOR LIGHTING PLAN



FIRST FLOOR EXTERIOR LIGHTING PLAN



SECOND FLOOR EXTERIOR LIGHTING PLAN

| Description | Date |
|-------------|------------|
| REVISION 1 | 12/18/2020 |
| REVISION 3 | 12/20/2021 |



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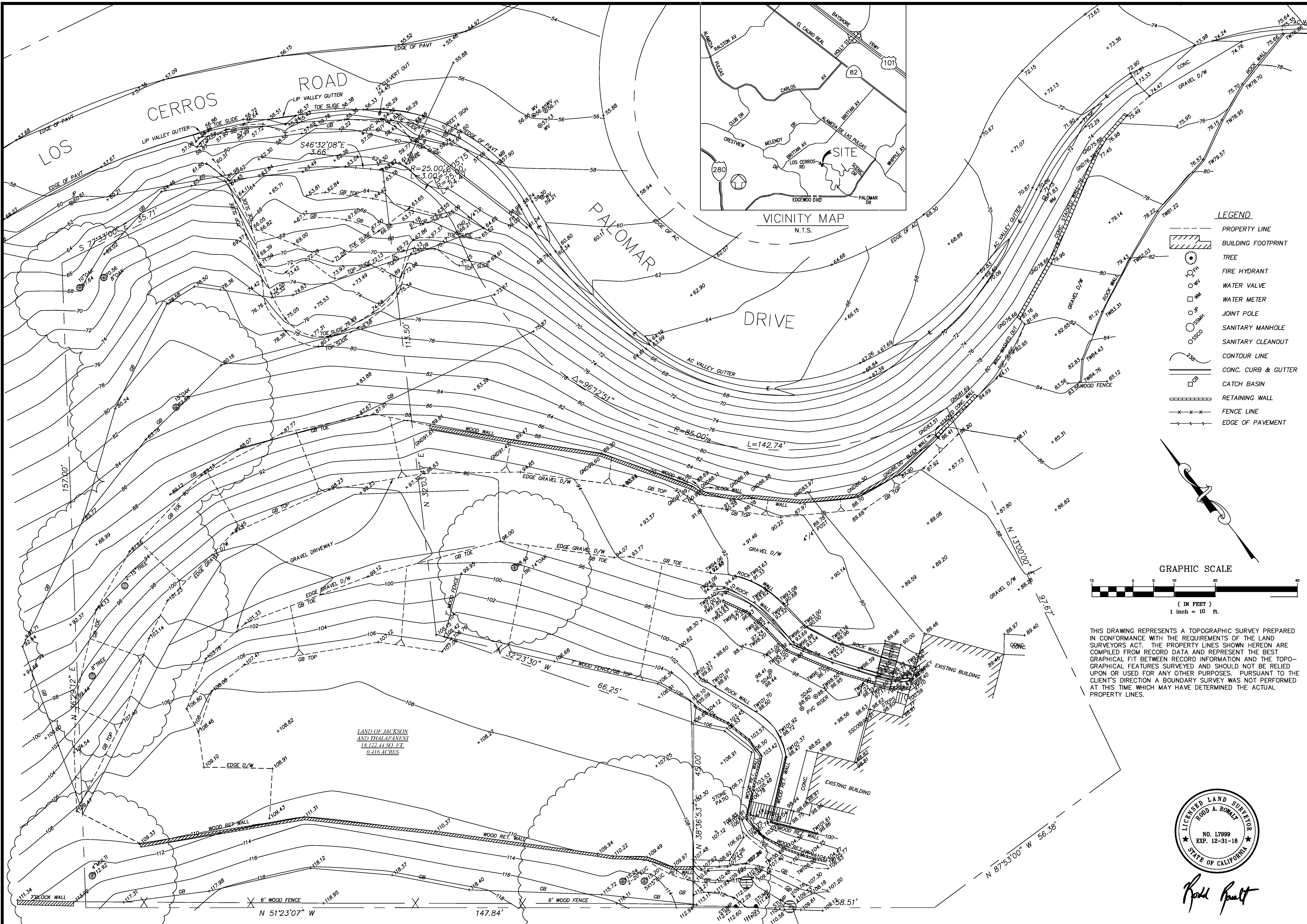
NEW RESIDENCE AT
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REDWOOD CITY, CA 94062

INTERIOR DESIGN PACKAGE
EXTERIOR LIGHTING

09/22/2022

E2.0

THESE IMPROVEMENT PLANS HAVE BEEN PREPARED WITH THE INTENT THAT THE FIRM OF GIULIANI & KULL, INC. WILL BE PERFORMING THE CONSTRUCTION STAKING FOR THE COMPLETED PROJECT. IF, HOWEVER ANOTHER ENGINEERING AND OR SURVEYING FIRM SHOULD BE EMPLOYED TO USE THESE PLANS FOR THE PURPOSE OF CONSTRUCTION STAKING, NOTICE IS HEREBY GIVEN THAT THE FIRM OF GIULIANI & KULL, INC. WILL NOT ASSUME ANY RESPONSIBILITY FOR ERRORS OR OMISSIONS, IF ANY, WHICH MIGHT OCCUR AND WHICH COULD HAVE BEEN AVOIDED, CORRECTED OR MITIGATED IF GIULIANI & KULL, INC. HAD PERFORMED THE STAKING WORK.



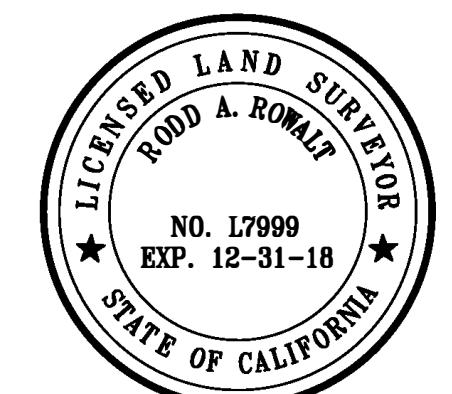
| REVISIONS | DATE | DESIGNED BY | CHECKED BY |
|-----------|------|-------------|------------|
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GIULIANI & KULL, Inc.
 Engineers • Planners • Surveyors
 4880 Stevens Creek Blvd., Suite 205, San Jose, CA 95129
 (408) 615-4000 Fax (408) 615-4004
 Auburn • San Jose • Oakland

634 PALOMAR DRIVE
REDWOOD CITY, CALIFORNIA

TOPOGRAPHIC SURVEY

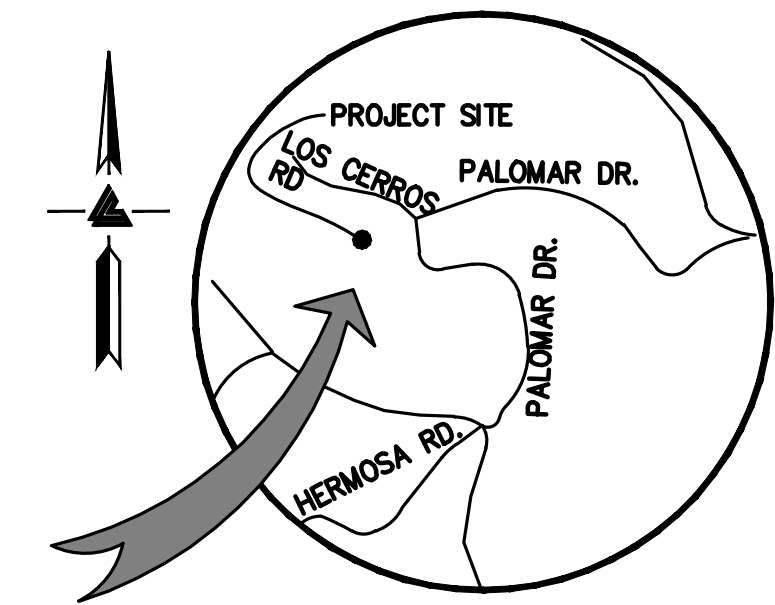
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| SHEET | 1 |
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| JOB NO. | 14144 |



Rod Rompf

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634 PALOMAR DRIVE REDWOOD CITY, CALIFORNIA UNINCORPORATED SAN MATEO COUNTY



LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS
REGIONAL OFFICES:
DUBLIN, CALIFORNIA 94568
HAYWARD, CALIFORNIA 94545
SAN JOSE
(510) 887-4086
WWW.LEABRAZE.COM

634 PALOMAR DRIVE
REDWOOD CITY,
CALIFORNIA
SAN MATEO COUNTY
APN: 051-022-380

TITLE SHEET

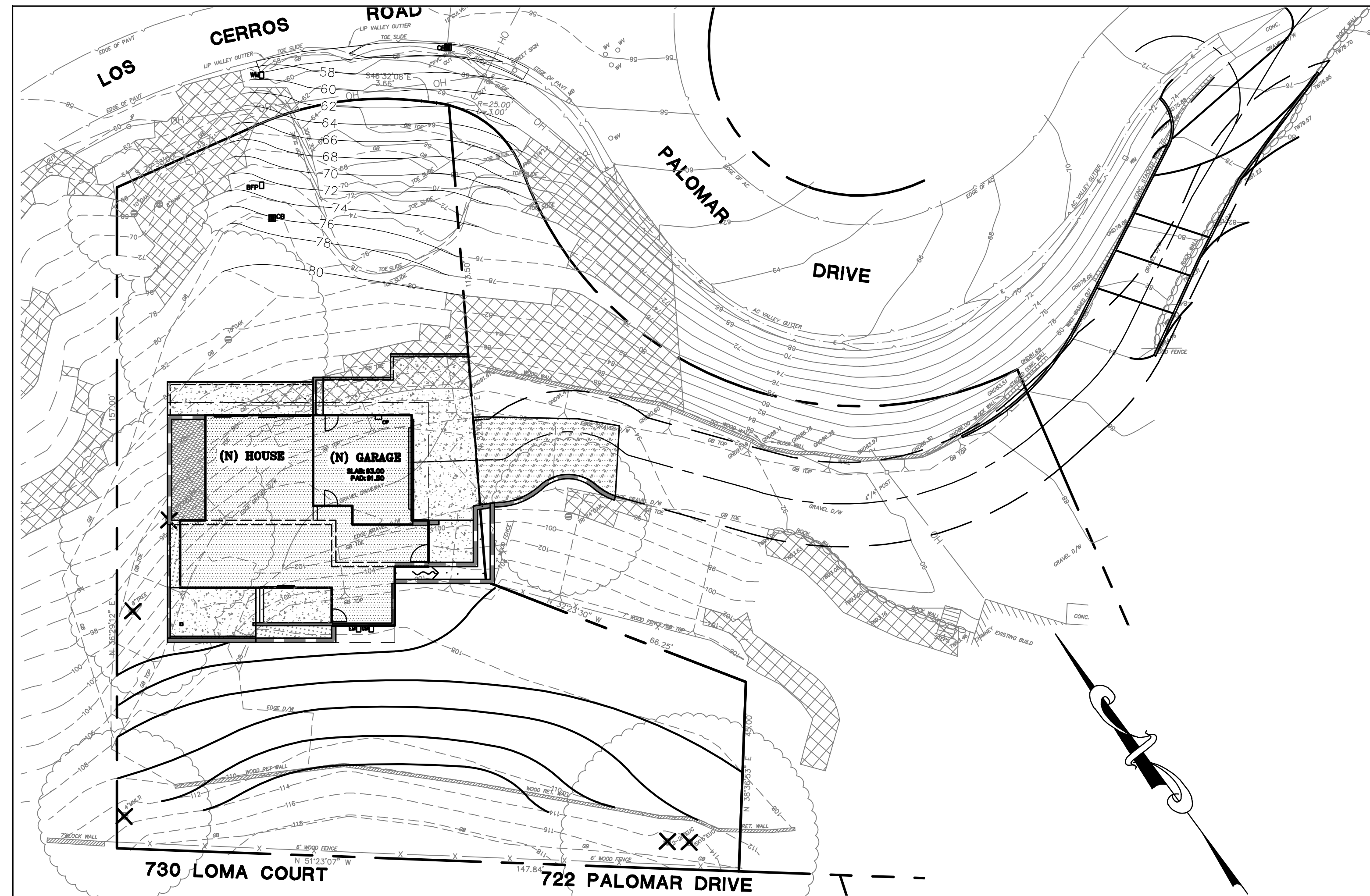
| NO. | REVISIONS | BY |
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| 5 | PLANCHECK 05-24-22 | JOR |
| 4 | PLANCHECK 04-07-22 | JOR |
| 3 | PLANCHECK 11-25-21 | JOR |
| 2 | PLANCHECK 05-28-21 | JOR |
| 1 | PLANCHECK 12-10-20 | JOR |
| JOB NO: 2200474 | | |
| DATE: 07-17-20 | | |
| SCALE: 1"=20' | | |
| DESIGN BY: JOR | | |
| DRAWN BY: JOR | | |
| SHEET NO: | | |
| C-1.0 | | |
| 1 OF 9 SHEETS | | |

LEGEND

| EXISTING | PROPOSED | DESCRIPTION |
|------------|------------|--------------------------|
| --- | --- | BOUNDARY |
| --- | --- | PROPERTY LINE |
| --- | --- | RETAINING WALL |
| --- | --- | LANDSCAPE RETAINING WALL |
| RW --- RW | RW --- RW | RAINWATER TIGHTLINE |
| --- | --- | SUBDRAIN LINE |
| --- | --- | TIGHTLINE |
| --- | --- | STORM DRAIN LINE |
| --- | --- | SANITARY SEWER LINE |
| --- | --- | WATER LINE |
| --- | --- | GAS LINE |
| --- | --- | PRESSURE LINE |
| --- | --- | JOINT TRENCH |
| --- | --- | SET BACK LINE |
| --- | --- | CONCRETE VALLEY GUTTER |
| --- | --- | EARTHEN SWALE |
| CB | CB | CATCH BASIN |
| JB | JB | JUNCTION BOX |
| AD | AD | AREA DRAIN |
| SDMH | SDMH | STORM DRAIN MANHOLE |
| SSMH | SSMH | SANITARY SEWER MANHOLE |
| 222.57 INV | 222.57 INV | SPOT ELEVATION |
| ← | ← | FLOW DIRECTION |
| ⊗ | ⊗ | DEMOLISH/REMOVE |
| ⊕ | ⊕ | BENCHMARK |
| --- | --- | CONTOURS |
| XX | XX | TREE TO BE REMOVED |

ABBREVIATIONS

| | | | |
|----------|---|--------|----------------------------|
| AB | AGGREGATE BASE | LF | LINEAR FEET |
| AC | ASPHALT CONCRETE | MAX | MAXIMUM |
| ACC | ACCESSIBLE | MH | MANHOLE |
| AD | AREA DRAIN | MIN | MINIMUM |
| BC | BEGINNING OF CURVE | MON. | MONUMENT |
| B & D | BEARING & DISTANCE | NEW | NEW |
| BM | BENCHMARK | (N) | NO. |
| BW/FG | BOTTOM OF WALL/FINISH | NTS | NOT TO SCALE |
| CB | CATCH BASIN | O.C. | ON CENTER |
| C & G | CURB AND GUTTER | O/V | OVER |
| C | CENTER LINE | (PA) | PLANTING AREA |
| CPP | CORRUGATED PLASTIC PIPE (SMOOTH INTERIOR) | PE | PEDESTRIAN |
| CO | CLEANOUT | PIV | POST INDICATOR VALVE |
| COTG | CLEANOUT TO GRADE | PSS | PUBLIC SERVICES EASEMENT |
| CONC | CONCRETE | PL | PROPERTY LINE |
| CONST | CONSTRUCT or -TION | PP | POWER POLE |
| CONC COR | CONCRETE CORNER | PUE | PUBLIC UTILITY EASEMENT |
| CY | CUBIC YARD | PVC | POLYVINYL CHLORIDE |
| D | DIAMETER | R | RADIUS |
| DI | DROP INLET | RCP | REINFORCED CONCRETE PIPE |
| DIP | DUCTILE IRON PIPE | RIM | RIM ELEVATION |
| EA | EACH | RW | RAINWATER |
| EC | END OF CURVE | R/W | RIGHT OF WAY |
| EG | EXISTING GRADE | S | SLOPE |
| EL | ELEVATIONS | S.A.D. | SEE ARCHITECTURAL DRAWINGS |
| EP | EDGE OF PAVEMENT | SAN | SANITARY |
| EQ | EQUIPMENT | SD | STORM DRAIN |
| EW | EACH WAY | SDMH | STORM DRAIN MANHOLE |
| (E) | EXISTING | SHT | SHEET |
| FC | FACE OF CURB | S.L.D. | SEE LANDSCAPE DRAWINGS |
| FF | FINISHED FLOOR | SPEC | SPECIFICATION |
| FG | FINISHED GRADE | SS | SANITARY SEWER |
| FH | FIRE HYDRANT | SSCO | SANITARY SEWER CLEANOUT |
| FL | FLOW LINE | SSMH | SANITARY SEWER MANHOLE |
| FS | FINISHED SURFACE | ST | STREET |
| G | GAS | STA | STATION |
| GA | GAGE OR GAUGE | STD | STANDARD |
| GB | GRADE BREAK | STRUCT | STRUCTURAL |
| HDPE | HIGH DENSITY CORRUGATED POLYETHYLENE PIPE | T | TELEPHONE |
| HORIZ | HORIZONTAL | TC | TEMPORARY |
| HI PT | HIGH POINT | TP | TOP OF PAVEMENT |
| H&T | HUB & TACK | TW/FG | TOP OF WALL/FINISH GRADE |
| ID | INSIDE DIAMETER | TYP | TYPICAL |
| INV | INVERT ELEVATION | VC | VERTICAL CURVE |
| JB | JUNCTION BOX | VCP | VETRIFIED CLAY PIPE |
| JT | JOINT TRENCH | VERT | VERTICAL |
| JP | JOINT UTILITY POLE | W/ | WITH |
| L | LENGTH | W, WL | WATER LINE |
| LNDR | LANDING | WM | WATER METER |
| | | WWF | WELDED WIRE FABRIC |

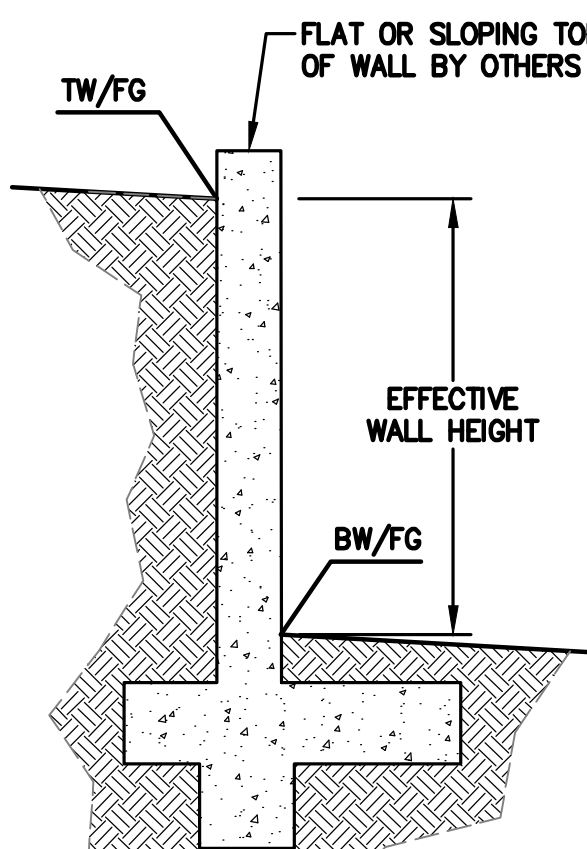


KEY MAP

1" = 20'

RETAINING WALL NOTES

- TW/FG REPRESENTS FINISHED EARTHEN GRADE OR PAVEMENT ELEVATION AT TOP OF WALL, NOT ACTUAL TOP OF WALL MATERIAL. BW/FG REPRESENTS FINISH EARTHEN GRADE OR PAVEMENT ELEVATION AT BOTTOM OF WALL NOT INCLUDING FILL FOUNDATION. GRADES INDICATED ON THESE PLANS REFER TO THE FINISHED GRADES ADJACENT TO THE RETAINING WALL, NOT INCLUDING FOOTING, FREEBOARD, ETC.
- DIMENSIONS SHOWN IN BRACKETS SHOWN AS [X.X'] DENOTE THE EFFECTIVE WALL HEIGHT ONLY. THE ACTUAL WALL HEIGHT AND DEPTH MAY DIFFER DUE TO CONSTRUCTION REQUIREMENTS.
- REFER TO SPECIFIC WALL CONSTRUCTION DETAIL FOR STRUCTURAL ELEMENTS, FREEBOARD, AND EMBEDMENT.
- REFER TO ARCHITECTURAL, LANDSCAPE ARCHITECTURE, AND/OR STRUCTURAL PLANS FOR DETAILS, WALL ELEVATIONS, SUBDRAINAGE, WATERPROOFING, FINISHES, COLORS, STEEL REINFORCING, MATERIALS, ETC. PROVIDE CLIPS OR OTHER MEANS OF SECURING FINISH MATERIALS AS NECESSARY (WET SET INTO THE WALL).
- ALL RETAINING WALLS SHOULD HAVE A BACK-OF-WALL SUB-SURFACE DRAINAGE SYSTEM INCLUDING WEEPHOLES TO PREVENT HYDROSTATIC PRESSURE.
- SEE DETAIL SHEET FOR SPECIFIC INFORMATION.
- PROVIDE GUARDRAIL (WHERE APPLICABLE AND DESIGNED BY OTHERS) AS REQUIRED FOR GRADE SEPARATION OF 30 INCHES OR MORE MEASURED 5' HORIZONTALLY FROM FACE OF WALL, PER CBC.



SCHEMATIC RETAINING WALL. PLEASE NOTE THE DETAIL ABOVE IS SCHEMATIC ONLY AND DOES NOT PERTAIN TO ANY SPECIFIC RETAINING WALL LOCATED ON-SITE.

*** BUILDING PAD NOTE:**
ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD LEVEL.

NOTE:
FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING (510)887-4086 EXT 116. aabaya@leabraze.com



INSPECTIONS REQUIRED
THE COUNTY OF SAN MATEO REQUIRES LEA & BRAZE ENGINEERING, INC. TO INSPECT ALL STORM DRAINAGE AS IT IS INSTALLED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT LEA & BRAZE ENGINEERING, INC. PRIOR TO START OF CONSTRUCTION TO SET UP A PRE-CONSTRUCTION MEETING, AND TO CALL AT LEAST 48 HOURS IN ADVANCE OF ANY INSPECTIONS. PIPES ARE TO REMAIN UNCOVERED UNTIL AN INSPECTION PERFORMED BY LEA & BRAZE ENGINEERING, INC. OCCURS.
POINT OF CONTACT:
JIM TOBY
LEA & BRAZE ENGINEERING, INC.
(510)887-4086 jtoby@leabraze.com

SITE DEVELOPMENT INFORMATION

| | |
|-----------------------|-------------------------|
| TOTAL SITE AREA: | 18,129 SQFT / 0.42 ACRE |
| TOTAL DISTURBED AREA: | 14,359 SQFT / 0.33 ACRE |

ESTIMATED EARTHWORK QUANTITIES

| CUBIC YARDS | WITHIN BUILDING FOOTPRINT | OUTSIDE BUILDING FOOTPRINT | SWIMMING POOL(S) AND SPA(S) | OFFSITE/ROADWAY | TOTAL CUBIC YARDS |
|-------------|---------------------------|----------------------------|-----------------------------|-----------------|-------------------|
| CUT | 525 | 290 | 35 | 30 | 880 |
| FILL | 0 | 90 | 0 | 0 | 90 |
| EXPORT | | | | | 790 |

NOTE:
GRADING QUANTITIES REPRESENT BANK YARDAGE. IT DOES NOT INCLUDE ANY SWELLING OR SHRINKAGE FACTORS AND IS INTENDED TO REPRESENT IN-SITU CONDITIONS. QUANTITIES DO NOT INCLUDE OVER-EXCAVATION, TRENCHING, STRUCTURAL FOUNDATIONS OR PIERS, OR POOL EXCAVATION (IF ANY). NOTE ADDITIONAL EARTHWORKS, SUCH AS KEYWAYS OR BENCHING MAY BE REQUIRED BY THE GEOTECHNICAL ENGINEER IN THE FIELD AT TIME OF CONSTRUCTION. CONTRACTOR TO VERIFY QUANTITIES.

SHEET INDEX

| | |
|-------|---------------------------|
| C-1.0 | TITLE SHEET |
| C-2.0 | GRADING & DRAINAGE PLAN |
| C-3.0 | UTILITY PLAN |
| C-4.0 | DETAILS |
| C-4.1 | DETAILS |
| C-5.0 | GRADING SPECIFICATIONS |
| C-6.0 | DRIVEWAY PROFILES |
| ER-1 | EROSION CONTROL |
| ER-2 | EROSION CONTROL DETAILS |
| BMP | BEST MANAGEMENT PRACTICES |

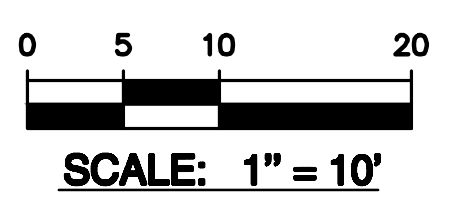
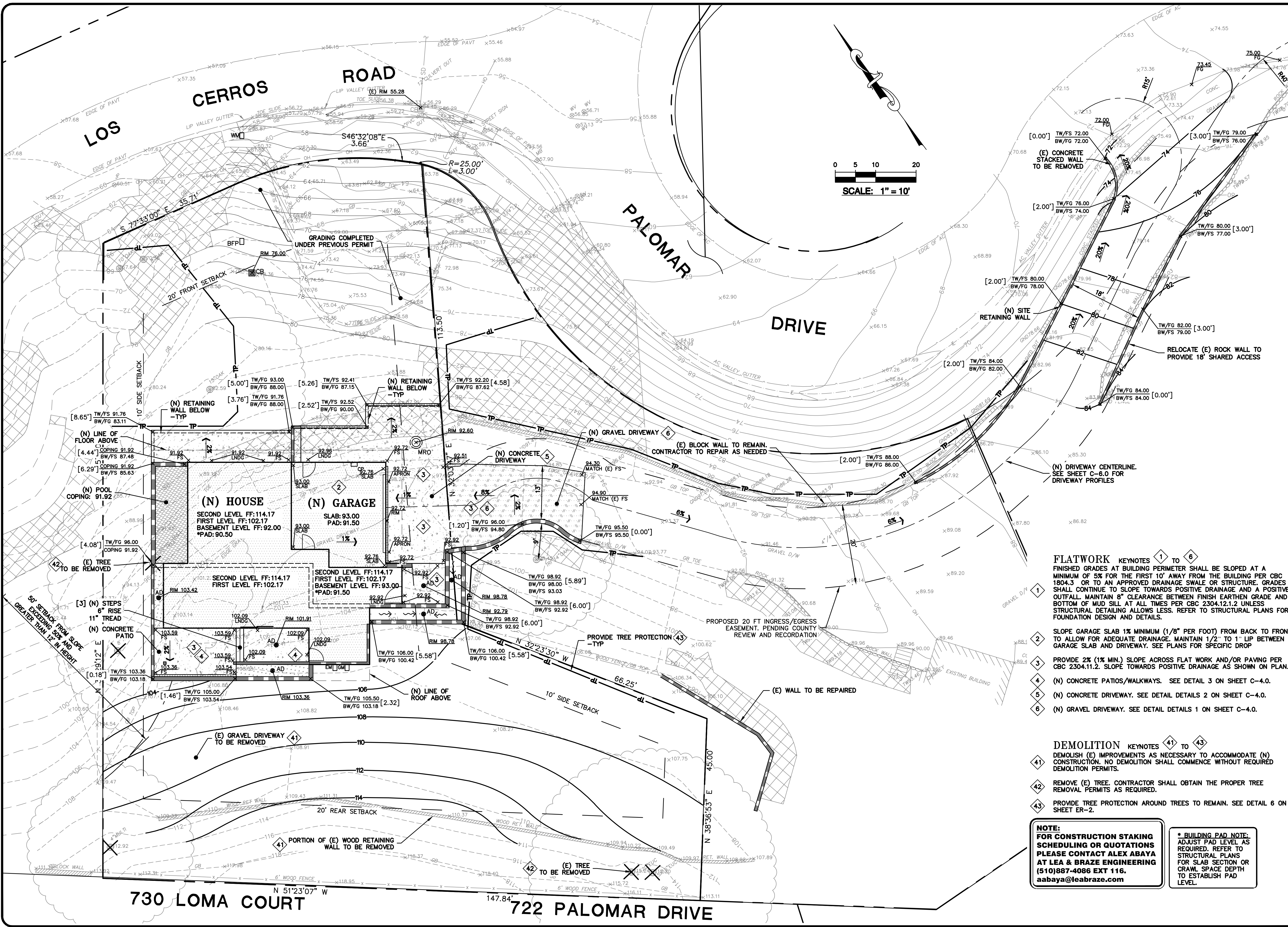


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 HAYWARD OFFICE: 10000 RIVINGTON WAY, HAYWARD, CALIFORNIA 94545
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**634 PALOMAR DRIVE
 REDWOOD CITY,
 CALIFORNIA**
 SAN MATEO COUNTY
 APN: 051-022-380

**GRADING &
 DRAINAGE PLAN**

| NO. | REVISIONS | BY |
|-----|-------------------|-----|
| 5 | PLANCHCK 05-24-22 | JOR |
| 4 | PLANCHCK 04-07-22 | JOR |
| 3 | PLANCHCK 11-25-21 | JOR |
| 2 | PLANCHCK 05-28-21 | JOR |
| 1 | PLANCHCK 12-10-20 | JOR |



- FLATWORK KEYNOTES 1 TO 6**
- 1 FINISHED GRADES AT BUILDING PERIMETER SHALL BE SLOPED AT A MINIMUM OF 5% FOR THE FIRST 10' AWAY FROM THE BUILDING PER CBC 1804.3 OR TO AN APPROVED DRAINAGE SWALE OR STRUCTURE. GRADES SHALL CONTINUE TO SLOPE TOWARDS POSITIVE DRAINAGE AND A POSITIVE OUTFALL. MAINTAIN 8" CLEARANCE BETWEEN FINISH EARTHEN GRADE AND BOTTOM OF MUD SILL AT ALL TIMES PER CBC 2304.12.1.2 UNLESS STRUCTURAL DETAILING ALLOWS LESS. REFER TO STRUCTURAL PLANS FOR FOUNDATION DESIGN AND DETAILS.
 - 2 SLOPE GARAGE SLAB 1% MINIMUM (1/8" PER FOOT) FROM BACK TO FRONT TO ALLOW FOR ADEQUATE DRAINAGE. MAINTAIN 1/2" TO 1" LIP BETWEEN GARAGE SLAB AND DRIVEWAY. SEE PLANS FOR SPECIFIC DROP
 - 3 PROVIDE 2% (1% MIN.) SLOPE ACROSS FLAT WORK AND/OR PAVING PER CBC 2304.11.2. SLOPE TOWARDS POSITIVE DRAINAGE AS SHOWN ON PLAN.
 - 4 (N) CONCRETE PATIOS/WALKWAYS. SEE DETAIL 3 ON SHEET C-4.0.
 - 5 (N) CONCRETE DRIVEWAY. SEE DETAIL DETAILS 2 ON SHEET C-4.0.
 - 6 (N) GRAVEL DRIVEWAY. SEE DETAIL DETAILS 1 ON SHEET C-4.0.

- DEMOLITION KEYNOTES 41 TO 43**
- 41 DEMOLISH (E) IMPROVEMENTS AS NECESSARY TO ACCOMMODATE (N) CONSTRUCTION. NO DEMOLITION SHALL COMMENCE WITHOUT REQUIRED DEMOLITION PERMITS.
 - 42 REMOVE (E) TREE. CONTRACTOR SHALL OBTAIN THE PROPER TREE REMOVAL PERMITS AS REQUIRED.
 - 43 PROVIDE TREE PROTECTION AROUND TREES TO REMAIN. SEE DETAIL 6 ON SHEET ER-2.

NOTE:
 FOR CONSTRUCTION STAKING
 SCHEDULING OR QUOTATIONS
 PLEASE CONTACT ALEX ABAYA
 AT LEA & BRAZE ENGINEERING
 (510)887-4086 EXT 116.
 aabaya@leabraze.com

*** BUILDING PAD NOTE:**
 ADJUST PAD LEVEL AS
 REQUIRED. REFER TO
 STRUCTURAL PLANS
 FOR SLAB SECTION OR
 CRAWL SPACE DEPTH
 TO ESTABLISH PAD
 LEVEL.



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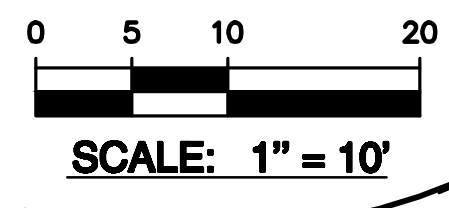
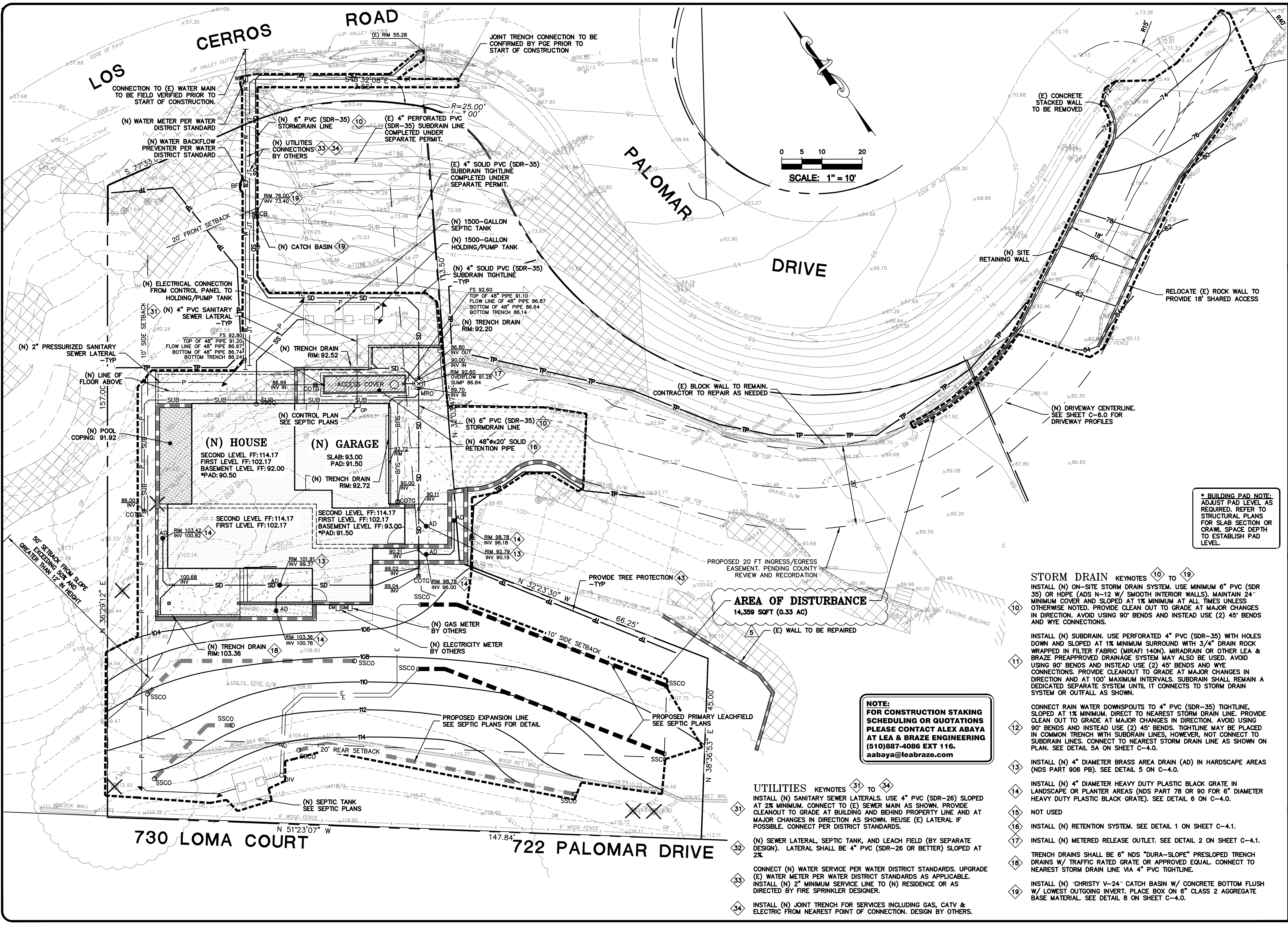
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 REDWOOD CITY,
 CALIFORNIA

UTILITY PLAN

| PLANCHUCK | DATE | JOB NO. |
|-----------|----------|---------|
| 5 | 05-24-22 | JOR |
| 4 | 04-07-22 | JOR |
| 3 | 11-25-21 | JOR |
| 2 | 05-28-21 | JOR |
| 1 | 12-10-20 | JOR |
| REVISIONS | BY | |

JOB NO: 2200474
 DATE: 07-17-20
 SCALE: 1"=10'
 DESIGN BY: JOR
 DRAWN BY: JOR
 SHEET NO:

C-3.0
 3 OF 9 SHEETS



*** BUILDING PAD NOTE:**
 ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD LEVEL.

STORM DRAIN KEYNOTES 10 TO 19
 INSTALL (N) ON-SITE STORM DRAIN SYSTEM. USE MINIMUM 6" PVC (SDR 35) OR HDPE (ADS N-12 W/ SMOOTH INTERIOR WALLS). MAINTAIN 24" MINIMUM COVER AND SLOPED AT 1% MINIMUM AT ALL TIMES UNLESS OTHERWISE NOTED. PROVIDE CLEAN OUT TO GRADE AT MAJOR CHANGES IN DIRECTION. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS AND WYE CONNECTIONS.

INSTALL (N) SUBDRAIN. USE PERFORATED 4" PVC (SDR-35) WITH HOLES DOWN AND SLOPED AT 1% MINIMUM SURROUND WITH 3/4" DRAIN ROCK WRAPPED IN FILTER FABRIC (MIRAFI 140N). MIRADRAIN OR OTHER LEA & BRAZE PREAPPROVED DRAINAGE SYSTEM MAY ALSO BE USED. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS AND WYE CONNECTIONS. PROVIDE CLEANOUT TO GRADE AT MAJOR CHANGES IN DIRECTION AND AT 100' MAXIMUM INTERVALS. SUBDRAIN SHALL REMAIN A DEDICATED SEPARATE SYSTEM UNTIL IT CONNECTS TO STORM DRAIN SYSTEM OR OUTFALL AS SHOWN.

CONNECT RAIN WATER DOWNSPOUTS TO 4" PVC (SDR-35) TIGHTLINE, SLOPED AT 1% MINIMUM. DIRECT TO NEAREST STORM DRAIN LINE. PROVIDE CLEAN OUT TO GRADE AT MAJOR CHANGES IN DIRECTION. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS. TIGHTLINE MAY BE PLACED IN COMMON TRENCH WITH SUBDRAIN LINES, HOWEVER, NOT CONNECT TO SUBDRAIN LINES. CONNECT TO NEAREST STORM DRAIN LINE AS SHOWN ON PLAN. SEE DETAIL 5A ON SHEET C-4.0.

INSTALL (N) 4" DIAMETER BRASS AREA DRAIN (AD) IN HARDSCAPE AREAS (NDS PART 906 PB). SEE DETAIL 5 ON C-4.0.

INSTALL (N) 4" DIAMETER HEAVY DUTY PLASTIC BLACK GRATE IN LANDSCAPE OR PLANTER AREAS (NDS PART 78 OR 90 FOR 6" DIAMETER HEAVY DUTY PLASTIC BLACK GRATE). SEE DETAIL 6 ON C-4.0.

INSTALL (N) RETENTION SYSTEM. SEE DETAIL 1 ON SHEET C-4.1.

INSTALL (N) METERED RELEASE OUTLET. SEE DETAIL 2 ON SHEET C-4.1.

TRENCH DRAINS SHALL BE 6" NDS "DURA-SLOPE" PRESLOPED TRENCH DRAINS W/ TRAFFIC RATED GRATE OR APPROVED EQUAL. CONNECT TO NEAREST STORM DRAIN LINE VIA 4" PVC TIGHTLINE.

INSTALL (N) "CHRISTY V-24" CATCH BASIN W/ CONCRETE BOTTOM FLUSH W/ LOWEST OUTGOING INVERT. PLACE BOX ON 6" CLASS 2 AGGREGATE BASE MATERIAL. SEE DETAIL 8 ON SHEET C-4.0.

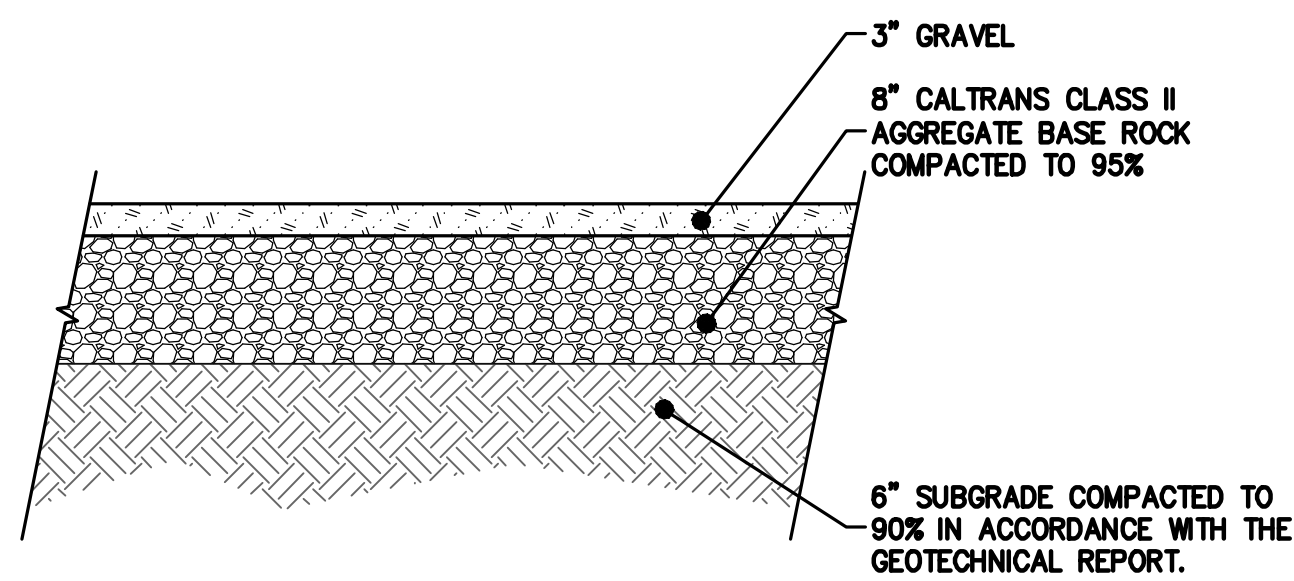
NOTE:
 FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING (510)887-4086 EXT 116. aabaya@leabrazecom

UTILITIES KEYNOTES 31 TO 34
 INSTALL (N) SANITARY SEWER LATERALS. USE 4" PVC (SDR-26) SLOPED AT 2% MINIMUM. CONNECT TO (E) SEWER MAIN AS SHOWN. PROVIDE CLEANOUT TO GRADE AT BUILDING AND BEHIND PROPERTY LINE AND AT MAJOR CHANGES IN DIRECTION AS SHOWN. REUSE (E) LATERAL IF POSSIBLE. CONNECT PER DISTRICT STANDARDS.
 (N) SEWER LATERAL, SEPTIC TANK, AND LEACH FIELD (BY SEPARATE DESIGN). LATERAL SHALL BE 4" PVC (SDR-26 OR BETTER) SLOPED AT 2%.

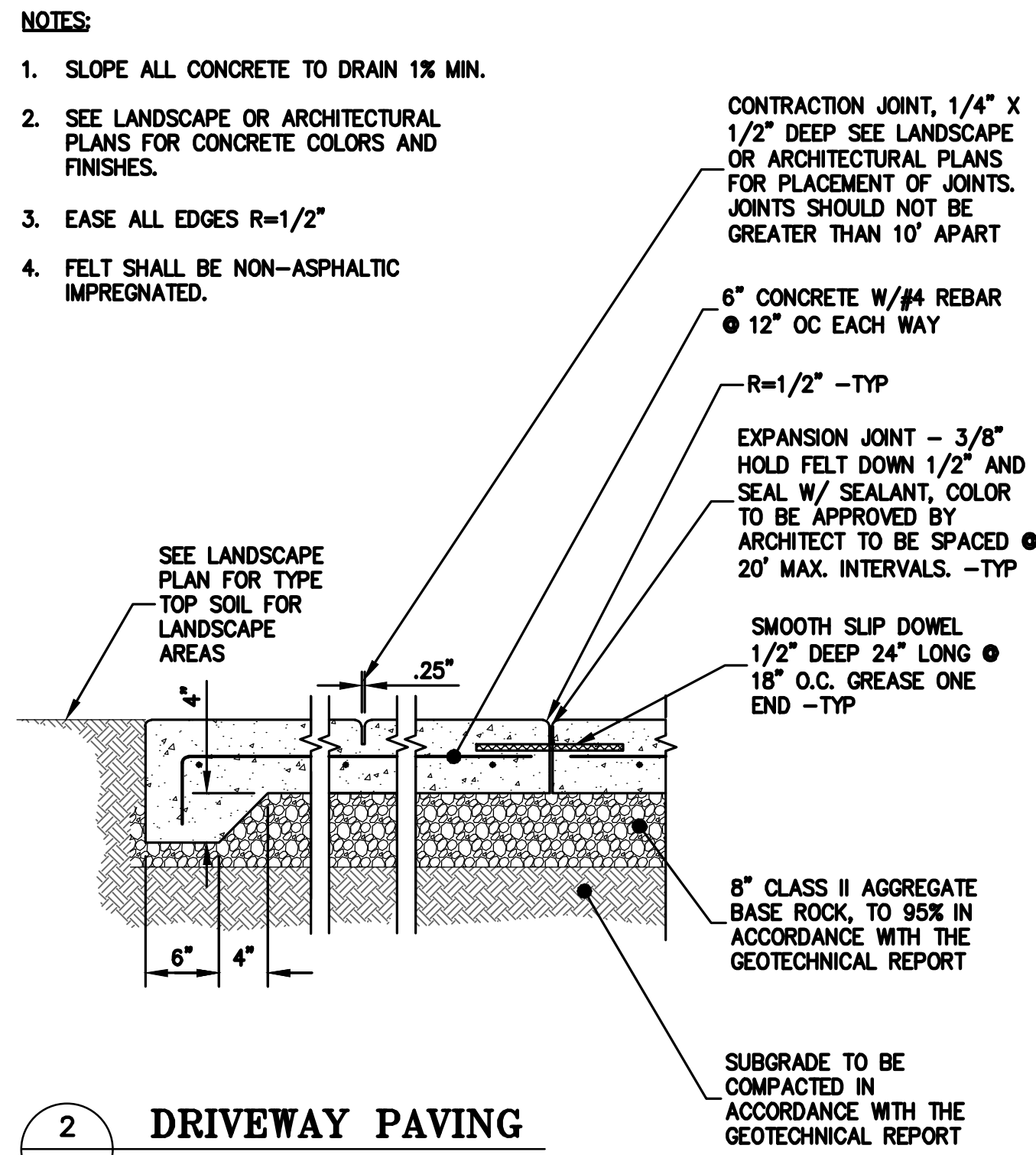
CONNECT (N) WATER SERVICE PER WATER DISTRICT STANDARDS. UPGRADE (E) WATER METER PER WATER DISTRICT STANDARDS AS APPLICABLE. INSTALL (N) 2" MINIMUM SERVICE LINE TO (N) RESIDENCE OR AS DIRECTED BY FIRE SPRINKLER DESIGNER.

INSTALL (N) JOINT TRENCH FOR SERVICES INCLUDING GAS, CATV & ELECTRIC FROM NEAREST POINT OF CONNECTION. DESIGN BY OTHERS.

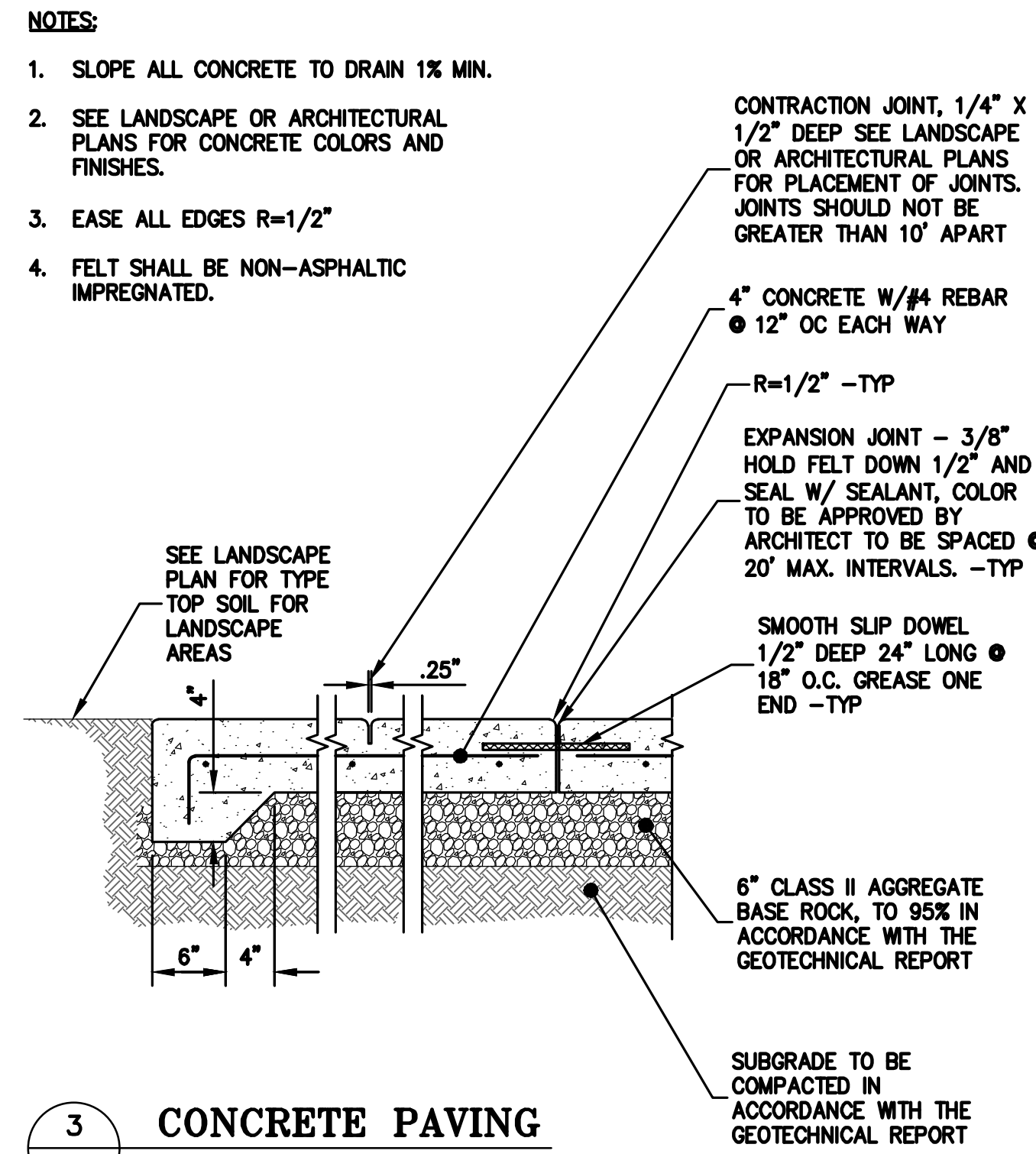
SAN MATEO COUNTY APN: 051-022-380



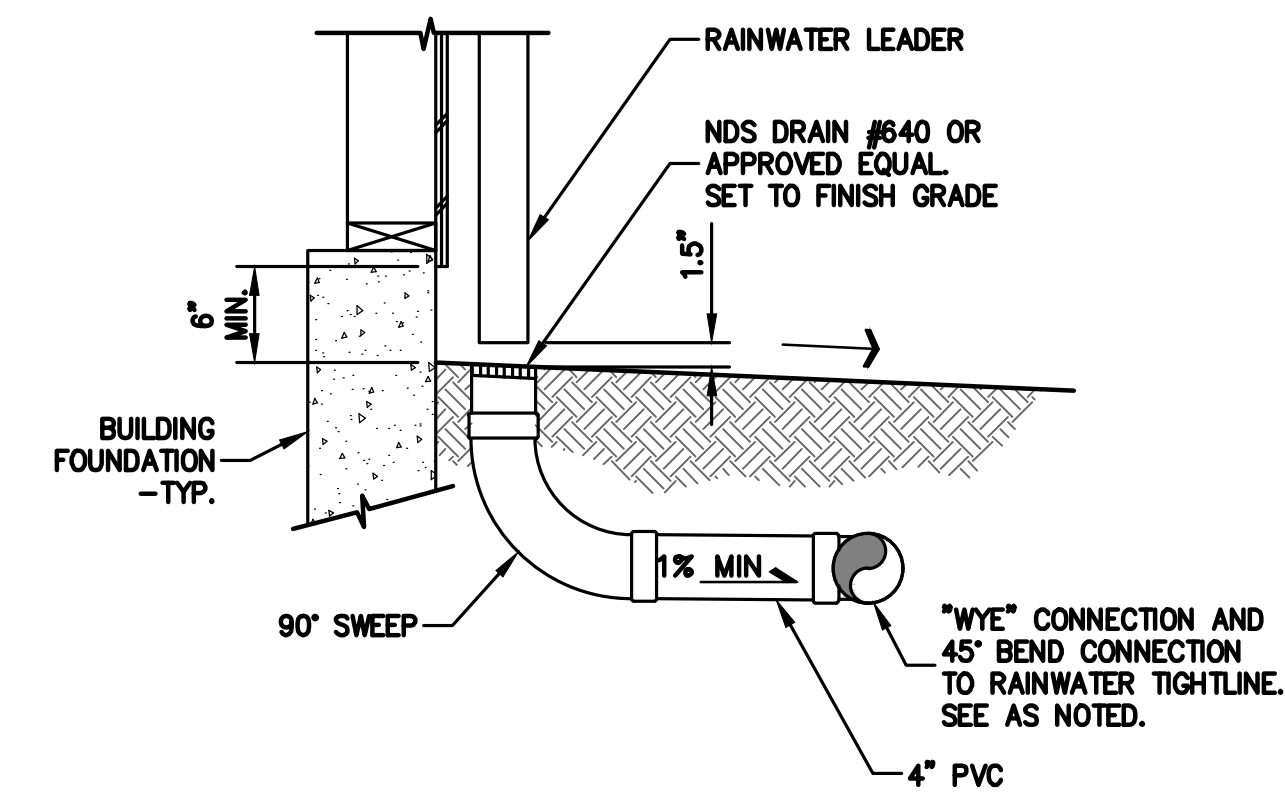
1 GRAVEL DRIVEWAY SECTION
C-4.0 NTS



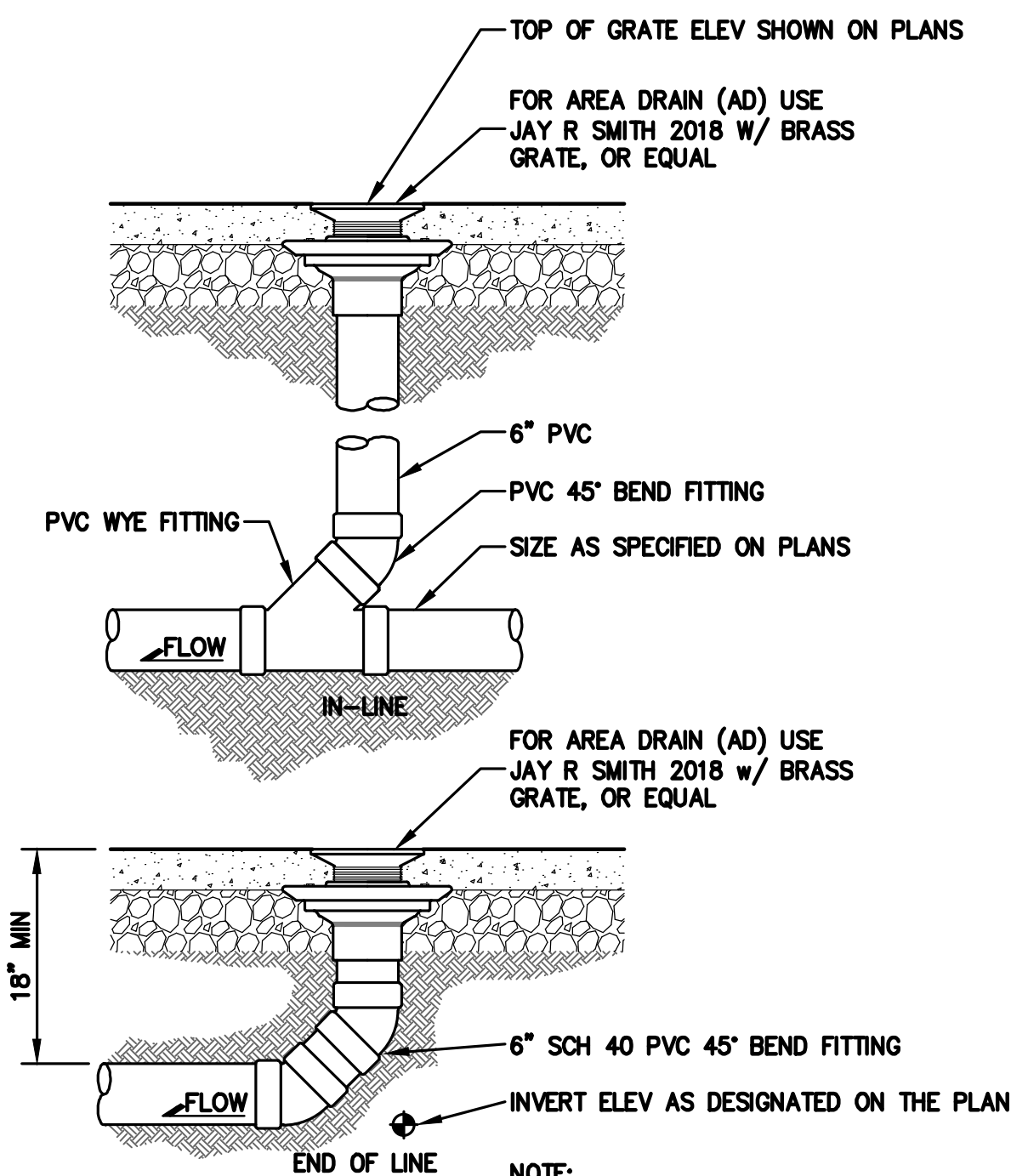
2 DRIVEWAY PAVING
C-4.0 NTS



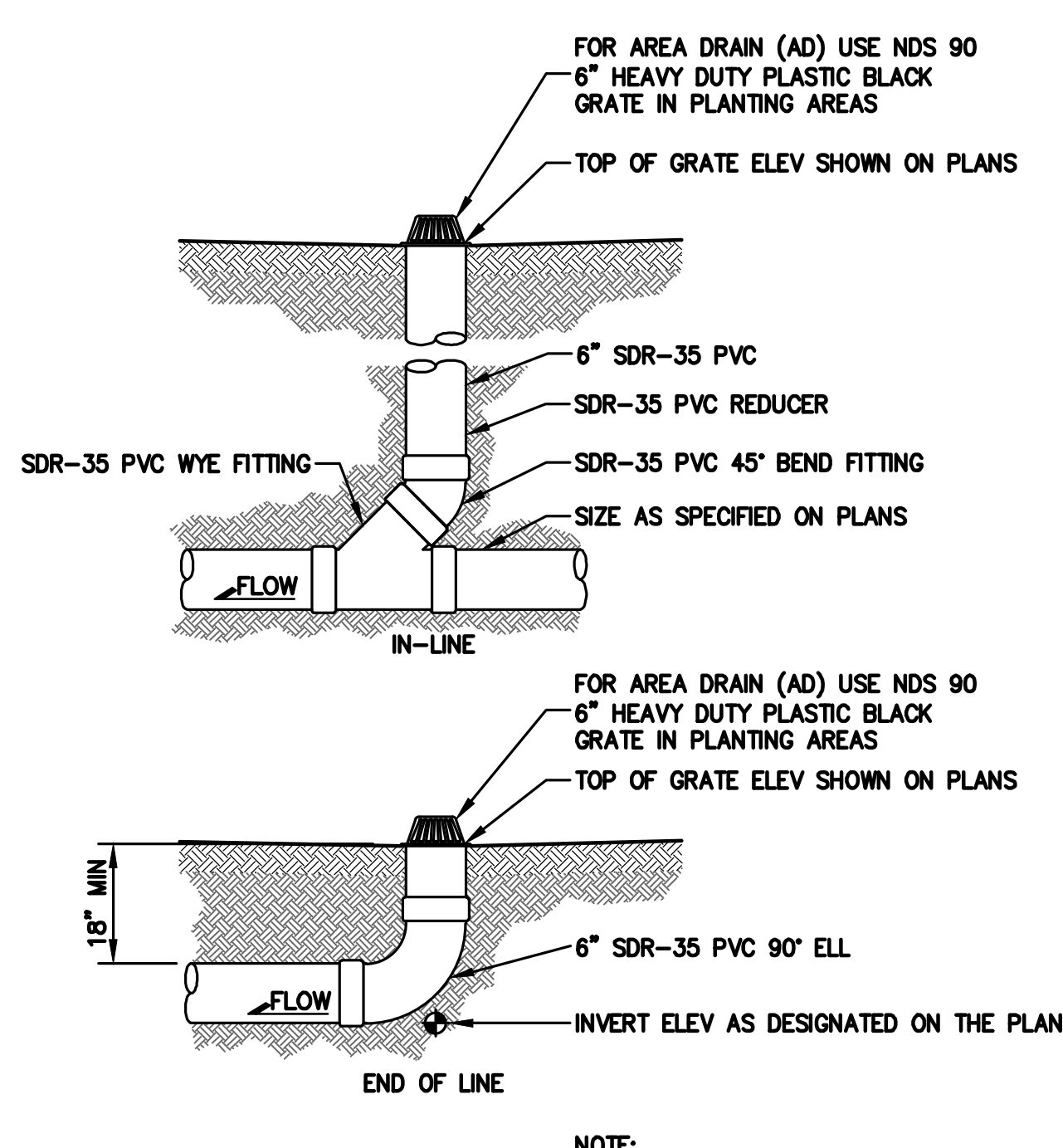
3 CONCRETE PAVING
C-4.0 NTS



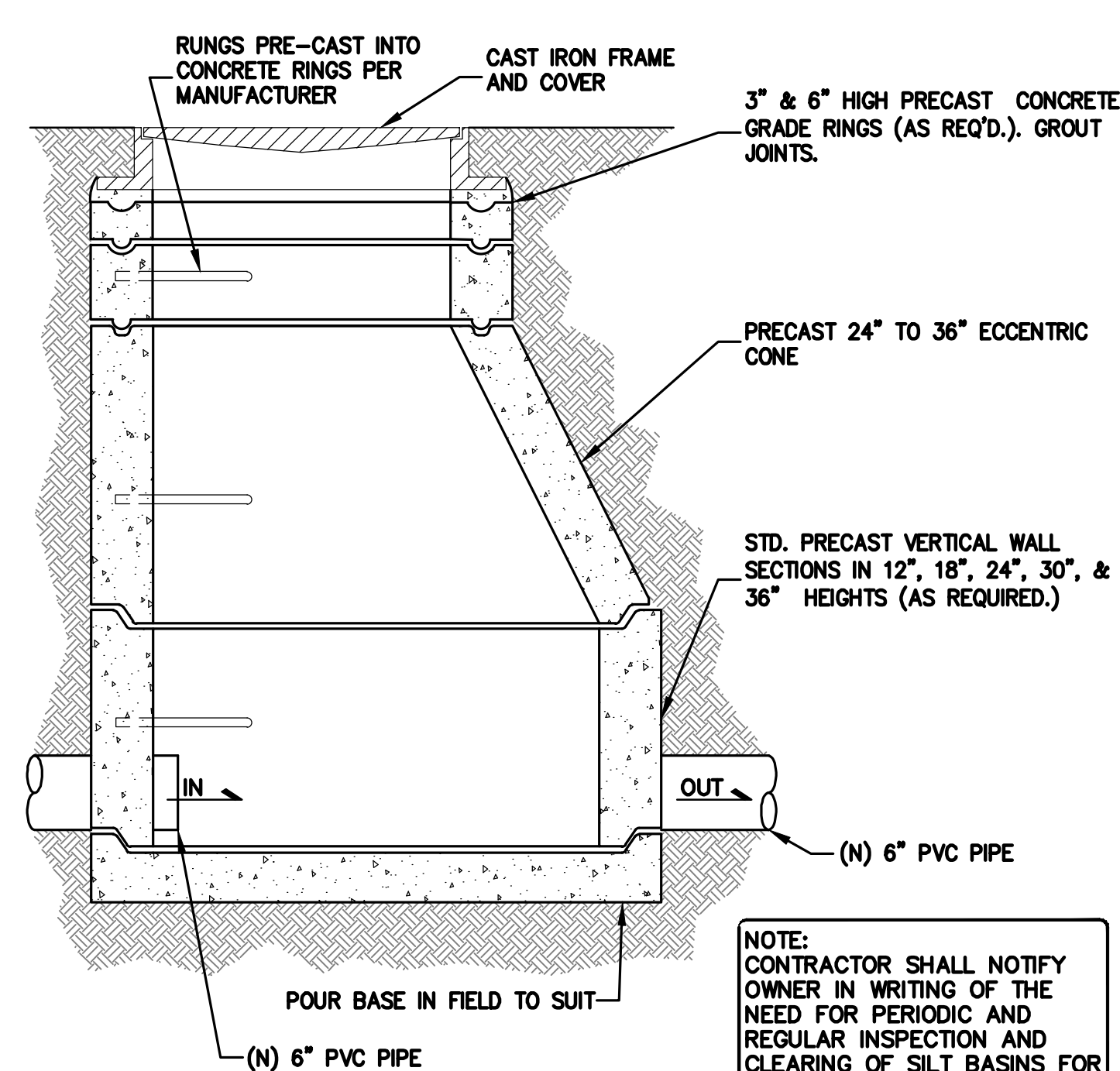
4 RAIN WATER LEADER TO TIGHTLINE CONNECTION
C-4.0 NTS



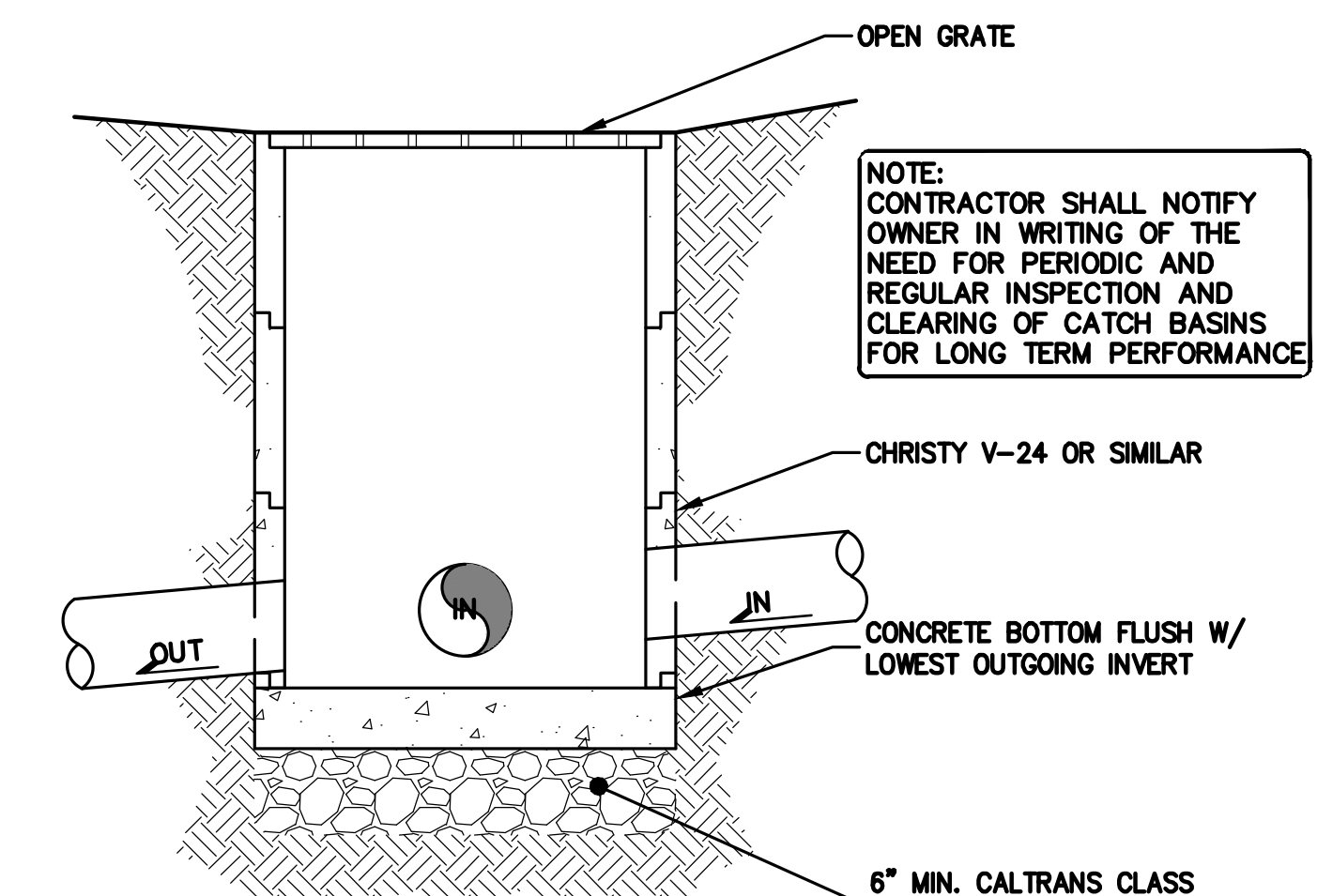
5 FLATWORK DRAIN
C-4.0 NTS



6 AREA DRAIN
C-4.0 NTS



7 STORM DRAIN MANHOLE
C-4.0 NTS



8 CATCH BASIN
C-4.0 NTS



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APN: 051-022-380

DETAILS

| NO. | REVISIONS | BY |
|-----|--------------------|-----|
| 5 | PLANCHECK 05-24-22 | JOR |
| 4 | PLANCHECK 04-07-22 | JOR |
| 3 | PLANCHECK 11-25-21 | JOR |
| 2 | PLANCHECK 05-28-21 | JOR |
| 1 | PLANCHECK 12-10-20 | JOR |

JOB NO: 2200474
DATE: 07-17-20
SCALE: NTS
DESIGN BY: JOR
DRAWN BY: JOR
SHEET NO:



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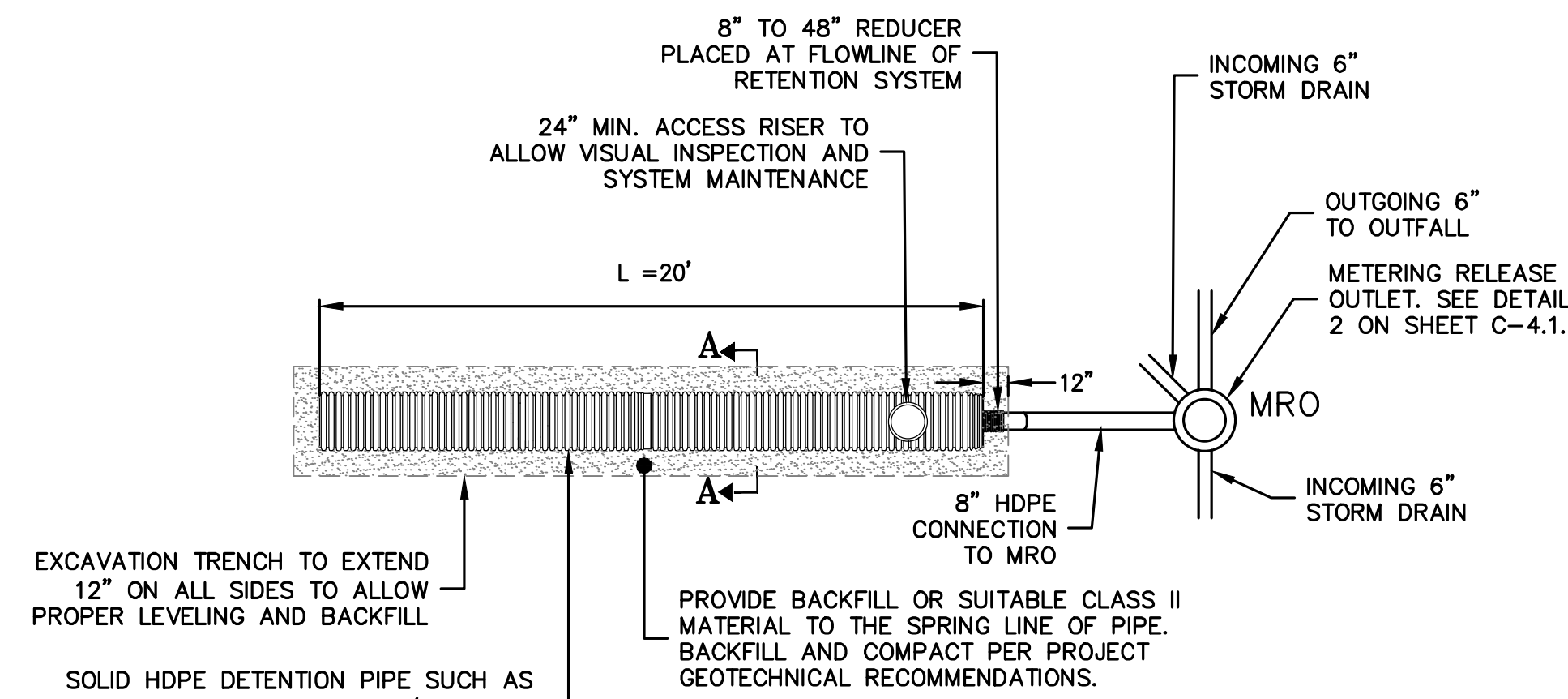
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JOB NO: 2200474
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 SHEET NO:

C-4.1
 5 OF 9 SHEETS



EXCAVATION TRENCH TO EXTEND 12" ON ALL SIDES TO ALLOW PROPER LEVELING AND BACKFILL

SOLID HDPE DETENTION PIPE SUCH AS ADS N-12 OR EQUIVALENT W/ 48-INCH INNER DIAMETER. JOIN PIPES PER MANUFACTURER SPECIFICATIONS FOR WATERTIGHT CONNECTIONS

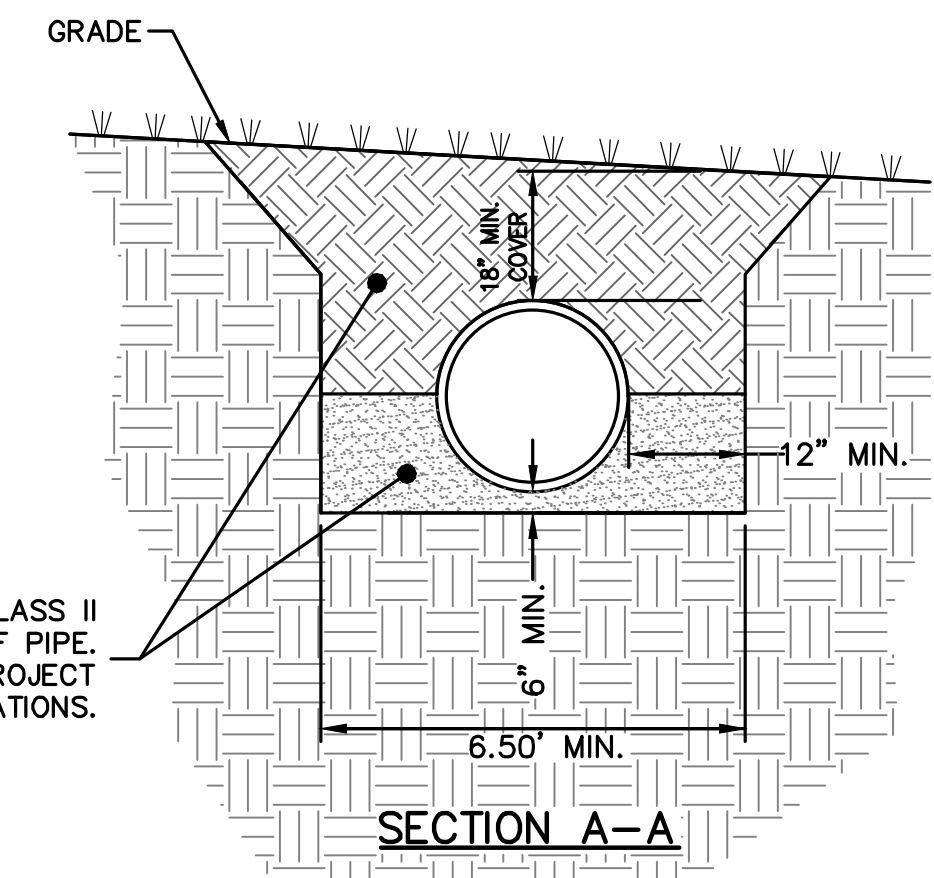
PLAN VIEW

NOTE:
 REFER TO THE PLANS FOR SPECIFIC INLET AND OUTLET LOCATIONS.
 REFER TO THE PLANS FOR SPECIFIC ACCESS COVER LOCATIONS.

| STORAGE PIPE NOMINAL I.D. | NOMINAL O.D. | MIN. SIDE COVER |
|---------------------------|---------------|-----------------|
| 48" (1200 MM) | 54" (1372 MM) | 12" (292 MM) |

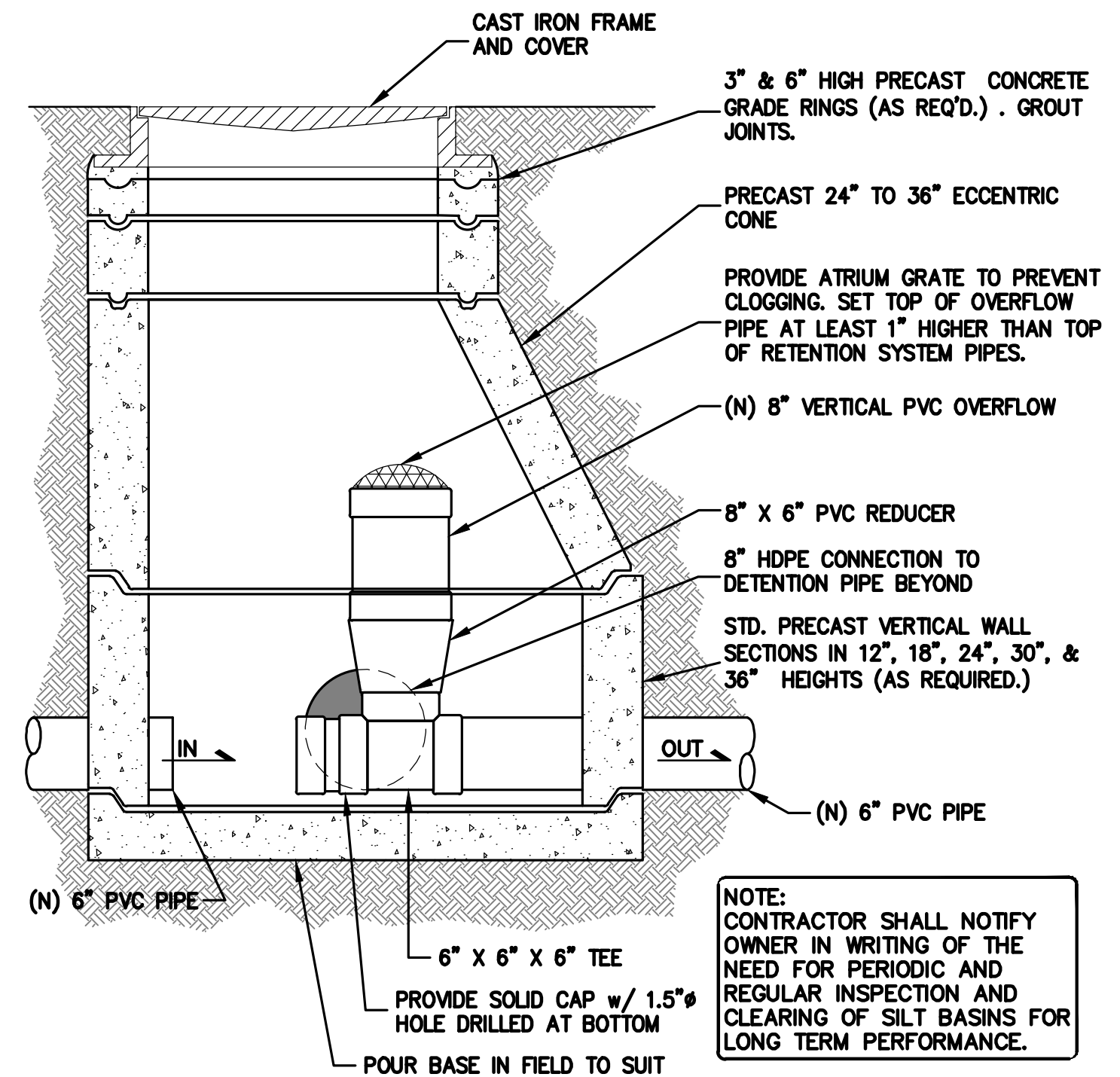
1 DETENTION SYSTEM DETAIL
 C-4.1 NTS

- NOTES:
- ALL REFERENCES TO CLASS I OR II MATERIAL ARE PER ASTM D2321 "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
 - ALL RETENTION AND DETENTION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, LATEST EDITION AND THE MANUFACTURER'S PUBLISHED INSTALLATION GUIDELINES.
 - MEASURES SHOULD BE TAKEN TO PREVENT THE MIGRATION OF NATIVE FINES INTO THE BACKFILL MATERIAL, WHEN REQUIRED. SEE ASTM D2321.
 - FILTER FABRIC: A GEOTEXTILE FABRIC MAY BE USED AS SPECIFIED BY THE ENGINEER TO PREVENT THE MIGRATION OF FINES FROM THE NATIVE SOIL INTO THE SELECT BACKFILL MATERIAL.
 - FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.



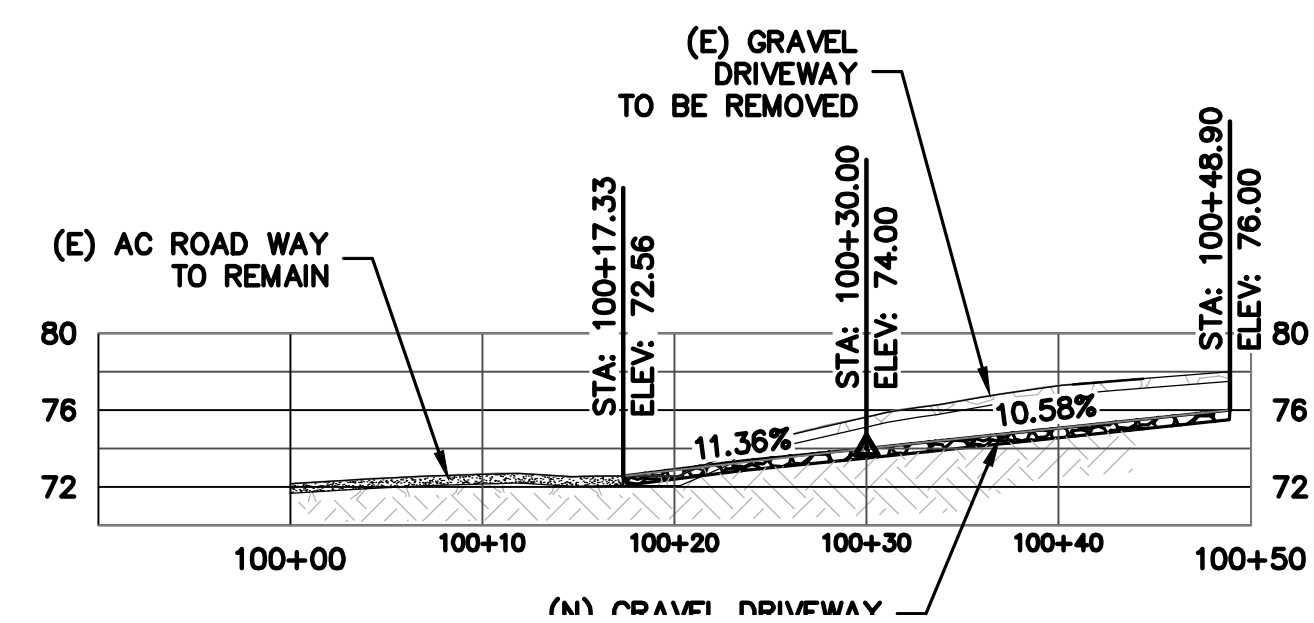
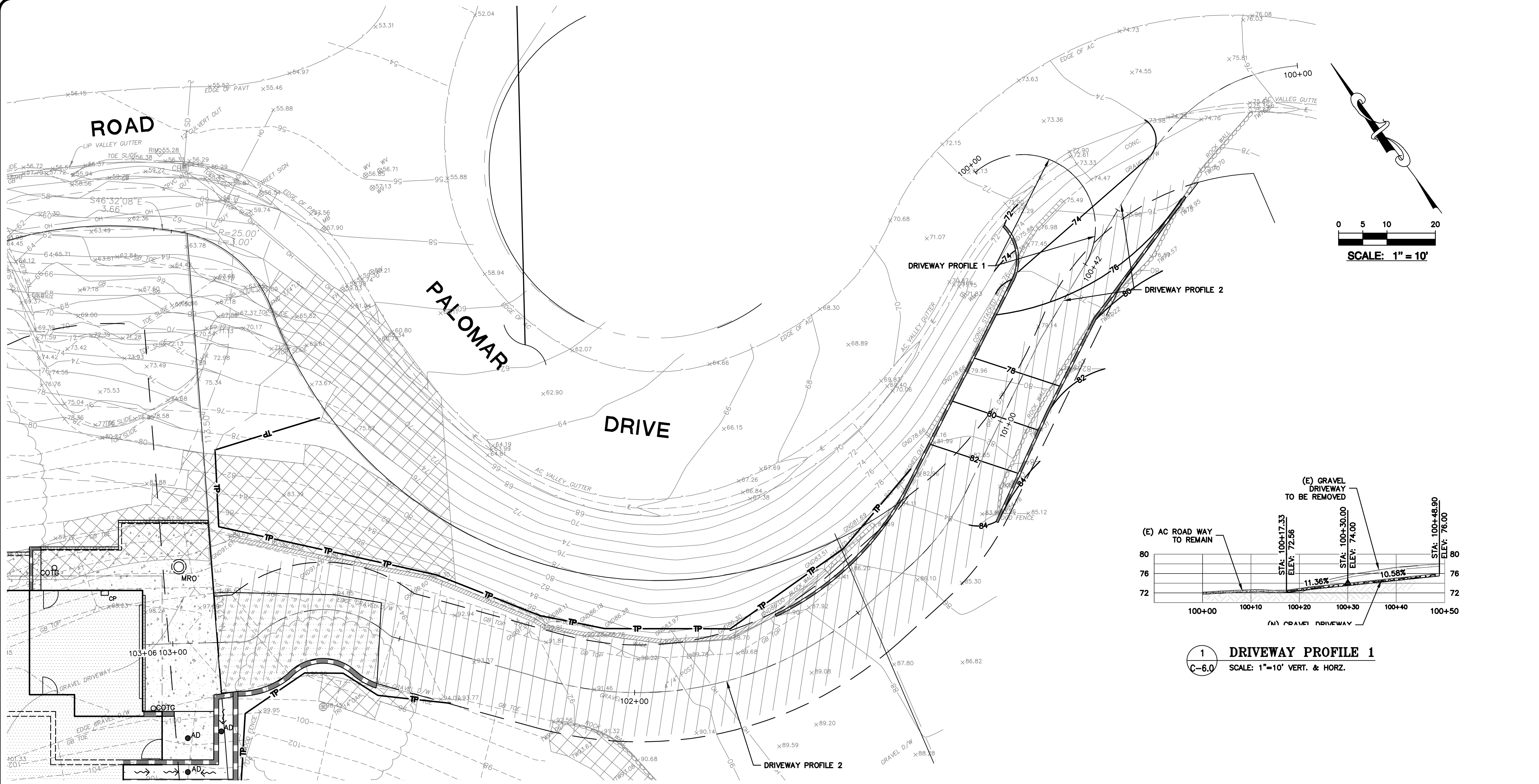
PROVIDE BACKFILL OR SUITABLE CLASS II MATERIAL TO THE SPRING LINE OF PIPE. BACKFILL AND COMPACT PER PROJECT GEOTECHNICAL RECOMMENDATIONS.

- BEDDING:** SUITABLE MATERIAL SHALL BE SAND OR CLASS II*. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm); 8" (150mm) FOR 30"-60" (750mm-900mm) COMPACTED TO 90% SPD.
- INITIAL BACKFILL:** SUITABLE MATERIAL SHALL BE SAND OR CLASS II*. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
- MINIMUM COVER:** MINIMUM COVER OVER ALL RETENTION/DETENTION SYSTEMS IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 18" FROM TOP OF PIPE TO GROUND SURFACE. COMPACT AS RECOMMENDED BY THE SOILS ENGINEER. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER IS 18" UP TO 36" DIAMETER PIPE AND 24" OF COVER FOR 42" - 60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.
- CONNECTIONS:** ALL CONNECTIONS FOR EACH SEGMENT SHALL BE WATER TIGHT.
 * CLASS I BACKFILL REQUIRED AROUND 60" DIAMETER FITTINGS.

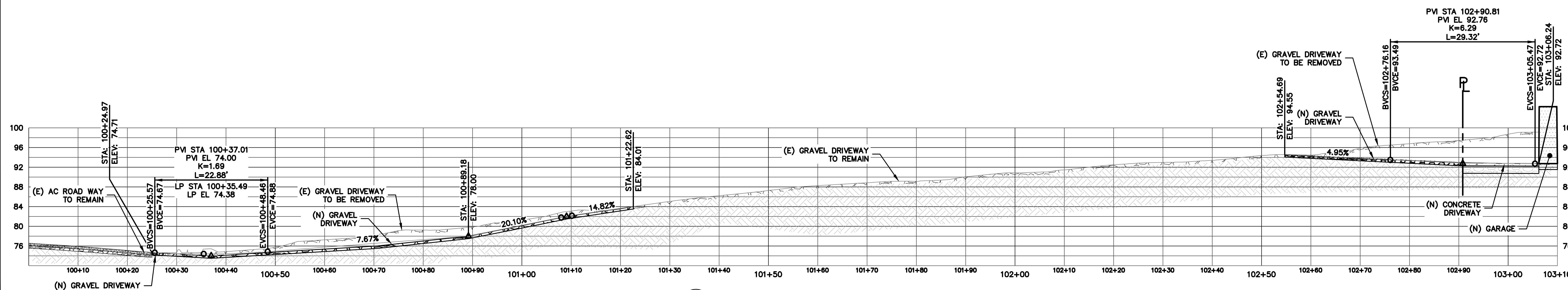


NOTE:
 CONTRACTOR SHALL NOTIFY OWNER IN WRITING OF THE NEED FOR PERIODIC AND REGULAR INSPECTION AND CLEARING OF SILT BASINS FOR LONG TERM PERFORMANCE.

2 METERED RELEASE OUTLET
 C-4.1 NTS



1 DRIVEWAY PROFILE 1
SCALE: 1"=10' VERT. & HORZ.



2 DRIVEWAY PROFILE 2
SCALE: 1"=10' VERT. & HORZ.



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DRIVEWAY PROFILE

| NO. | DESCRIPTION | DATE | BY |
|-----------------|-------------|----------------|-----|
| 5 | PLANCHECK | 05-24-22 | JOR |
| 4 | PLANCHECK | 04-07-22 | JOR |
| 3 | PLANCHECK | 11-25-21 | JOR |
| 2 | PLANCHECK | 05-28-21 | JOR |
| 1 | PLANCHECK | 12-10-20 | JOR |
| REVISIONS | | BY | |
| JOB NO: 2200474 | | DATE: 07-17-20 | |
| SCALE: 1"=10' | | DESIGN BY: JOR | |
| DRAWN BY: JOR | | SHEET NO: | |

PURPOSE:

THE PURPOSE OF THIS PLAN IS TO STABILIZE THE SITE TO PREVENT EROSION OF GRADED AREAS AND TO PREVENT SEDIMENTATION FROM LEAVING THE CONSTRUCTION AREA AND AFFECTING NEIGHBORING SITES, NATURAL AREAS, PUBLIC FACILITIES OR ANY OTHER AREA THAT MIGHT BE AFFECTED BY SEDIMENTATION. ALL MEASURES SHOWN ON THIS PLAN SHOULD BE CONSIDERED THE MINIMUM REQUIREMENTS NECESSARY. SHOULD FIELD CONDITIONS DICTATE ADDITIONAL MEASURES, SUCH MEASURES SHALL BE PER CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL AND THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION. LEA & BRAZE ENGINEERING SHOULD BE NOTIFIED IMMEDIATELY SHOULD CONDITIONS CHANGE.

EROSION CONTROL NOTES:

- IT SHALL BE THE OWNER'S/CONTRACTOR'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THIS EROSION CONTROL PLAN.
- THE INTENTION OF THIS PLAN IS FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY. ALL EROSION CONTROL MEASURES SHALL CONFORM TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL, THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION, AND THE LOCAL GOVERNING AGENCY FOR THIS PROJECT.
- OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO, DURING, AND AFTER STORM EVENTS. PERSON IN CHARGE OF MAINTAINING EROSION CONTROL MEASURES SHOULD WATCH LOCAL WEATHER REPORTS AND ACT APPROPRIATELY TO MAKE SURE ALL NECESSARY MEASURES ARE IN PLACE.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATERCOURSES.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. COMPLIANCE WITH FEDERAL, STATE AND LOCAL LAWS CONCERNING POLLUTION SHALL BE MAINTAINED AT ALL TIMES.
- CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY REQUIREMENTS.
- ALL MATERIALS NECESSARY FOR THE APPROVED EROSION CONTROL MEASURES SHALL BE IN PLACE BY OCTOBER 1ST.
- EROSION CONTROL SYSTEMS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON, OR FROM OCTOBER 1ST THROUGH APRIL 30TH, WHICHEVER IS LONGER.
- IN THE EVENT OF RAIN, ALL GRADING WORK IS TO CEASE IMMEDIATELY AND THE SITE IS TO BE SEALED IN ACCORDANCE WITH THE APPROVAL EROSION CONTROL MEASURES AND APPROVED EROSION CONTROL PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND REPAIRING EROSION CONTROL SYSTEMS AFTER EACH STORM.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY LOCAL JURISDICTION'S ENGINEERING DEPARTMENT OR BUILDING OFFICIALS.
- MEASURES SHALL BE TAKEN TO COLLECT OR CLEAN ANY ACCUMULATION OR DEPOSIT OF DIRT, MUD, SAND, ROCKS, GRAVEL OR DEBRIS ON THE SURFACE OF ANY STREET, ALLEY OR PUBLIC PLACE OR IN ANY PUBLIC STORM DRAIN SYSTEMS. THE REMOVAL OF AFORESAID SHALL BE DONE BY STREET SWEEPING OR HAND SWEEPING. WATER SHALL NOT BE USED TO WASH SEDIMENTS INTO PUBLIC OR PRIVATE DRAINAGE FACILITIES.
- EROSION CONTROL MEASURES SHALL BE ON-SITE FROM SEPTEMBER 15TH THRU APRIL 30TH.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON OR FROM OCTOBER 1ST THRU APRIL 30TH, WHICHEVER IS GREATER.
- PLANS SHALL BE DESIGNED TO MEET C3 REQUIREMENTS OF THE MUNICIPAL STORMWATER REGIONAL PERMIT("MRP") NPDES PERMIT CAS 612008.
- THE CONTRACTOR TO NPDES (NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM) BEST MANAGEMENT PRACTICES (BMP) FOR SEDIMENTATION PREVENTION AND EROSION CONTROL TO PREVENT DELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING THE TOWN OR COUNTY STORM DRAIN SYSTEMS.
- THE CONTRACTOR MUST INSTALL ALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO THE INCEPTION OF ANY WORK ONSITE AND MAINTAIN THE MEASURES UNTIL THE COMPLETION OF ALL LANDSCAPING.
- THE CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN DUST FREE AND SANITARY CONDITION AT ALL TIMES AND TO THE SATISFACTION OF THE TOWN INSPECTOR. THE ADJACENT STREET SHALL AT ALL TIMES BE KEPT CLEAN OF DEBRIS, WITH DUST AND OTHER NUISANCE BEING CONTROLLED AT ALL TIMES. THE CONTRACTOR BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THE BY THEIR CONSTRUCTION, METHOD OF STREET CLEANING SHALL BE BY DRY SWEEPING OF ALL PAVED AREAS. NO STOCKPIILING OF BUILDING MATERIALS WITHIN THE TOWN RIGHT-OF-WAY.
- SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONTRACTOR SHALL INSTALL A STABILIZED CONSTRUCTION ENTRANCE PRIOR TO THE INSPECTION OF ANY WORK ONSITE AND MAINTAIN IT FOR THE DURATION OF THE CONSTRUCTION PROCESS SO AS TO NOT INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC RIGHT-OF-WAY UNTIL THE COMPLETION OF ALL LANDSCAPING.
- THE CONTRACTOR SHALL PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY SWALES, SILT FENCES, AND EARTH PERMS IN CONJUNCTION OF ALL LANDSCAPING.
- STOCKPILED MATERIALS SHALL BE COVERED WITH VISQUEEN OR A TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT IS SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
- EXCESS OR WASTE CONCRETE MUST NOT BE WASHED INTO THE PUBLIC RIGHT-OF-WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION AND DISPERSAL BY WIND

EROSION CONTROL NOTES CONTINUED:

- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MUST NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- DUST CONTROL SHALL BE DONE BY WATERING AND AS OFTEN AS REQUIRED BY THE TOWN INSPECTOR.
- SILT FENCE(S) AND/OR FIBER ROLL(S) SHALL BE INSTALLED PRIOR TO SEPTEMBER 15TH AND SHALL REMAIN IN PLACE UNTIL THE LANDSCAPING GROUND COVER IS INSTALLED. CONTRACTOR SHALL CONTINUOUSLY MONITOR THESE MEASURES, FOLLOWING AND DURING ALL RAIN EVENTS, TO PUBLIC OWNED FACILITIES.

EROSION CONTROL MEASURES:

- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 1ST TO APRIL 30TH. EROSION CONTROL FACILITIES SHALL BE IN PLACE PRIOR TO OCTOBER 1ST OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
- SITE CONDITIONS AT TIME OF PLACEMENT OF EROSION CONTROL MEASURES WILL VARY. APPROPRIATE ACTION INCLUDING TEMPORARY SWALES, INLETS, HYDROSEEDING, STRAW BALES, ROCK SACKS, ETC. SHALL BE TAKEN TO PREVENT EROSION AND SEDIMENTATION FROM LEAVING SITE. EROSION CONTROL MEASURES SHALL BE ADJUSTED AS THE CONDITIONS CHANGE AND THE NEED OF CONSTRUCTION SHIFT.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCES. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE GOVERNING AGENCY.
- ALL EXPOSED SLOPES THAT ARE NOT VEGETATED SHALL BE HYDROSEED. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY OCTOBER 1ST, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TACKIFIER AND MULCH. HYDROSEEDING SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF SECTION 20" EROSION CONTROL AND HIGHWAY PLANTING" OF THE STANDARD SPECIFICATION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION, AS LAST REVISED. REFER TO THE EROSION CONTROL SECTION OF THE GRADING SPECIFICATIONS THAT ARE A PART OF THIS PLAN SET FOR FURTHER INFORMATION.
- INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT. MINIMUM INLET PROTECTION SHALL CONSIST OF A ROCK SACKS OR AS SHOWN ON THIS PLAN
- THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. A REPRESENTATIVE OF LEA & BRAZE ENGINEERING SHALL PERFORM A FIELD REVIEW AND MAKE RECOMMENDATIONS AS NEEDED. CONTRACTOR IS RESPONSIBLE TO NOTIFY LEA & BRAZE ENGINEERING AND THE GOVERNING AGENCY OF ANY CHANGES.
- THE EROSION CONTROL MEASURES SHALL CONFORM TO THE LOCAL JURISDICTION'S STANDARDS AND THE APPROVAL OF THE LOCAL JURISDICTION'S ENGINEERING DEPARTMENT.
- STRAW ROLLS SHALL BE PLACED AT THE TOE OF SLOPES AND ALONG THE DOWN SLOPE PERIMETER OF THE PROJECT. THEY SHALL BE PLACED AT 25 FOOT INTERVALS ON GRADED SLOPES. PLACEMENT SHALL RUN WITH THE CONTOURS AND ROLLS SHALL BE TIGHTLY END BUTTED. CONTRACTOR SHALL REFER TO MANUFACTURERS SPECIFICATIONS FOR PLACEMENT AND INSTALLATION INSTRUCTIONS.

REFERENCES:

- CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL
- CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION

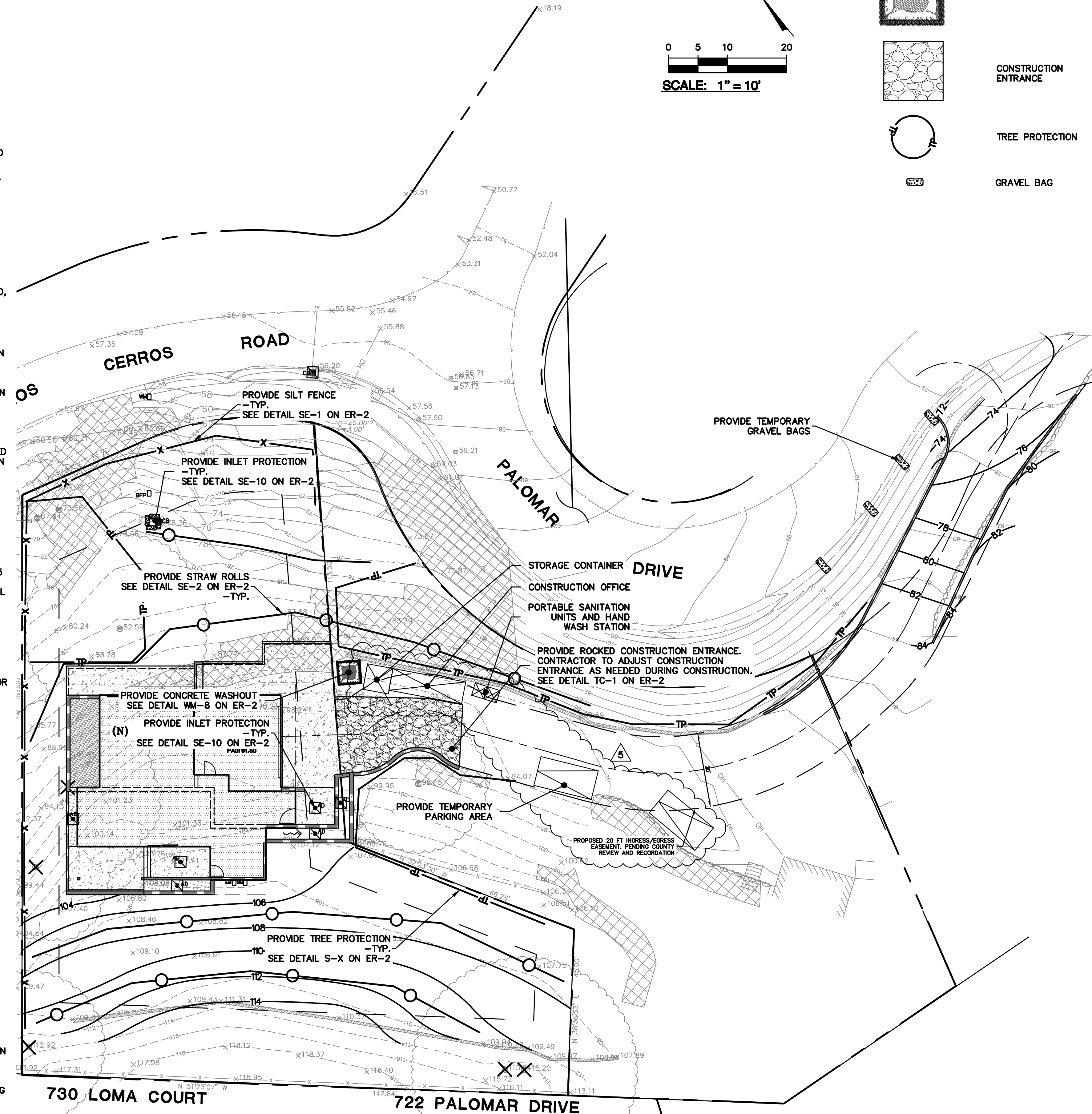
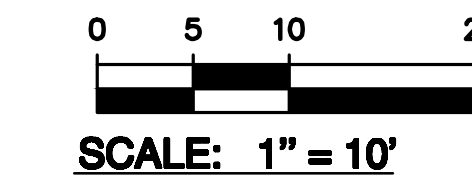
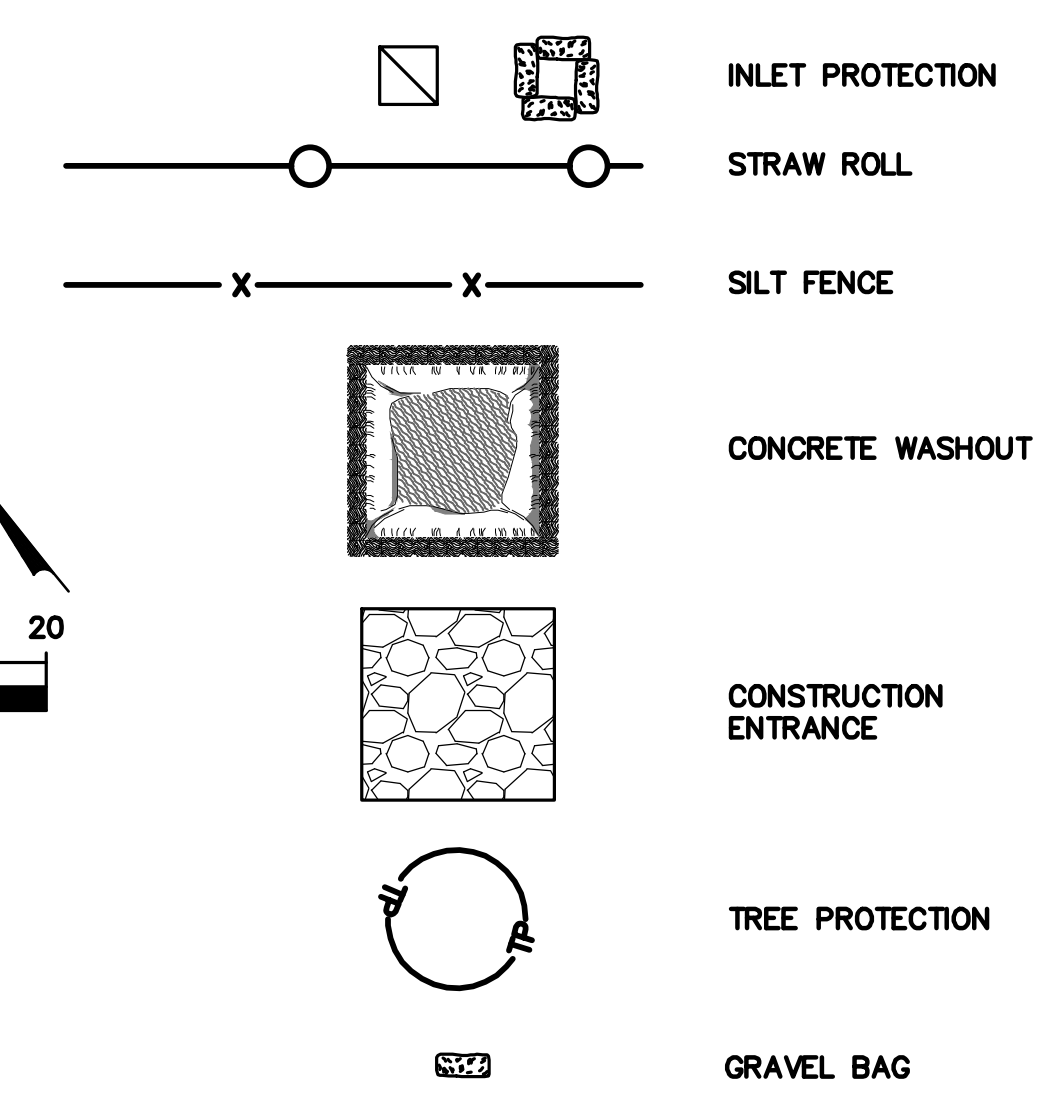
PERIODIC MAINTENANCE:

- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION SHALL BE REPAIRED AT THE END OF EACH WORKING DAY.
 - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1" FOOT.
 - SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - RILLS AND GULLIES MUST BE REPAIRED.
- GRAVEL BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE GRAVEL BAG.
- STRAW ROLLS SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHED HALF THE HEIGHT OF THE ROLL.
- SILT FENCE SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHES ONE FOOT IN HEIGHT.
- CONSTRUCTION ENTRANCE SHALL BE REGRAVELED AS NECESSARY FOLLOWING SILT/SOIL BUILDUP.
- ANY OTHER EROSION CONTROL MEASURES SHOULD BE CHECKED AT REGULAR INTERVALS TO ASSURE PROPER FUNCTION

NOTE: SEAL ALL OTHER INLETS NOT INTENDED TO ACCEPT STORM WATER AND DIRECT FLOWS TEMPORARILY TO FUNCTIONAL SEDIMENTATION BASIN INLETS. -TYP

NOTE: ACCESS ROAD AND SITE WILL BE RESTORED TO NATURAL CONDITIONS ONCE THE STAGING WORK IS COMPLETED

EROSION CONTROL LEGEND



LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS • LAND SURVEYORS
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 OAKLAND, CALIFORNIA
 DUBLIN, CALIFORNIA
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 (510) 887-4086
 WWW.LEABRAZE.COM

634 PALOMAR DRIVE
 REDWOOD CITY,
 CALIFORNIA

APN: 051-022-380

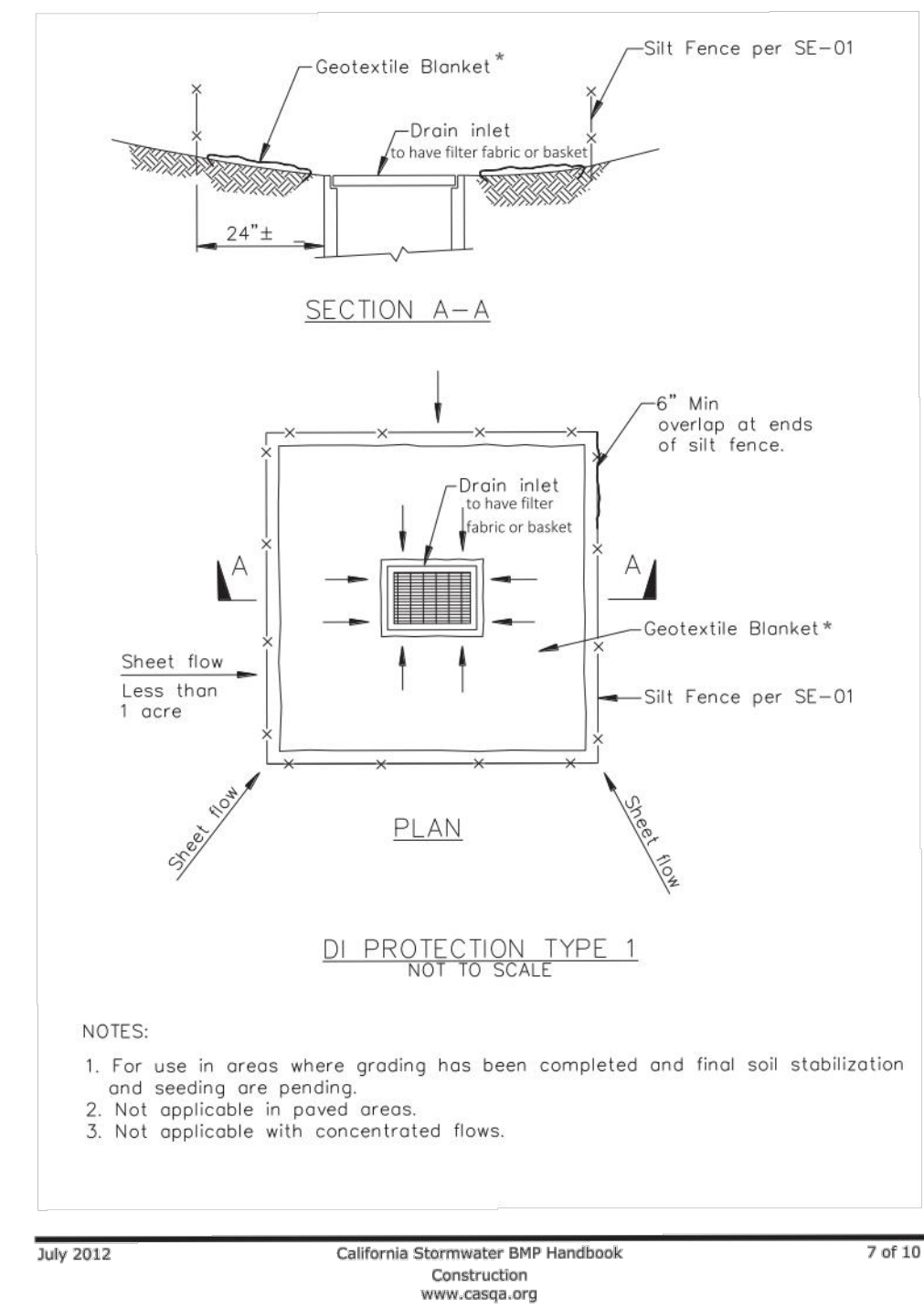
SAN MATEO COUNTY

EROSION CONTROL PLAN

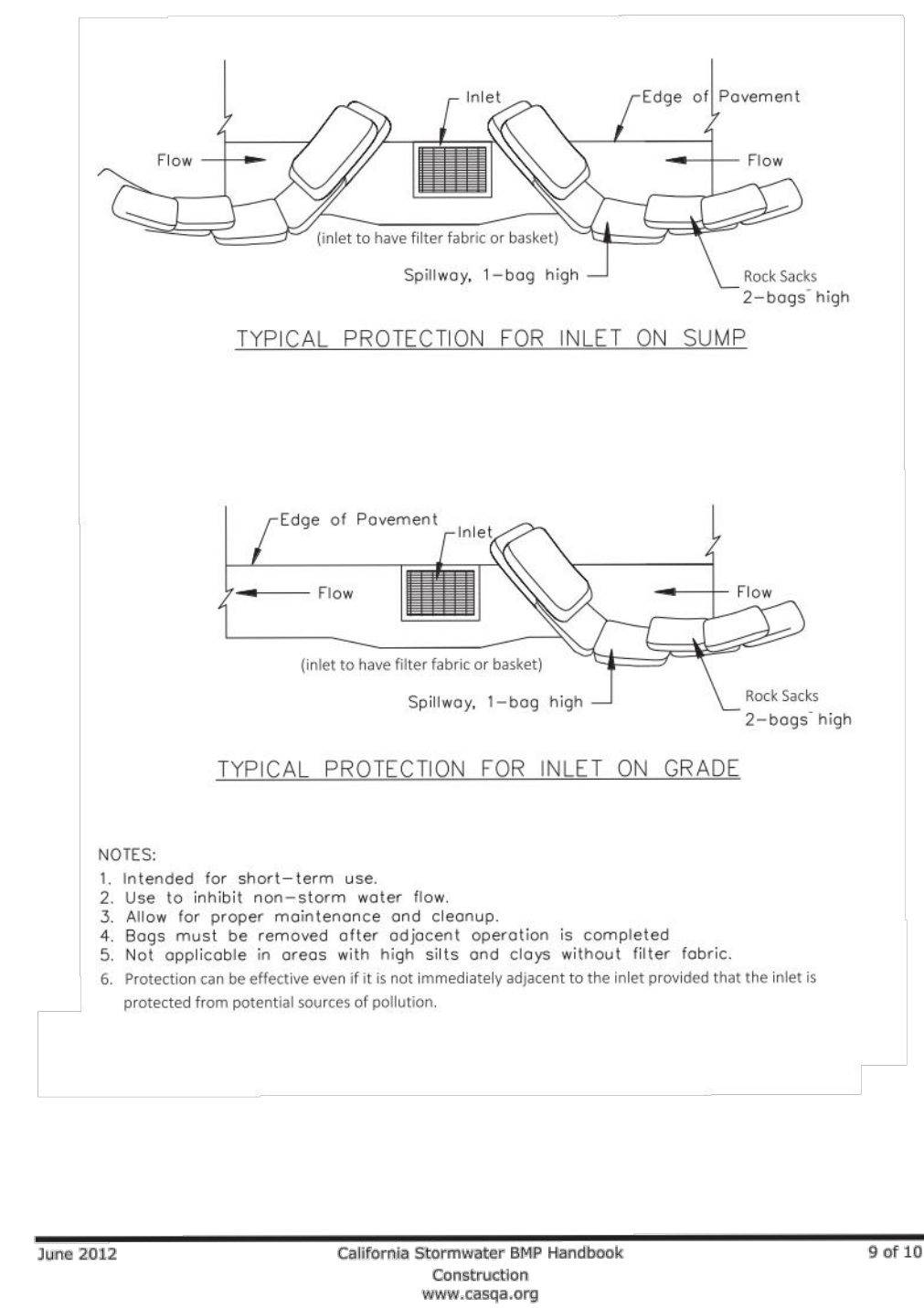
| NO. | REVISIONS | BY |
|-----|--------------------|-----|
| 5 | PLANCHECK 05-24-22 | JOR |
| 4 | PLANCHECK 04-07-22 | JOR |
| 3 | PLANCHECK 11-25-21 | JOR |
| 2 | PLANCHECK 05-28-21 | JOR |
| 1 | PLANCHECK 12-10-20 | JOR |

JOB NO: 2200474
 DATE: 07-17-20
 SCALE: 1"=10'
 DESIGN BY: JOR
 DRAWN BY: JOR
 SHEET NO:

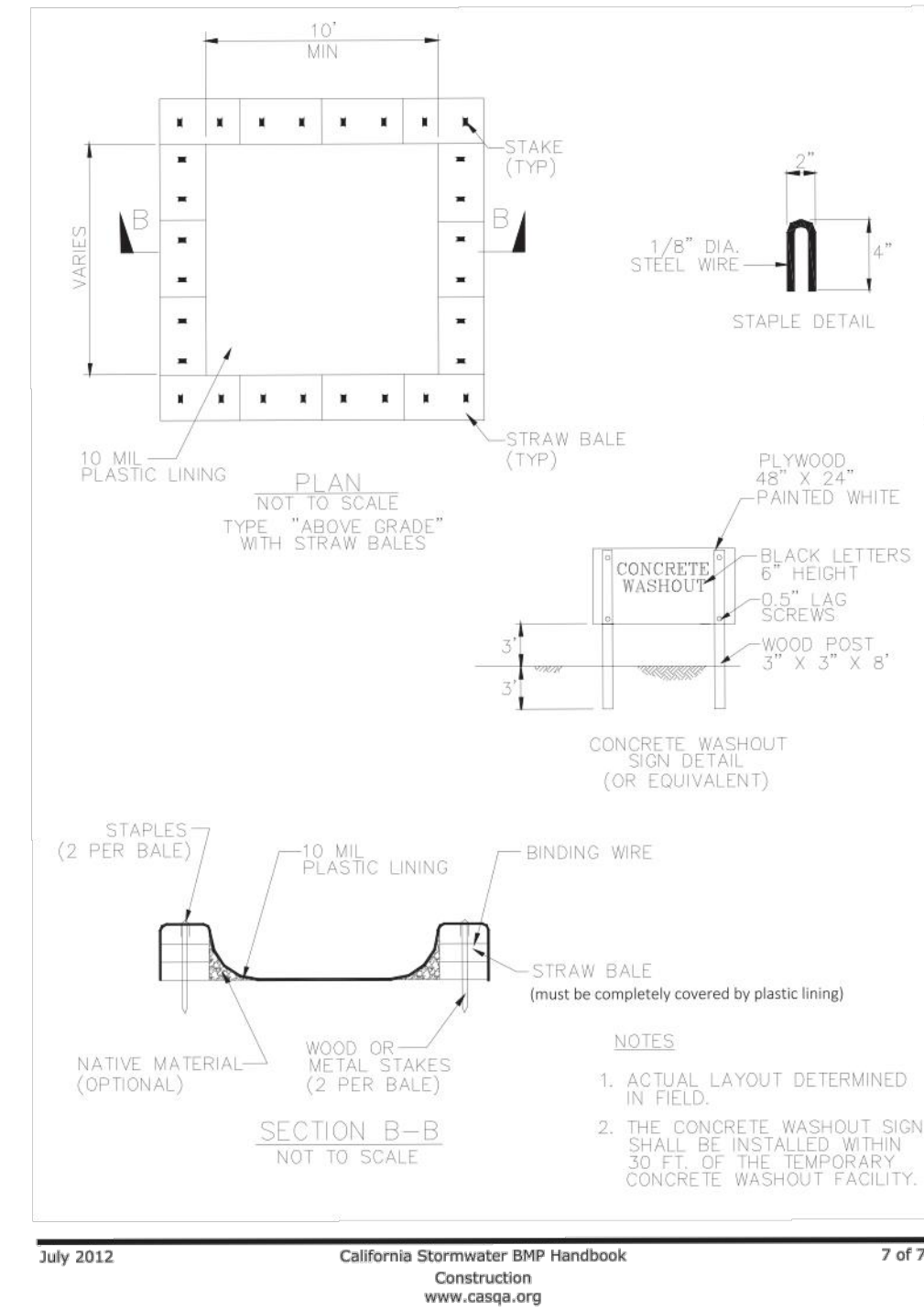
Storm Drain Inlet Protection SE-10



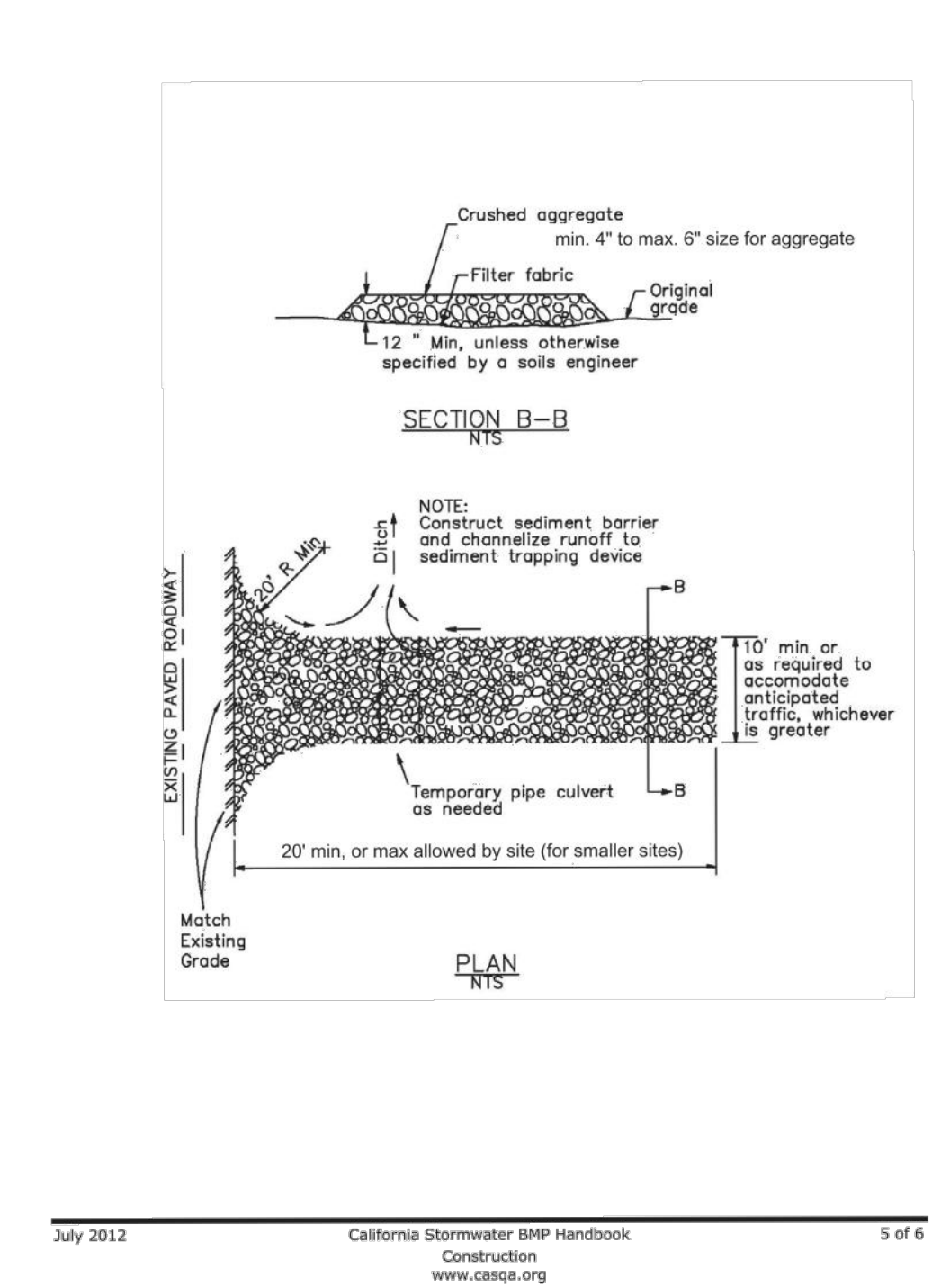
Storm Drain Inlet Protection SE-10



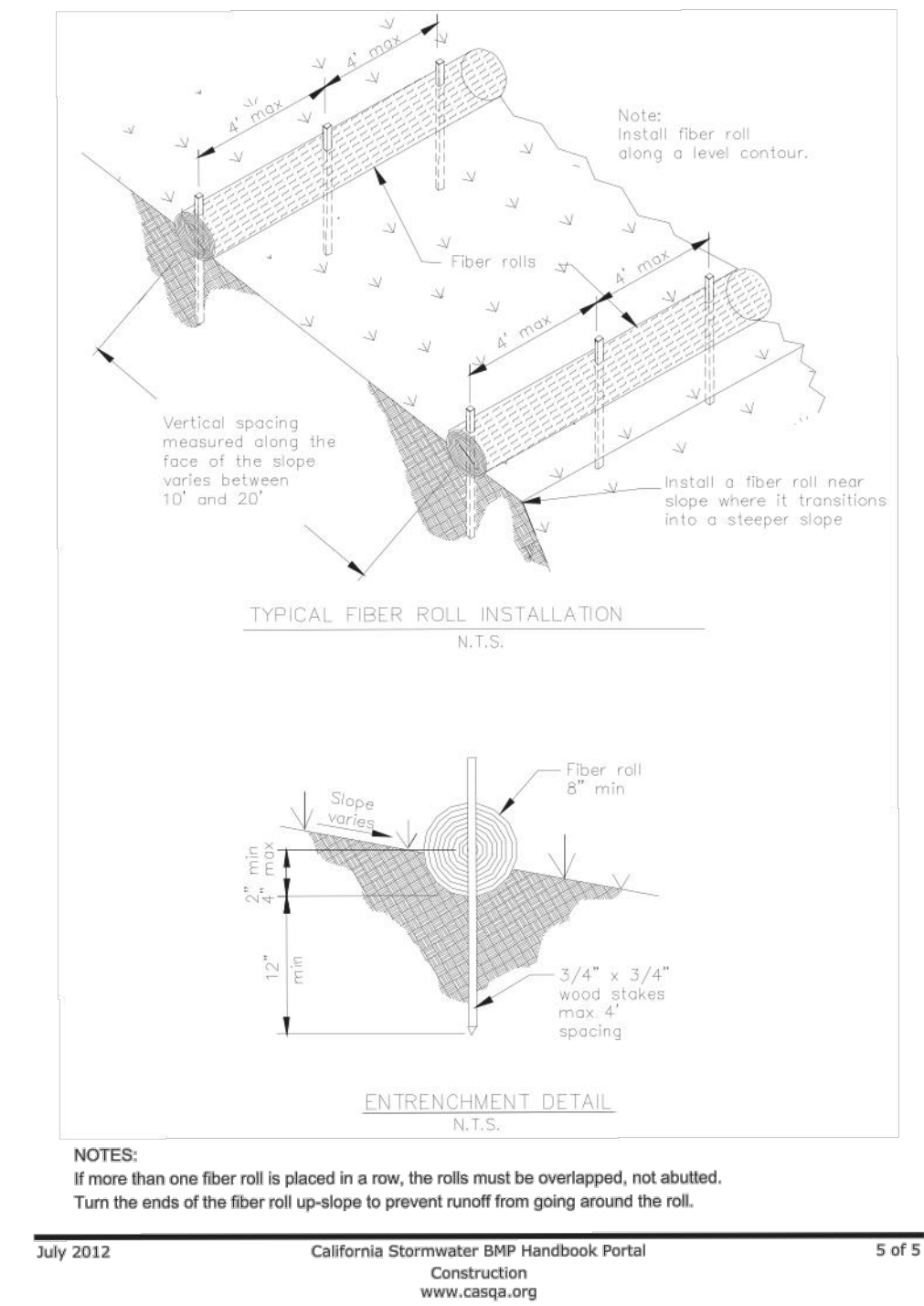
Concrete Waste Management WM-8



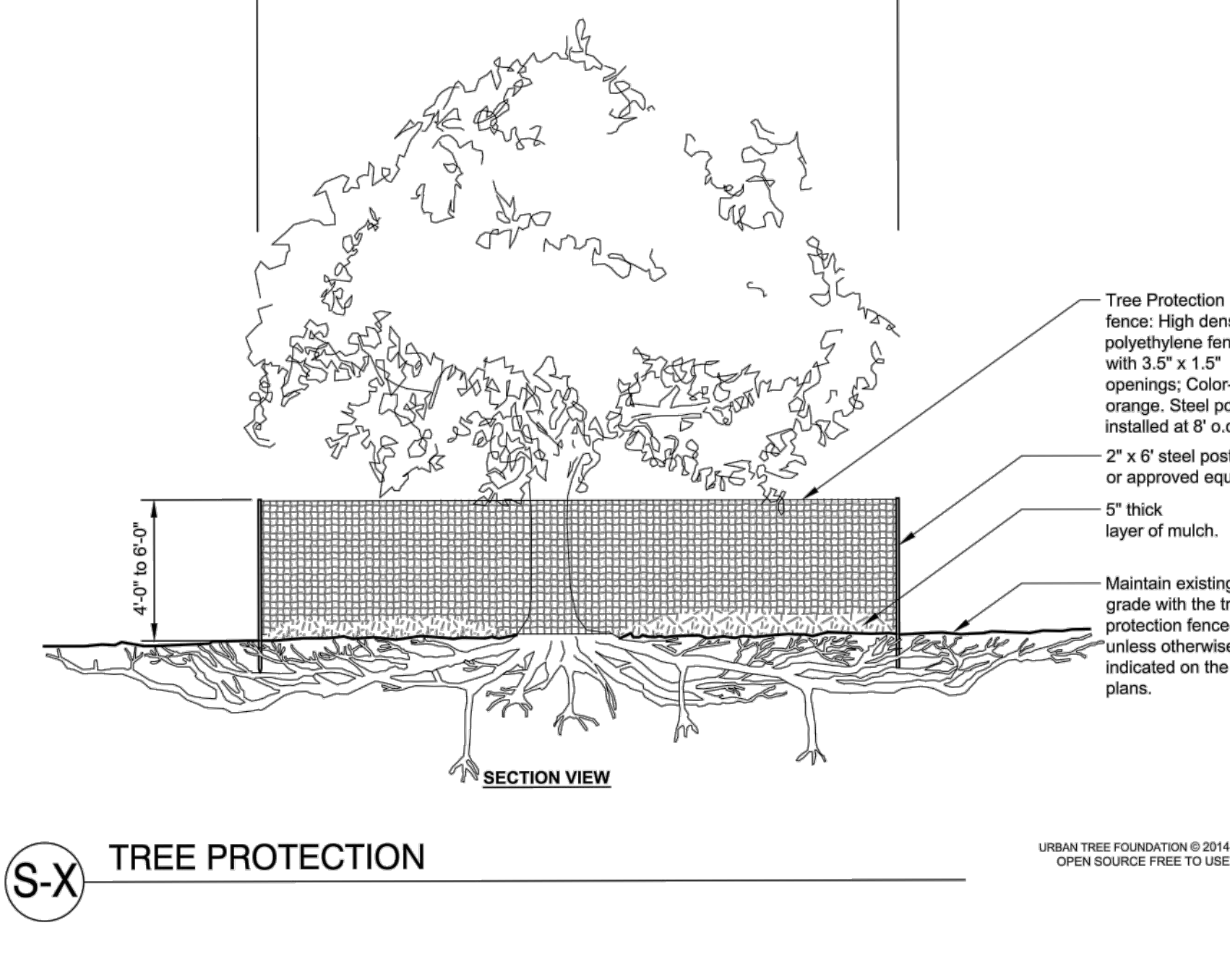
Stabilized Construction Entrance/Exit TC-1



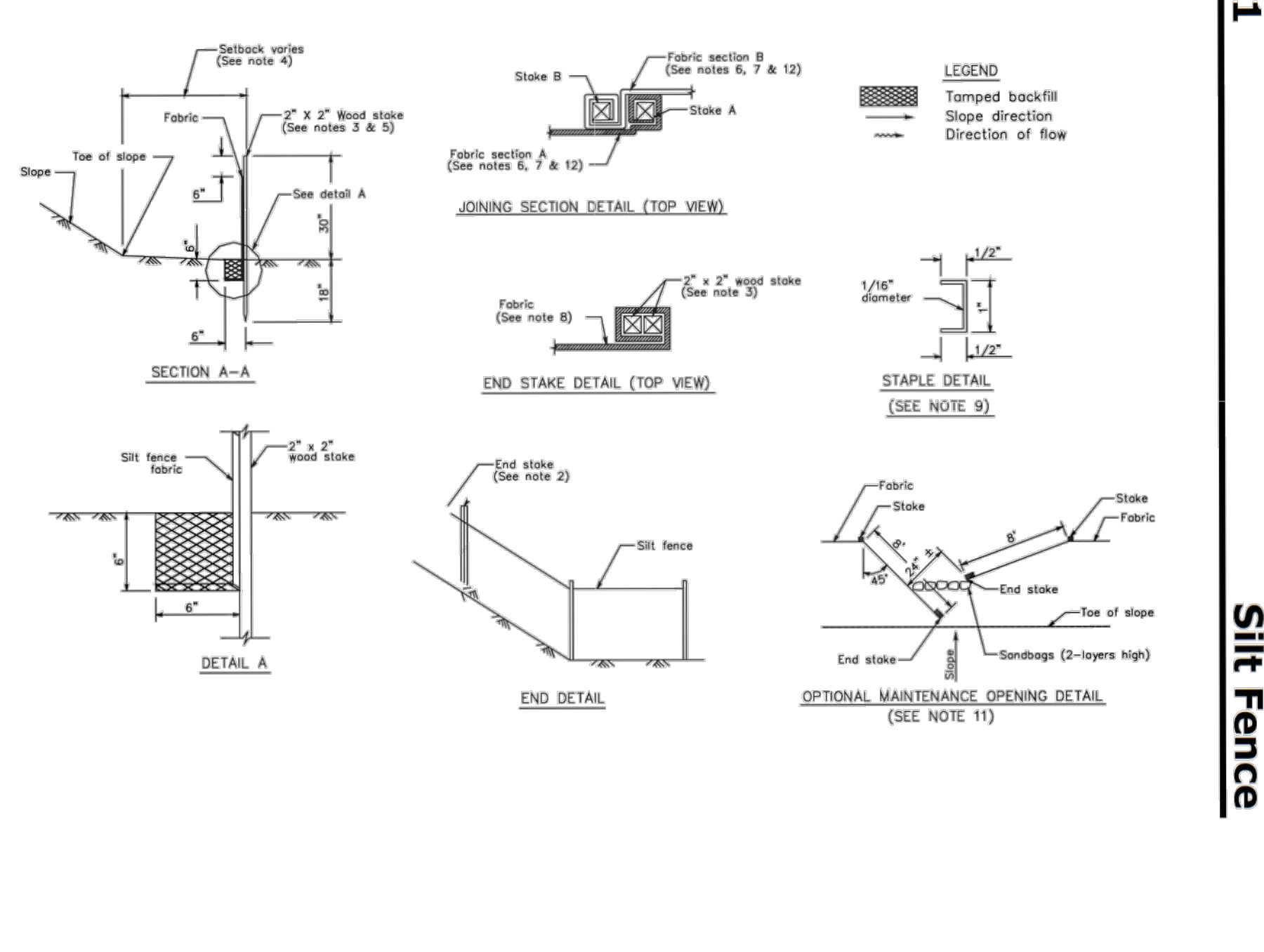
Fiber Rolls SE-5



Notes:
No equipment shall operate inside the protective fencing including during fence installation and removal.



SE-1 Silt Fence



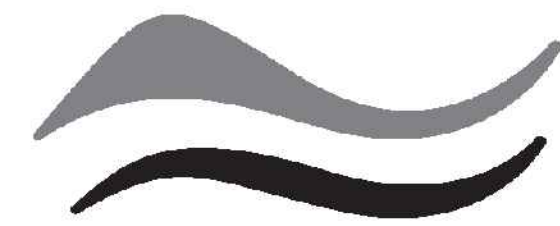
LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS
REGIONAL OFFICES:
DUBLIN, CALIFORNIA 94568
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REDWOOD CITY,
CALIFORNIA
APN: 051-022-380
SAN MATEO COUNTY

EROSION CONTROL DETAILS

| | | |
|---|--------------------|-----|
| 5 | PLANCHECK 05-24-22 | JOR |
| 4 | PLANCHECK 04-07-22 | JOR |
| 3 | PLANCHECK 11-25-21 | JOR |
| 2 | PLANCHECK 05-28-21 | JOR |
| 1 | PLANCHECK 12-10-20 | JOR |
| | REVISIONS | BY |

JOB NO: 2200474
DATE: 07-17-20
SCALE: AS NOTED
DESIGN BY: JOR
DRAWN BY: JOR
SHEET NO:



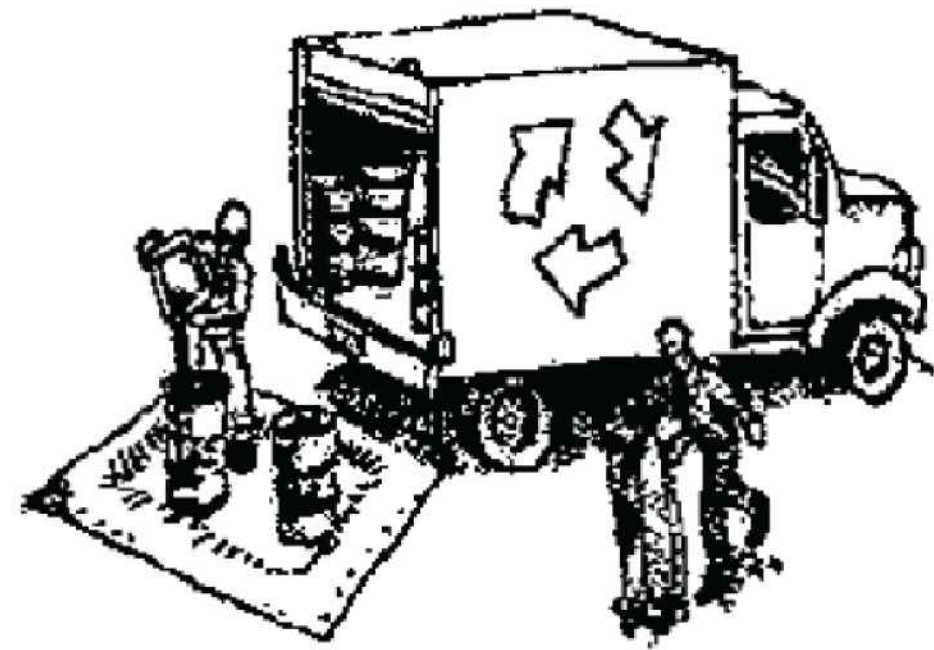
SAN MATEO COUNTYWIDE
**Water Pollution
Prevention Program**

Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



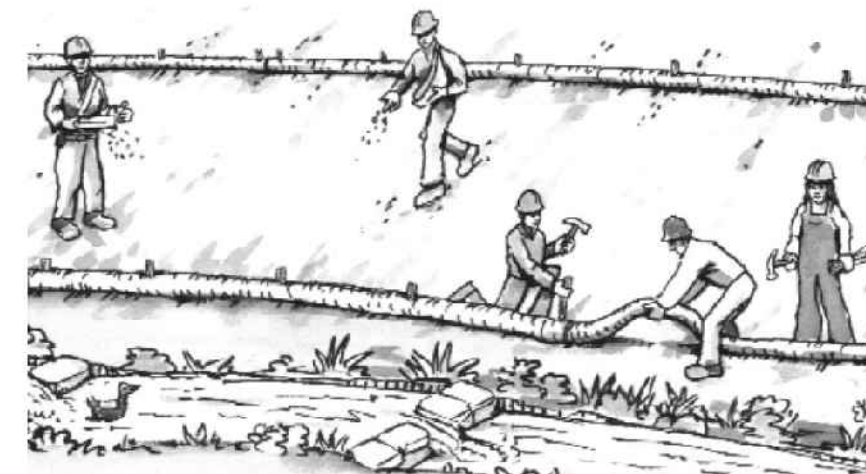
Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



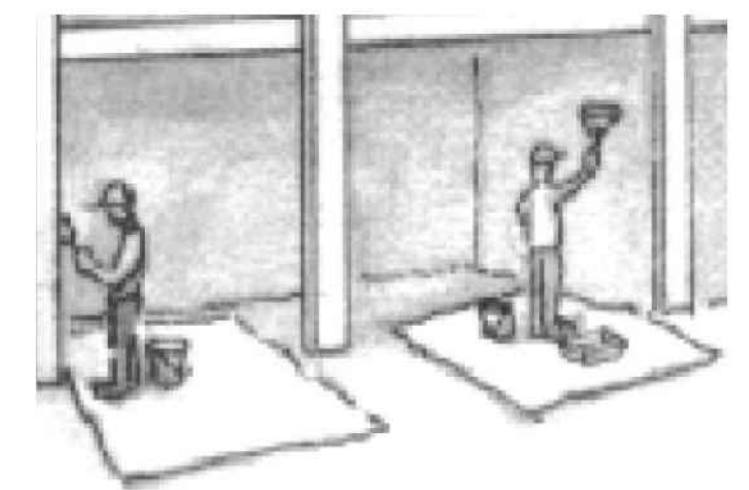
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

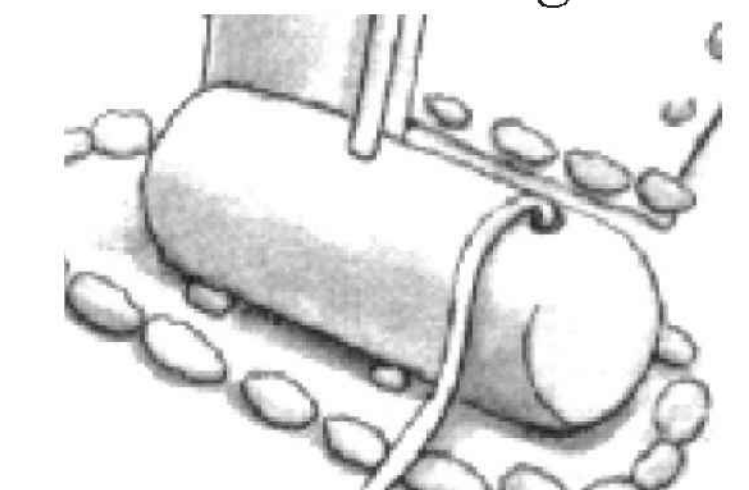
Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

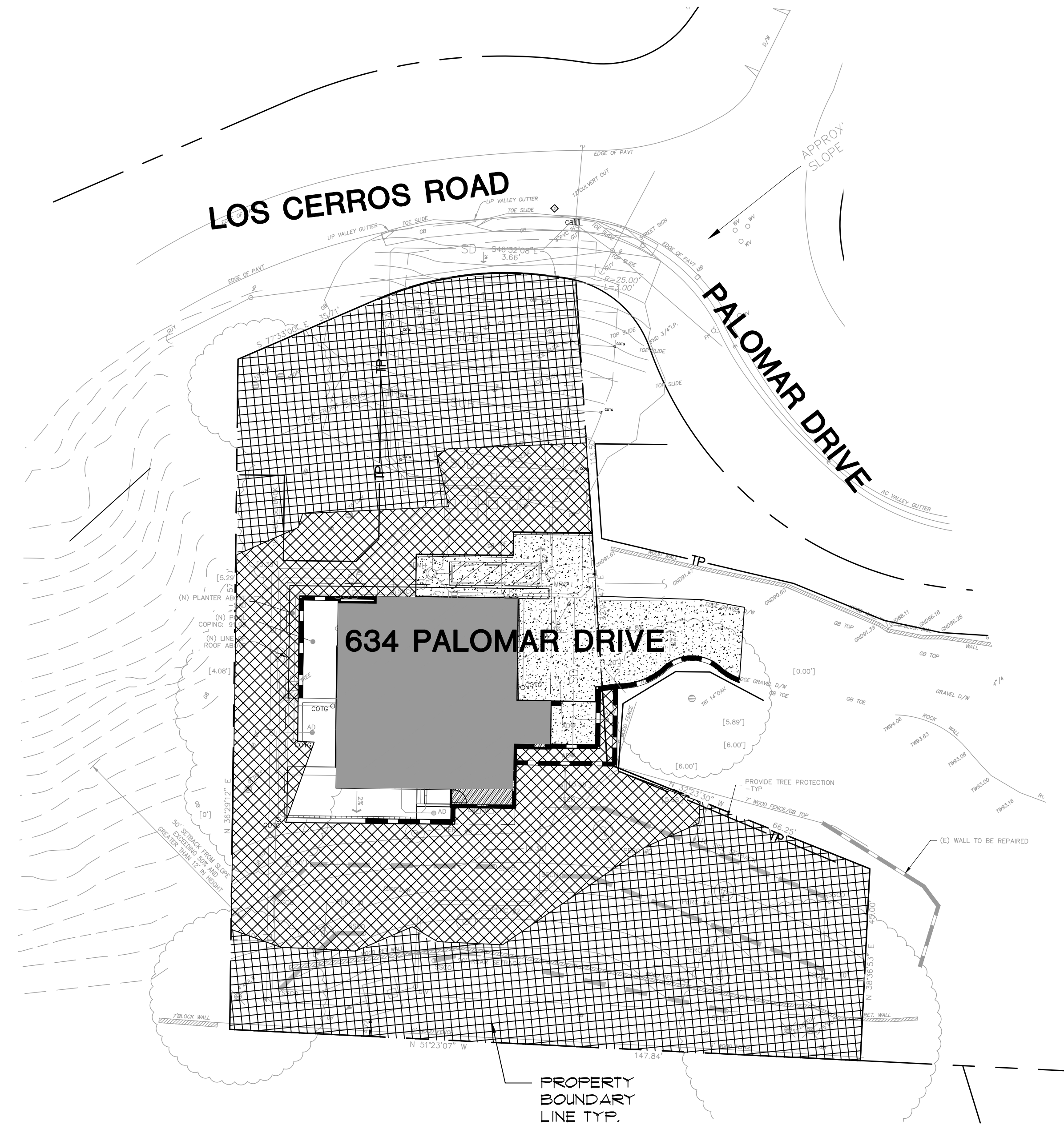
LANDSCAPE IMPROVEMENTS 634 PALOMAR DR. REDWOOD CITY, CALIFORNIA

SHEET INDEX

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| TITLE SHEET | L-1 |
| IRRIGATION PLAN | L-2 |
| HYDROZONE PLAN | L-3 |
| IRRIGATION DETAILS | L-4 |
| PLANTING PLAN | L-5 |
| PLANTING DETAILS/NOTES | L-6 |

GENERAL NOTES

- All construction and installation of landscape items are subject to the County of San Mateo Guidelines and Specifications for Landscape Development.
- The Landscape Contractor is responsible for obtaining all permits necessary for installation prior to beginning work. This includes all building and plumbing permits prior to commencing wall construction and irrigation installation, respectively.
- The Contractor is responsible for knowing all site conditions and all underground utilities, pipes, and structures, and shall take sole responsibility for replacement costs incurred due to damage during construction. Contractor shall call for all underground utilities to be marked-out in field prior to excavation. Before excavation, verify the location of underground utilities. Call Dig Alert (underground services alert) 811 or 1(800)227-2600.
- The Contractor is to verify existing PSI at the job site prior to installing the landscape irrigation system. Verification shall be made with the Bayshore District San Carlos Water (650-558-7800). Discrepancies between the design pressures shown on the plan and existing static pressures shall be reported to the project Landscape Architect.
- The Contractor shall not willfully proceed with construction when it is obvious that discrepancies exist between this plan and actual site conditions, and assumes responsibility that any discrepancies are brought to the attention of the Owner's representative. The Contractor shall bear the cost of necessary revisions due to failure to give such notification, and no change in contract price will be allowed for actual or claimed discrepancy between existing conditions and those shown on the plan.
- The Contractor must notify the Landscape Architect and County Public Works Inspector minimum of 48 hours (two working days) prior to starting construction. Within the 48 hours (two working days) notice, prior to beginning landscape construction, the Job Superintendent, Landscape Contractor, Landscape Architect of work, and the City Public Works Inspector shall meet for a pre-construction site meeting. Any work not meeting the approval of the Owner, Owner's representative or the approved landscape plan shall be corrected at the Contractor's expense.
- All property, lot lines and buffer lines shall be verified and marked in an obvious manner prior to construction.
- A soils report shall be prepared by County approved equal. Soils testing for agricultural suitability shall be accomplished at the conclusion of rough grading and submitted to the Landscape Architect for conformance review prior to soil preparation. All soils reports shall meet all of the specifications of the MWEL0 ordinance for soil fertility, infiltration and percolation tests and soil texture information. Contact the project Landscape Architect for a copy of the preliminary soils analysis, dated August 7, 2020, prior to beginning work. Any subsequent report shall be EQUALLY comprehensive in the information provided in the preliminary report and the recommendations for soil preparation and backfill amendments. If a subsequent report is incomplete, then the original soils report recommendations shall take precedence.
- All reduced pressure backflow preventors and pressure vacuum breaker assemblies shall be tested by a County approved certified tester after installation, relocation, or repairs. Notify the Bayshore District San Carlos Water Department for a current list. (If applicable)
- Approved landscape plans and specifications shall be at the job site location at all times.
- Note: ALL trees and palms shall have a one (1) year warranty, both in the right of way and in common area landscapes. The Contractor or Owner is required to maintain all common areas shrubs and groundcovers for 90 days and the public right of way landscaping for one (1) year prior to City acceptance of all improvements. Thereafter, permanent maintenance responsibility will be that of the owner.
- The 'As-Built' plans must be completed and approved by the City Engineer prior to the commencement of the required one (1) year maintenance period. The Landscape Contractor shall provide As-Built to Landscape Architect prior to end of the 90 Day maintenance period per the City's policy and Landscape Manual specifications.
- Any turfed areas, if applicable, shall have a maximum design slope of 4:1. Ground cover areas shall have a maximum design slope of 2:1.
- All graffiti shall be removed within 24 hours of occurrence.
- Contractor shall obtain for reference purposes, all approved grading plans and all relative technical reports, drawings and documents and keep on site with landscape plans.
- For details not referenced or shown on these plans, please refer to the County of San Mateo Manual or Manufacturer's details and specifications for installation.
- The project Landscape Architect is aware of the County of San Mateo policy which prohibits trees and permanent structures in utility easements and has designed the project landscape plans in accordance with this requirement, based on the easement information received from the project Engineer of Work. The project Landscape Architect has verified that these plans meet the requirements of said policy.
- The project Contractor is aware of the County policy which prohibits trees and structures in utility easements and shall install the project in accordance with this requirement. The Contractor shall verify the location of all easements, property mark or stake all property lines and easements, and verify the scope of work within the easement prior to installing improvements within any easement.
- Guarantee of Irrigation Work. Per the County's policy, the Landscape Contractor shall provide "Guarantee of Irrigation Work" letter. See irrigation notes for required content of the Irrigation Guarantee.
- The landscape contractor shall provide Controller certification letter to Landscape Architect for documentation package. See irrigation plan, notes and details.
- MWEL0 Compliance. The landscape contractor shall provide to Landscape Architect all required permanent irrigation schedules, installation certification letter, maintenance information and third party audit as required by the Water Efficiency Landscape Ordinance. See Irrigation Notes for additional requirements.



SITE PLAN

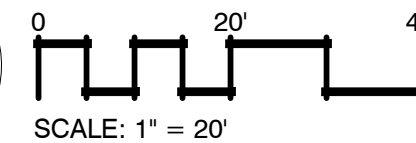
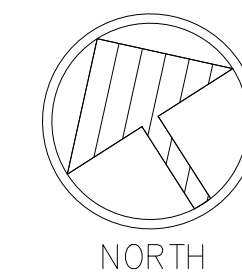
NOTE: BASE INFORMATION SHOWN IS FOR REFERENCE ONLY. FOR STORMWATER TREATMENT PLAN, DETAILS, SPECIFICATIONS AND MANAGEMENT INFORMATION, OR EASEMENTS, UTILITIES, GRADING AND IMPROVEMENTS REFER TO CIVIL PLANS.

SYMBOL



LEGEND

APPROXIMATE TOTAL SQ. FT. OF LANDSCAPE AND MAINTENANCE RESPONSIBILITY FOR PROJECT PRIVATE AREA LANDSCAPE = 14,265 SQ. FT. THIS AREA SHALL BE PERMANENTLY MAINTAINED BY THE OWNER



NOTES:

AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.

AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED BY A CERTIFIED IRRIGATION AUDITOR AT THE TIME OF FINAL INSPECTION. REPORT SHALL BE SUBMITTED TO SAN MATEO COUNTY PLANNING FOR REVIEW AND ACCEPTANCE.

A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.

A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE LANDSCAPE ARCHITECT, DESIGNER, OF THE PLANTING / IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.

WATER EFFICIENT LANDSCAPE ORDINANCE COMPLIANCE

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.

LANDSCAPE ARCHITECT

DATE

634 PALOMAR DRIVE
REDWOOD CITY, CALIFORNIA

APN: 051-022-380

SAN MATEO COUNTY

SHEET TITLE:
TITLE SHEET
DATE: 10.30.20
REV: 5.10.21

SHEET NUMBER:

L-1

SCALE: AS NOTED



Irrigation System Pressure Requirements
Worst Case Operation/Friction Loss Analysis

VALVE NO 5 @ 10 GPM
POINT OF CONNECTION 1" Meter 2" Service Line
DATE: 4-28-2021
LATERAL PIPE SECTION (CL 200)

| PIPE SIZE | SECTION LENGTH | SECTION GPM FLOW | PIPE SECTION MULT. FACTOR | PIPE SECTION FRICTION LOSS |
|-----------|----------------|------------------|---------------------------|----------------------------|
| 1. 3/4" | 45 | 10.00 | 0.0431 | 1.94 |
| 2. 1" | 30 | 11.00 | 0.0156 | 0.47 |
| 3. 1-1/2" | 25 | 25.00 | 0.0134 | 0.00 |
| 4. 2" | 44 | 44.00 | 0.018 | 0.00 |
| 5. 2-1/2" | 0 | 0 | 0.0141 | 0.00 |

TOTAL LATERAL LINE LOSS 2.41

| PIPE SIZE | SECTION LENGTH | SECTION GPM FLOW | SECTION MULT. FACTOR | SECTION FRICTION LOSS |
|-----------|----------------|------------------|----------------------|-----------------------|
| 1. 1" | 200 | 10 | 0.0263 | 5.26 |

TOTAL MAINLINE LOSS 5.26

TOTAL IRRIGATION LINE LOSS 7.67

SYSTEM PRESSURE LOSS CALCULATION

| METER 'A' | VALUE |
|------------------------|-------|
| METER SIZE | 1" |
| STATIC PRESSURE AT POC | 40.00 |
| Elevation @ POC | 96.0 |
| Elevation @ LAST HEAD | 110.0 |
| ELEVATION PSI LOSS | -14.0 |

| | |
|---------------------------|------|
| WATER METER LOSS | 0.70 |
| BACKFLOW PREVENTER LOSS | NA |
| MASTER VALVE LOSS | 3.00 |
| MAIN LINE LOSS | 5.26 |
| GATE/BALL VALVE LOSS | 1.50 |
| REMOTE CONTROL VALVE LOSS | 2.00 |
| LATERAL LINE LOSS | 2.41 |

FRICITION LOSS SUBTOTAL = 14.87

| | |
|----------------------------|-------|
| FITTING LOSSES 10% | 1.49 |
| ELEVATION LOSS | -6.02 |
| MINIMUM OPERATIONAL PSI | 40.00 |
| FRICITION LOSS SUBTOTAL | 14.87 |
| SYSTEM OPERATIONAL TOTAL = | 62.37 |

| | |
|-------------------------|-------|
| STATIC PRESSURE | 40.00 |
| BOOSTER PUMP | 30.00 |
| SYSTEM OPERATIONAL REQ. | 62.37 |
| RESIDUAL PSI = | 7.63 |

NOTES:
FIELD ADJUST ALL SPRINKLERS TO ELIMINATE OVERSPRAY ONTO SIDEWALKS OR DRIVEWAYS

POC A

| | |
|------------------------------|------------------|
| POTABLE WATER METER ID. | [M] |
| METER LOCATION: | PRIVATE DRIVEWAY |
| METER ELEVATION: | 96 |
| METER SIZE: | 1" |
| SERVICE LINE: | 2" |
| STATIC PSI: | 40 PSI |
| WORST CASE VALVE CIRCUIT: | VALVE 5 @ 10 GPM |
| MINIMUM PSI FOR OPERATIONAL: | 63 PSI |
| BOOSTER PUMP: | 30 PSI |
| RESIDUAL PSI: | 7.63 GPM |
| MAX FLOW: | 9 GPM |

CONTRACTOR TO VERIFY STATIC WATER PRESSURE FOR IRRIGATION SYSTEM PERFORMANCE PRIOR TO INSTALLATION. NOTIFY LANDSCAPE ARCHITECT OF STATIC PRESSURE IF PRESSURE DOES NOT MEET MINIMUM PSI FOR OPERATION.

IRRIGATION EQUIPMENT LEGEND

VALVES, CONTROLS, & MISC. EQUIPMENT

| DETAIL | SYM. | MANUFACTURER / MODEL # | DESCRIPTION |
|---------|--------|---|---|
| CIVIL | [M] | EXISTING 1" RESIDENTIAL METER WITH 2" SERVICE LINE | METER DETAIL / PER CIVIL PLANS VERIFY LOCATION AND SIZE PER CIVIL PLANS |
| A/L-4 | P.O.C. | IRRIGATION POINT OF CONNECTION | SYSTEM CONNECTION DOWN STREAM OF METER |
| A/L-3 | [V] | HUNTER 1B-V-1016-F5 MASTER VALVE | 1" BRASS VALVE NORMALLY CLOSED-INSTALL IN STANDARD RECTANGULAR VALVE BOX-BRAND LID "BV" |
| B/L-3 | [S] | HUNTER FCT100-FLOW SENSOR | 1" FLOW METER -INSTALL IN STD. ROUND VALVE BOX-BRAND LID "FS" |
| F/L-4 | [X] | KING BROS SERIES BALL VALVE | BALL VALVE - LINE SIZE - INSTALL IN 10" ROUND VALVE BOX-BRAND "BV" |
| E/L-4 | [I] | HAMMOND UP801/8503 SERIES ISOLATION VALVE | STANDARD PORT BRASS BALL VALVE - LINE SIZE - BRAND "RR SHUT OFF" IN ROUND VALVE BOX |
| K/L-4 | [C] | HUNTER HQ-38DLRC QUICK COUPLER | 3/4" QUICK COUPLER VALVE - INSTALL IN 10" ROUND VALVE BOX - BRAND LID "QCV" PROVIDE KEY TO OWNER |
| G/L-4 | [A] | HUNTER ANTI-SIPHON VALVE PGV-015-ASV WITH FLOW CONTROL | ANTI-SIPHON VALVE - INSTALL 12" ABOVE HIGHEST HEAD PER DETAIL & MANUFACTURER SPECIFICATION - SIZE PER PLAN |
| C/L-3 | [A] | HUNTER PGV-101A ANGLE VALVE | 1" ANGLE / GLOVE VALVE INSTALLED WITH ATMOSPHERIC VACUUM BREAKER |
| D/L-3 | [B] | WILKINS ATMOSPHERIC VACUUM BREAKER 35 SERIES 3/4" BACKFLOW DEVICE | 3/4" AVB INSTALL HEIGHT PER DETAIL/MFR. |
| B/C/L-4 | [C] | HUNTER A2C-1200-SS CONTROLLER W/ A2C-F5, A2C-WIFI AND HUNTER WR-CLK RAIN SENSOR | 12 STA. SMART CONTROLLER (WIFI)-COORDINATE HARD WIRE RAIN SENSOR ATTACH TO GUTTER/EAVE. HALL MOUNT IRRIGATION ENCLOSURE EXACT LOCATION PER OWNER. WET BUBBLER SENSOR, 1 RAIN SHUT-OFF. |
| [B] | [B] | BARETT IRRIGATION BOOSTER PUMP | INSTALL PUMP PER MFR SPEC. CONTRACTOR SHALL VERIFY EXISTING DYNAMIC WATER PRESSURE, STATIC PRESSURE AND ELECTRICAL POWER SUPPLY PRIOR TO ORDERING PUMP. CONTACT MFR FOR PROPER PUMP SPEC. 8H-232-1861 |
| L/L-4 | [A] | DURA 912 SERIES | PVC INLINE SPRING CHECK VALVE |

SPRINKLER HEADS

| DETAIL | SYMBOLS | MANUFACTURER / MODEL # | GPM - AT 40 PSI | DESCRIPTION |
|--------|---------|--|--------------------------|----------------|
| H/L-4 | [R] | HUNTER PROS-12-PRS40-CV W/ HUNTER MP1000 | 360/210/210/180/80 | POP-UP ROTATOR |
| | [R] | HUNTER PROS-12-PRS40-CV W/ HUNTER MP2000 | 15 51 43 17 14 | FIXED RISER |
| | [R] | HUNTER PROS-12-PRS40-CV W/ HUNTER MP3000 | 147 110 86 14 40 | POP-UP ROTATOR |
| | [R] | HUNTER PROS-12-PRS40-CV W/ HUNTER MP4000 | 3.64/2.73/2.12/1.82/1.66 | SLOPE AREA |
| | [R] | HUNTER PROS-12-PRS40-CV W/ HUNTER MP5000 | 360/210/210/180/80 | FIXED RISER |
| | [R] | HUNTER PROS-12-PRS40-CV W/ HUNTER MP6000 | 15 51 43 17 14 | FIXED RISER |
| H/L-4 | [S] | HUNTER MP SIDE STRIPS RST | 22 | SIDE STRIP |
| H/L-4 | [S] | HUNTER MP SIDE STRIPS LST | 22 | POP-UP SPRAY |
| H/L-4 | [S] | HUNTER MP SIDE STRIPS SST | 44 | FIXED RISER |
| H/L-4 | [S] | HUNTER MEB-HIGH BUBBLER (2 PER TREE) | 30 PSI | FIXED RISER |

VALVE KEY

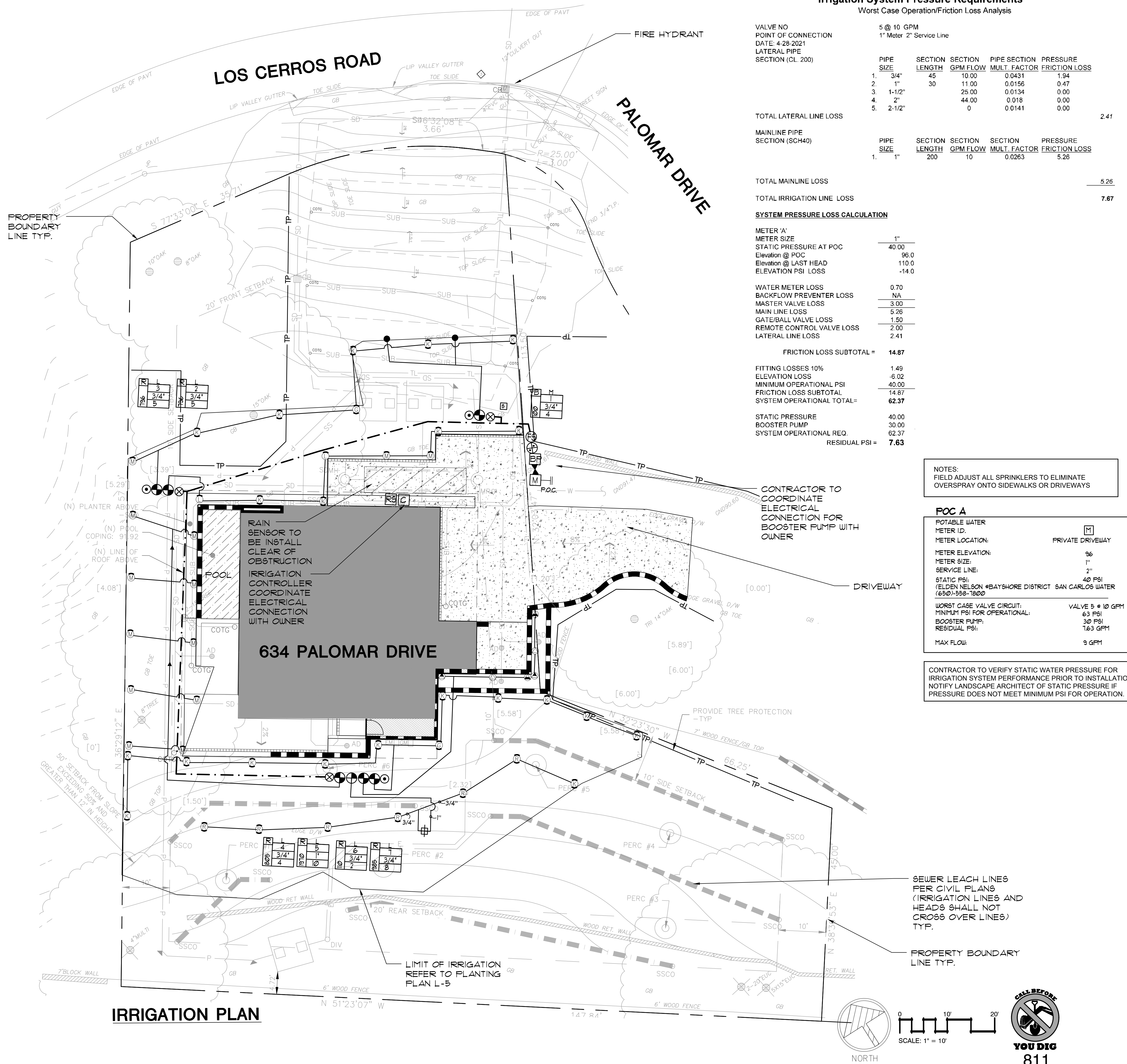
| | | | |
|-------------|----------------|-----------------------|------------------|
| MICOLS | L=LOW H=HIGH | IRRIGATION TYPE * | IRRIGATION TYPE |
| SL= SPECIAL | LANDSCAPE AREA | WCOLS HYDROZONE CLASS | R= ROTATOR/ROTOR |
| | | VALVE NUMBER | D= DRIFLINE |
| | | VALVE SIZE | B= BUBBLER |
| | | VALVE FLOW GPM | |

PIPING & SLEEVING

| DETAIL | SYM. | DESCRIPTION |
|-------------------------|------|--|
| [---] | | SCHEDULE 40 PVC PRESSURE MAINLINE PIPING - WITH MYLAR DETECTION TAPE 1" SIZE UNLESS NOTED |
| [--- | | PVC CLASS 200 NON-PRESSURE LATERAL LINE PIPING - 3/4" SIZE UNLESS NOTED |
| [====] | | PVC SCH 40 SLEEVING FOR MAIN AND LATERAL LINE PIPING SLEEVE SIZE 2X PIPE DIAMETER OF PIPING |
| [NOT SHOWN GRAPHICALLY] | | CONTROL VALVE CONDUCTORS - TAPE TO MAINLINE EVERY 20' - PROVIDE 18" WIRE COIL AT CHANGES IN DIRECTION PROVIDE SPARE COMMON AND 2 SPARE CONDUCTORS WIRE CONNECTORS TO BE DB-SERIES "GREASE PACK" TYPE CONNECTOR INSTALL CONDUCTORS IN DB-60 PVC RNC IN PVC SCH. 40 SLEEVE UNDER ALL FLATWORK AND PAVING |

IRRIGATION PIPE AND EQUIPMENT ARE DIAGRAMMATIC. INSTALL ALL EQUIPMENT IN LANDSCAPE AREAS. INSTALL PIPE IN PLANTERS, SLEEVE AS REQUIRED UNDER HARDSCAPE DEPTH OF COVER. CONTRACTOR TO PROVIDE IRRIGATION SCHEDULE PRINT OUT PRIOR TO END OF 90 DAY MAINTENANCE AND SWITCH TO SMART CONTROLLER SETTINGS BEFORE TURNOVER FOR ALL CONTROLLERS AND PROVIDE OWNER & LANDSCAPE ARCHITECT WITH SCHEDULE AND RUN TIMES FOR DOCUMENTATION PKGS.

- IRRIGATION NOTES**
- ALL IRRIGATION IMPROVEMENTS SHALL FOLLOW THE SAN MATEO COUNTY STANDARD AND REQUIREMENTS. AN AUTOMATIC BELOW GRADE IRRIGATION SYSTEM SHALL BE INSTALLED TO PROVIDE COVERAGE FOR ALL PLANTING AREAS SHOWN ON THE PLAN. LOW VOLUME, LOW FLOW IRRIGATION EQUIPMENT AND CONSERVATION TECHNIQUES SHALL BE EMPLOYED ALONG WITH THE DOCUMENTATION PACKAGE TO PROVIDE SUFFICIENT WATER FOR PLANT GROWTH WITH A MINIMUM WATER LOSS DUE TO WATER RUN-OFF. ZERO RUNOFF IS PERMITTED.
 - BUBBLERS AND ROTARY SPRAYS IRRIGATION SYSTEMS SHALL BE USED WITH HIGH QUALITY, AUTOMATIC CONTROL VALVES, CONTROLLERS, MASTER VALVE, FLOW SENSOR AND RAIN SHUT-OFF SENSOR AND OTHER NECESSARY IRRIGATION EQUIPMENT FOR BEST EFFICIENCY AND WATER CONSERVATION.
 - ALL COMPONENTS SHALL BE OF NON-CORROSIVE MATERIAL.
 - ALL IRRIGATION EQUIPMENT, SENSORS AND CONTROLLERS SHALL BE INSTALLED PER MANUFACTURER GUIDELINES AND SPECIFICATIONS, AND ADHERE TO ALL CODE RESTRICTIONS AND GUIDELINES.
 - ALL IRRIGATION PIPING AND WIRING SHALL BE SLEEVED UNDER ALL HARDSCAPE AND VEHICULAR AREAS, WITH STANDARD DEPTH OF COVER PER SAN MATEO COUNTY REQUIREMENTS.
 - SPRAY NOZZLES, AND/OR OR EFFICIENT ROTARY AND ROTOR SPRAY SYSTEMS THAT ARE ORDINANCE-COMPLIANT AND PROVIDE ZERO OVERSPRAY MAY BE USED.
 - FIELD ADJUST ALL SPRINKLERS AND EMITTERS TO ELIMINATE OVERSPRAY ONTO SIDEWALKS, DRIVEWAYS AND HARDSCAPE AREAS.
 - ALL IRRIGATION AREAS SHALL BE APPROPRIATELY HYDROZONED AND INSTALLED ACCORDING TO ORDINANCE REQUIREMENTS AND LANDSCAPE DESIGN STANDARDS.



IRRIGATION PLAN

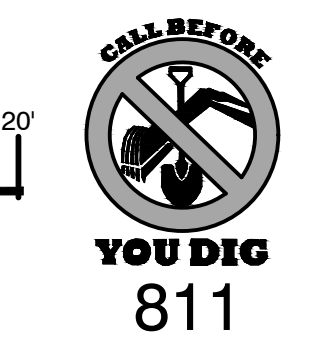
634 PALOMAR DRIVE
REDWOOD CITY, CALIFORNIA
SAN MATEO COUNTY
APN: 051-022-380

SHEET TITLE:
IRRIGATION PLAN

DATE: 10.30.20
REV: 5.10.21

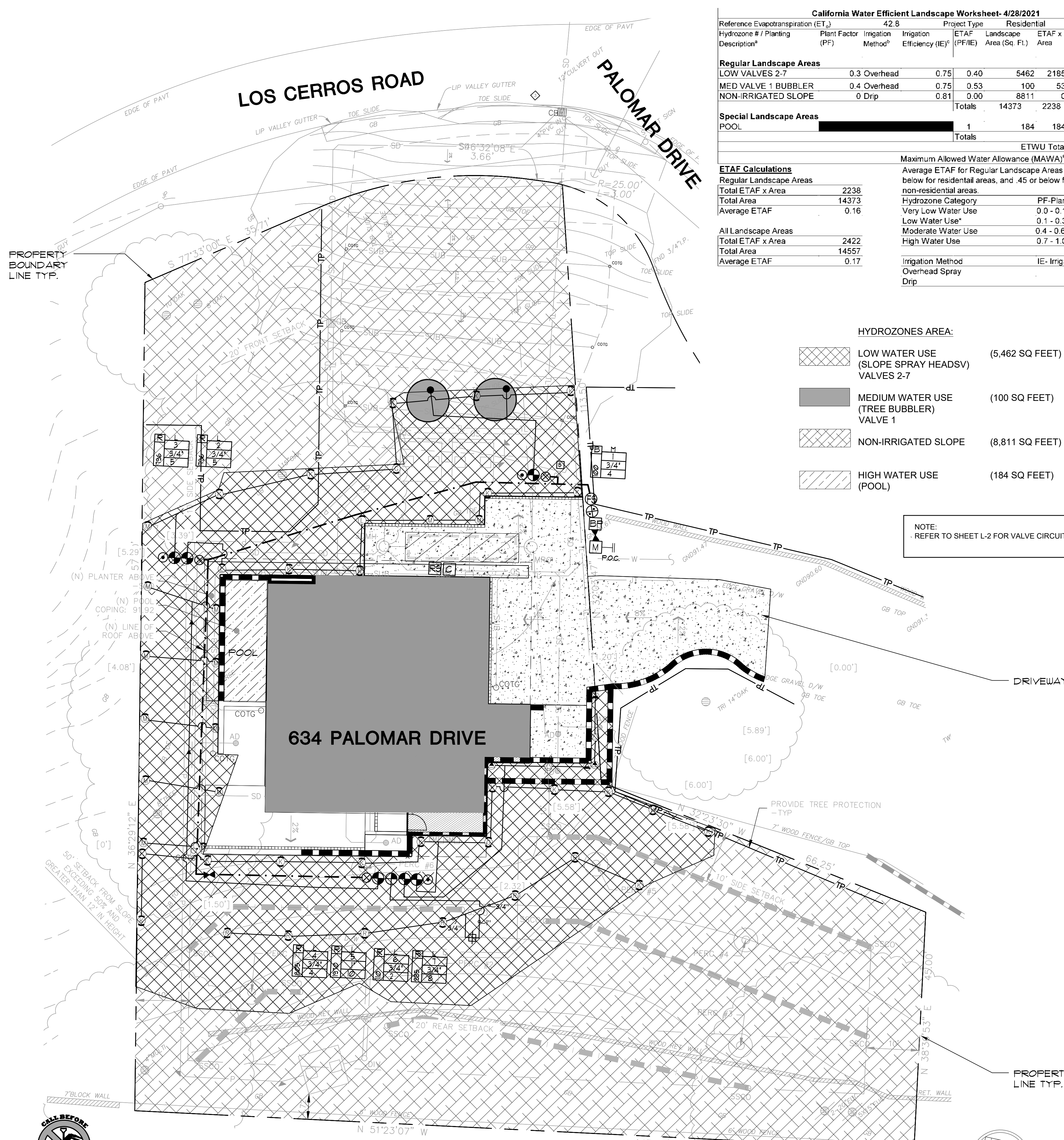
SHEET NUMBER:
L-2

SCALE: AS NOTED



MAWA (MAXIMUM ALLOWED WATER ALLOWANCE)

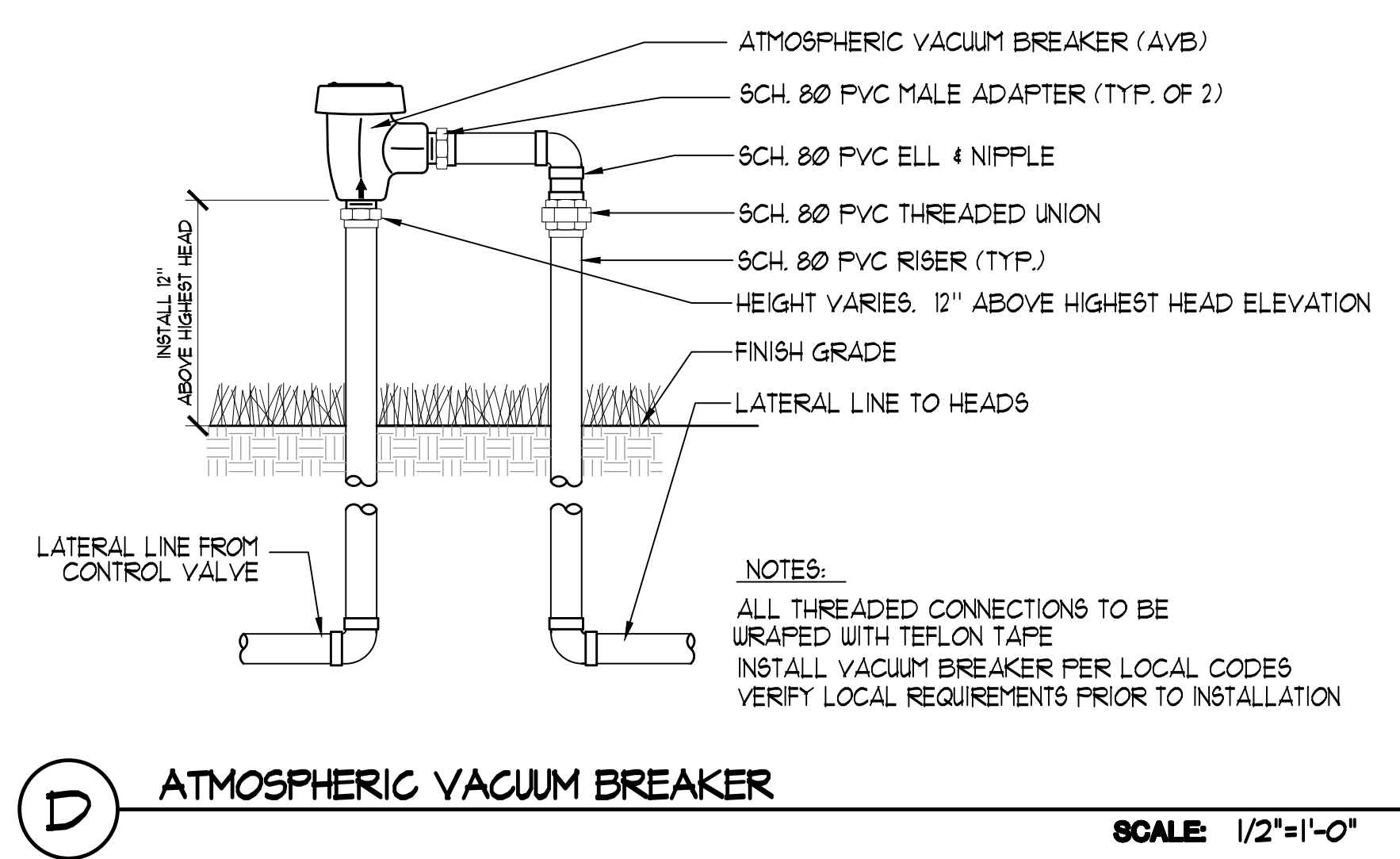
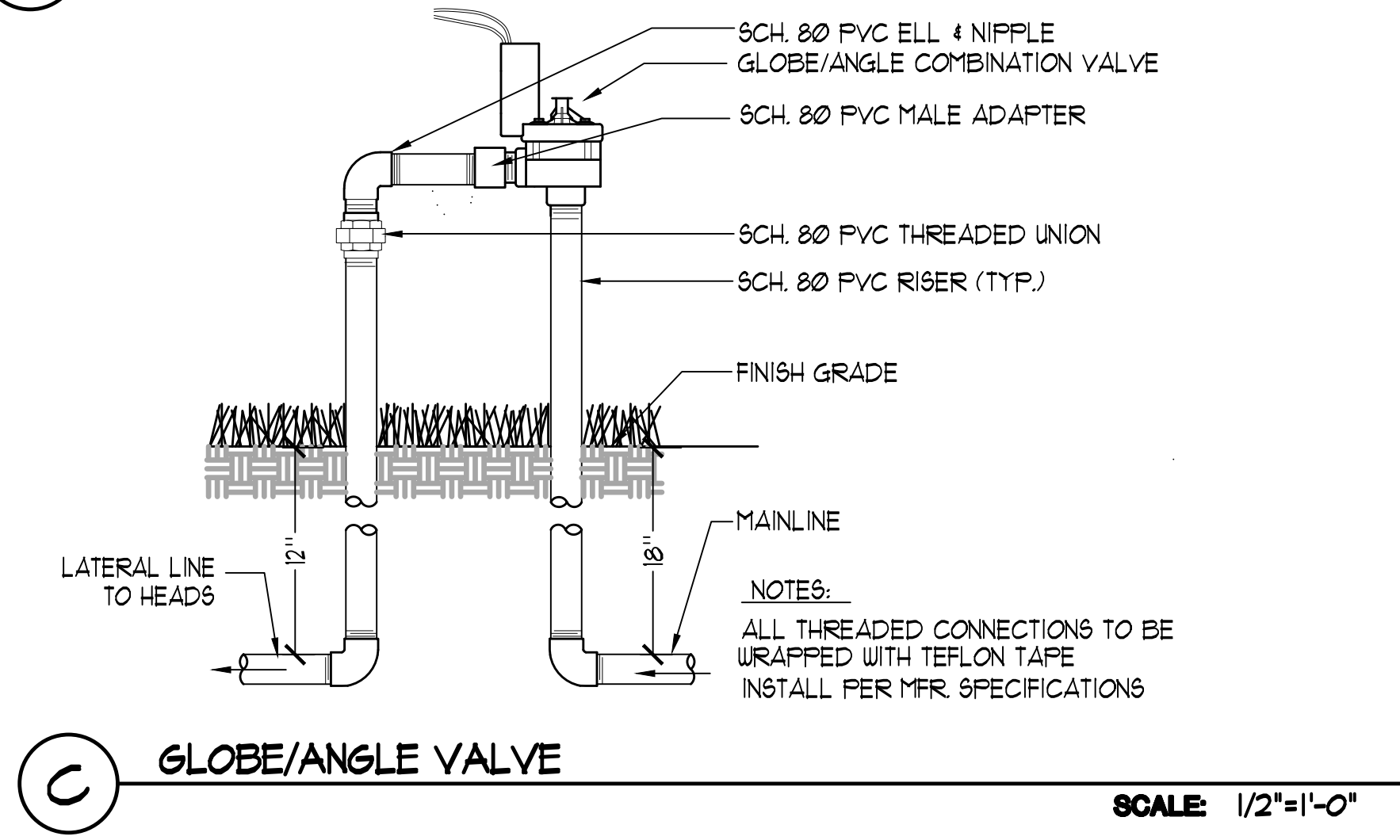
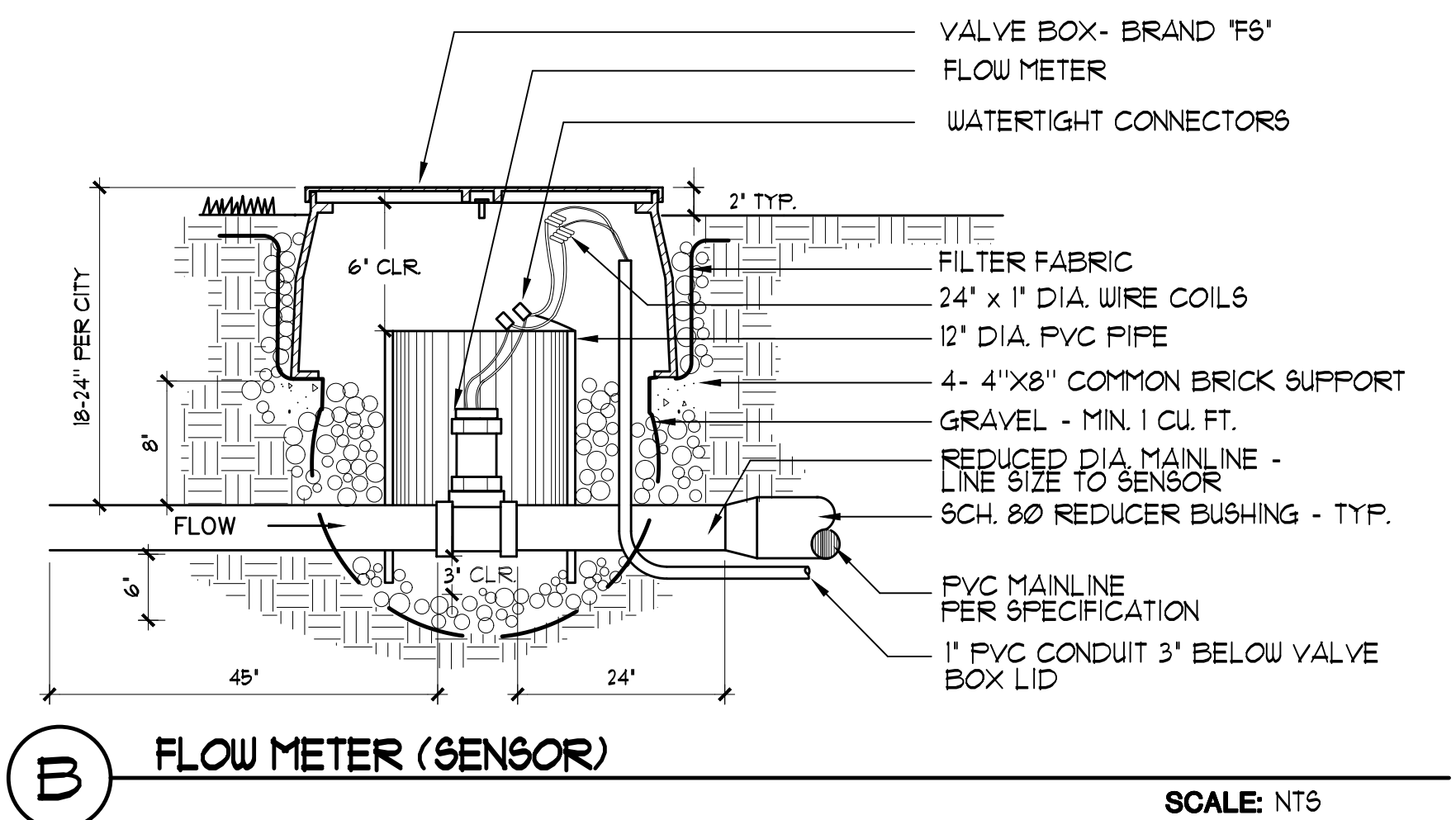
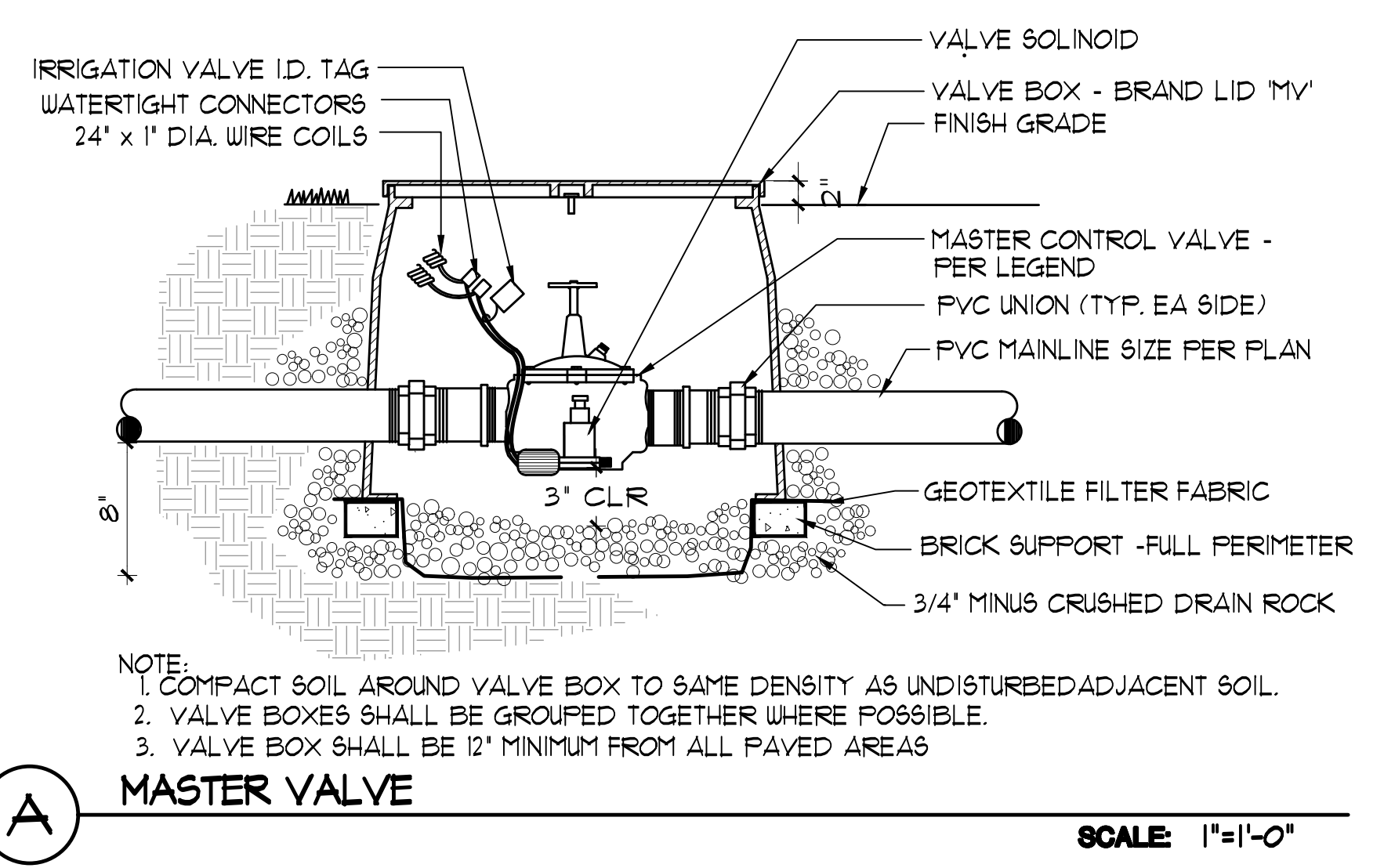
| California Water Efficient Landscape Worksheet- 4/28/2021 | | | | | | |
|--|-------------------|--------------------------------|------------------------------|---|--------------|---|
| Reference Evapotranspiration (ET _r) | 42.8 | Project Type | Residential | ETAF | 0.55 | Estimated Total Water Use (ETWU) ^g |
| Hydrozone # / Planting Description ^a | Plant Factor (PF) | Irrigation Method ^b | Efficiency (IE) ^c | Area (Sq. Ft.) (PF/IE) | ETAF x Area | Estimated Total Water Use (ETWU) ^g |
| Regular Landscape Areas | | | | | | |
| LOW VALVES 2-7 | 0.3 | Overhead | 0.75 | 0.40 | 5462 | 2185 |
| MED VALVE 1 BUBBLER | 0.4 | Overhead | 0.75 | 0.53 | 100 | 53 |
| NON-IRRIGATED SLOPE | 0 | Drip | 0.81 | 0.00 | 8811 | 0 |
| Totals | | | | | 14373 | 2238 |
| Special Landscape Areas | | | | | | |
| POOL | | | | 1 | 184 | 184 |
| Totals | | | | | | 4883 |
| | | | | ETWU Total | 64274 | |
| | | | | Maximum Allowed Water Allowance (MAWA) ^e | 214654 | |
| ETAF Calculations | | | | | | |
| Average ETAF for Regular Landscape Areas must be .55 or below for residential areas, and .45 or below for non-residential areas. | | | | | | |
| Hydrozone Category PF-Plant Factor | | | | | | |
| Very Low Water Use 0.0 - 0.1 | | | | | | |
| Low Water Use* 0.1 - 0.3 | | | | | | |
| Moderate Water Use 0.4 - 0.6 | | | | | | |
| High Water Use 0.7 - 1.0 | | | | | | |
| Irrigation Method IE- Irrigation Efficiency | | | | | | |
| Overhead Spray 0.75 | | | | | | |
| Drip 0.81 | | | | | | |



HYDROZONES AREA:

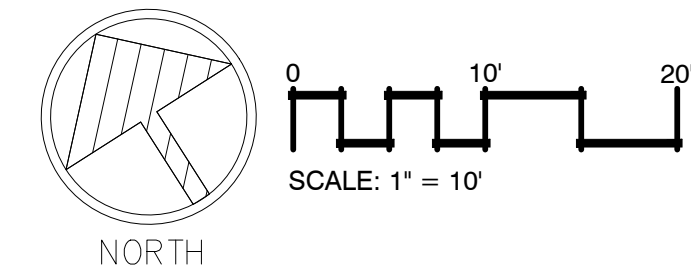
| | |
|--|-----------------|
| LOW WATER USE (SLOPE SPRAY HEADS) VALVES 2-7 | (5,462 SQ FEET) |
| MEDIUM WATER USE (TREE BUBBLER) VALVE 1 | (100 SQ FEET) |
| NON-IRRIGATED SLOPE | (8,811 SQ FEET) |
| HIGH WATER USE (POOL) | (184 SQ FEET) |

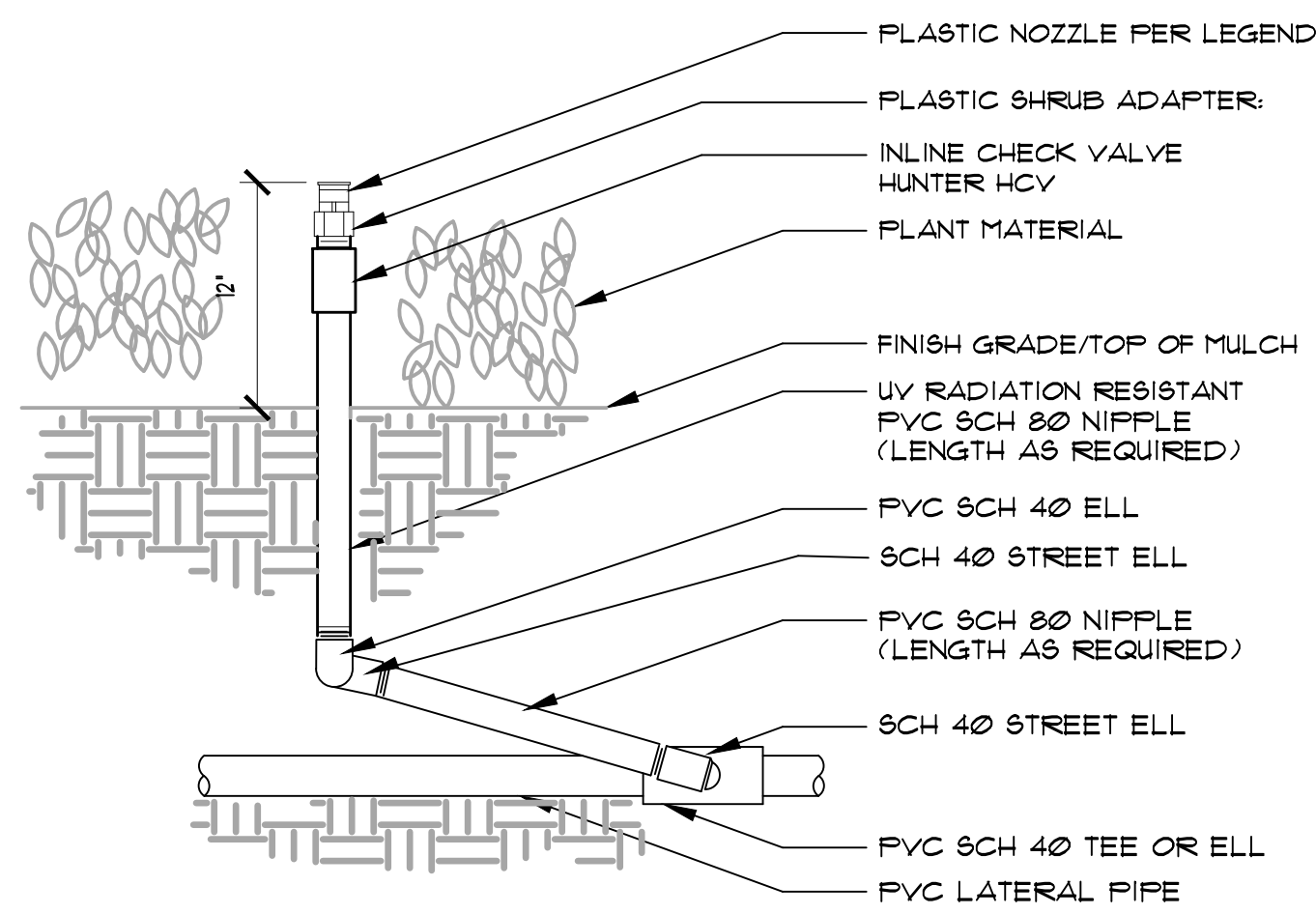
NOTE: REFER TO SHEET L-2 FOR VALVE CIRCUIT LINES.



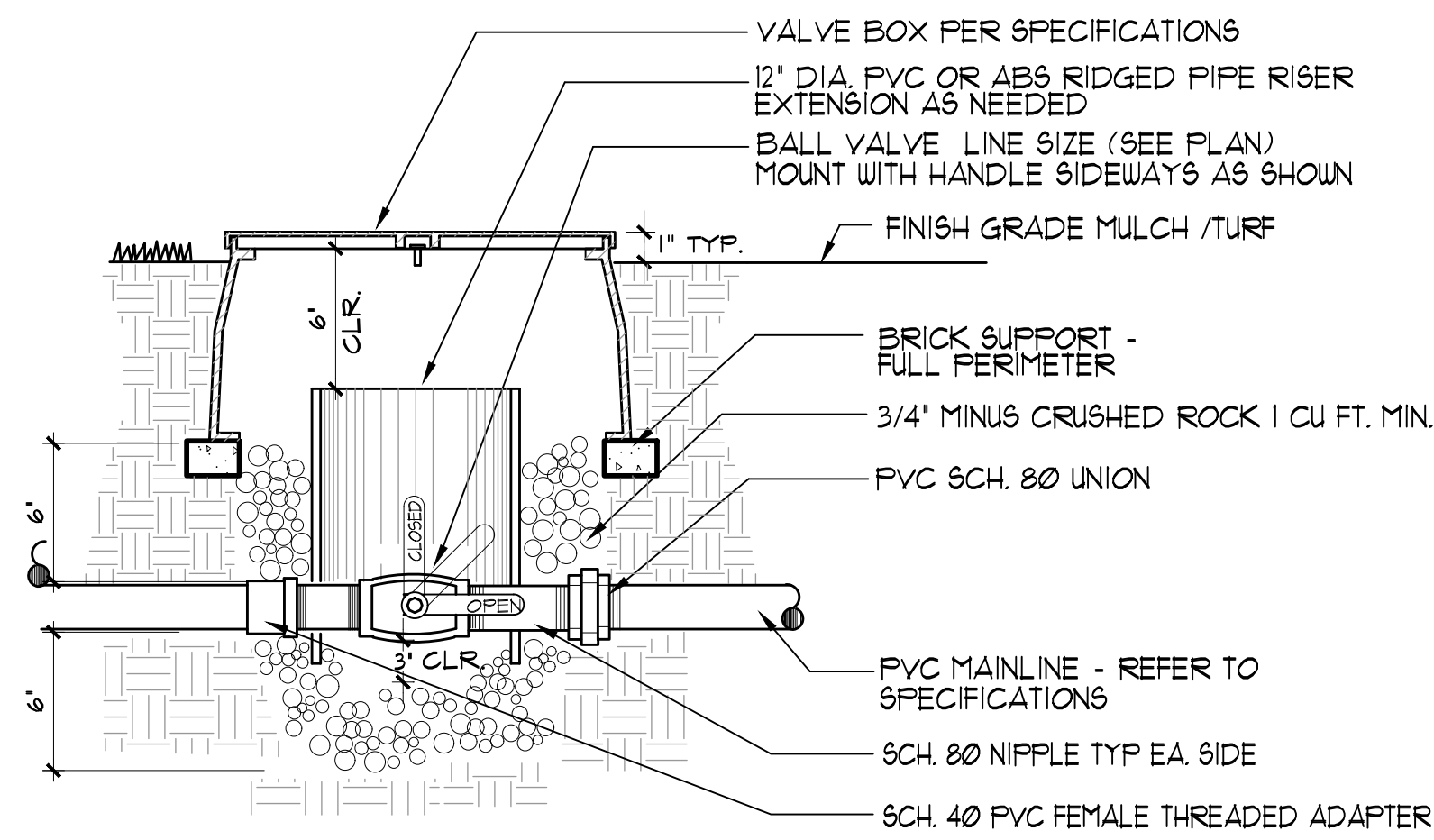
634 PALOMAR DRIVE
 REDWOOD CITY, CALIFORNIA
 SAN MATEO COUNTY
 APN: 051-022-380

SHEET TITLE:
 HYDROZONE PLAN
 DATE: 10.30.20
 REV: 5.10.21
 SHEET NUMBER:
 L-3
 SCALE: AS NOTED



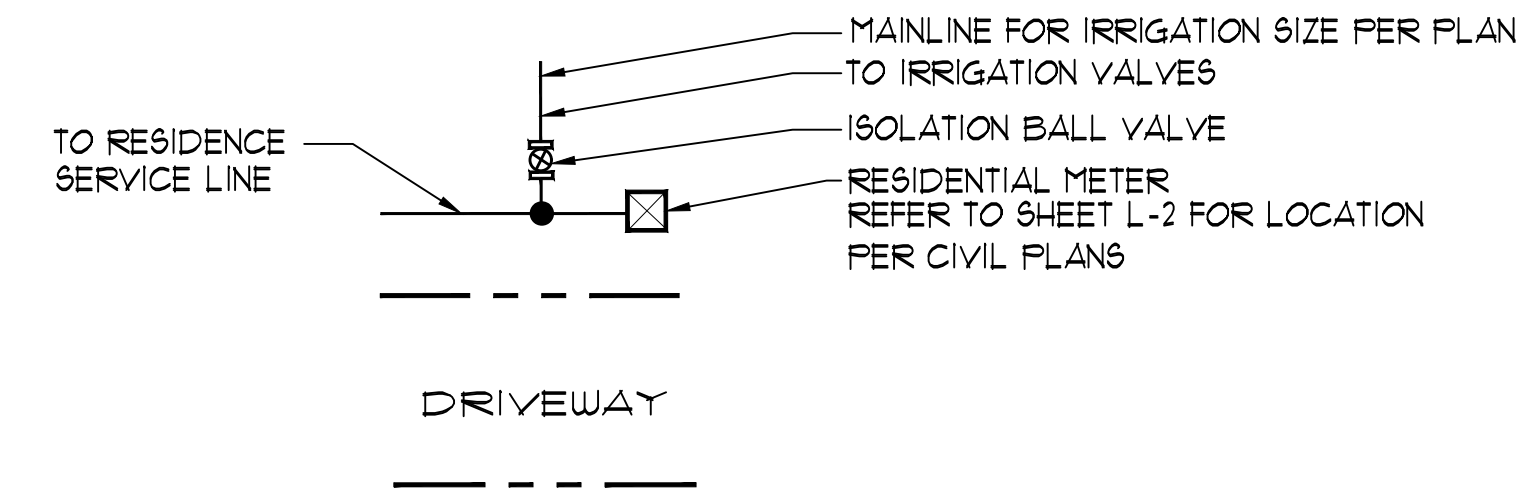


I **FIXED RISER HEAD** SCALE: N.T.S.

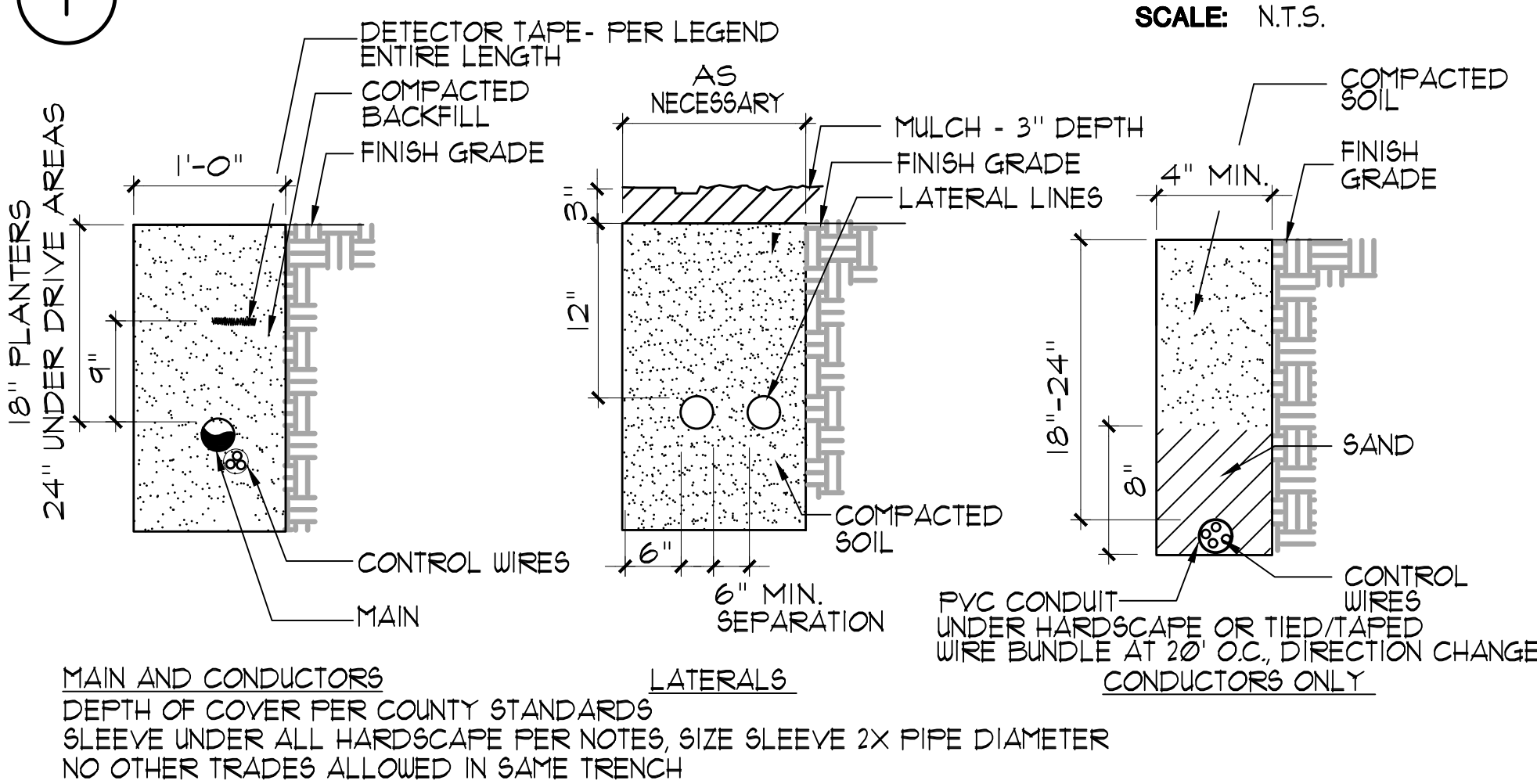


E **ISOLATION BALL VALVE** SCALE: 1"=1'-0"

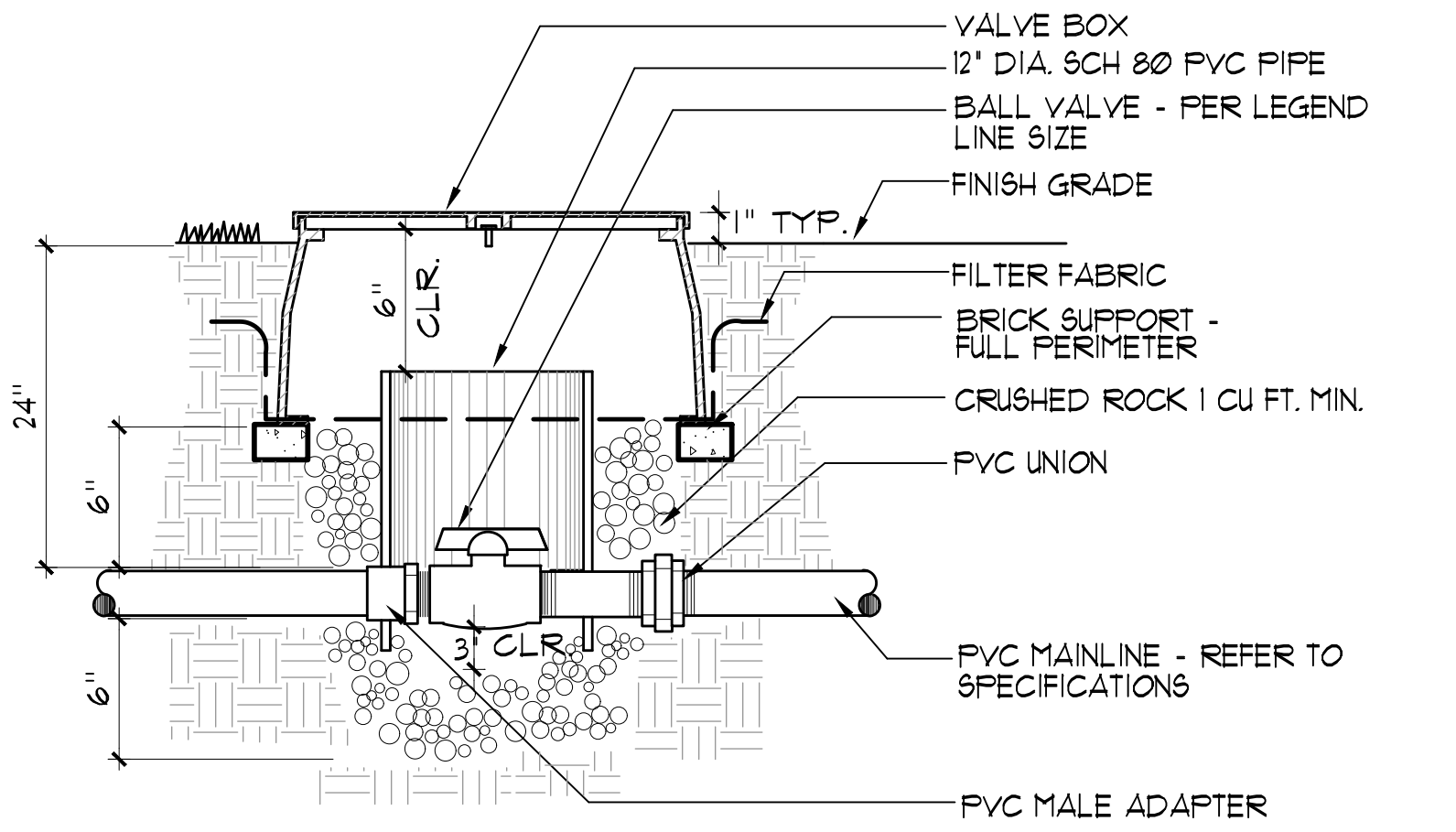
INSTALLATION SHALL MEET SAN MATEO COUNTY STANDARDS AND REGULATIONS



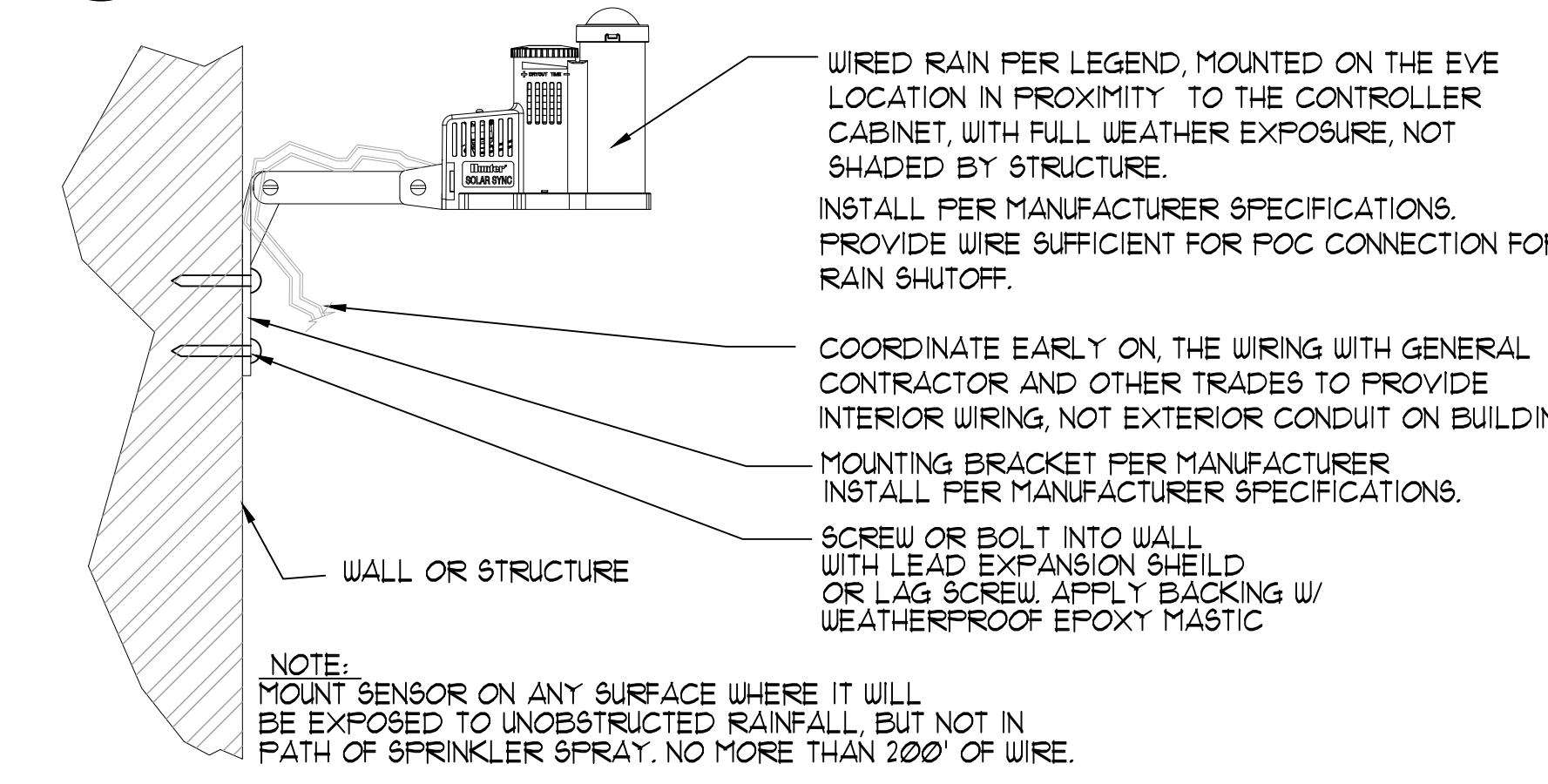
A **IRRIGATION P.O.C.** SCALE: 1/2"=1'-0"



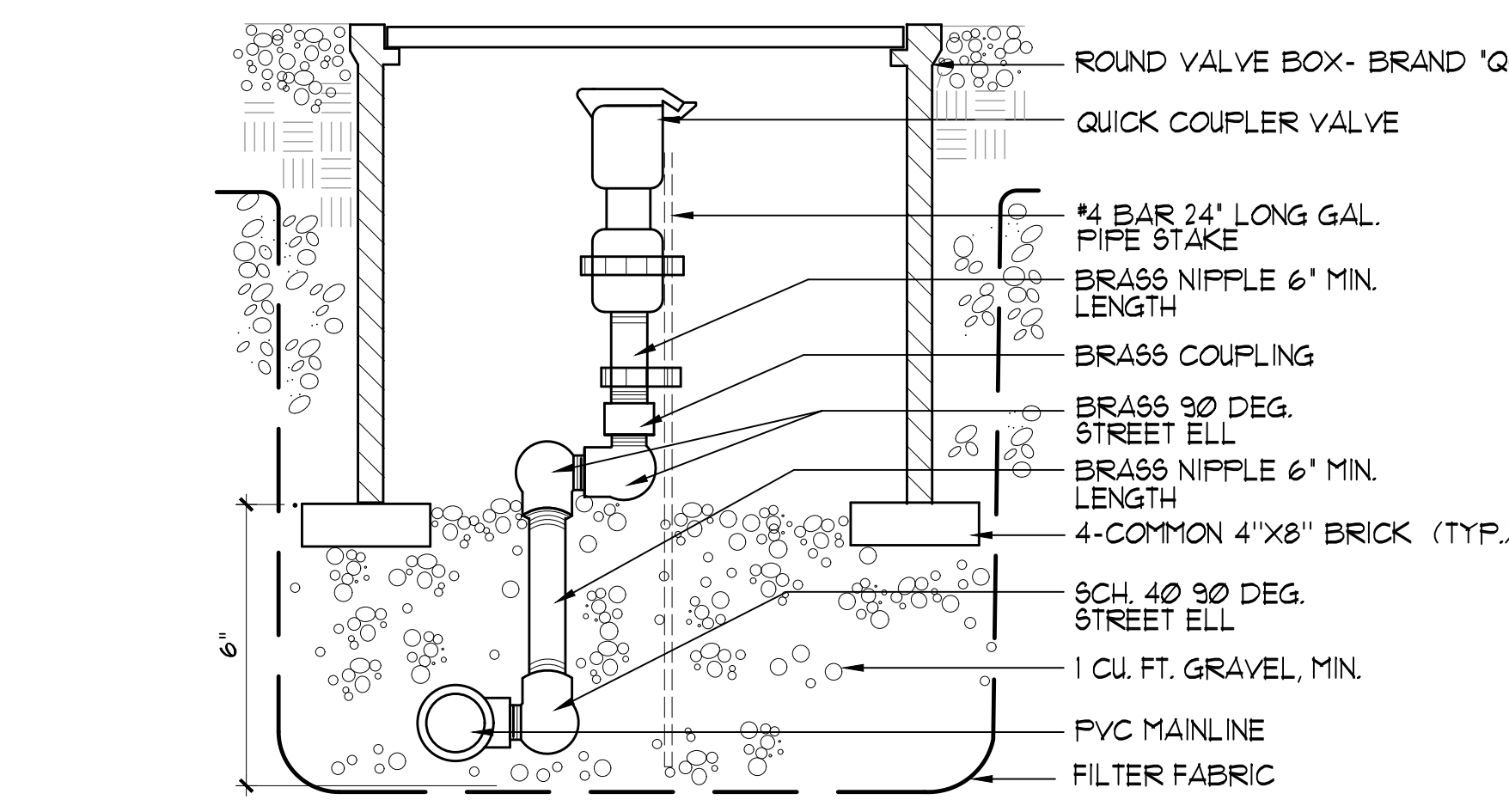
L **TRENCHING DETAIL** SCALE: N.T.S.



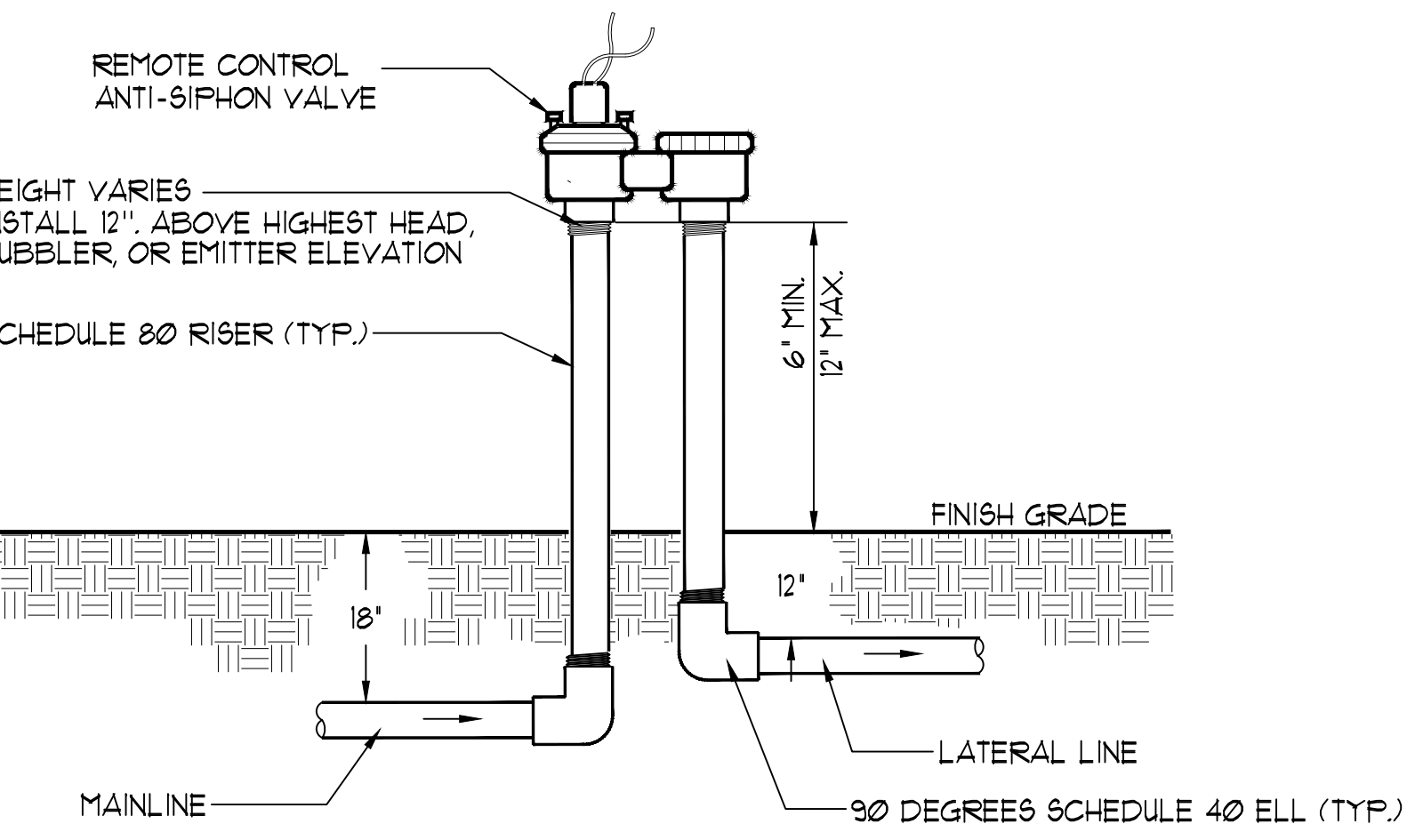
F **BALL VALVE** SCALE: N.T.S.



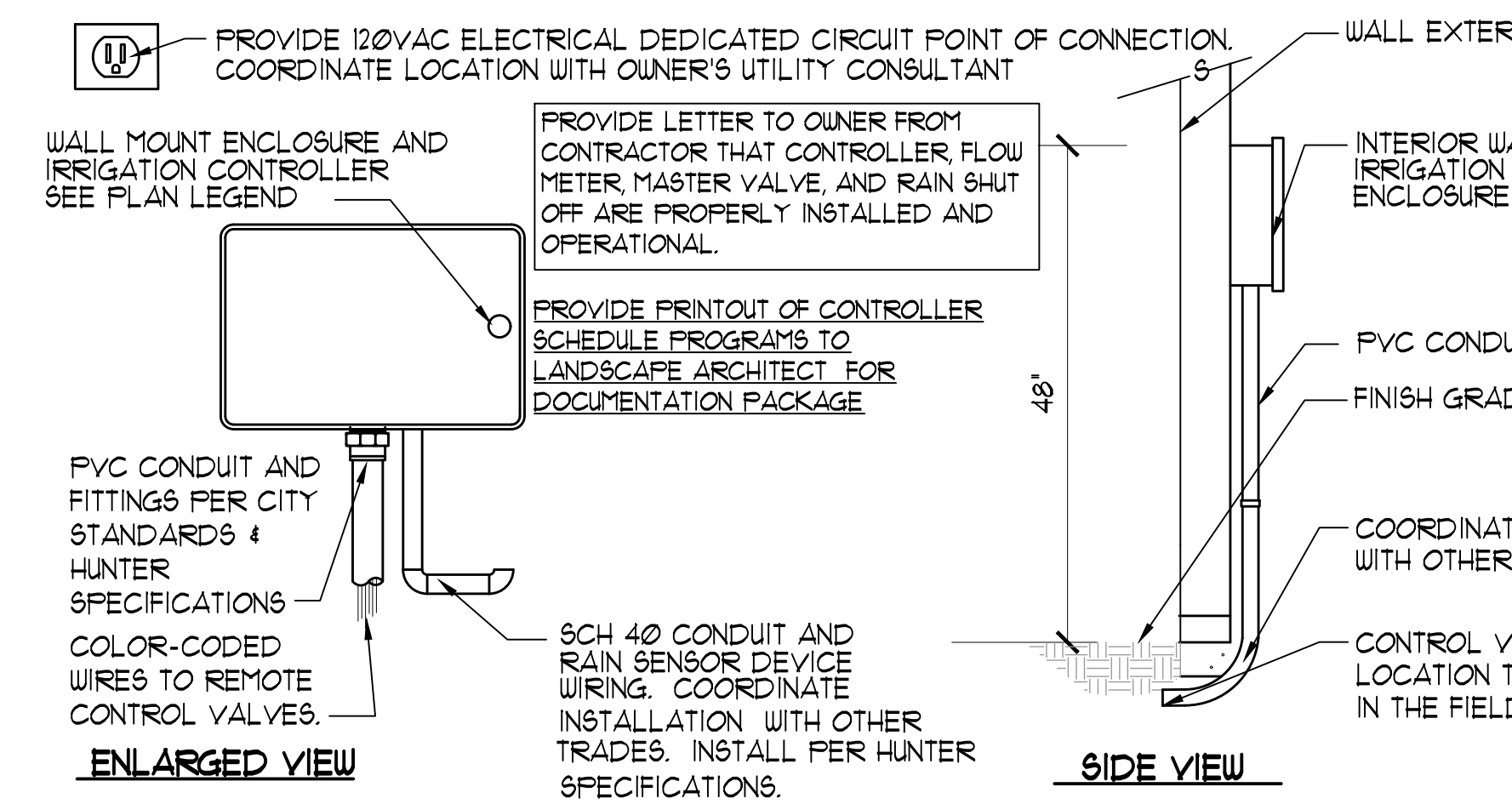
B **WIRED RAIN SENSOR** SCALE: 3\"/>



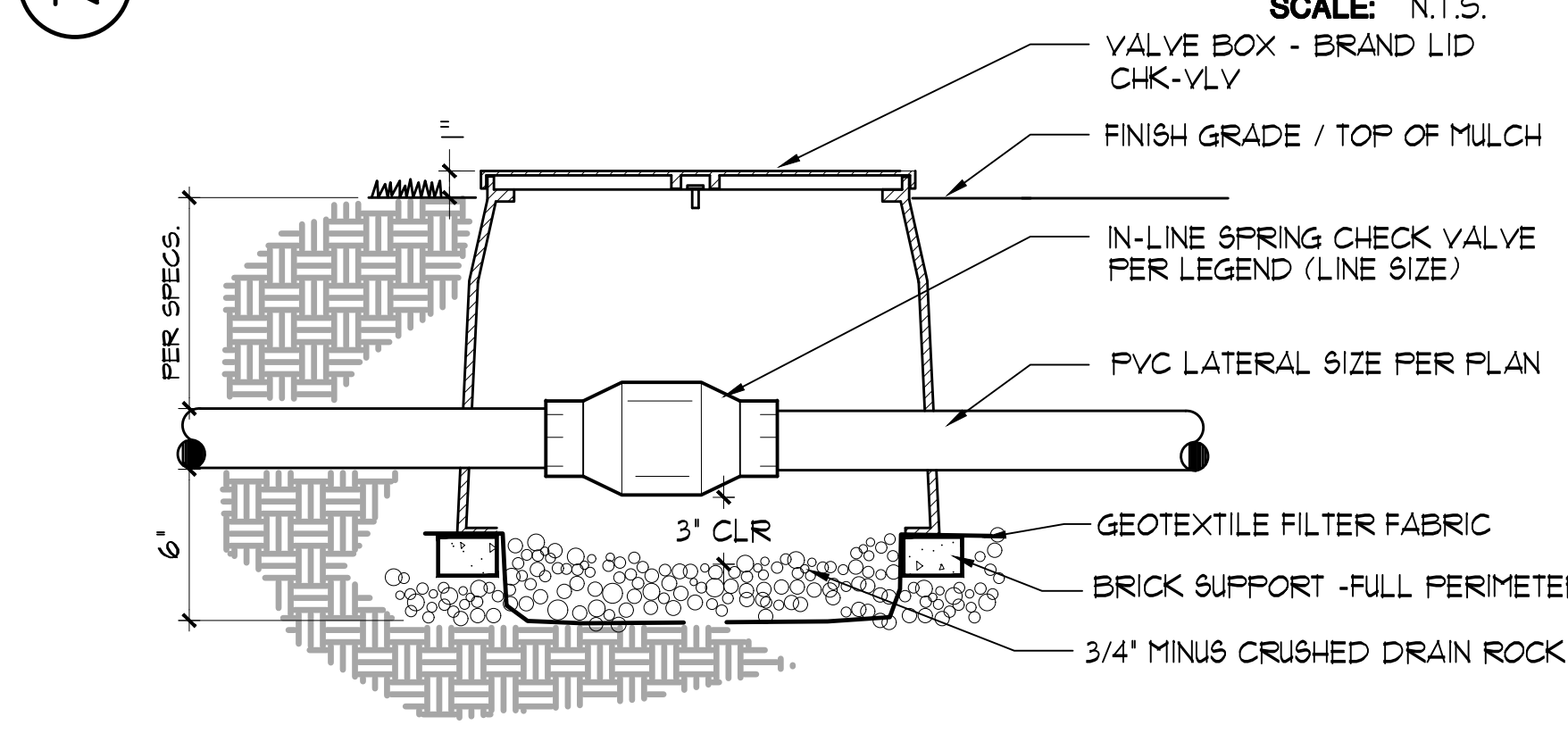
K **QUICK COUPLER VALVE** SCALE: N.T.S.



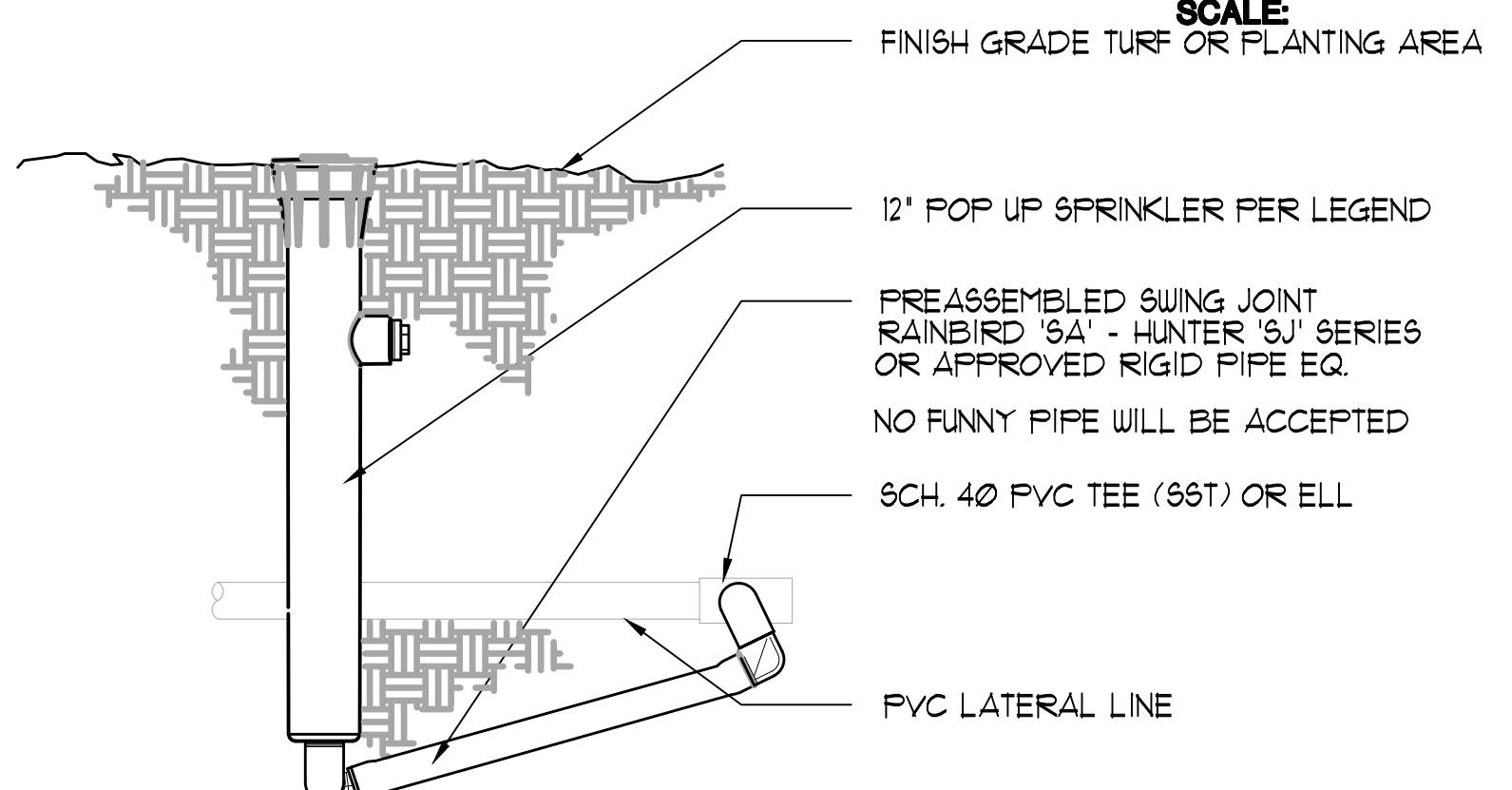
G **REMOTE CONTROL ANTI-SIPHON VALVE** SCALE: N.T.S.



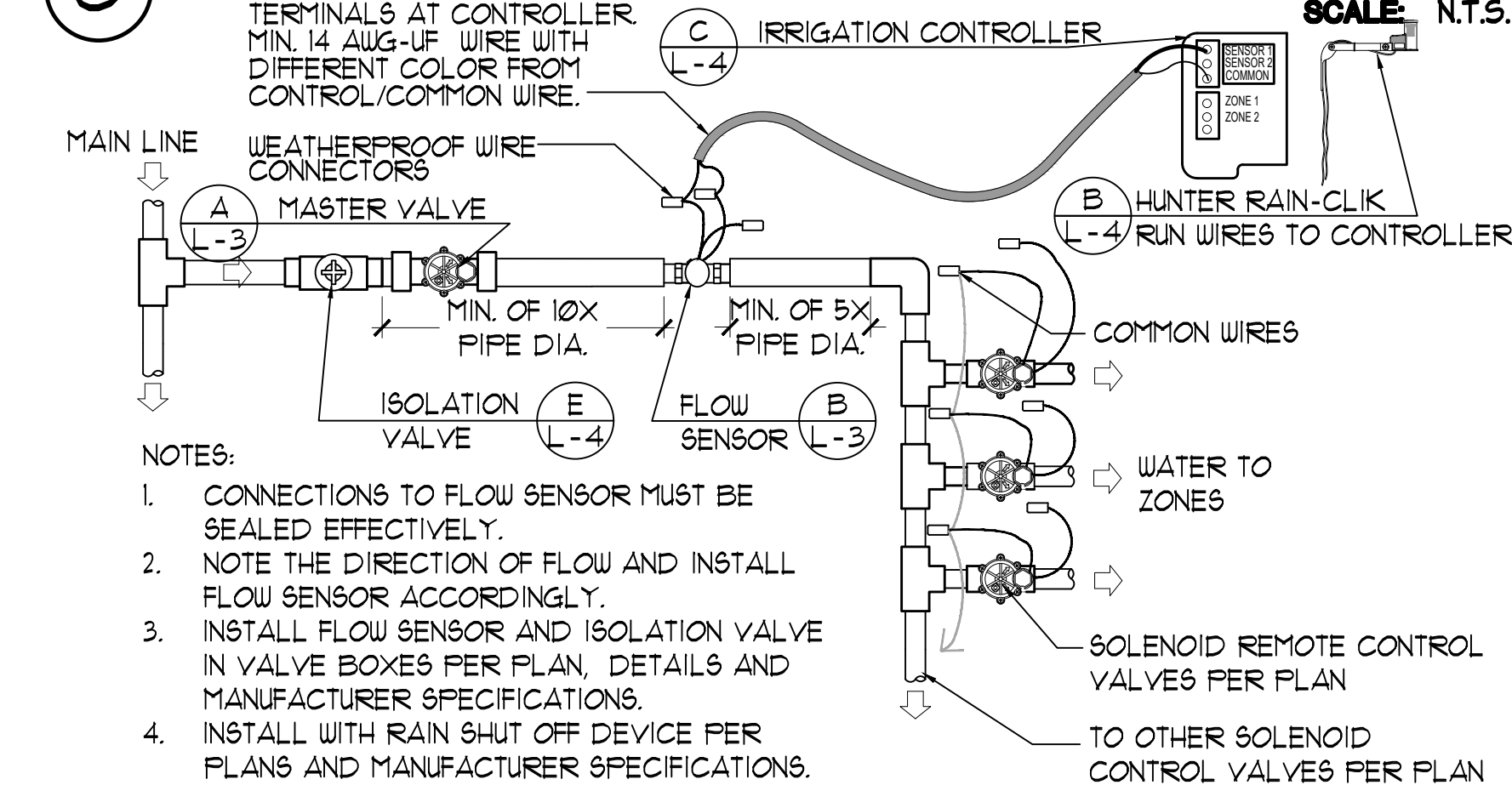
C **INTERIOR WALL MOUNT CONTROLLER** SCALE: N.T.S.



L **SPRING CHECK VALVE** SCALE: 1"=1'-0"

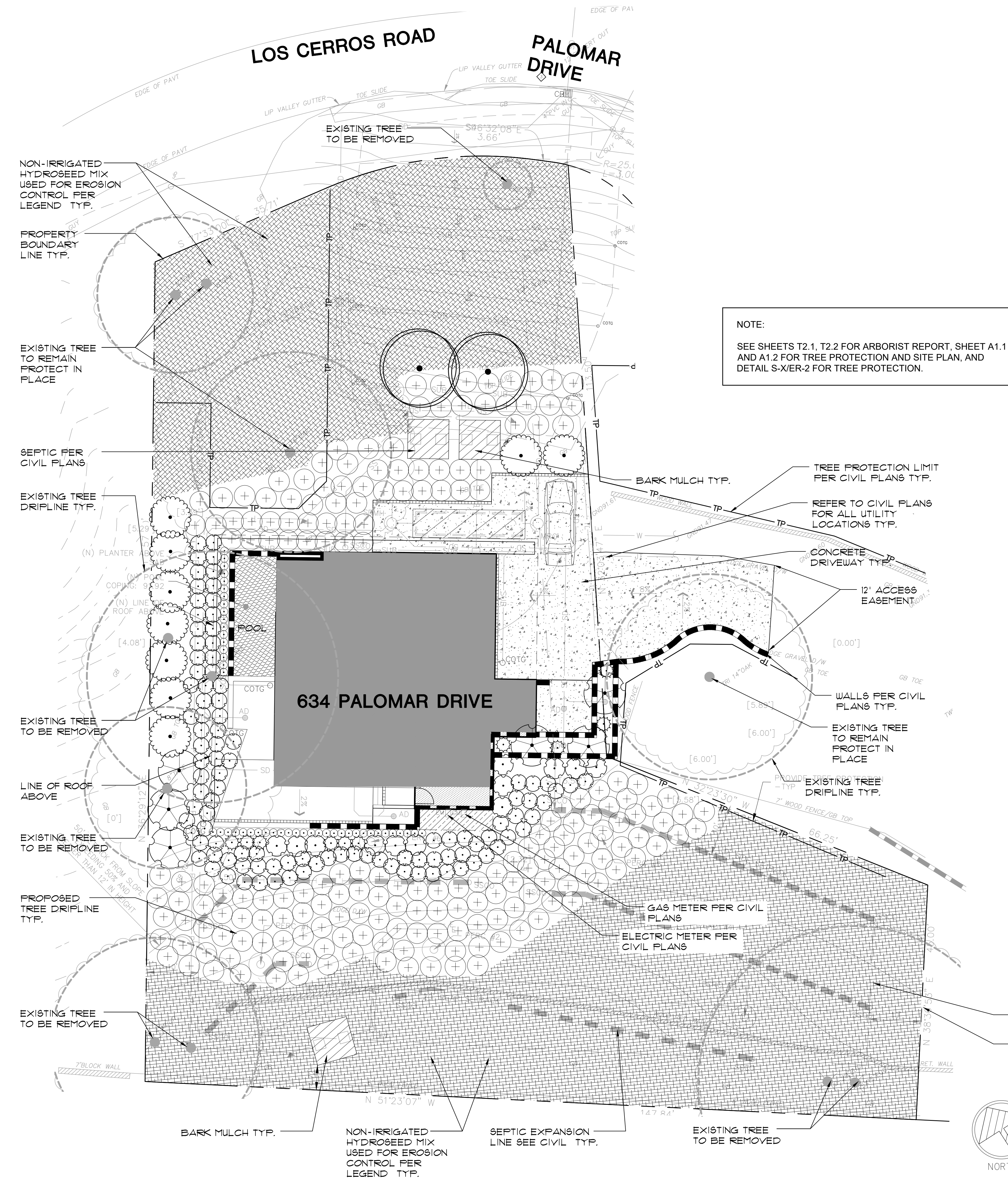


H **12\"/>**



D **SCHEMATIC DIAGRAM** SCALE: 1/2"=1'-0"

634 PALOMAR DRIVE
 REDWOOD CITY, CALIFORNIA
 SAN MATEO COUNTY
 APN: 051-022-380
 SHEET TITLE:
 IRRIGATION DETAILS
 DATE: 10.30.20
 REV: 5.10.21
 SHEET NUMBER:
 L-4
 SCALE: AS NOTED



NOTE:
SEE SHEETS T2.1, T2.2 FOR ARBORIST REPORT, SHEET A1.1 AND A1.2 FOR TREE PROTECTION AND SITE PLAN, AND DETAIL S-X/ER-2 FOR TREE PROTECTION.

| PLANT SCHEDULE | | | | | | | Water Use | | |
|----------------|---------------------------------|------------------------------|---------|----------|-------|--|-----------|---------|------------|
| TREES | BOTANICAL NAME | COMMON NAME | SIZE | SPACING | QTY | Low | Medium | DETAILS | |
| | Geijera parviflora | Australian Willow | 24" Box | As Shown | 2 | | X | A,B/L-6 | |
| SHRUBS | BOTANICAL NAME | COMMON NAME | SIZE | SPACING | QTY | Low | Medium | DETAILS | |
| | Agave attenuata | Foxtail Agave | 5 gal. | 4' o.c. | 12 | X | | C,D/L-6 | |
| | Aloe x 'Blue Elf' | Aloe | 1 gal. | 18" o.c. | 46 | X | | C,D/L-6 | |
| | Dodonaea viscosa 'Purpurea' | Purple Leafed Hopseed Bush | 15 gal. | 8' o.c. | 9 | X | | C,D/L-6 | |
| | Lomandra longifolia 'Breeze' TM | Breeze Mat Rush | 1 gal. | 3' o.c. | 104 | X | | C,D/L-6 | |
| | Muhlenbergia rigens | Deer Grass | 1 gal. | 4' o.c. | 195 | X | | C,D/L-6 | |
| | Phormium x 'Amazing Red' | Amazing Red New Zealand Flax | 5 gal. | 3' o.c. | 10 | X | | C,D/L-6 | |
| GROUND COVERS | BOTANICAL NAME | COMMON NAME | SIZE | SPACING | QTY | Low | Medium | DETAILS | |
| | Dymondia margaretae | Silver Carpet Dymondia | flat | 12" o.c. | 57 sf | X | | D/L-6 | |
| | | | | | | Ornamental, Low Growing Native Hydroseed Mix- S & S Seeds - or approved equal. This is a mixture of showy, low growing annual and perennial species that will provide months of bright Spring color in a non-irrigated setting, or year-round color when irrigated. Recommended Application Rate - 42 lbs/acre | 8,811 sf | X | MFR. SPEC. |

SOIL PREPARATION-FOR BID PURPOSES

Gro-Power Plus is designed for soil conditions that are impossible, such as highly compacted, hard pan areas (clay, adobe, caliche soils) or areas that have extremely high levels of salt (EC), sodium boron or pH problems. Here is what Gro-Power Plus does for you:
 (1) Increases the rate and depth water penetration.
 (2) Aerates the soil.
 (3) Reduces evaporation.
 (4) Deepens root system.
 (5) Makes plant food in soil more available.
 (6) Frees trace minerals.
 (7) Soil does not become waterlogged.

I. Gro-Power Plus Used For Soil Preparation:
 Use Gro-Power Plus at the rate of 150 lbs. to 200 lbs. per 1000 square feet Rototill Gro-Power Plus into the top 6" to 8" of soil. Then water thoroughly; the water activates the penetrant and starts to break up the compacted soil. Each time the water is added, the soil is broken up deeper until the penetrant is finally used up. The best part - the Humus in Gro-Power is there to keep the soil loose and friable below the root zone

II. Gro-Power Plus Used For Turf Maintenance:
 Use Gro-Power Plus at the rate of 25 lbs. to 30 lbs. per 1000 square feet on areas that have become highly compacted, hard-pan areas, areas where water stands, the center of football fields or high traffic areas. Use Gro-Power Plus once a year; then regular Gro-Power formula or Gro-Power HI Nitrogen at 7 lbs. to 8 lbs per 1000 square feet the rest of the application. Usually one or two more applications of regular Gro-Power or Gro-Power HI-Nitrogen is all that is needed the balance of the year after Gro-Power Plus has been used.

III. Gro-Power Plus Used For Hydroseeding:
 Use for those difficult soil conditions - on cut and fill slopes, decomposed granite, etc. Apply at the rate 1,000 lbs. to 1,300 lbs per acre in slurry.

| GRO-POWER PLUS 5-3-1 with 1.00% S&S Penetrant (Guaranteed Analysis) | |
|--|--------|
| Total Nitrogen (N) | 5.00% |
| 1.00% Ammoniacal Nitrogen | |
| 4.00% Urea Nitrogen | |
| Available Phosphoric Acid (P2O5) | 3.00% |
| Soluble Potash (K2O) | 1.00% |
| Iron (Fe) | 1.00% |
| Manganese(Mn) | 0.25% |
| Zinc (Zn) | 0.25% |
| Derived from ammonium phosphate, urea, sulphate of potash, urea and sulfur and source of iron, manganese and zinc. | |
| ALSO CONTAINS: GRO-PLANT FOOD INGREDIENT: Humic Acids Derived from Compost | 15.00% |
| Humic Acid (Humus) | 1.00% |
| Minimum 60,000 per 500 gram | |

BACKFILL - FOR BID PURPOSES

- A. 7 PARTS OF NATIVE ON-SITE SOIL, 3 PARTS OF NITROLIZED SHAVINGS AND 15LBS. OF GRO-POWER PER CUBIC YARD OF MIX. MIX THIS THOROUGHLY AND BACKFILL - OR-
- B. MIX 7 PARTS OF ROCK-FREE SOIL AND 3 PARTS OF NITROLIZED SHAVINGS AND MIX THOROUGHLY. BACKFILL WITH THIS MIXTURE TO TOP OF PLANTING PIT. APPLY GO-POWER, PLUS OR PLUS w/M ON TOP OF MIX.

| CONTAINER SIZE | PIT SIZE | FEED GRO-POWER |
|----------------|---------------------------------|----------------|
| 1 gallon | Dig hole twice the size of ball | 1/2 cup |
| 5 gallon | Dig hole twice the size of ball | 1 cup |
| 15 gallon | Dig hole twice the size of ball | 2 cups |
| 24" box | Allow 2 ft. on each side of box | 4 cups |
| 30" box | Allow 2 ft. on each side of box | 4 1/2 cups |
| 36" box | Allow 2 ft. on each side of box | 5 cups |
| 42" box | Allow 2 ft. on each side of box | 6 cups |
| 48" box | Allow 2 ft. on each side of box | 7 cups |
| 54" box | Allow 2 ft. on each side of box | 8 cups |
| 60" box | Allow 2 ft. on each side of box | 9 cups |
| 72" box | Allow 2 ft. on each side of box | 12 cups |

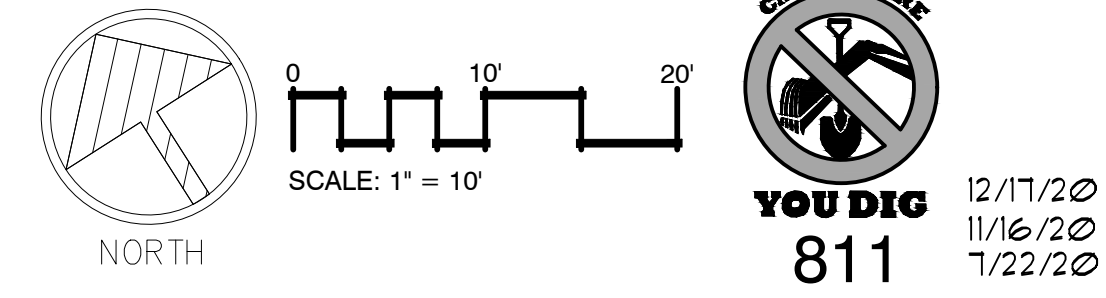
SPECIFICATIONS:

Gro-Power Plus 5-3-1 Soil Penetrant Added (1.00% Alkyl Naphthalene Sodium Sulfonate)
 Fertilizer - Conditioner - Organic materials, higher plant form life, composted below the fibrous stage to support bacterial cultures. Gro-Power contains no poultry, animal or human waste.
PHYSICAL PROPERTIES: A uniform "beaded" homogenous mixture - 100.00% passing through a #4 mesh screen - a water soluble bio-degradable binder is used to insure fast breakdown.
CHEMICAL ANALYSIS: 5-3-1. Nitrogen (available) 5.00%, Phosphate 3.00%, Potash 1.00% Humus 70.00%, Humic Acids 15.00% Soil Penetrant 1.00%. Gro-Power bacterial "stimulator" included.

GROW PLANTING TABLETS

GRO-POWER PLANTING TABLETS: 7 gram planting tablet designed for 12 month slow release. Components of tablets allow for breakdown within all soil mediums. May be used in new plantings, existing plants, containers, water plants.
 12-8-8 NPK, 20% Humus, 4% Humic Acids, 3.5% Sulfur, 2% Iron, Micronutrients.

| Gro-Power Planting Tablets Application Rates for New Landscape Plantings or Containers: | | | |
|---|--------------|--|---------------|
| 4" Pot Ground Cover | 6" Pot Liner | 1 Gal. Plant | 3 Gal. Plant |
| 1 | 1-2 | 2-3 | 3-6 |
| 5 Gal. Plant | 7 Gal. Plant | 10 Gal. Plant | 15 Gal. Plant |
| 6-9 | 8-10 | 10-12 | 12-15 |
| 20" - 24" Box | 30" Box | 36" Box | 42" Box |
| 14-16 | 15-18 | 18-20 | 20-22 |
| 48" Box | 60" Box | Larger sizes for each 1/2" caliper use | |
| 22-24 | 32-36 | 3-4 | |



634 PALOMAR DRIVE
 REDWOOD CITY, CALIFORNIA
 SAN MATEO COUNTY
 APN: 051-022-380

SHEET TITLE:
 PLANTING PLAN
 DATE: 07.6.20
 REV: 5.10.21

SHEET NUMBER:
 L-5
 SCALE: AS NOTED

PLANTING NOTES:
 1. A MINIMUM OF THREE (3) INCHES OF MULCH SHALL BE ADDED TO THE SOIL SURFACE AFTER PLANTING IN NON-TURF AREAS. NON-POROUS MATERIAL SHALL NOT BE PLACED UNDER THE MULCH.

2. FINAL LANDSCAPE PLANS SHALL ACCURATELY SHOW PLACEMENT OF TREES, SHRUBS, AND GROUNDCOVERS.

3. ALL PLANTING AREAS SHALL BE PREPARED WITH APPROPRIATE SOIL AMENDMENTS, FERTILIZERS, AND APPROPRIATE SUPPLEMENTS BASED UPON A SOILS REPORT FROM A SOIL SUITABILITY SAMPLE TAKEN FROM THE SITE PRIOR TO PLANTING.

4. DESIGN SHALL MEET ALL WATER CONSERVATION POLICY AND GUIDELINES AND THE SAN MATEO COUNTY REQUIREMENTS.

5. CONTRACTOR SHALL INSTALL ALL PLANT MATERIAL IN ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCES. COORDINATE WITH THE OWNER TO OBTAIN ANY REQUIRED PERMITS NECESSARY TO COMPLETE WORK. ALL WORKMANSHIP AND MATERIALS SHALL BE GUARANTEED BY THE CONTRACTOR FOR A PERIOD OF ONE(1) CALENDAR YEAR AFTER FINAL ACCEPTANCE.

6. MAINTAIN ALL PLANT MATERIAL FOR A THREE(3) MONTH PERIOD FROM DATE OF SUBSTANTIAL COMPLETION. MAINTENANCE SHALL INCLUDE PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, SPRAYING FOR DISEASE AND INSECTS. RECOMMENDED LONG-TERM MAINTENANCE PROCEDURES SHALL BE PROVIDED TO THE OWNER BEFORE EXPIRATION OF THIS PERIOD.

7. ALL REQUIRED LANDSCAPE AREAS SHALL BE THE RESPONSIBILITY OF THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED PER THE COUNTY OF SAN MATEO COUNTY REQUIREMENTS.

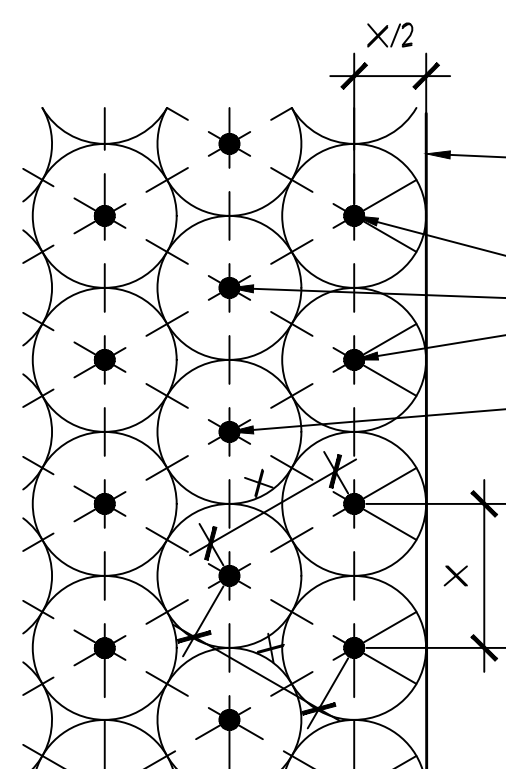
8. VERIFY ALL UTILITY LOCATIONS IN THE FIELD PRIOR TO BEGINNING WORK. REPAIR ALL DAMAGED UTILITIES IF DAMAGED BY CONSTRUCTION TO SATISFACTION OF THE OWNER AND OPERATING AUTHORITY AT NO ADDITIONAL COST.

9. ALL EXISTING TREES THAT ARE TO REMAIN SHALL BE PROTECTED IN PLACE AND SHALL NOT DISTURB ROOTS UNDER TREE DRIPLINE. REFER TO CIVIL FOR ADDITIONAL NOTES.

10. A FUEL BREAK OF DEFENSIBLE SPACE IS REQUIRED AROUND THE PERIMETER OF ALL STRUCTURES TO A DISTANCE OF NOT LESS THAN 30 FEET AND MAY BE REQUIRED TO A DISTANCE OF 100 FEET OR TO THE PROPERTY LINE. THIS IS NEITHER A REQUIREMENT NOR AN AUTHORIZATION FOR THE REMOVAL OF LIVING TREES. TREES LOCATED WITHIN THE DEFENSIBLE SPACE SHALL BE PRUNED TO REMOVE DEAD AND DYING PORTIONS, AND LIMBED UP 6 FEET ABOVE THE GROUND. NEW TREES PLANTED IN THE DEFENSIBLE SPACE SHALL BE LOCATED NO CLOSER 10' TO ADJACENT TREES WHEN FULLY GROWN OR AT MATURITY. REMOVED THAT PORTION OF ANY EXISTING TREE, WHICH EXTENDS WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVEPIPE OR IS WITHIN 5' OF ANY STRUCTURE. MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD OR DYING WOOD.

11. ROOT BARRIER SHALL BE IMPLEMENTED IN AREAS WHERE TREES ARE WITHIN 10 FEET ADJACENT TO COUNTY FACILITIES AND HARDSCAPE. DETAIL A/L-2

12. LANDSCAPING WITH DEEP ROOTS SYSTEM SHALL NOT BE PLACED ON STORMWATER IMPROVEMENTS UNLESS THEY ARE AN INTEGRAL PART OF THE STORMWATER POLLUTION PREVENTION MEASURES. CONSTRUCTOR TO VERIFY THAT LANDSCAPING DOES NOT IMPACT STORAGE VOLUMES IN STORMWATER BASINS, SWALES, OR OTHER HYDRAULIC STRUCTURES.



NOTE: DIAGRAM REFERS TO ALL PLANT SPACING UNLESS OTHERWISE NOTED (TYP)

EDGE CONDITION (CONCRETE PAVEMENT, EDGING MATERIAL, WALL, FENCE, BUILDING FACADE, ETC)

TRIANGULAR SPACING FOR OPTIMUM COVERAGE (TYP.)

CENTER OF PLANT (SHRUB, GROUNDCOVER, ETC.) (TYP.) REFER TO PLANT LIST FOR TYPE, SIZE AND SPACING REQUIREMENTS.

NOTES:
 X = SPACE PLANTS ACCORDING TO THE ON-CENTER (O.C.) PLANT SPACING AS NOTED IN THE PLANTING PLANS. (TYP.)

X/2 = SPACE PLANTS ACCORDING TO 1/2 THE ON-CENTER (O.C.) PLANT SPACING AS NOTED IN THE PLANTING PLANS. (TYP.)

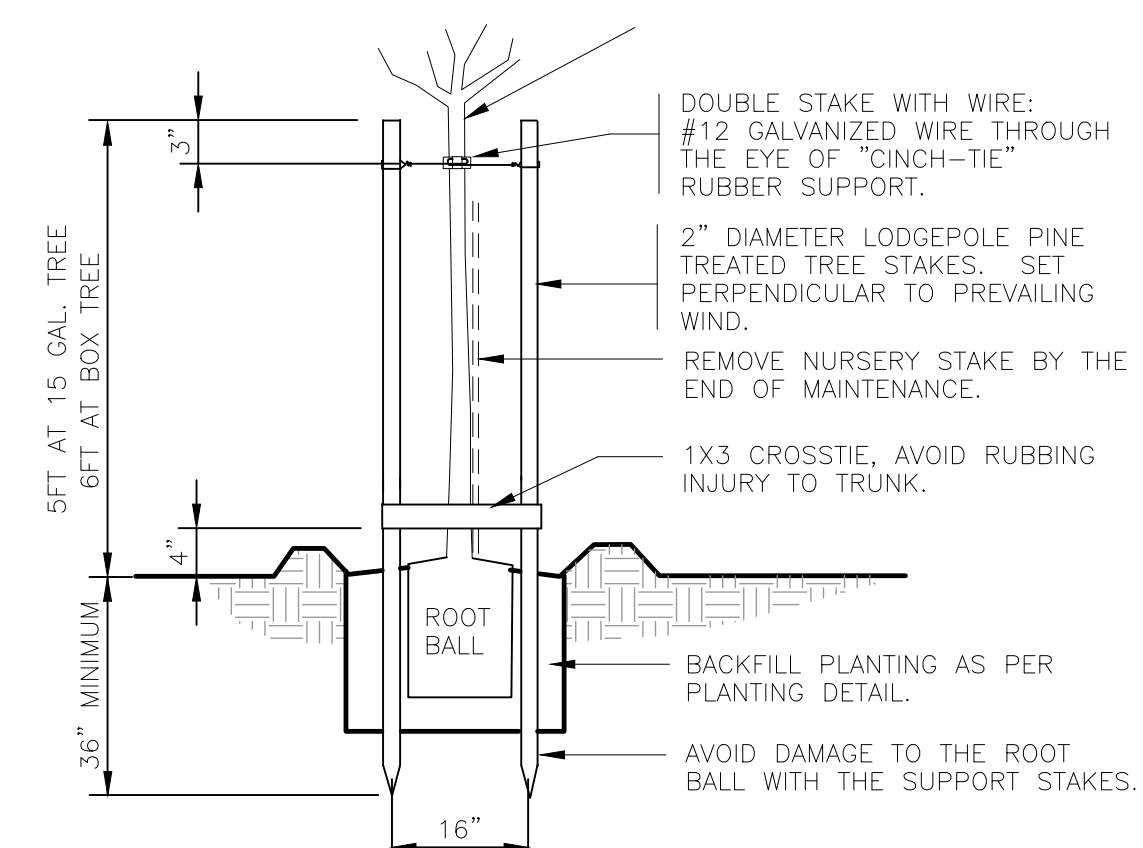
D TRIANGULAR SPACING DIAGRAM

SCALE: 3/4" = 1'-0"

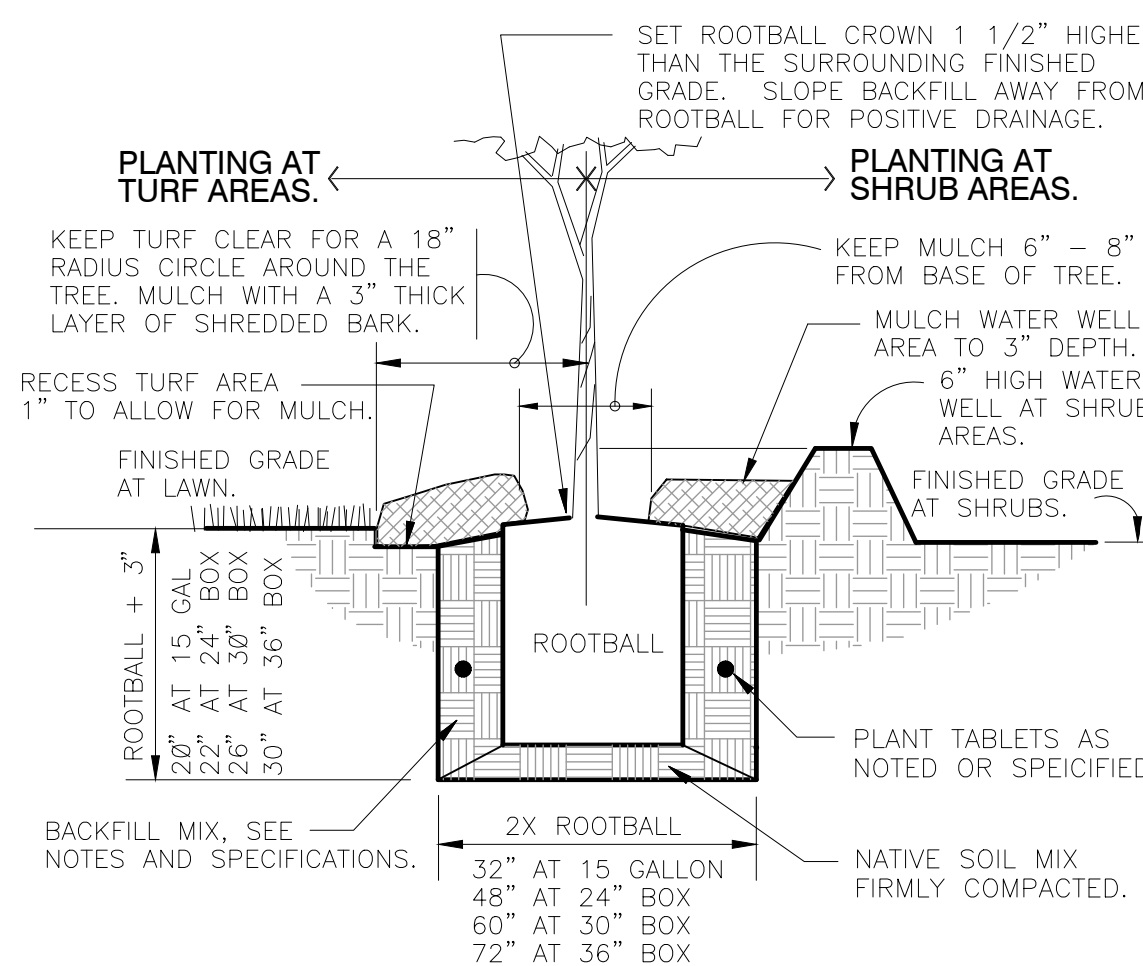
SOILS ANALYSIS REPORT

| WALLACE LABS | | SOILS REPORT | Print Date | Aug. 6, 2020 | Receive Date | 8/5/20 |
|---------------------------|---|---------------------------|---|--------------|--------------|--------|
| 365 Coral Circle | | Location | 634 Palomar Dr., Redwood City, CA / Thalapaneni Residence | | | |
| El Segundo, CA 90245 | | Requester | Enrique Guzman, Contexto Landscape | | | |
| (310) 615-0116 | | graphic interpretation: * | very low, ** | low, *** | moderate | |
| ammonium bicarbonate/DTPA | | | **** | high, ***** | very high | |
| extractable - mg/kg soil | Sample ID Number | 20-219-28 | | | | |
| Interpretation of data | Sample Description | Redwood City, 6" | | | | |
| low medium high | elements | graphic | | | | |
| 0-7 8-15 over 15 | phosphorus | 34.98 ***** | | | | |
| 0-60 60-120 121-180 | potassium | 557.85 ***** | | | | |
| 0-4 4-10 over 10 | iron | 54.18 ***** | | | | |
| 0-0.5 0.6-1 over 1 | manganese | 51.77 ***** | | | | |
| 0-1 1-1.5 over 1.5 | zinc | 12.80 ***** | | | | |
| 0-0.2 0.3-0.5 over 0.5 | copper | 4.30 ***** | | | | |
| 0-0.2 0.2-0.5 over 1 | boron | 0.20 ** | | | | |
| | calcium | 447.80 ***** | | | | |
| | magnesium | 304.44 ***** | | | | |
| | sodium | 27.78 * | | | | |
| | sulfur | 20.16 * | | | | |
| | molybdenum | 0.04 *** | | | | |
| | nickel | 6.05 *** | | | | |
| | aluminum | n d * | | | | |
| | arsenic | 0.20 * | | | | |
| | barium | 2.08 * | | | | |
| | cadmium | 0.08 * | | | | |
| | chromium | 0.15 * | | | | |
| | cobalt | 0.29 * | | | | |
| | lead | 8.37 *** | | | | |
| | lithium | 0.23 * | | | | |
| | mercury | n d * | | | | |
| | selenium | n d * | | | | |
| | silver | n d * | | | | |
| | strontium | 2.07 * | | | | |
| | tin | n d * | | | | |
| | vanadium | 0.41 * | | | | |
| | Saturation Extract | | | | | |
| | pH value | 6.62 *** | | | | |
| | ECe (milli-mho/cm) | 0.47 ** | | | | |
| | | | | millieq/l | | |
| | calcium | 62.7 3.1 | | | | |
| | magnesium | 24.3 2.0 | | | | |
| | sodium | 11.1 0.5 | | | | |
| | potassium | 24.1 0.6 | | | | |
| | cation sum | 6.2 | | | | |
| | chloride | 21 0.6 | | | | |
| | nitrate as N | 7 0.5 | | | | |
| | phosphorus as P | 4.7 0.2 | | | | |
| | sulfate as S | 15.8 1.0 | | | | |
| | anion sum | 2.3 | | | | |
| | boron as B | 0.19 * | | | | |
| | SAR | 0.3 * | | | | |
| | est. gypsum requirement-lbs./1000 sq. ft. | 23 | | | | |
| | relative infiltration rate | fair/slow | | | | |
| | estimated soil texture | loam | | | | |
| | lime (calcium carbonate) | no | | | | |
| | organic matter | fair/low hydrophobic | | | | |
| | moisture content of soil | 5.2% | | | | |
| | half saturation percentage | 40.8% | | | | |

Elements are expressed as mg/kg dry soil or mg/l for saturation extract. pH and ECe are measured in a saturation paste extract. nd means not detected. Analytical data determined on soil fraction passing a 2 mm sieve.



STAKING DETAIL

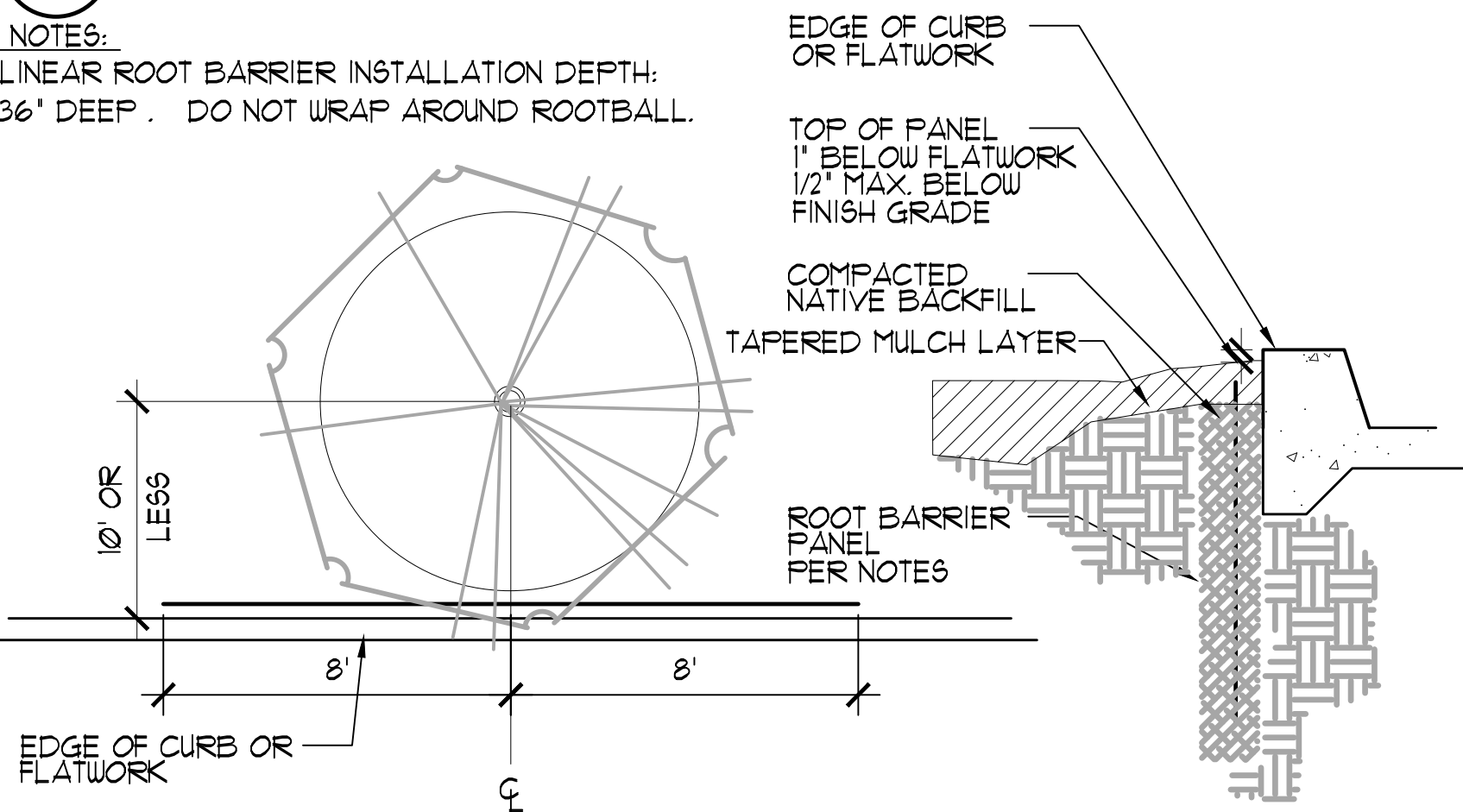


PLANT PIT DETAIL

A TREE PLANTING DOUBLE STAKE

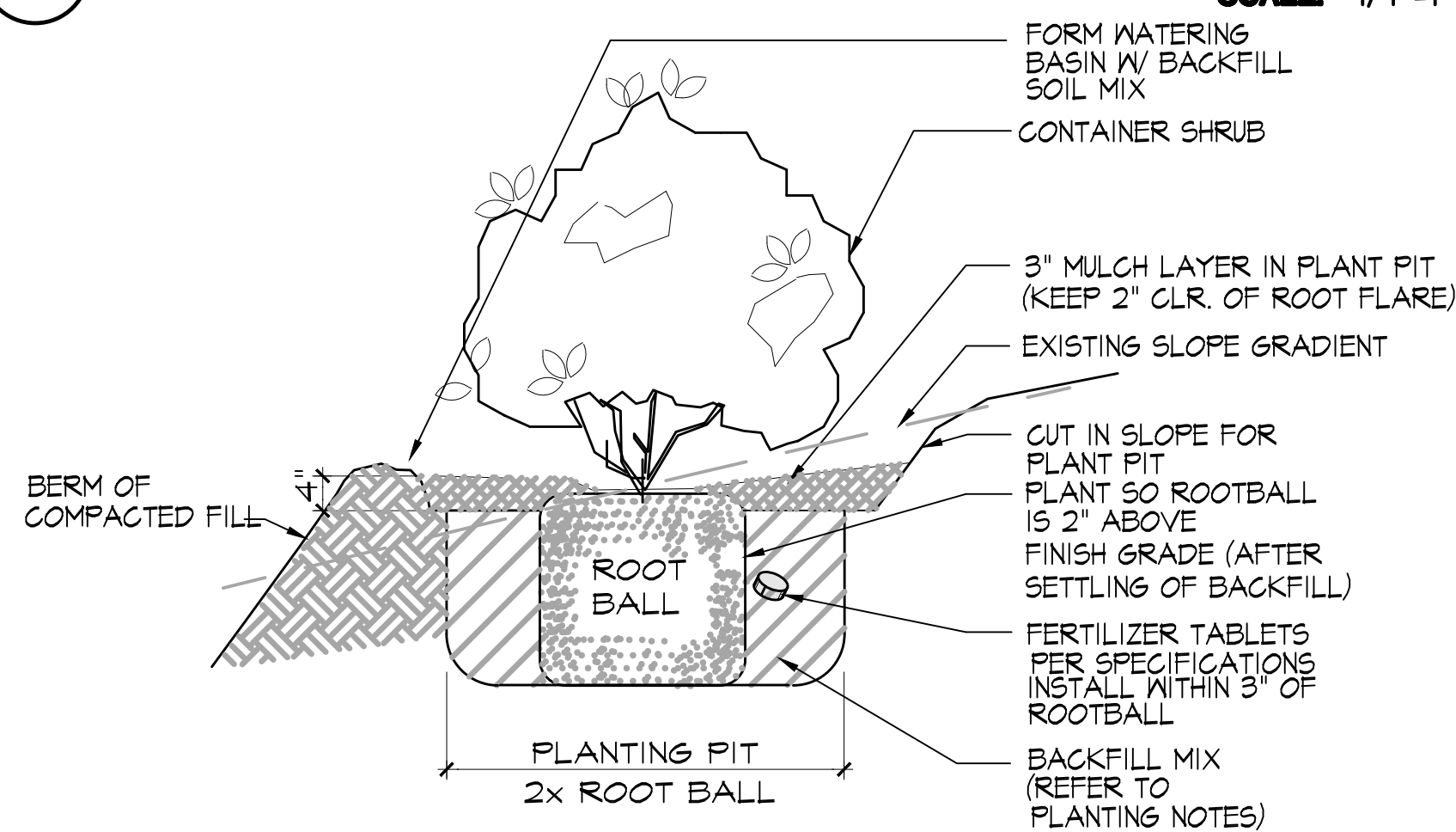
1" = 1'-0"

NOTES:
 LINEAR ROOT BARRIER INSTALLATION DEPTH: 36" DEEP. DO NOT WRAP AROUND ROOTBALL.



B ROOT BARRIER

SCALE: 1/4"=1'-0"



C CONTAINER PLANTING

SCALE: 1"=1'-0"

634 PALOMAR DRIVE
 REDWOOD CITY, CALIFORNIA
 SAN MATEO COUNTY
 APN: 051-022-380

SHEET TITLE:
 PLANTING DETAILS/ NOTES
 DATE: 10.30.20
 REV: 5.10.21

SHEET NUMBER:
 L-6

SCALE: AS NOTED