

ANIMAL SANCTUARY
PENINSULA HUMANE SOCIETY & SPCA



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PENINSULA HUMANE SOCIETY

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ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS

No.	Date	Description
	07.12.21	COUNTY OF SAN MATEO USE PERMIT SUBMITTAL
1	01.14.22	COUNTY OF SAN MATEO USE PERMIT RESUBMITTAL 1
2	08.01.22	COUNTY OF SAN MATEO USE PERMIT RESUBMITTAL 2

PROJECT NUMBER
1809230

SHEET TITLE
SHEET INDEX

SCALE



SHEET NUMBER

A0.00

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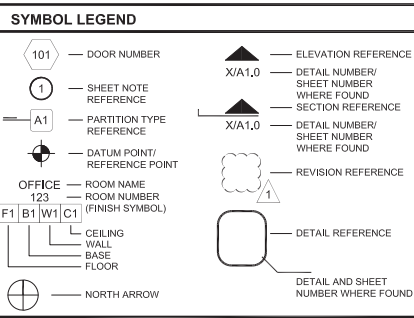
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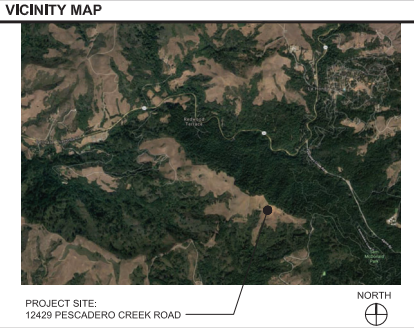
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- GENERAL NOTES**
- ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE THE OWNER/CONTRACTOR AGREEMENT, THE DRAWINGS AND ALL ADDENDA AND NOTIFICATIONS ISSUED BY THE ARCHITECT.
 - THE CONTRACTOR SHALL REVIEW ALL DOCUMENTS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS ETC., SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF ANY WORK IN QUESTION.
 - IN CASE OF CONFLICT BETWEEN ARCHITECT'S AND ENGINEER'S DRAWINGS IN LOCATING MATERIALS AND/OR EQUIPMENT, THE ARCHITECTURAL DRAWINGS SHALL GOVERN.
 - "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE "TYPICAL" OR "TYP." SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT. DETAILS ARE USUALLY KEYED AND NOTED "TYP." ONLY ONCE, WHEN THEY FIRST OCCUR.
 - "SIMILAR" OR "SIM." MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS.
 - WORK AREAS ARE TO REMAIN SECURE AND LOCKABLE DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH TENANT AND LANDLORD TO ENSURE SECURITY.
 - THE CONTRACTOR SHALL OBTAIN ALL PERMITS AND INSPECTIONS AND COMPLY WITH ALL CODES, LAWS, ORDINANCES, RULES AND REGULATIONS OF ALL PUBLIC AUTHORITIES (FEDERAL, STATE OR LOCAL) GOVERNING THE WORK. THE MOST STRINGENT SHALL APPLY.
 - ALL WORK NOTED "BY OTHERS" OR "N.I.C." SHALL BE PROVIDED BY THE OWNER OR TENANT UNDER SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS FOR THIS "OTHER" WORK IN THE CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE AS REQUIRED TO ASSURE ORDERLY SEQUENCE OF INSTALLATION. DO NOT SCALE THE DRAWINGS.
 - CONTRACTOR SHALL REPAIR OR REPLACE ALL LANDSCAPE PLANTING AND IRRIGATION DAMAGED THROUGH THE COURSE OF CONSTRUCTION. REPLACE CONTAMINATED OR COMPACTED SOILS. PROTECT ALL TREES TO REMAIN WITH RIGID METAL FENCING, AND REPAIR ALL DAMAGED PAVING SURFACES IN KIND. CONTRACTOR IS RESPONSIBLE FOR THE HEALTH AND PROTECTION OF ALL PLANTS WITHIN THE PROJECT FENCE LINE.
 - ALL DIMENSIONS SHALL BE TO THE FACE OF FINISH UNLESS OTHERWISE NOTED.
 - DESIGN OF AUTOMATED SPRINKLER SYSTEM, SMOKE DETECTION SYSTEM, SMOKE CONTROL SYSTEM AND FIRE ALARM & COMMUNICATION SYSTEM SHALL BE PER CODE 403.2. SEE MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION DOCUMENTS & DRAWINGS.
 - THE BUILDING FIRE SPRINKLER SYSTEM SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES DURING CONSTRUCTION ONCE COMPLETED. WHEN RENOVATION REQUIRES MODIFICATION OF A PORTION OF A FIRE PROTECTION SYSTEM, THE REMAINDER OF THE SYSTEM SHALL BE KEPT IN SERVICE. WHEN IT IS NECESSARY TO SHUT DOWN THE ENTIRE SYSTEM, A FIRE WATCH SHALL BE KEPT ON SITE UNTIL THE SYSTEM IS RETURNED TO SERVICE IN COMPLIANCE WITH CFC SECTION 3304.5 & NFPA 241 SECTION 10.8
 - EXIT SIGNS, EMERGENCY LIGHTING, ADDRESS POSTING, FIRE LANE MARKING, FIRE EXTINGUISHERS AND KNOX BOX LOCATION(S) TO BE FIELD VERIFIED BY FIRE INSPECTOR.



PROJECT INFO

1. APN: 082-050-020
2. ZONING: RM ZONING DISTRICT
3. LOT AREA: 216 ACRES
4. CONSTRUCTION TYPE (CBC CH. 6): VB
5. USE AND OCCUPANCY (CBC CH. 3): A-3, B-R-3, S-2, & U
6. RATING REQUIREMENTS (CBC TABLE 601):
PRIMARY STRUCTURAL FRAME: 0 HOURS
EXTERIOR BEARING WALLS: 0 HOURS
INTERIOR BEING WALLS: 0 HOURS
EXTERIOR NONBEARING WALLS: 0 HOURS
INTERIOR NONBEARING WALLS: 0 HOURS
FLOOR CONSTRUCTION: 0 HOURS
ROOF CONSTRUCTION: 0 HOURS

7. SITE BUILDINGS:

QUANTITY	BUILDING	BUILDING AREA (SF)	FENCED AREA (SF)	OCCUPANCY	CONSTRUCTION TYPE	FIRE SPRINKLERS
1	(E) BARN	3,000	-	S-2	VB	NO
1	(N) ADMIN / VET	6,500	-	B, A-3, S-2	VB	YES
1	(N) MAINTENANCE BUILDING	660	-	S-2	VB	NO
1	(N) CARE TAKER RESIDENCE	995	-	R-3	VB	YES
1	(N) FARMED ANIMAL BARN	2,000	-	U	VB	YES
1	(N) DOG ARENA	3,000	-	U	VB	YES
10	CAT COTTAGES	320 EA.	26,400 TOTAL	U	VB	NO
4	SENIOR CAT COTTAGES	320 EA.	900 EA.	U	VB	NO
4	LARGE DOG COTTAGES	320 EA.	900 EA.	U	VB	NO
66	DOG COTTAGES	162 EA.	450 EA.	U	VB	NO

DEFERRED SUBMITTALS

DEFERRED ELEMENTS OF THE BUILDING SCOPE WHICH WILL BE SUBMITTED SEPARATELY INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:

- FIRE SPRINKLERS
- FIRE ALARM SYSTEM

NOTE: DEFERRED SUBMITTALS SHALL FIRST BE SUBMITTED TO THE ARCHITECT AND/OR ENGINEER OF RECORD FOR REVIEW AND COORDINATION. FOLLOWING THE COMPLETION OF REVIEW BY THE ARCHITECT / ENGINEER OF RECORD, A SUBMITTAL TO THE COUNTY SHALL BE MADE (FOR REVIEW AND APPROVAL), WHICH SHALL INCLUDE A LETTER STATING THIS REVIEW AND COORDINATION HAS BEEN PERFORMED AND COMPLETED, AND PLANS AND CALCULATIONS FOR THE DEFERRED ITEMS ARE FOUND TO BE ACCEPTABLE WITH NO EXCEPTIONS.

APPLICABLE CODES

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COMPLETING THE CONSTRUCTION OF THIS PROJECT IN ACCORDANCE WITH THE FOLLOWING FEDERAL, STATE, AND LOCAL CODES, INCLUDING THEIR MOST RECENT AMENDMENTS AND REVISIONS.

THE COUNTY OF SAN MATEO ADOPTS THE FOLLOWING CODES, ORDINANCES, RULES AND REGULATIONS (INCLUDING ERRATA AND SUPPLEMENTS OF THE BELOW CODES):

- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA GREEN BUILDING CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA PLUMBING CODE

ALL OTHER STATE AND LOCAL ORDINANCES AND REGULATIONS (INCLUDING SAN MATEO COUNTY MUNICIPAL CODE)

ABBREVIATIONS

A.C.	ASPHALTIC CONCRETE	JT.	JOINT
ACCDG.	ACCORDING	LAM.	LAMINATE
ACOUS.	ACOUSTICAL	L.O.	LINE OF
AD.	AREA DRAIN	L.T. FIXT.	LIGHT FIXTURE
ADDL.	ADDITIONAL OR ADJACENT	MAT.	MATERIAL
ADJ.	ADJUSTABLE OR ADJACENT	MAX.	MAXIMUM
A.F.F.	ABOVE FLOOR FINISH	MECH.	MECHANICAL
ALUM.	ALUMINUM	MEMB.	MEMBRANE
ANOD.	ANODIZED	MET.	METAL
ASSY.	ASSEMBLY	MFR.	MANUFACTURER
BD.	BOARD	MODIF.	MODIFY
BLDG.	BUILDING	MIN.	MINIMUM
BLK'G.	BLOCKING	MTD.	MONTHED
B.O.	BOTTOM OF	MTL.	METAL
B.P.	BUILDING PAPER	N.I.C.	NOT IN CONTRACT
B.U.	BUILT UP	NL.	NOSING LINE
B.U.R.	BUILT UP ROOF	N.T.S.	NOT TO SCALE
CAB.	CABINET	(N)	NEW
CEM.	CEMENT	O.C.	ON CENTER
CER.	CERAMIC	O.D.	OVERFLOW DRAIN
C.J.	CONTROL JOINT	OPNG	OPENING
CLG.	CEILING	OPP.	OPPOSITE
C.L.	CENTERLINE		
CLR.	CLEAR		
C.M.U.	CONCRETE MASONRY UNIT	P.G.	PAINT GRADE
C.O.	CLEANOUT	PLAS.	PLASTIC
COL.	COLUMN	P-LAM.	PLASTIC LAMINATE
CONC.	CONCRETE	P.LY.	PLYWOOD
COND.	CONDITION	POL.	POLISHED
CONTR.	CONTRACTOR	P.T.	PRESSURE TREATED
GPT.	CARPET	PTD.	PAINTED
C.T.	CERAMIC TILE	PTN.	PARTITION
C.W.	CURTAIN WALL	R.	RADIUS
DET.	DETAIL	R.D.	ROOF DRAIN
D.F.	DRINKING FOUNTAIN	REINF.	REINFORCED
D.F.	DOUGLAS FIR	RESIL.	RESILIENT
DIA.	DIAMETER	R.O.D.	REQUIRED
DIM.	DIMENSION	R.M.	ROUGH OPENING
D.S.	DOWNSPOUTS	RM.	ROOM
DWG.	DRAWING	RWL.	RAIN WATER LEADER
EA.	EACH	S.A.R.F	SELF ADHESIVE RUBBERIZED FLASHING (FLEXIBLE FLASHING)
E.J.	EXPANSION JOINT	S.E.D.	SEE ELECTRICAL DRAWINGS
ELEC.	ELECTRIC OR ELECTRICAL	S.L.D.	SEE LANDSCAPE DRAWINGS
ELEV.	ELEVATOR	S.M.D.	SEE MECHANICAL DRAWINGS
E.O.S.	EDGE OF SLAB	S.P.D.	SEE PLUMBING DRAWINGS
ENCL.	ENCLOSURE	S.S.D.	SEE STRUCTURAL DRAWINGS
EQ.	EQUAL	SCHED.	SCHEDULE
(E)	EXISTING	S.G.	STAIN GRADE
EXH.	EXHAUST	S.S.	STAINLESS STEEL
EXT.	EXTERIOR	SIM.	SIMILAR
F.A.	FIRE ALARM PULL STATION	SPEC.	SPECIFICATIONS
FDN.	FOUNDATION	STL.	STEEL
FIN.	FINISH	STRUCT.	STRUCTURAL
F.E.C.	FIRE EXTINGUISHER CABINET		
F.D.	FLOOR DRAIN	TEMP.	TEMPERED OR TEMPORARY
FLUOR.	FLOUORESCENT	T&G.	TONGUE AND GROOVE
F.O.	FACE OF	THK.	THICK
F.O.W.	FACE OF WALL	THOLD	THRESHOLD
F.R.	FIRE RATED	TRANS.	TRANSPARENT
FRMG.	FRAMING	T.O.	TOP OF
FSTNRS.	FASTENERS	T.O.P.	TOP OF PLATE
FTG.	FOOTING	T.S.	TUBE STEEL
GA.	GAUGE	T.W.	TOP OF WALL
GALV.	GALVANIZED	TYP.	TYPICAL
GDN.	GARDEN	U.O.N.	UNLESS OTHERWISE NOTED
GFRC	GLASS FIBER REINFORCED CONCRETE	V.I.F.	VERIFY IN FIELD
GL.	GLASS	WD.	WOOD
GL.	GRIDLINE	W.P.	WORK POINT
G.S.M.	GALVANIZED SHEET METAL		
GYP. BD.	GYPSPUM BOARD		
H.C.	HANDICAP		
HDR.	HEADER		
HDWR.	HARDWARE		
HDWD.	HARDWOOD		
H.M.	HOLLOW METAL		
HT.	HEIGHT		
H.W.	HOT WATER		
INSUL.	INSULATION		



ISSUES AND REVISIONS

No.	Date	Description
07.12.21		COUNTY OF SAN MATEO USE PERMIT SUBMITTAL
01.14.22		COUNTY OF SAN MATEO USE PERMIT RESUBMITTAL 1
08.01.22		COUNTY OF SAN MATEO USE PERMIT RESUBMITTAL 2

PROJECT NUMBER: 180320

SHEET TITLE: PROJECT INFORMATION

SCALE: _____

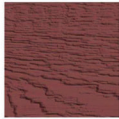
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A0.01

MATERIAL BOARD



GREY ASPHALT SHINGLE ROOF



CEMENT BOARD SIDING REDWOOD RED



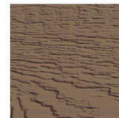
TRIM & PORCH COLOR DESERT STONE



CEMENT BOARD SIDING TIMBERLAND SUEDE



DOG YARD FENCING



CEMENT BOARD SIDING CANYON BROWN



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PROJECT NUMBER
1804230

SHEET TITLE
MATERIAL BOARD

SCALE



SHEET NUMBER

A0.03

FIRE DEPARTMENT - PROJECT NOTES	FIRE DEPARTMENT - PROJECT NOTES	
<p>1. ADDRESS NUMBERS: BUILDING IDENTIFICATION SHALL BE CONSPICUOUSLY POSTED AND VISIBLE FROM THE STREET. TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE. THE LETTERS/NUMERALS FOR PERMANENT ADDRESS NUMBERS SHALL BE OF 6-INCH HEIGHT WITH A MINIMUM STROKE AND OF A COLOR WHICH IS CONTRASTING WITH THE BACKGROUND. SUCH LETTER/NUMERALS SHALL BE ILLUMINATED AND FACING THE DIRECTION OF ACCESS.</p> <p>DISTANCE FROM ROAD ADDRESS NO. SIZE 0-50 FEET 6"X4"CH 50-100 FEET 8"X4"CH 100-150 FEET 10"X4"CH 150+ FEET 12"X4"CH WITH A CORRESPONDING INCREASE IN STROKE WIDTH.</p> <p>2. ADDRESS NUMBERS AND DIRECTIONAL SIGNS MAY BE REQUIRED AT THE ENTRANCE TO THE DRIVEWAY/ACCESS ROAD, ROAD FORKS, AND INTERSECTIONS. WHEN LOCATED ON THE STREET THE NUMBERS SHALL BE VISIBLE FROM EACH DIRECTION OF TRAVEL. THIS REMOTE SIGNAGE SHALL CONSIST OF A 6 INCH BY 12 INCH GREEN REFLECTIVE METAL SIGN WITH 3 INCH REFLECTIVE NUMBERS/ LETTERS SIMILAR TO HY-KO 911 OR EQUIVALENT.</p> <p>3. AUTOMATIC FIRE SPRINKLER SYSTEM: PROJECT TO BE EQUIPPED WITH AN APPROVED NFPA 13 FIRE SPRINKLER SYSTEM THROUGHOUT WHERE APPLICABLE. FIRE SPRINKLER DESIGN SHALL BE BASED ON AN AT LEAST LIGHT HAZARD OR HIGHER CLASSIFICATION BASED ON STORED COMMODITY. COMMODITY INFORMATION TO BE PROVIDED FOR REVIEW.</p> <p>4. ALL NON-RESIDENTIAL STRUCTURES GREATER THAN 1,000 SQUARE FEET REQUIRE FIRE SPRINKLERS, EXCLUDING AGRICULTURE STRUCTURES WITH LESS THAN 10% OF THE STRUCTURE BEING USED FOR STORAGE OR OFFICE USE.</p> <p>5. THE PROPOSED PROJECT MUST BE EQUIPPED WITH AN APPROVED NFPA 13 FIRE SPRINKLER THROUGHOUT.</p> <p>6. UNOBSTRUCTED FIRE SPRINKLER COVERAGE SHALL EXTEND TO ALL AREAS IN THE OCCUPANCY. ANY AREAS CREATING COMPARTMENTALIZATION DUE TO NEW WALLS SHALL HAVE ADDITIONAL SPRINKLER HEADS INSTALLED TO PROVIDE UNOBSTRUCTED COVERAGE. ANY HEAT PRODUCING APPLIANCES THAT ARE HOOKED UP TO AN ELECTRICAL POWER SOURCE, NATURAL OR PROPANE GAS, AND ARE OPERATIONAL SHALL NOT HAVE SPRINKLER HEADS LOCATED WITHIN THEIR RESPECTIVE HEAT ZONES.</p> <p>7. LIGHTING LAYOUT SHALL NOT CONFLICT WITH FIRE SPRINKLER LAYOUT.</p> <p>8. FIRE SERVICE LINE TO BE IDENTIFIED ON PLANS AND MEET MINIMUM SIZE FOR FIRE SPRINKLER HYDRAULIC CALCULATIONS.</p> <p>9. GENERAL INFORMATION SIGN TO BE PLACED AT THE RISER ON PLAN PER NFPA 13 SECTION 28.6.1.</p> <p>10. FIRE SPRINKLER HARDWARE: THIS PROJECT IS REQUIRED TO INSTALL ALL RELATED FIRE SPRINKLER HARDWARE (POST INDICATOR VALVE, FIRE DEPARTMENT CONNECTION AND EXTERIOR BELL).</p> <p>11. AN AUTOMATIC FIRE SPRINKLER SYSTEM WILL BE REQUIRED AND MUST HAVE AN NFPA 13 CLASSIFIC. SECTION 903.2.8 OF THE 2019 CFC.</p> <p>12. FIRE ACCESS ROADS: THE APPLICANT MUST HAVE A MAINTAINED ASPHALT SURFACE ROAD FOR INGRESS AND EGRESS OF FIRE APPARATUS. THE SAN MATEO COUNTY DEPARTMENT OF PUBLIC WORKS AND THE CALIFORNIA FIRE CODE SHALL SET ROAD STANDARDS. AS PER THE 2019 CFC, DEAD-END ROADS EXCEEDING 150 FEET SHALL BE PROVIDED WITH A TURNAROUND IN ACCORDANCE WITH SAN MATEO COUNTY FIRE DEPARTMENT SPECIFICATIONS. AS PER THE 2019 CFC, SECTION APPENDIX D, ROAD WIDTH SHALL NOT BE LESS THAN 20 FEET. FIRE ACCESS ROADS SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO COMBUSTIBLES BEING PLACED ON THE PROJECT SITE AND MAINTAINED DURING CONSTRUCTION. APPROVED SIGNS AND PAINTED CURBS OR LINES SHALL BE PROVIDED AND MAINTAINED TO IDENTIFY FIRE ACCESS ROADS AND STATE THE PROHIBITION OF THEIR OBSTRUCTION. IF THE ROAD WIDTH DOES NOT ALLOW PARKING ON THE STREET (20-FOOT ROAD) AND ON-STREET PARKING IS DESIRED, AN ADDITIONAL IMPROVED AREA SHALL BE DEVELOPED FOR THAT USE.</p> <p>13. THE BUILDINGS ARE IN A VERY HIGH FIRE HAZARD SEVERITY ZONE AND WILL REQUIRE A CLASS A ROOF.</p> <p>14. VEGETATION MANAGEMENT (SRA) THE 2019 CALIFORNIA FIRE CODE CHAPTER 49 AND PUBLIC RESOURCES CODE 4291, A FUEL BREAK OF DEFENSIBLE SPACE IS REQUIRED AROUND THE PERIMETER OF ALL STRUCTURES TO A DISTANCE OF NOT LESS THAN 30 FEET AND MAY BE REQUIRED TO A DISTANCE OF 100 FEET OR TO THE PROPERTY LINE. THIS IS NEITHER A REQUIREMENT NOR AN AUTHORIZATION FOR THE REMOVAL OF LIVING TREES. TREES LOCATED WITHIN THE DEFENSIBLE SPACE SHALL BE PRUNED TO REMOVE DEAD AND DYING PORTIONS, AND LIMBED UP 6 FEET ABOVE THE GROUND. NEW TREES PLANTED IN THE DEFENSIBLE SPACE SHALL BE LOCATED NO CLOSER THAN 10' TO ADJACENT TREES WHEN FULLY GROWN OR AT MATURITY. REMOVE THAT PORTION OF ANY EXISTING TREES, WHICH EXTENDS WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVEPIPE OR IS WITHIN 5' OF ANY STRUCTURE, MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD OR DYING WOOD.</p> <p>15. GATES SHALL BE A MINIMUM OF 2 FEET WIDER THAN THE ACCESS ROAD/DRIVEWAY THEY SERVE. OVERHEAD GATE STRUCTURES SHALL HAVE A MINIMUM OF 15 FEET OF VERTICAL CLEARANCE. LOCKED GATES SHALL BE PROVIDED WITH A KNOX BOX OR KNOX PADLOCK. ELECTRIC GATES SHALL HAVE A KNOX KEY SWITCH. ELECTRIC GATES SHALL AUTOMATICALLY OPEN DURING POWER FAILURES. CFC 503.6, 506.</p>	<p>16. EMERGENCY BUILDING ACCESS: THE PROPOSED PROJECT WILL REQUIRE THE INSTALLATION OF "KNOX BOXES" THESE EMERGENCY KEY BOXES ARE REQUIRED WHEN ACCESS TO OR WITHIN A STRUCTURE OR AN AREA IS UNUSUALLY DIFFICULT BECAUSE OF SECURED OPENINGS OR WHERE IMMEDIATE ACCESS IS NECESSARY FOR LIFE SAVING OR FIRE-FIGHTING PURPOSES. THE CHIEF WILL DETERMINE THE LOCATION FOR THE KEY BOX AND PROVIDE AN AUTHORIZED ORDER FORM. ALL SECURITY GATE SYSTEMS CONTROLLING VEHICULAR ACCESS SHALL BE EQUIPPED WITH A "KNOX"; KEY OPERATED EMERGENCY ENTRY DEVICE.</p> <p>17. FIRE ALARM SYSTEM: THIS PROJECT IS REQUIRED TO HAVE INSTALLED AN APPROVED NFPA 72 FIRE ALARM SYSTEM THROUGHOUT. THE SYSTEM IS TO MONITOR ANY FLOW THROUGH THE REQUIRED AUTOMATIC FIRE SPRINKLER SYSTEM. ANY FIRE SPRINKLER VALVE TAMPER AND ALL HEAT AND SMOKE DETECTORS. THE SYSTEM WILL ALSO INCLUDE AN EXTERIOR BELL AND INTERIOR HORN/STROSES, WHICH ARE REQUIRED TO BE WIRED TO THE ALARM SYSTEM AND THE FLOW SWITCH FOR THE FIRE SPRINKLER SYSTEM. THE FACP SHALL BE PROTECTED WITH A SMOKE DETECTOR AS PER NFPA 72, SECTION 1-5.6 AND A MANUAL PULL STATION. A WIRING INSPECTION IS REQUIRED TO BE CONDUCTED BY THE FIRE DEPARTMENT PRIOR TO COVERING WALLS AND CEILING AREAS. ALL SYSTEMS AND COMPONENTS MUST BE TESTED PER MANUFACTURES SPECIFICATIONS AND NFPA 72, BATTERY BACKUP SHALL MEET OR EXCEED REQUIREMENTS FOR AMP-HOUR RATING AND MUST BE TESTED AS PER MANUFACTURES SPECIFICATION AND NFPA 72.</p> <p>18. SOLAR PHOTOVOLTAIC SYSTEMS: THESE SYSTEMS SHALL MEET THE REQUIREMENTS OF THE 2019 CFC SECTION 605.11</p>	

PENINSULA HUMANE SOCIETY

ANIMAL SANCTUARY



Peninsula Humane Society & SPCA



ISSUES AND REVISIONS

No.	Date	Description
01.14.22		COUNTY OF SAN MATEO USE PERMIT RESUBMITTAL 1
1	01.14.22	COUNTY OF SAN MATEO USE PERMIT RESUBMITTAL 1
	08.01.22	COUNTY OF SAN MATEO USE PERMIT RESUBMITTAL 2

PROJECT NUMBER
180920

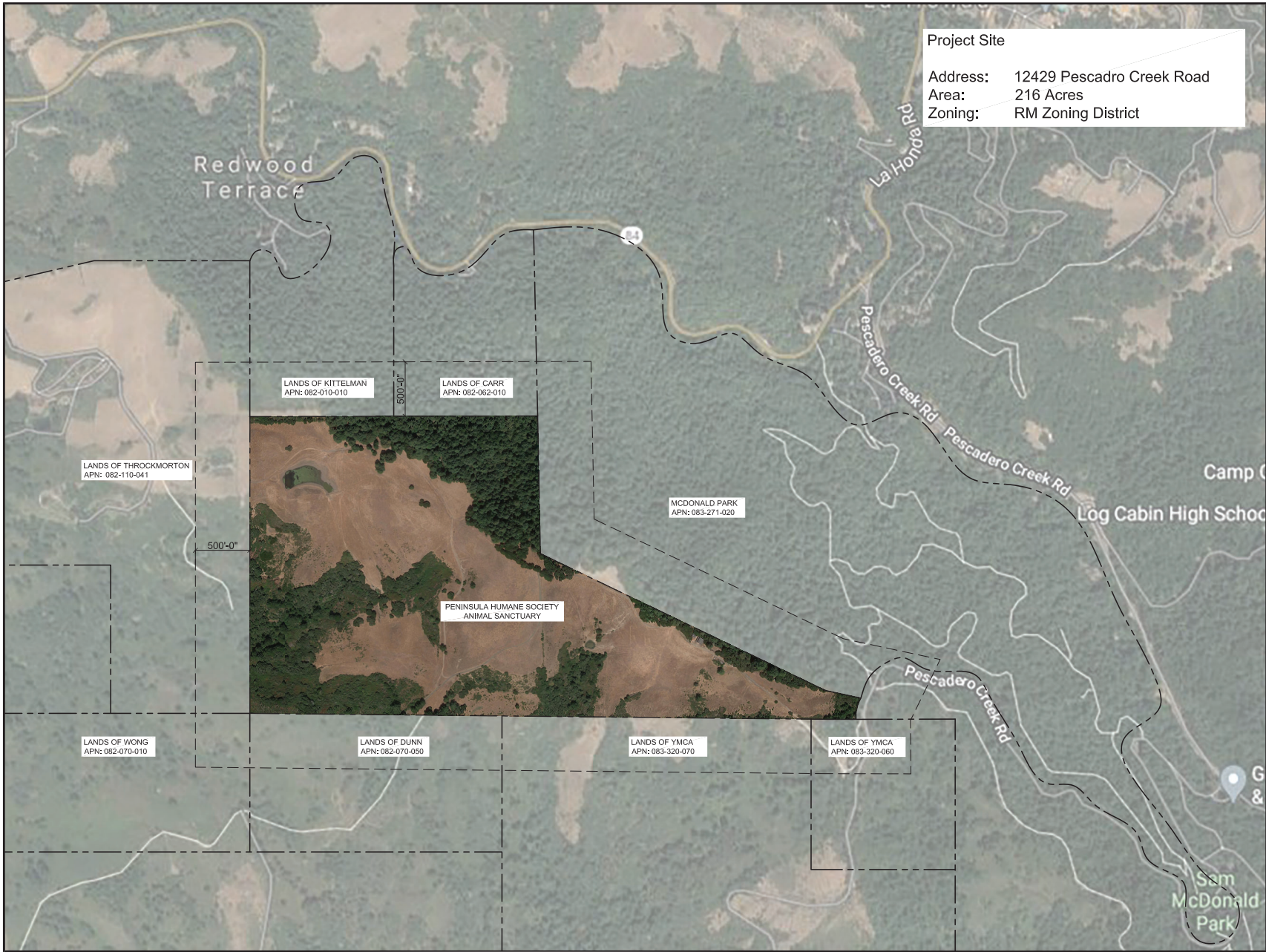
SHEET TITLE
PROJECT NOTES

SCALE



SHEET NUMBER

A0.04



Project Site
 Address: 12429 Pescadero Creek Road
 Area: 216 Acres
 Zoning: RM Zoning District

PENINSULA HUMANE SOCIETY
 ANIMAL SANCTUARY



ISSUES AND REVISIONS

No.	Date	Description
07.12.21		COUNTY OF SAN MATEO USE PERMIT SUBMITTAL
01.14.22		COUNTY OF SAN MATEO USE PERMIT RESUBMITTAL 1
08.01.22		COUNTY OF SAN MATEO USE PERMIT RESUBMITTAL 2

PROJECT NUMBER
1804230

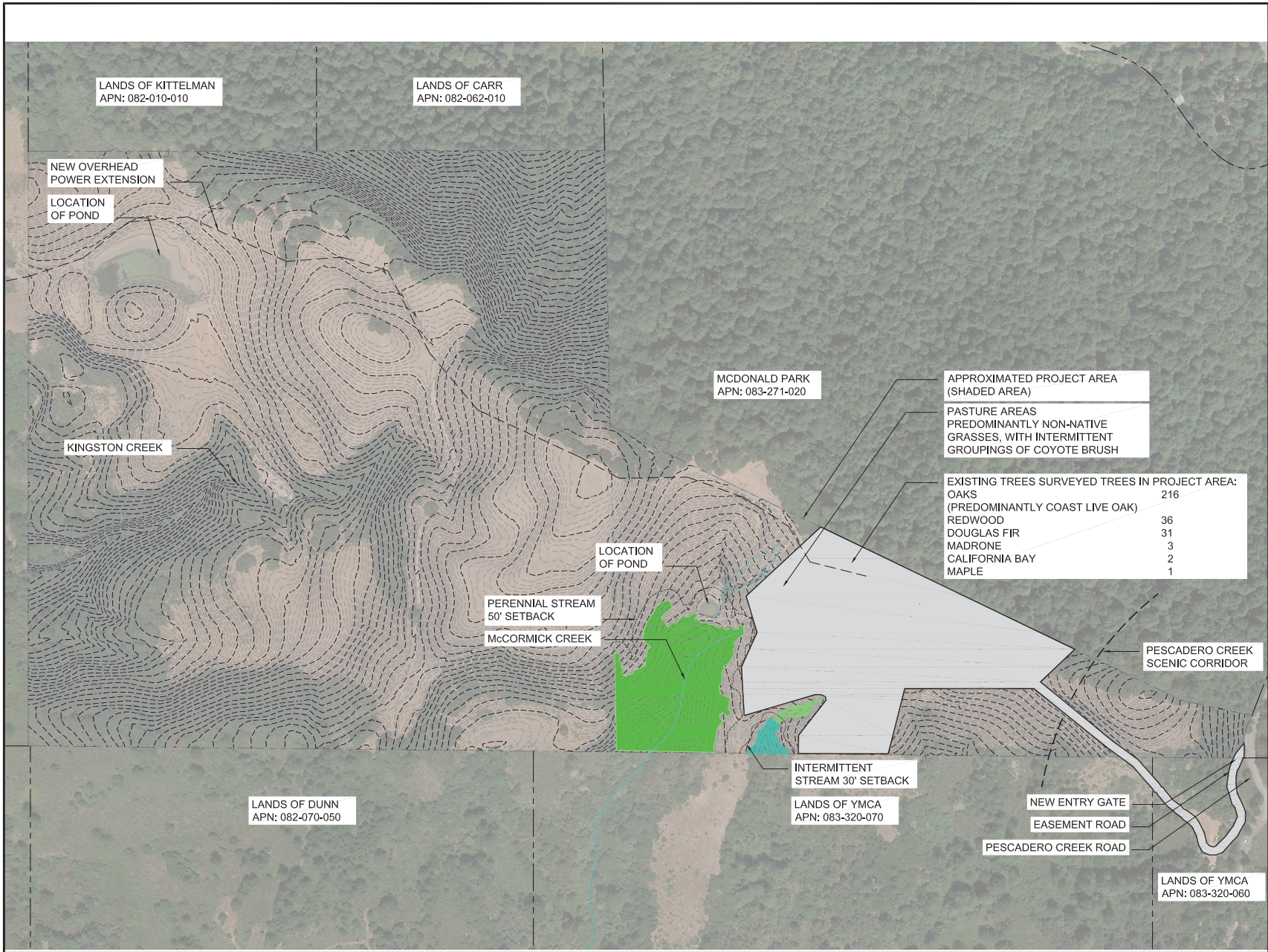
SHEET TITLE
VICINITY MAP

SCALE
1"=400'-0"

SHEET NUMBER

A1.00

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LANDS OF KITTELMAN
APN: 082-010-010

LANDS OF CARR
APN: 082-062-010

NEW OVERHEAD
POWER EXTENSION

LOCATION
OF POND

KINGSTON CREEK

MCDONALD PARK
APN: 083-271-020

APPROXIMATED PROJECT AREA
(SHADED AREA)

PASTURE AREAS
PREDOMINANTLY NON-NATIVE
GRASSES, WITH INTERMITTENT
GROUPINGS OF COYOTE BRUSH

EXISTING TREES SURVEYED TREES IN PROJECT AREA:

OAKS (PREDOMINANTLY COAST LIVE OAK)	216
REDWOOD	36
DOUGLAS FIR	31
MADRONE	3
CALIFORNIA BAY	2
MAPLE	1

LOCATION
OF POND

PERENNIAL STREAM
50' SETBACK

McCORMICK CREEK

PESCADERO CREEK
SCENIC CORRIDOR

INTERMITTENT
STREAM 30' SETBACK

LANDS OF YMCA
APN: 083-320-070

NEW ENTRY GATE

EASEMENT ROAD

PESCADERO CREEK ROAD

LANDS OF DUNN
APN: 082-070-050

LANDS OF YMCA
APN: 083-320-060

PENINSULA HUMANE SOCIETY
ANIMAL SANCTUARY



ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS

No.	Date	Description
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01.14.22		COUNTY OF SAN MATEO USE PERMIT RESUBMITTAL 1
08.01.22		COUNTY OF SAN MATEO USE PERMIT RESUBMITTAL 2

PROJECT NUMBER
1909230

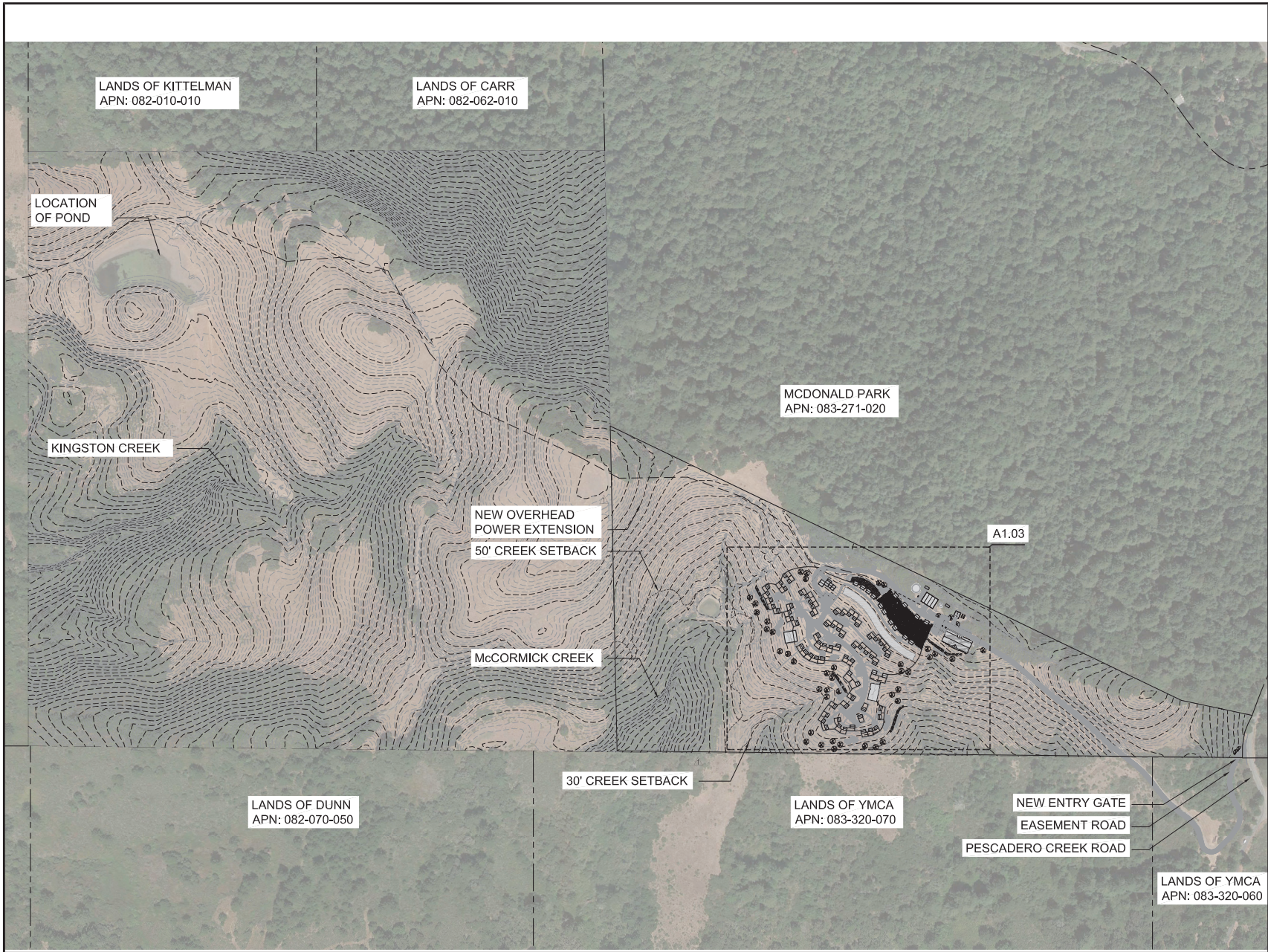
SHEET TITLE
NATURAL SETTING MAP

SCALE
1"=200'-0"



SHEET NUMBER

A1.01



PENINSULA HUMANE SOCIETY
ANIMAL SANCTUARY



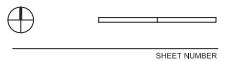
ISSUES AND REVISIONS

No.	Date	Description
07.12.21		COUNTY OF SAN MATEO USE PERMIT SUBMITTAL
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PROJECT NUMBER
1804230

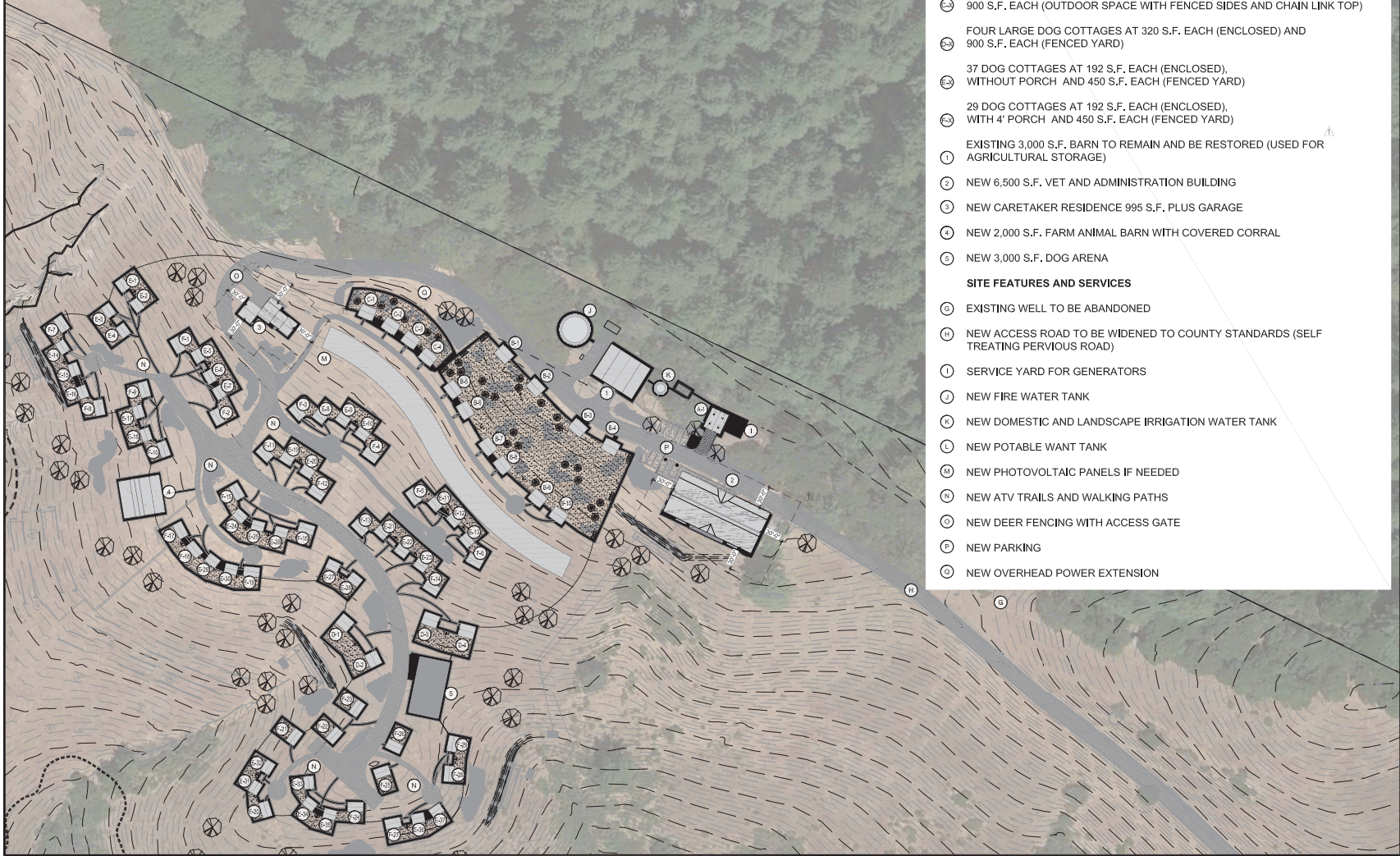
SHEET TITLE
OVERALL SITE PLAN

SCALE
1"=200'-0"



SHEET NUMBER

A1.02



PENINSULA HUMANE SOCIETY & SPCA ANIMAL SANCTUARY

BUILDINGS

- NEW 660 S.F. MAINTENANCE BUILDING
- ⑩ TEN CAT COTTAGES AT 320 S.F. EACH (ENCLOSED) AND 26,400 S.F. TOTAL (OUTDOOR SPACE WITH FENCED SIDES AND CHAIN LINK TOP)
- ⑪ FOUR SENIOR CAT COTTAGES AT 320 S.F. EACH (ENCLOSED) AND 900 S.F. EACH (OUTDOOR SPACE WITH FENCED SIDES AND CHAIN LINK TOP)
- ⑫ FOUR LARGE DOG COTTAGES AT 320 S.F. EACH (ENCLOSED) AND 900 S.F. EACH (FENCED YARD)
- ⑬ 37 DOG COTTAGES AT 192 S.F. EACH (ENCLOSED), WITHOUT PORCH AND 450 S.F. EACH (FENCED YARD)
- ⑭ 29 DOG COTTAGES AT 192 S.F. EACH (ENCLOSED), WITH 4' PORCH AND 450 S.F. EACH (FENCED YARD)
- ① EXISTING 3,000 S.F. BARN TO REMAIN AND BE RESTORED (USED FOR AGRICULTURAL STORAGE)
- ② NEW 6,500 S.F. VET AND ADMINISTRATION BUILDING
- ③ NEW CARETAKER RESIDENCE 995 S.F. PLUS GARAGE
- ④ NEW 2,000 S.F. FARM ANIMAL BARN WITH COVERED CORRAL
- ⑤ NEW 3,000 S.F. DOG ARENA

SITE FEATURES AND SERVICES

- ⑥ EXISTING WELL TO BE ABANDONED
- ⑦ NEW ACCESS ROAD TO BE WIDENED TO COUNTY STANDARDS (SELF TREATING PERVIOUS ROAD)
- ⑧ SERVICE YARD FOR GENERATORS
- ⑨ NEW FIRE WATER TANK
- ⑩ NEW DOMESTIC AND LANDSCAPE IRRIGATION WATER TANK
- ⑪ NEW POTABLE WATER TANK
- ⑫ NEW PHOTOVOLTAIC PANELS IF NEEDED
- ⑬ NEW ATV TRAILS AND WALKING PATHS
- ⑭ NEW DEER FENCING WITH ACCESS GATE
- ⑮ NEW PARKING
- ⑯ NEW OVERHEAD POWER EXTENSION

PENINSULA HUMANE SOCIETY
ANIMAL SANCTUARY

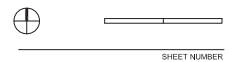


ISSUES AND REVISIONS	
No. Date	Description
07.12.21	COUNTY OF SAN MATEO USE PERMIT SUBMITTAL
① 01.14.22	COUNTY OF SAN MATEO USE PERMIT RESUBMITTAL 1
08.01.22	COUNTY OF SAN MATEO USE PERMIT RESUBMITTAL 2

PROJECT NUMBER
1804230

SHEET TITLE
ENLARGED SITE PLAN

SCALE
1/64" = 1'-0"



SHEET NUMBER

A1.03



PENINSULA HUMANE SOCIETY
ANIMAL SANCTUARY



Peninsula Humane Society & SPCA



ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS

No.	Date	Description
1	01.14.22	COUNTY OF SAN MATEO USE PERMIT RESUBMITTAL 1
2	08.01.22	COUNTY OF SAN MATEO USE PERMIT RESUBMITTAL 2

PROJECT NUMBER
1804230

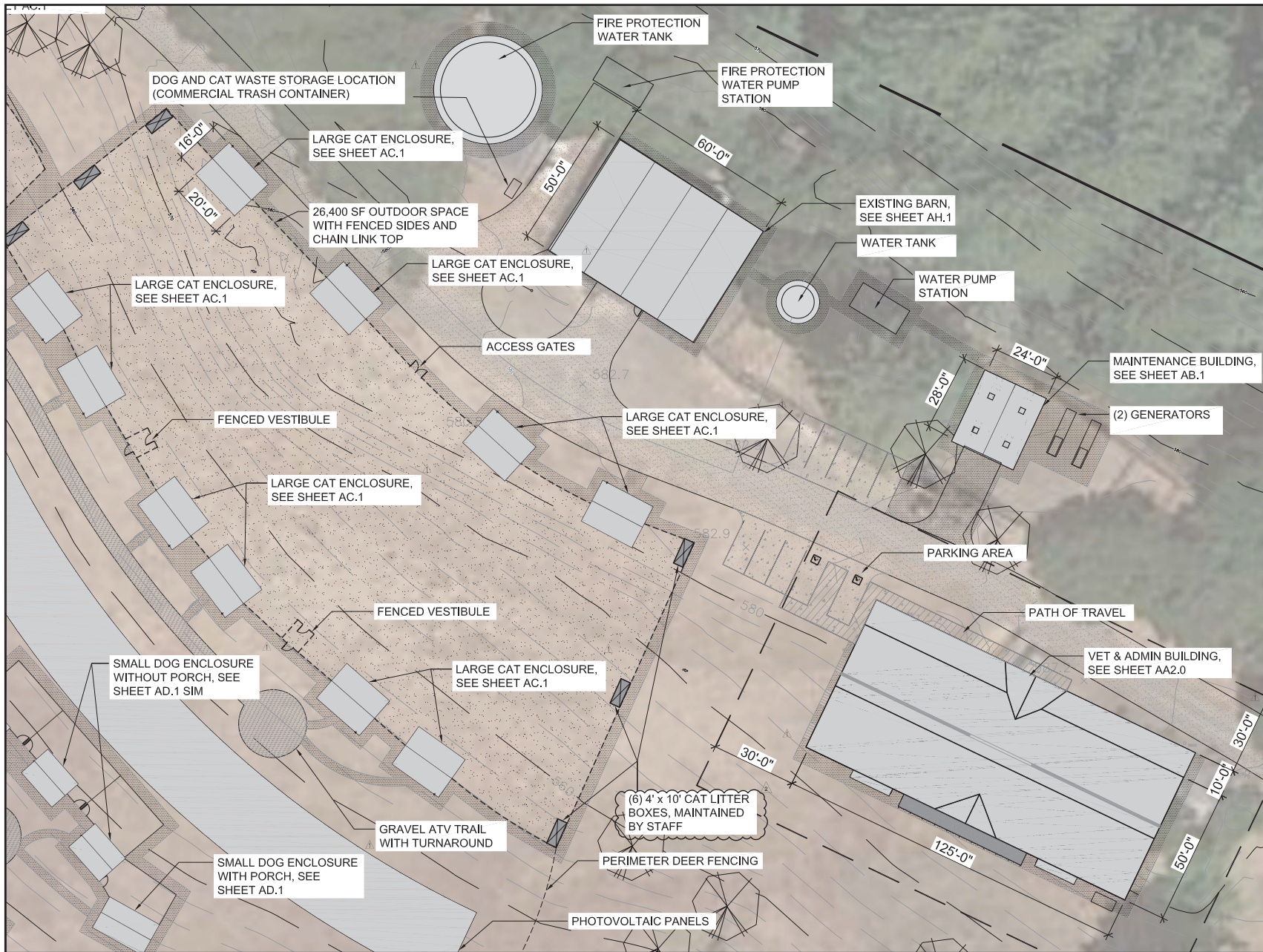
SHEET TITLE
**ANIMAL WASTE
MANAGEMENT PLAN**

SCALE
1/64" = 1'-0"



SHEET NUMBER

A1.04



ISSUES AND REVISIONS

No.	Date	Description
	07.12.21	COUNTY OF SAN MATEO USE PERMIT SUBMITTAL
△	01.14.22	COUNTY OF SAN MATEO USE PERMIT RESUBMITTAL 1
△	08.01.22	COUNTY OF SAN MATEO USE PERMIT RESUBMITTAL 2

PROJECT NUMBER
180420

SHEET TITLE
ADMIN/VET BUILDING & LARGE CAT ENCLOSURE

SCALE
1/16" = 1'-0"

SHEET NUMBER

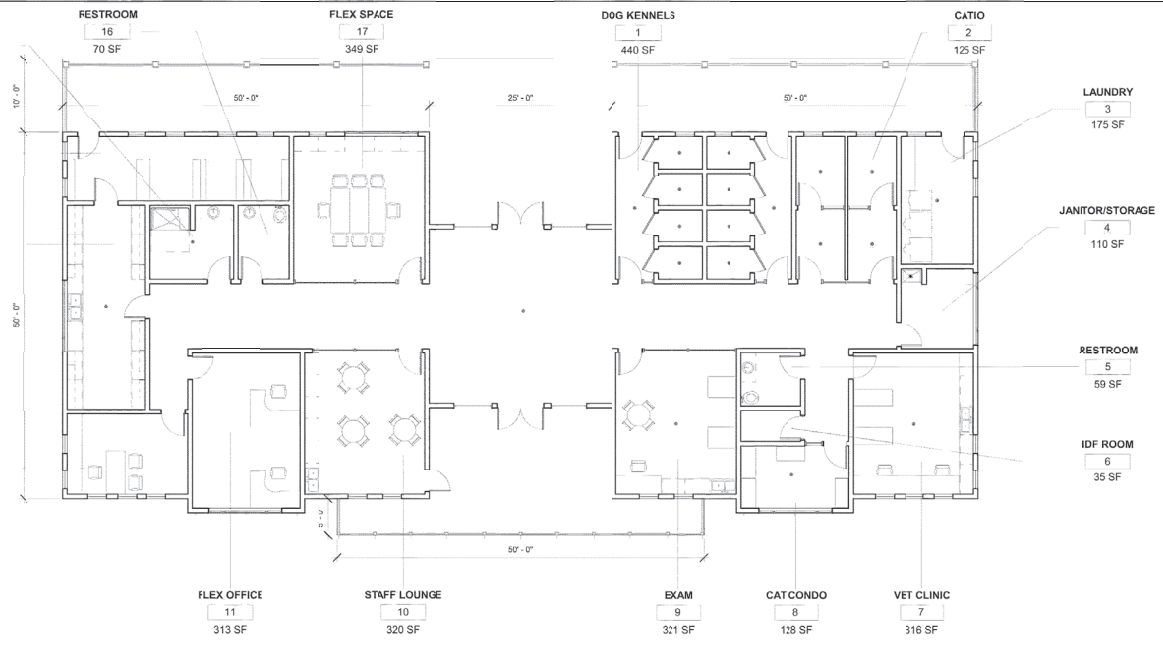
PENINSULA HUMANE SOCIETY
ANIMAL SANCTUARY



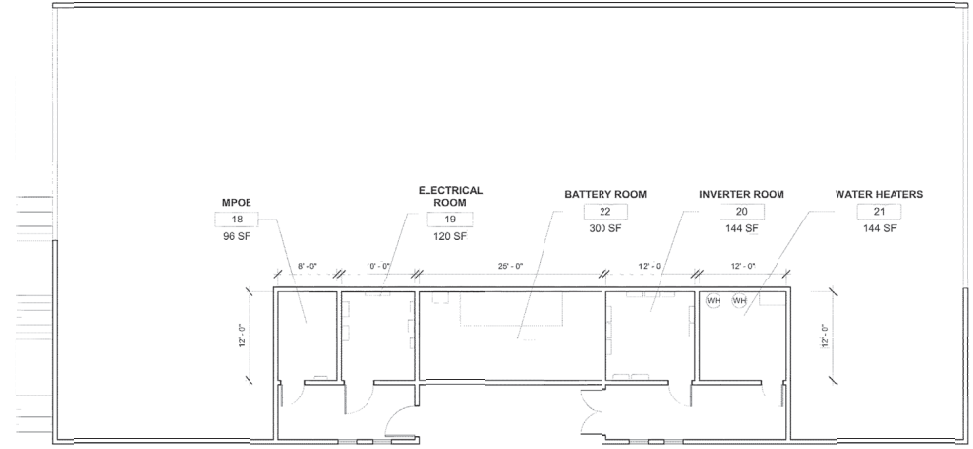
Peninsula Humane Society & SPCA



ARCHITECTS
KORTH SUNSERI HAGEY



1 LEVEL 1 FLOOR PLAN
1/8" = 1'-0"



2 BASEMENT FLOOR PLAN
1/8" = 1'-0"

ISSUES AND REVISIONS

No.	Date	Description
07.12.21		COUNTY OF SAN MATEO USE PERMIT SUBMITTAL
01.14.22		COUNTY OF SAN MATEO USE PERMIT RESUBMITTAL 1

PROJECT NUMBER
1594230

SHEET TITLE
VET & ADMIN FLOOR PLANS

SCALE
1/8" = 1'-0"



SHEET NUMBER

AA2.0



ISSUES AND REVISIONS

No.	Date	Description
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01.14.22		COUNTY OF SAN MATEO USE PERMIT RESUBMITTAL 1

PROJECT NUMBER 188420

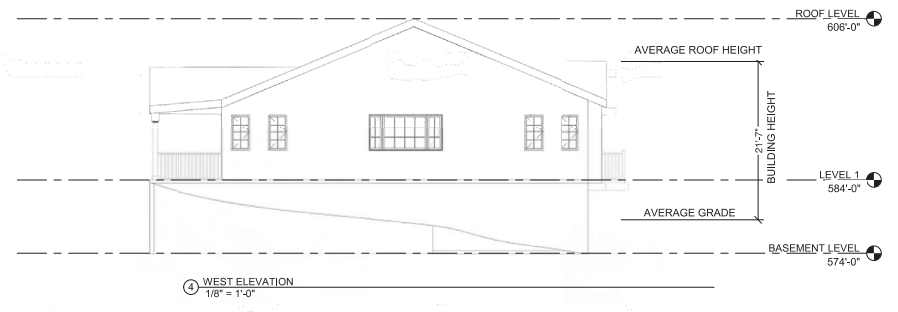
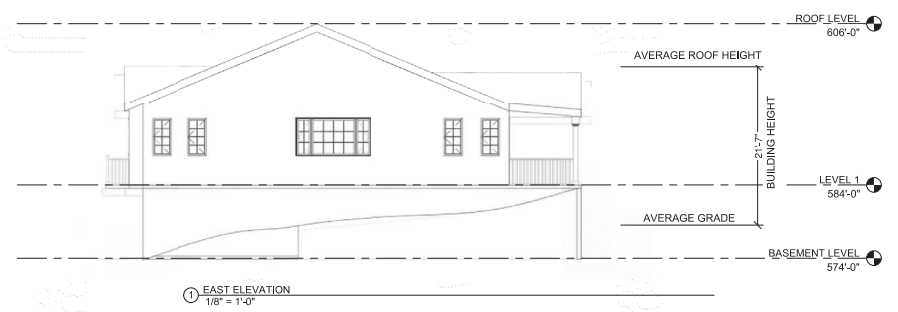
SHEET TITLE ELEVATIONS

SCALE 1/8" = 1'-0"



SHEET NUMBER

AA3.0





ISSUES AND REVISIONS

No.	Date	Description
	07.12.21	COUNTY OF SAN MATEO USE PERMIT SUBMITTAL
1	01.14.22	COUNTY OF SAN MATEO USE PERMIT RESUBMITTAL 1
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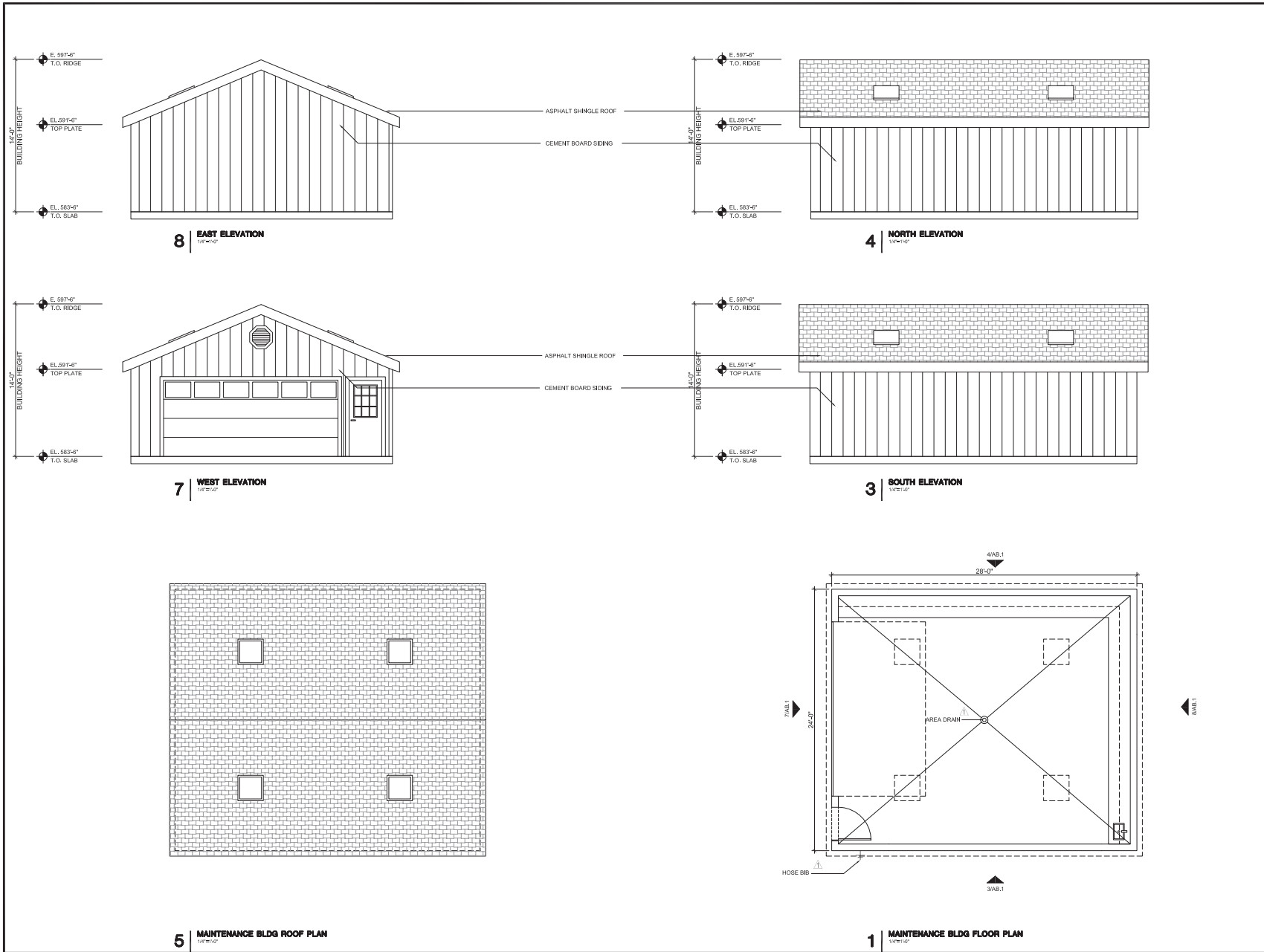
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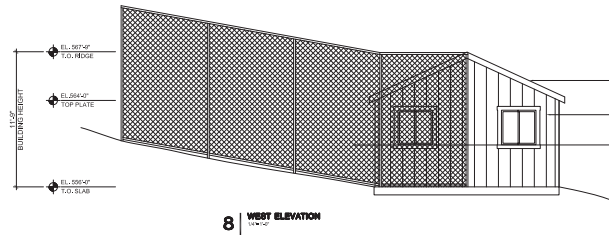
SHEET TITLE
MAINTENANCE BUILDING

SCALE
AS NOTED

SHEET NUMBER

AB.1

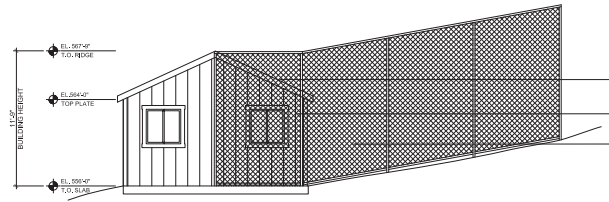




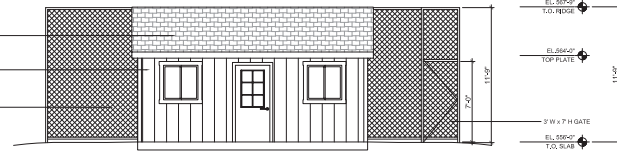
8 WEST ELEVATION



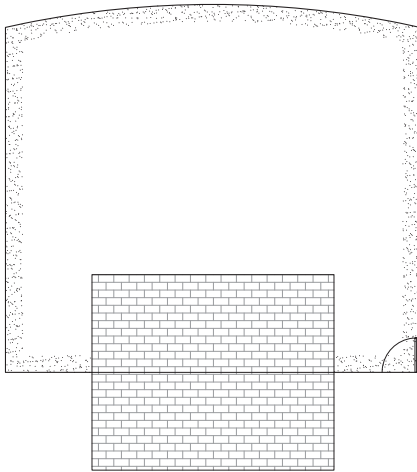
4 NORTH ELEVATION



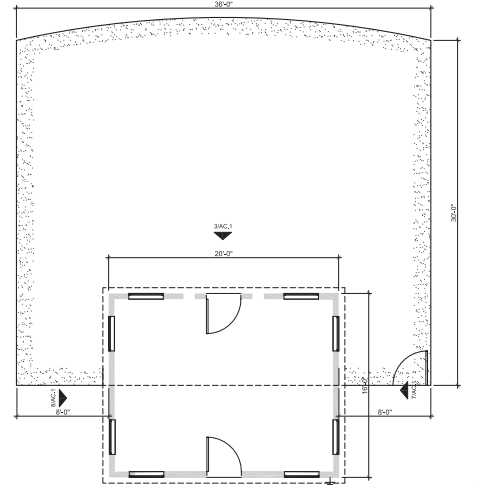
7 EAST ELEVATION



3 SOUTH ELEVATION



5 CAT COTTAGE ROOF PLAN



1 CAT COTTAGE FLOOR PLAN

ISSUES AND REVISIONS

No.	Date	Description
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PROJECT NUMBER
1804230

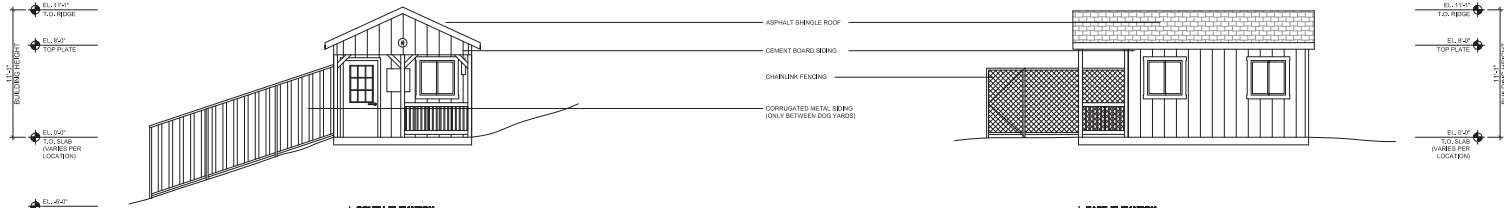
SHEET TITLE
SMALL CAT ENCLOSURE

SCALE
AS NOTED



SHEET NUMBER

AC.1

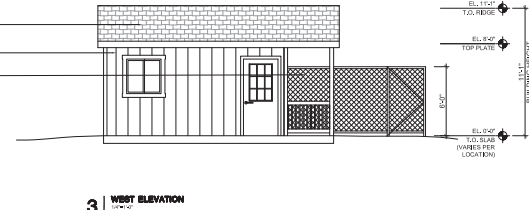


8 SOUTH ELEVATION

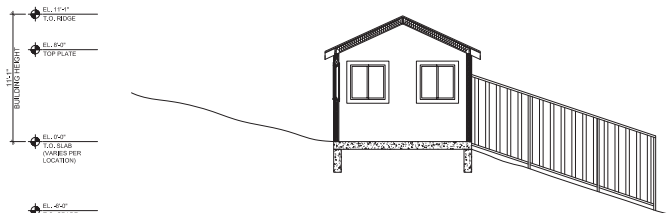
4 EAST ELEVATION



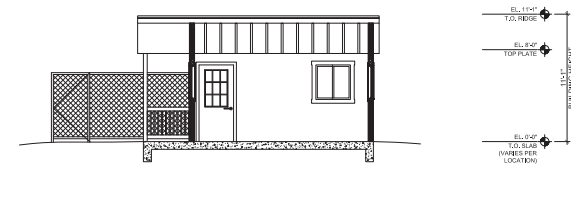
7 NORTH ELEVATION



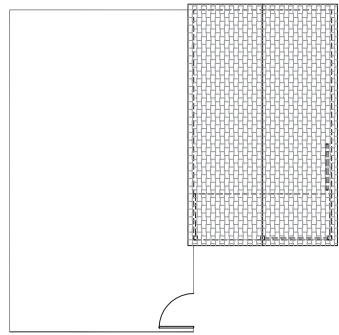
3 WEST ELEVATION



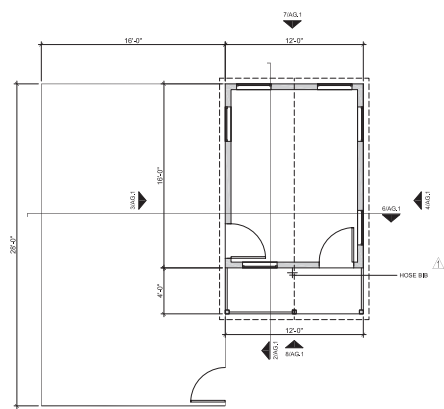
6 DOG COTTAGE SECTION



2 DOG COTTAGE SECTION



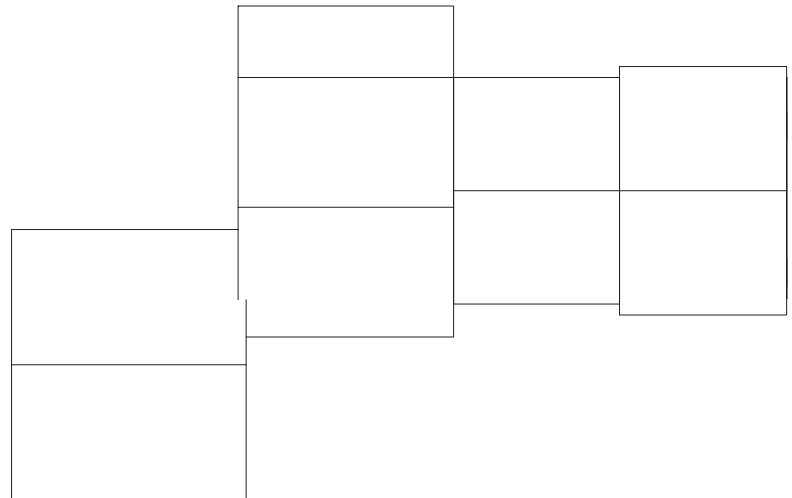
5 DOG COTTAGE ROOF PLAN



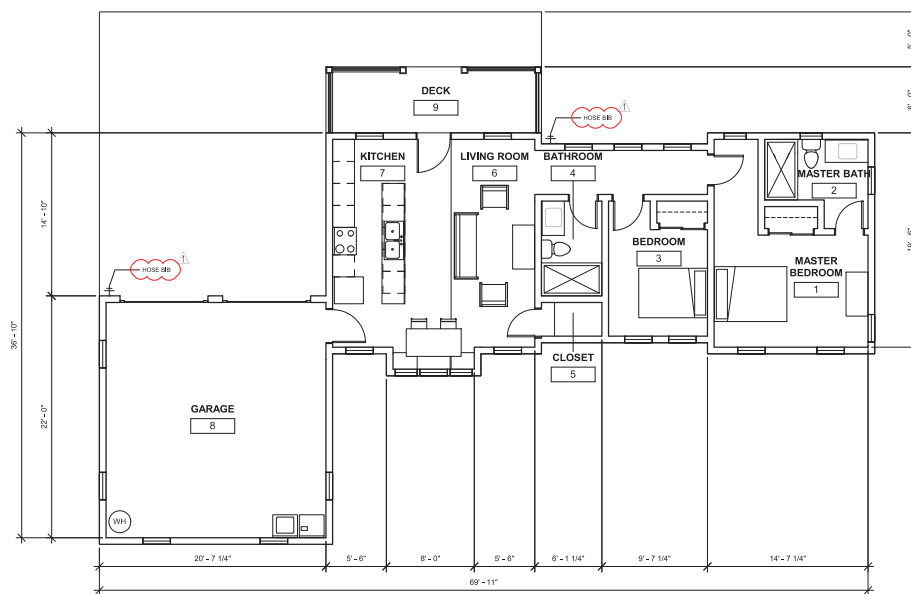
1 DOG COTTAGE FLOOR PLAN

ISSUES AND REVISIONS		
No.	Date	Description
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1	01.14.22	COUNTY OF SAN MATEO USE PERMIT RESUBMITTAL 1
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PROJECT NUMBER	1809230
SHEET TITLE	DOG COTTAGE
SCALE	AS NOTED
SHEET NUMBER	



② ROOF PLAN
3/16" = 1'-0"



① LEVEL 1 FLOOR PLAN
3/16" = 1'-0"

ISSUES AND REVISIONS

No.	Date	Description
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1	01.14.22	COUNTY OF SAN MATEO USE PERMIT RESUBMITTAL 1

PROJECT NUMBER
1894230

SHEET TITLE
CARETAKER RESIDENCE FLOOR PLANS

SCALE
As indicated

SHEET NUMBER

AE2.0

PENINSULA HUMANE SOCIETY

ANIMAL SANCTUARY



Peninsula Humane Society & SPCA



ARCHITECTS
KORTH SUNSERI HAGEY



ISSUES AND REVISIONS

No.	Date	Description
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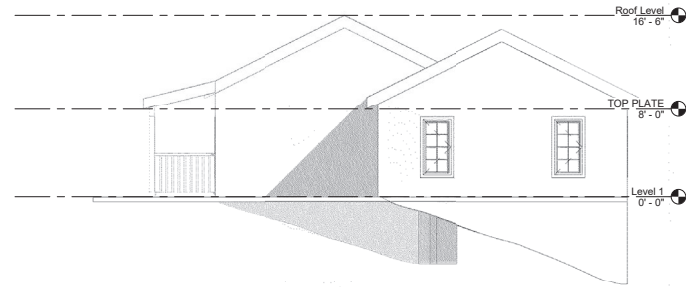
PROJECT NUMBER
1802.00

SHEET TITLE
CARETAKER RESIDENCE
ELEVATIONS

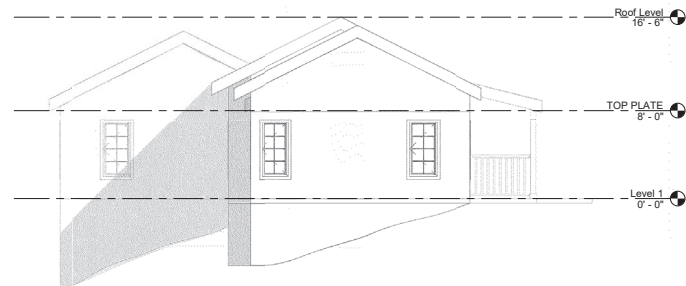
SCALE
3/16" = 1'-0"

SHEET NUMBER

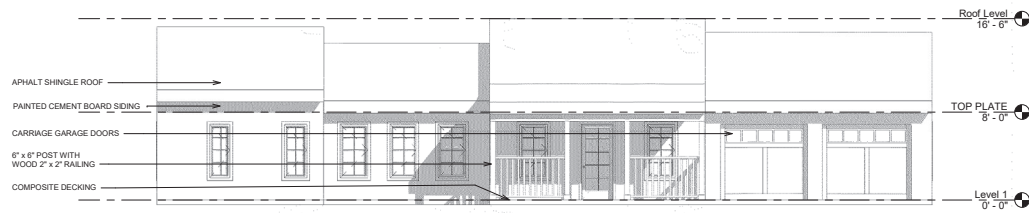
AE3.0



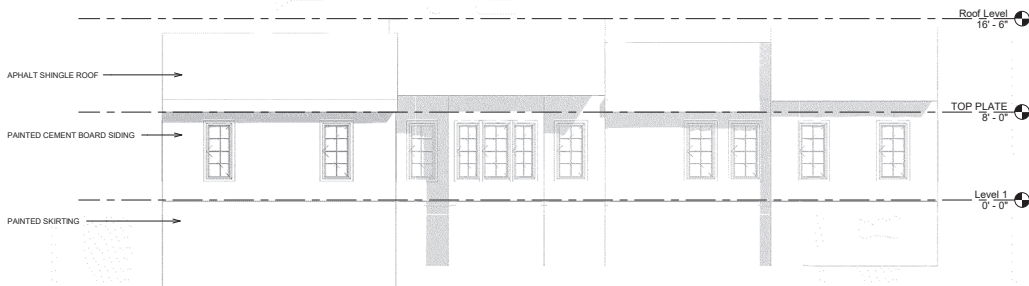
④ West
3/16" = 1'-0"



③ East
3/16" = 1'-0"



① North
3/16" = 1'-0"



② South
3/16" = 1'-0"



ARCHITECTS
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ISSUES AND REVISIONS

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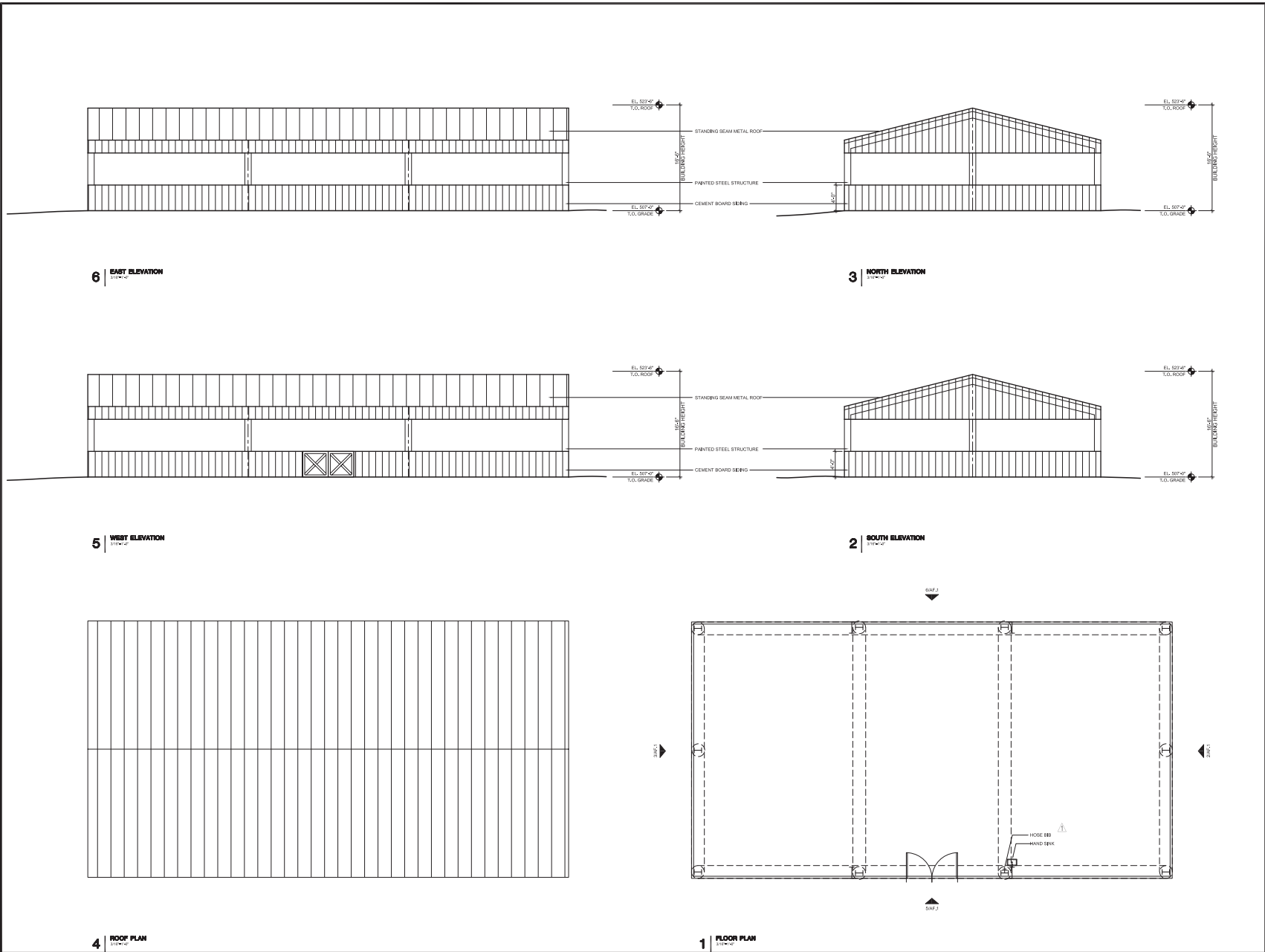
PROJECT NUMBER
1804230

SHEET TITLE
DOG ARENA

SCALE
3/16" = 1'-0"

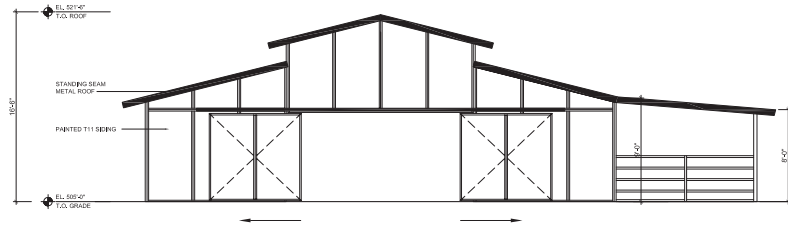
SHEET NUMBER

AF.1

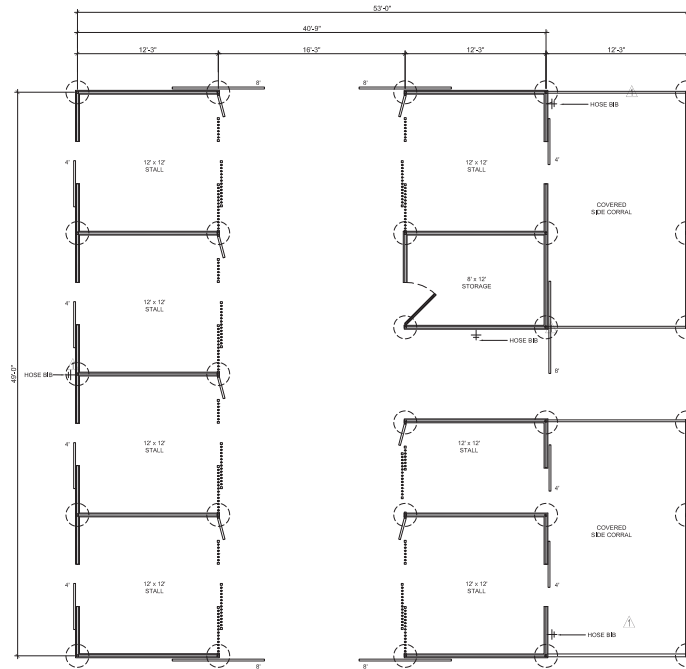




3 BARN RENDERING
1/18



2 BARN ELEVATION
1/18



1 BARN FLOOR PLAN
1/18

PENINSULA HUMANE SOCIETY

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ARCHITECTS
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ISSUES AND REVISIONS

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PROJECT NUMBER
1809230

SHEET TITLE
ANIMAL BARN

SCALE
AS NOTED



SHEET NUMBER

AG.1



ARCHITECTS
KORTH SUNSERI HAGEY



INTERIOR TO REMAIN UNPAINTED
NEW 8' LIGHTS SUSPENDED
FROM EXISTING TRUSSES



PAINT EXISTING TRIM
PAINT EXISTING SIDING
PAINT EXISTING DOOR
REPAIR AND PAINT EXISTING
ROLL UP DOOR



REMOVE EXISTING CORRAL
REMOVE AND CLEAN SITE OF
EXISTING DEBRIS

ISSUES AND REVISIONS

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PROJECT NUMBER
1804230

SHEET TITLE

EXISTING BARN

SCALE

N.T.S.



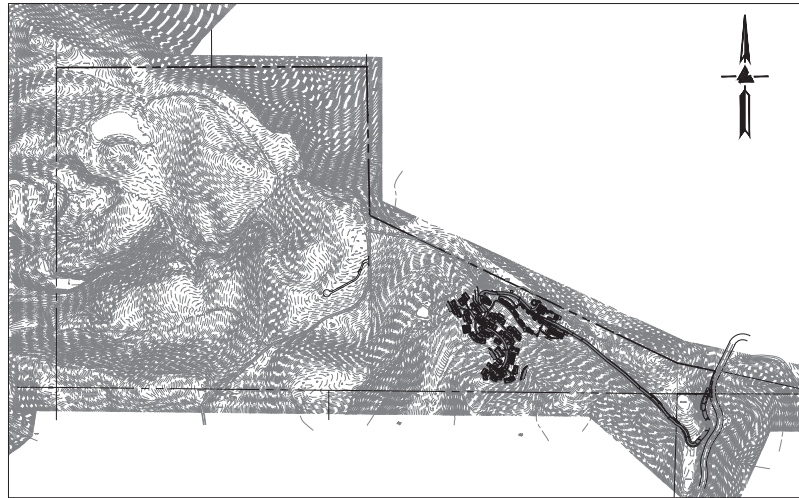
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AH.1

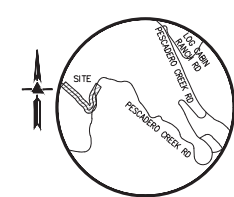
PENINSULA HUMANE SOCIETY ANIMAL SANCTUARY 12429 PESCADERO CREEK ROAD LOMA MAR, CALIFORNIA

LEGEND		DESCRIPTION
EXISTING	PROPOSED	
---	---	BOUNDARY
---	---	PROPERTY LINE
---	---	RETAINING WALL
---	---	LANDSCAPE RETAINING WALL
---	---	RAINWATER TIGHTLINE
---	---	SUBDRAIN LINE
---	---	TIGHTLINE
---	---	STORM DRAIN LINE
---	---	SANITARY SEWER LINE
---	---	WATER LINE
---	---	GAS LINE
---	---	PRESSURE LINE
---	---	JOINT TRENCH
---	---	SET BACK LINE
---	---	CONCRETE VALLEY GUTTER
---	---	EARTHEN SWALE
---	---	CATCH BASIN
---	---	JUNCTION BOX
---	---	AREA DRAIN
---	---	CURB INLET
---	---	STORM DRAIN MANHOLE
---	---	FIRE HYDRANT
---	---	SANITARY SEWER MANHOLE
---	---	STREET SIGN
---	---	SPOT ELEVATION
---	---	FLOW DIRECTION
---	---	DEMOLISH/REMOVE
---	---	BENCHMARK
---	---	CONTOURS
---	---	TREE TO BE REMOVED

DESCRIPTION	SYMBOL
BOUNDARY	---
PROPERTY LINE	---
RETAINING WALL	---
LANDSCAPE RETAINING WALL	---
RAINWATER TIGHTLINE	---
SUBDRAIN LINE	---
TIGHTLINE	---
STORM DRAIN LINE	---
SANITARY SEWER LINE	---
WATER LINE	---
GAS LINE	---
PRESSURE LINE	---
JOINT TRENCH	---
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FLOW DIRECTION	---
DEMOLISH/REMOVE	---
BENCHMARK	---
CONTOURS	---
TREE TO BE REMOVED	---



KEY MAP
1" = 500'



VICINITY MAP
NO SCALE

OWNER'S INFORMATION

OWNER: PENINSULA HUMANE SOCIETY & SPCA
1450 ROLLING ROAD
BURLINGAME, CA 94010

APN: 082-050-020

REFERENCES

- THIS IMPROVEMENT PLAN IS SUPPLEMENTAL TO:
- TOPOGRAPHIC SURVEY BY LEA & BRAZE ENGINEERING INC., ENTITLED: "TOPOGRAPHIC SURVEY" LOMA MAR, CA DATED: 01-11-19 JOB#: 2181427
 - ARCHITECTURAL PLANS BY KORTH SUNSERI HAGEY ARCHITECTS ENTITLED: "PENINSULA HUMANE SOCIETY ANIMAL SANCTUARY" 12429 PESCADERO CREEK ROAD LOMA MAR, CA
 - LANDSCAPE PLANS BY THE GUZZARDO PARTNERSHIP, INC. ENTITLED: "PENINSULA HUMANE SOCIETY ANIMAL SANCTUARY" 12429 PESCADERO CREEK ROAD LOMA MAR, CA DATED: 07-23-2021
 - GEOTECHNICAL REPORT BY CORNERSTONE EARTH GROUP ENTITLED: "PENINSULA HUMANE SOCIETY ANIMAL SANCTUARY" 12429 PESCADERO ROAD LOMA MAR, CA DATED: 07-23-2021
 - WATER SYSTEM DESIGN BY SCHAFF & WHEELER CONSULTING CIVIL ENGINEERS ENTITLED: "PENINSULA HUMANE SOCIETY ANIMAL SANCTUARY" 12429 PESCADERO CREEK ROAD LOMA MAR, CA

THE CONTRACTOR SHALL REFER TO THE ABOVE NOTED SURVEY AND PLAN, AND SHALL VERIFY BOTH EXISTING AND PROPOSED ITEMS ACCORDING TO THEM.

ABBREVIATIONS

AB	AGGREGATE BASE	LF	LINEAR FEET
AC	ASPHALT CONCRETE	MAX	MAXIMUM
ACC	ACCESSIBLE	MH	MANHOLE
AD	AREA DRAIN	MIN	MINIMUM
BC	BEGINNING OF CURVE	MON	MONUMENT
B & D	BEARING & DISTANCE	MRO	METERED RELEASE OUTLET
BM	BENCHMARK	(N)	NEW
BUB	BUBBLER BOX	NO.	NUMBER
BW/FG	BOTTOM OF WALL/FINISH GRADE	NTS	NOT TO SCALE
CB	CATCH BASIN	O.C.	ON CENTER
C & G	CURB AND GUTTER	O/V	OVER
E	CENTER LINE	(PA)	PLANTING AREA
OPP	CORRUGATED PLASTIC PIPE (SMOOTH INTERIOR)	PED	PEDESTRIAN
COG	CLEANOUT TO GRADE	PIV	POST INDICATOR VALVE
CONC	CONCRETE	PSS	PUBLIC SERVICES EASEMENT
CONST	CONSTRUCT OR -TION	PL	PROPERTY LINE
CONC COR	CONCRETE CORNER	PP	POWER POLE
CY	CUBIC YARD	PUE	PUBLIC UTILITY EASEMENT
D	DIAMETER	PCV	POLYVINYL CHLORIDE
DIP	DROPT INLET	R	RADIUS
EA	EACH	ROP	REINFORCED CONCRETE PIPE
EG	END OF CURVE	RM	RISE ELEVATION
EL	EXISTING GRADE	RW	RAINWATER
EL	ELEVATIONS	R/W	RIGHT OF WAY
EP	EDGE OF PAVEMENT	S	SLOPE
EQ	EQUIPMENT	S.A.D.	SEE ARCHITECTURAL DRAWINGS
EW	EACH WAY	SD	STORM DRAIN
(E)	EXISTING	SDMH	STORM DRAIN MANHOLE
FC	FACE OF CURB	SHT	SHEET
FF	FINISHED FLOOR	S.I.D.	SEE LANDSCAPE DRAWINGS
FG	FINISHED GRADE	SPC	SPECIFICATION
FH	FIRE HYDRANT	SS	SANITARY SEWER
FL	FLOW LINE	SSCO	SANITARY SEWER CLEANOUT
FS	FINISHED SURFACE	SSMH	SANITARY SEWER MANHOLE
G	GAGE OR GAUGE	ST	STREET
GA	GRADE BREAK	STA	STATION
GB	HIGH DENSITY CORRUGATED POLYETHYLENE PIPE	STD	STANDARD
HORIZ	HORIZONTAL	STR	STRUCTURAL
HI	HIGH POINT	T	TELEPHONE
H&T	HUB & TACK	TC	TOP OF CURB
ID	INSIDE DIAMETER	TOW	TOP OF WALL
INV	INVERT ELEVATION	TEMP	TEMPORARY
JB	JUNCTION BOX	TP	TOP OF PAVEMENT
JT	JOINT TRENCH	TW/FG	TOP OF WALL/FINISH GRADE
JP	JOINT UTILITY POLE	TYP	TYPICAL
L	LENGTH	VC	VERTICAL CURVE
LANDG	LANDING	VCP	VITRIFIED CLAY PIPE
		VERT	VERTICAL
		W	WITH
		WL	WATER LINE
		WM	WATER METER
		WVF	WELDED WIRE FABRIC

ESTIMATED EARTHWORK QUANTITIES				
CUBIC YARDS	WITHIN BUILDING FOOTPRINT	OUTSIDE BUILDING FOOTPRINT	ROADWAY THICKNESS	TOTAL CUBIC YARDS
CUT	270	1,560	4,400	6,230
FILL	850	5,010	0	5,860
EXPORT	(SPREAD ON SITE)			370

NOTE:
GRADING QUANTITIES REPRESENT BANK YARDAGE. IT DOES NOT INCLUDE ANY SWELLING OR SHRINKAGE FACTORS AND IS INTENDED TO REPRESENT IN-SITU CONDITIONS. QUANTITIES DO NOT INCLUDE OVER-EXCAVATION, TRENCHING, STRUCTURAL FOUNDATIONS OR PIERS, OR POOL EXCAVATION (IF ANY). NOTE ADDITIONAL EARTHWORKS, SUCH AS KEYWAYS OR BENCHING MAY BE REQUIRED BY THE GEOTECHNICAL ENGINEER IN THE FIELD AT TIME OF CONSTRUCTION. CONTRACTOR TO VERIFY QUANTITIES.

PROJECT TEAM INTENDS TO HAVE A NET BALANCED SITE WITH NO IMPORT OR EXPORT OF SOIL, ASIDE FROM REQUIRED ENGINEERED MATERIAL, FOUNDATION SUBGRADE, AND STABILIZED SURFACE MATERIALS SUCH AS DECOMPOSED GRANITE. DURING PERMITTING PHASE WHEN FOUNDATION TYPES, OVER-EXCAVATION, AND TRENCHING SPOILS CAN BE DETERMINED, THE PROJECT TEAM WILL ADJUST ON-SITE EARTHWORK CALCULATIONS TO MATCH INTENDED CONDITIONS.

EASEMENT NOTE

EASEMENTS ARE SHOWN PER TITLE REPORT PREPARED BY LAWYERS' TITLE COMPANY, TITLE NO. FLWP-0061800758-DW, DATED SEPTEMBER 28, 2018 AND DOCUMENT 2019-050286.

BOUNDARY NOTE

BOUNDARY LINES LABELED WITH BEARINGS AND DISTANCES ON THIS SURVEY ARE RESOLVED LINES. LIGHTER BOUNDARY LINES SHOWN WITHOUT BEARINGS AND DISTANCES AND LABELED AS "APPROXIMATE BOUNDARY LINE" ARE NOT RESOLVED AND ARE SUBJECT TO CHANGE.

NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.

UNDERGROUND UTILITY LOCATION IS BASED ON SURFACE EVIDENCE.

BUILDING FOOTPRINTS ARE SHOWN TO FINISHED MATERIAL (STUCCO/SIDING) AT GROUND LEVEL.

FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).

SITE BENCHMARK

SURVEY CONTROL POINT MAG AND SHINER SET IN ASPHALT ELEVATION = 509.12' (ASSUMED)

NOTE:
FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING (510)987-4066 EXT 116. aabay@leabraze.com

*** BUILDING PAD NOTE:**
ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR DRAIN SPACE DEPTH TO ESTABLISH PAD LEVEL.



SHEET INDEX

C-1.0	TITLE SHEET
C-1.1	OVERALL SITE PLAN
C-2.0	TREE REMOVAL PLAN
C-3.0 TO C-3.14	GRADING & DRAINAGE PLAN
C-4.0 TO C-4.14	UTILITY PLAN
C-4.15 TO C-4.18	STORMWATER CONTROL PLAN
C-4.19 TO C-4.20	FIRE SUPPRESSION PLAN
C-5.0 TO C-5.12	PLAN & PROFILE
ER-1 TO ER-2	EROSION CONTROL PLAN



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(916) 887-4066
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WWW.LEABRAZE.COM

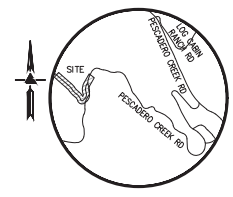
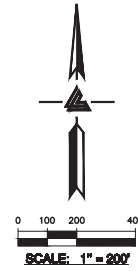
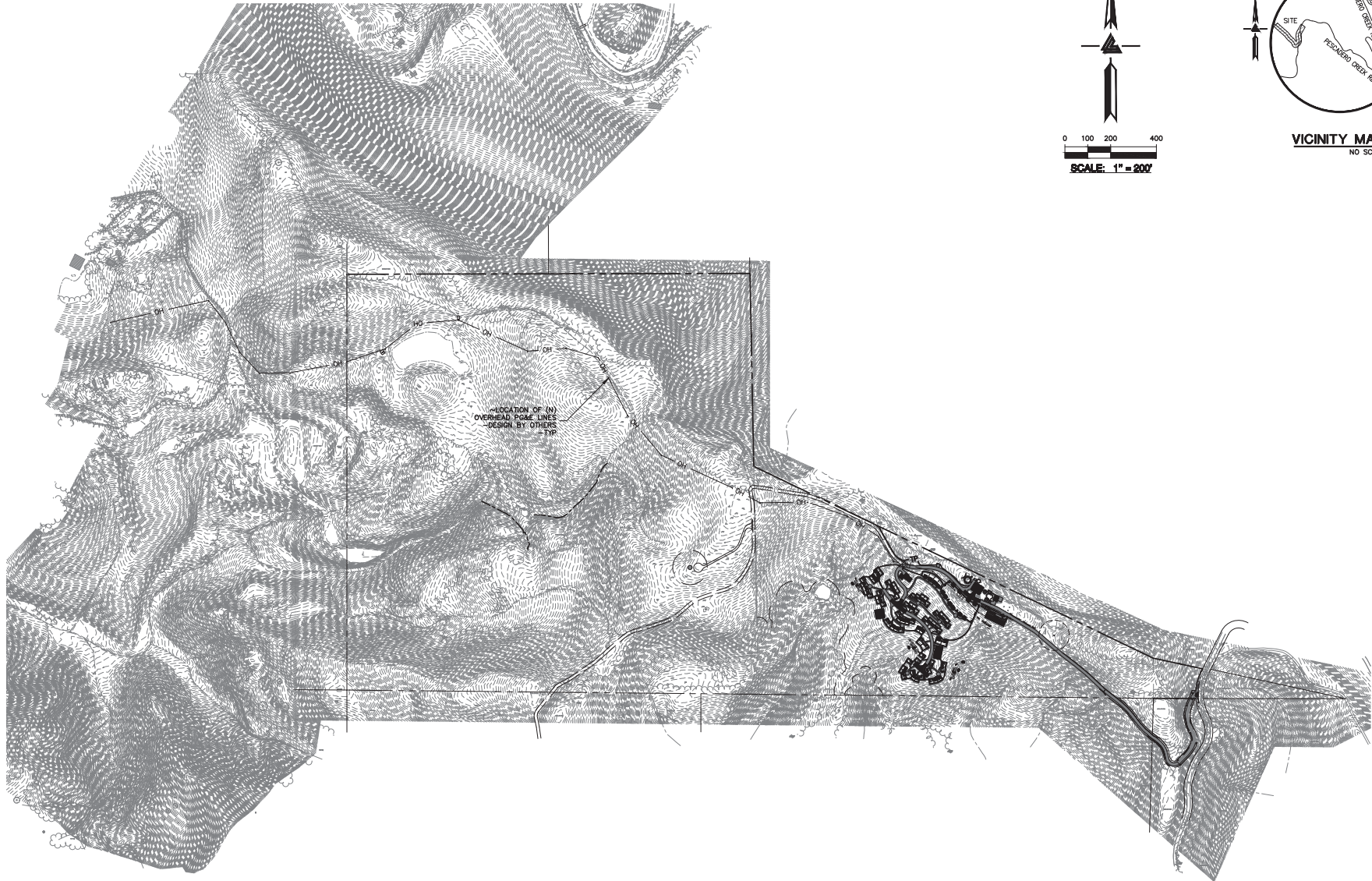
PENINSULA HUMANE SOCIETY
ANIMAL SANCTUARY
12429 PESCADERO CREEK RD
LOMA MAR, CALIFORNIA
SAN MATEO COUNTY
APN: 082-050-020

TITLE SHEET

USE PERMIT	RESUBMITTAL	08/03/22	TB
USE PERMIT	RESUBMITTAL	01/23/22	TB
REVISIONS	BY		

JOB NO: 2201144
DATE: 07/12/21
SCALE: 1" = 500'
DESIGN BY: TB
CHECKED BY: CA
SHEET NO:

C-1.0
1 of 54 SHEETS



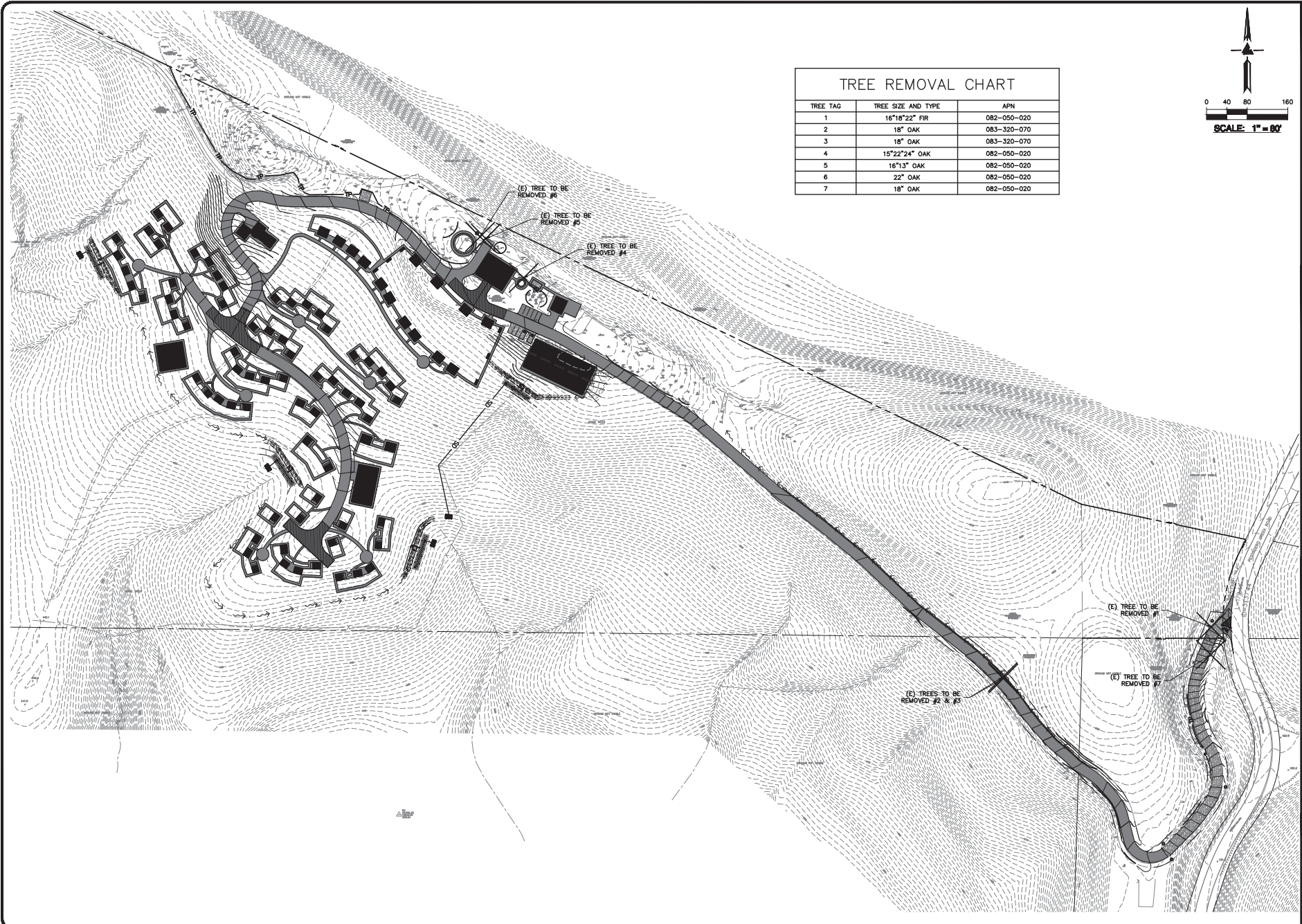
LEA & BRAZE ENGINEERING, INC.
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 SAN MATEO COUNTY
 APN: 082-050-010
 082-050-020

**GRADING &
 DRAINAGE PLAN
 (OVERALL SITE)**

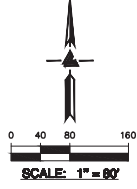
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08/01/22	
USE PERMIT RESUBMITTAL	TB
01/12/22	
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DATE:	07/12/21
SCALE:	1" = 200'
DESIGN BY:	TB
CHECKED BY:	CA
SHEET NO:	

C-1.1
 02 OF 54 SHEETS



TREE REMOVAL CHART

TREE TAG	TREE SIZE AND TYPE	APN
1	16"18"22" FIR	082-050-020
2	18" OAK	083-320-070
3	18" OAK	083-320-070
4	15"22"24" OAK	082-050-020
5	16"13" OAK	082-050-020
6	22" OAK	082-050-020
7	18" OAK	082-050-020



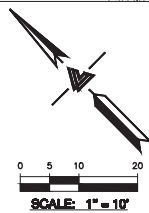
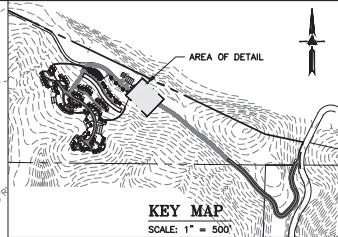
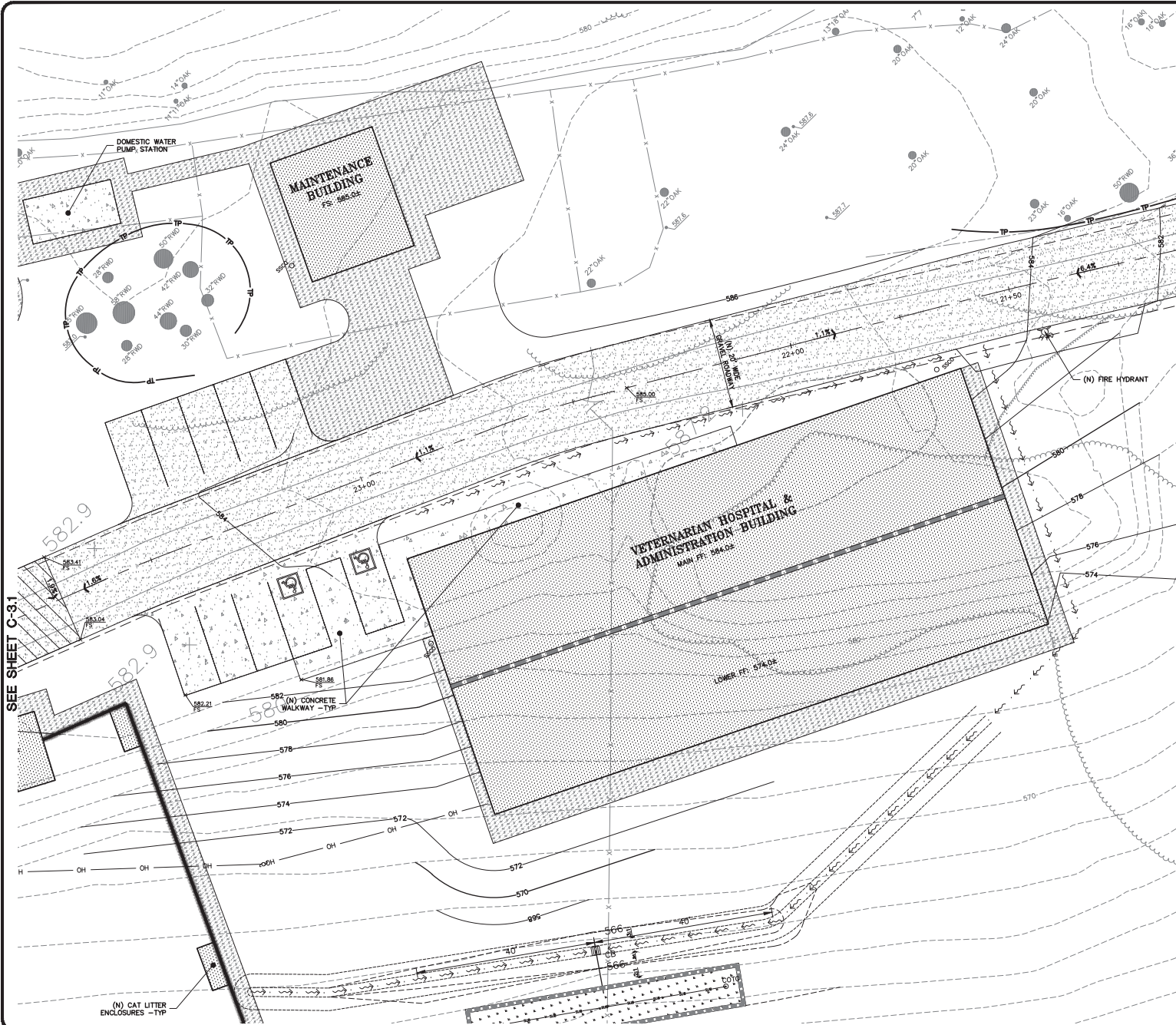
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 LOMA MAR, CALIFORNIA
 SAN MATEO COUNTY**
 APN: 082-050-010
 082-050-020

**TREE REMOVAL
 PLAN**

USE PERMIT RESUBMITTAL 08/01/22	TB
USE PERMIT RESUBMITTAL 01/12/22	TB
REVISIONS	BY
JOB NO: 2201144	
DATE: 07/12/21	
SCALE: 1" = 80'	
DESIGN BY: TB	
CHECKED BY: CA	
SHEET NO:	





FLATWORK
 FINISHED GRADES AT BUILDING PERIMETER SHALL BE SLOPED AT A MINIMUM OF 3% FOR THE FIRST 10' AWAY FROM THE BUILDING PER CBC 1804.4 OR TO AN APPROVED DRAINAGE SWALE OR STRUCTURE. GRADES SHALL CONTINUE TO SLOPE TOWARDS POSITIVE DRAINAGE AND A POSITIVE OUTFALL. MAINTAIN 8" CLEARANCE BETWEEN FINISH EARTHEN GRADE AND BOTTOM OF MUD SILL AT ALL TIMES PER CBC 2304.11.2 UNLESS STRUCTURAL DETAILING ALLOWS LESS. REFER TO STRUCTURAL PLANS FOR FOUNDATION DESIGN AND DETAILS.

PROVIDE 2% (1% MIN.) SLOPE ACROSS FLAT WORK AND/OR PAVING PER CBC 1804.4. SLOPE TOWARDS POSITIVE DRAINAGE AS SHOWN ON PLAN.

- (N) AC ACCESS ROAD/DRIVEWAY.
- (N) GRAVEL PAVING.
- (N) HARDSCAPE, PATIOS, AND WALKWAYS.
- (N) DECOMPOSED GRANITE WALKWAY.

DEMOLITION
 DEMOLISH (E) IMPROVEMENTS AS NECESSARY TO ACCOMMODATE (N) CONSTRUCTION. NO DEMOLITION SHALL COMMENCE WITHOUT REQUIRED DEMOLITION PERMITS.

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PROVIDE TREE PROTECTION AROUND TREES TO REMAIN.

NOTE:
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*** BUILDING PAD NOTE:**
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 WWW.LEABRAZE.COM

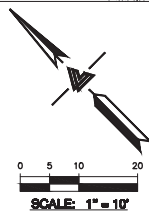
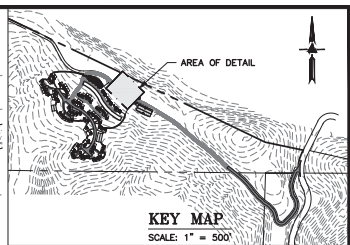
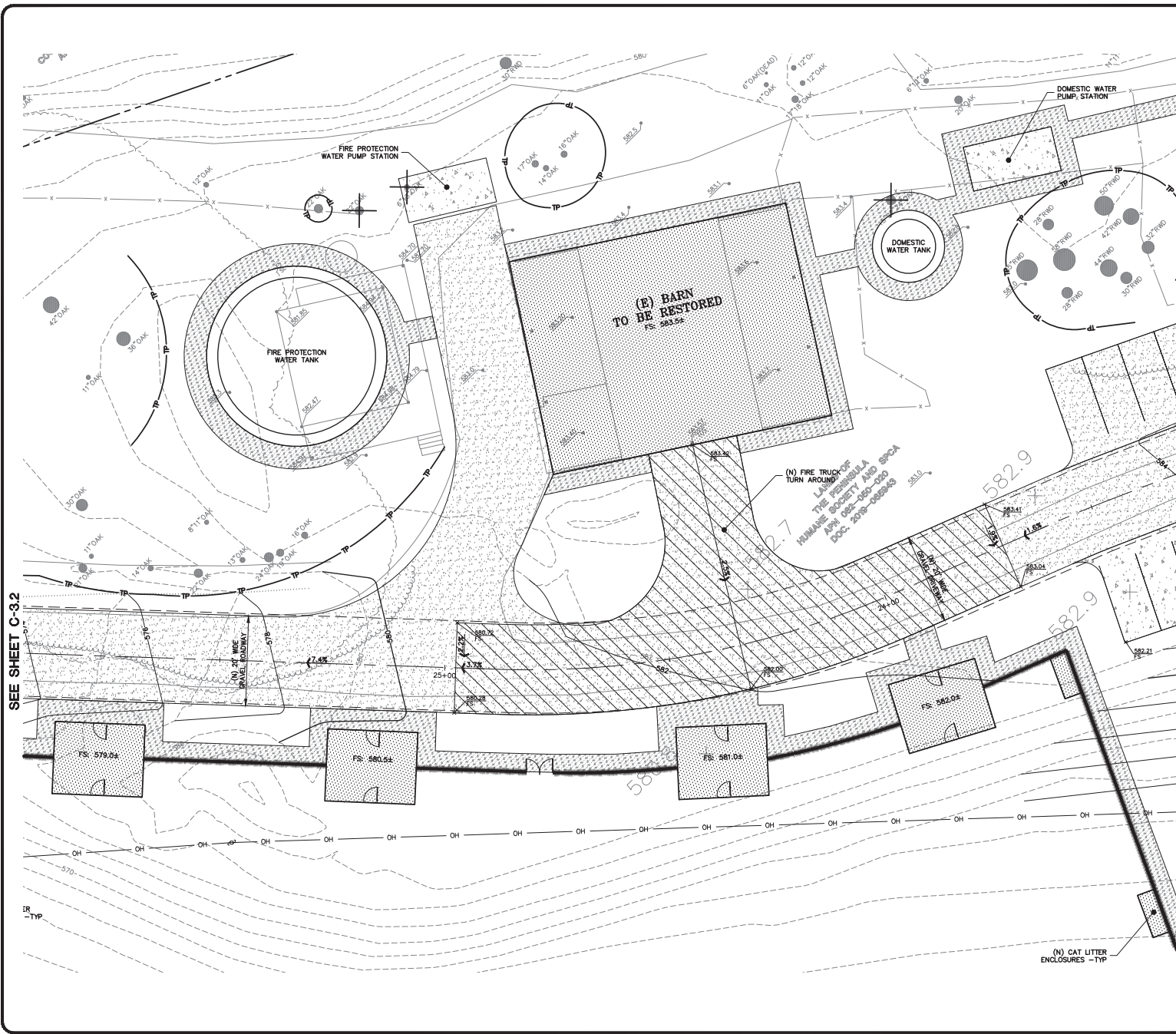
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 ANIMAL SANCTUARY
 12429 PESCADERO CREEK RD
 LOMA MAR, CALIFORNIA
 SAN MATEO COUNTY
 APR. 082-050-010
 082-050-020

GRADING & DRAINAGE PLAN

NO.	REVISIONS	BY
1	USE PERMIT RESUBMITTAL 08/01/22	TB
2	USE PERMIT RESUBMITTAL 01/12/22	TB

JOB NO: 2201144
 DATE: 07/12/21
 SCALE: 1" = 10'
 DESIGN BY: TB
 CHECKED BY: CA
 SHEET NO:





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SEE SHEET C-3.2

SEE SHEET C-3.0



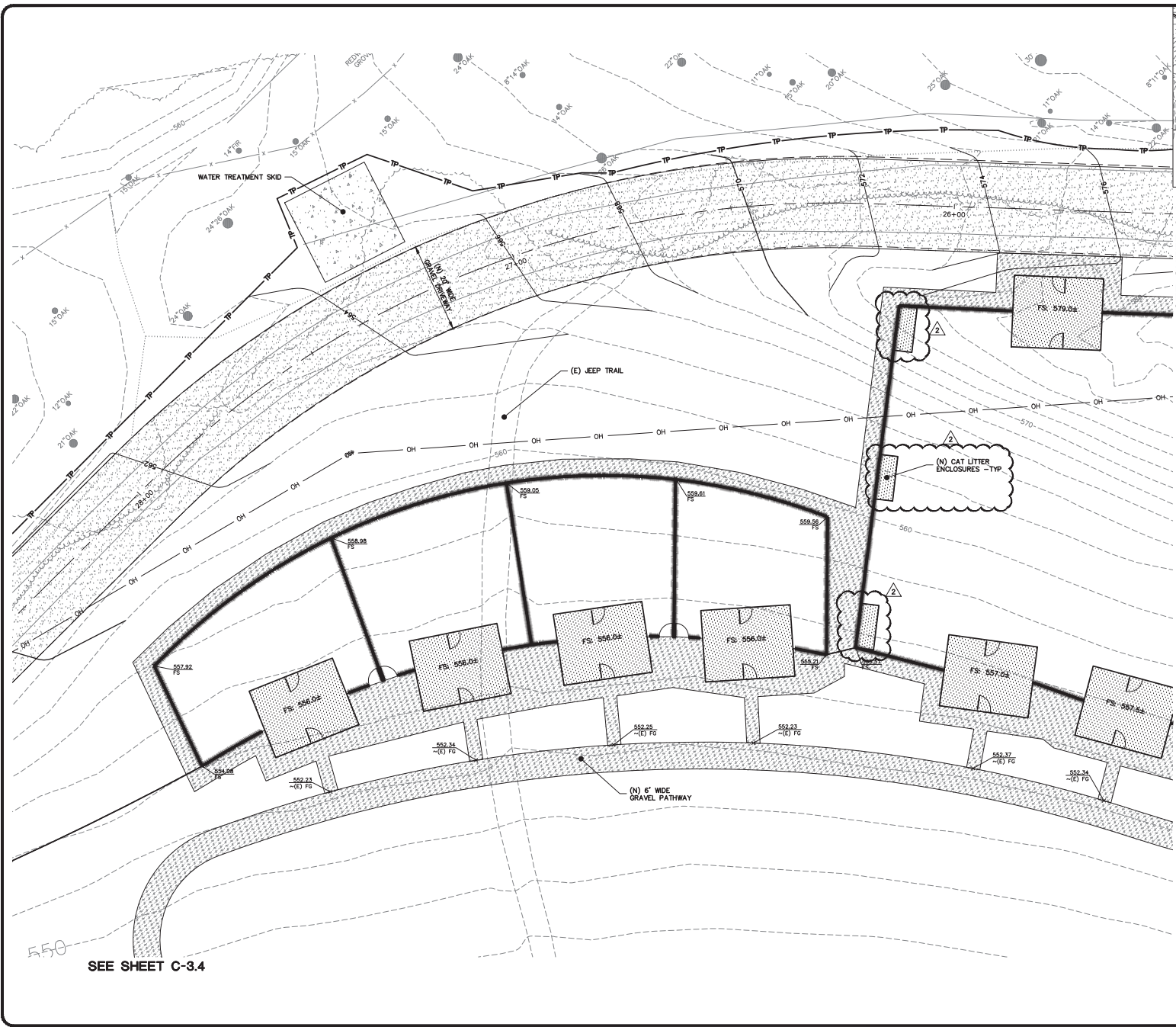
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**PENINSULA HUMANE SOCIETY
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**GRADING &
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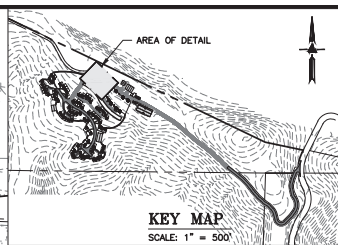
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USE PERMIT RESUBMITTAL 01/12/22	TB
REVISIONS	BY
JOB NO:	2201144
DATE:	07/12/21
SCALE:	1" = 10'
DESIGN BY:	TB
CHECKED BY:	CA
SHEET NO:	

C-3.1
 05 OF 54 SHEETS

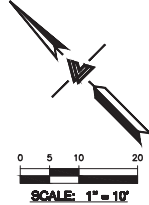


SEE SHEET C-3.1

SEE SHEET C-3.3



KEY MAP
SCALE: 1" = 500'



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SEE SHEET C-3.4



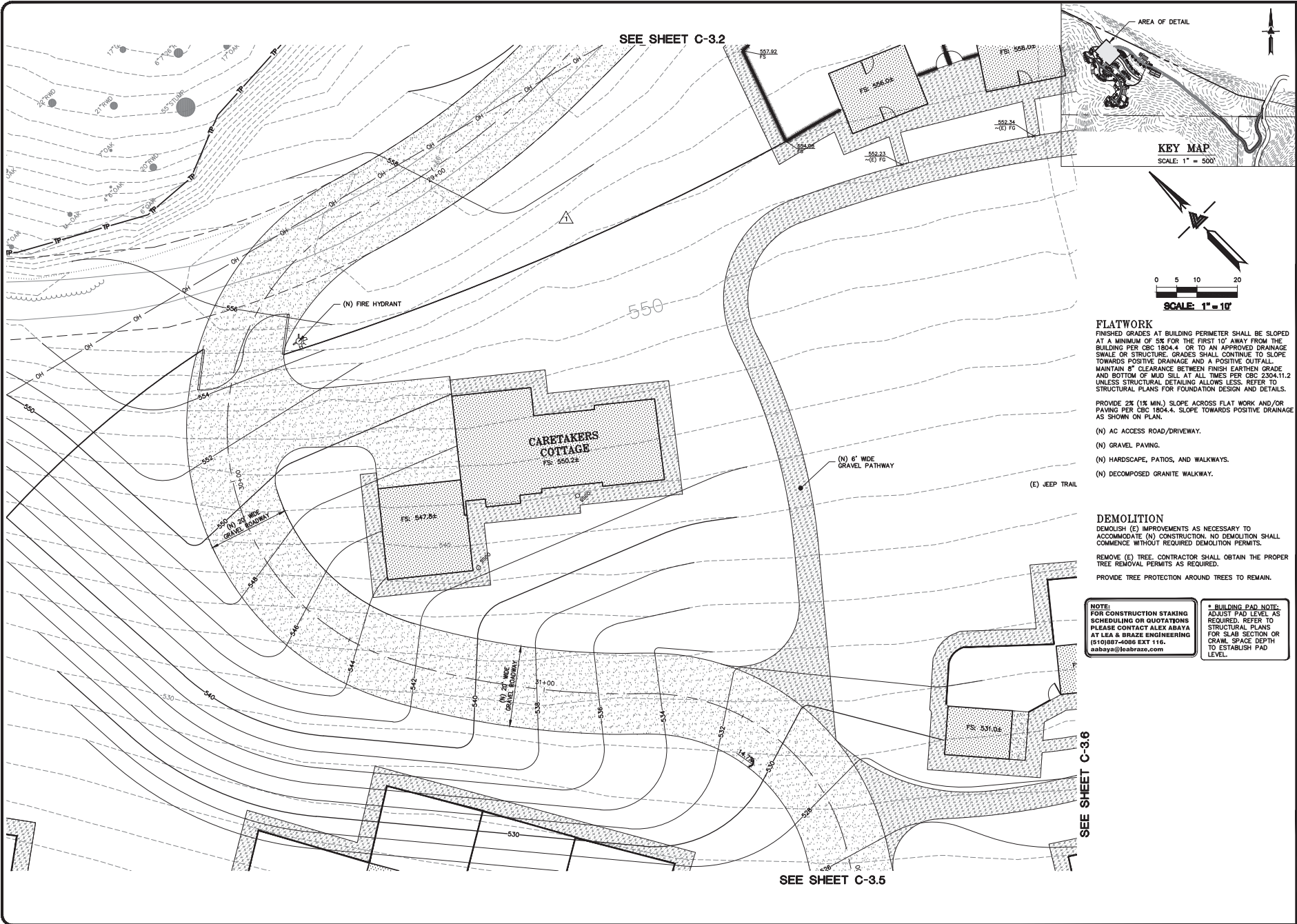
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CIVIL ENGINEERS • LAND SURVEYORS
GENERAL OFFICE:
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LOMA MAR, CALIFORNIA
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082-050-020

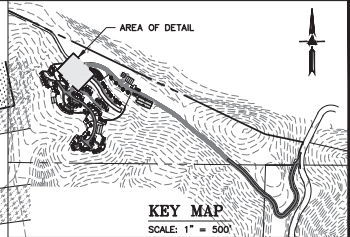
GRADING & DRAINAGE PLAN

USE PERMIT RESUBMITTAL 08/01/22	TB
USE PERMIT RESUBMITTAL 01/12/22	TB
REVISIONS	BY
JOB NO:	2201144
DATE:	07/12/21
SCALE:	1" = 10'
DESIGN BY:	TB
CHECKED BY:	CA
SHEET NO:	

C-3.2
06 OF 54 SHEETS



SEE SHEET C-3.2



FLATWORK
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SEE SHEET C-3.6

SEE SHEET C-3.5



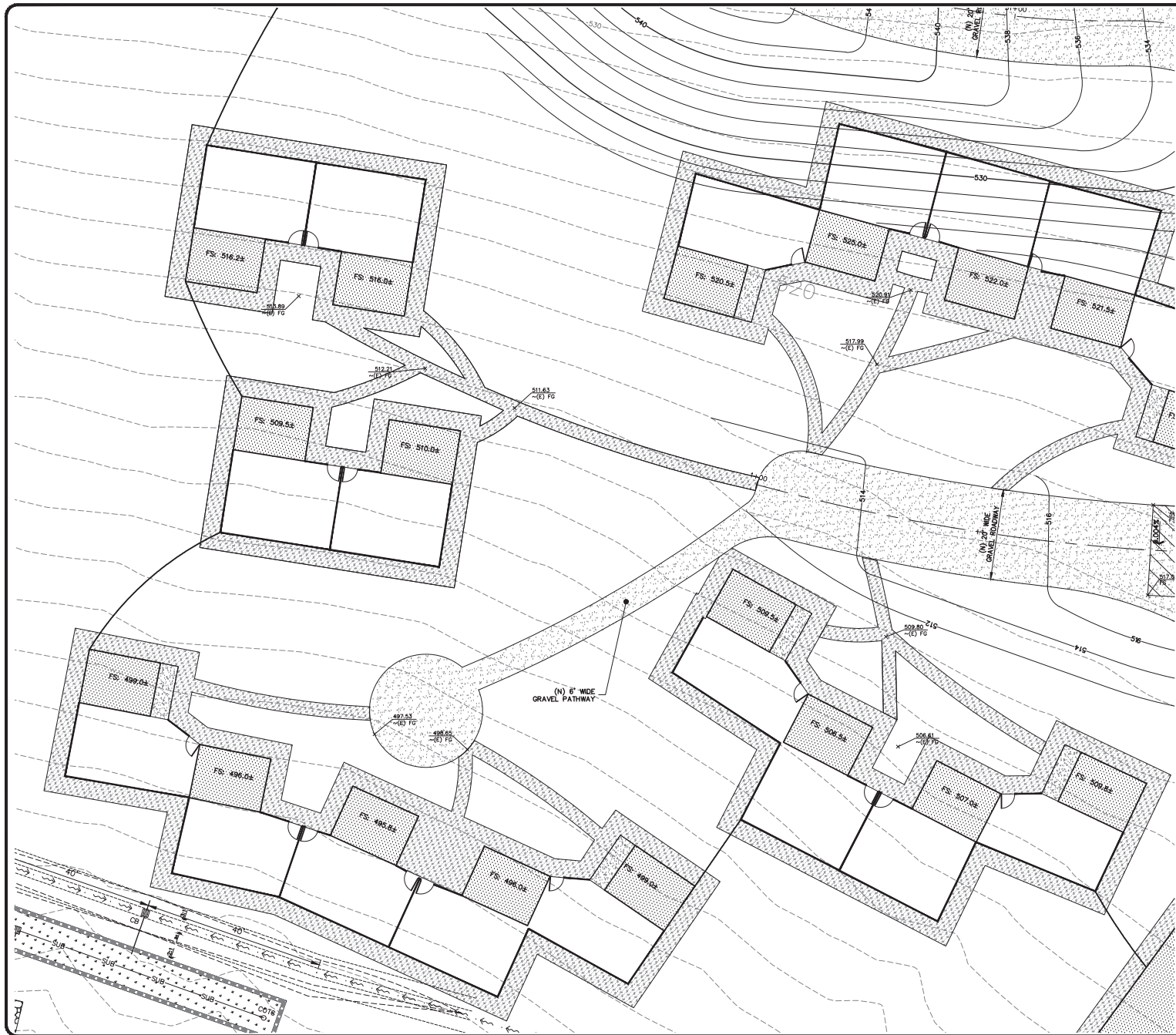
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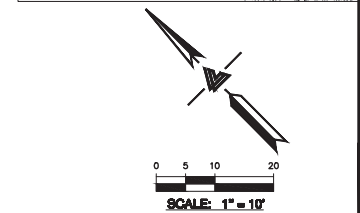
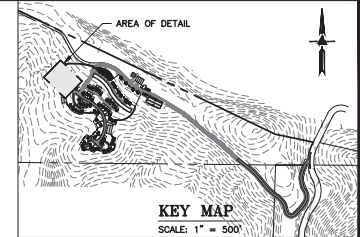
GRADING & DRAINAGE PLAN

USE PERMIT RESUBMITTAL 08/03/22	TB
USE PERMIT RESUBMITTAL 01/12/22	TB
REVISIONS	BY
JOB NO:	2201144
DATE:	07/12/21
SCALE:	1" = 10'
DESIGN BY:	TB
CHECKED BY:	CA
SHEET NO:	

C-3.4
 08 OF 54 SHEETS



SEE SHEET C-36



FLATWORK
 FINISHED GRADES AT BUILDING PERIMETER SHALL BE SLOPED AT A MINIMUM OF 3% FOR THE FIRST 10' AWAY FROM THE BUILDING PER CBC 1804.4 OR TO AN APPROVED DRAINAGE SWALE OR STRUCTURE. GRADES SHALL CONTINUE TO SLOPE TOWARDS POSITIVE DRAINAGE AND A POSITIVE OUTFALL. MAINTAIN 8" CLEARANCE BETWEEN FINISH EARTHEN GRADE AND BOTTOM OF MUD SILL AT ALL TIMES PER CBC 2304.11.2 UNLESS STRUCTURAL DETAILING ALLOWS LESS. REFER TO STRUCTURAL PLANS FOR FOUNDATION DESIGN AND DETAILS.
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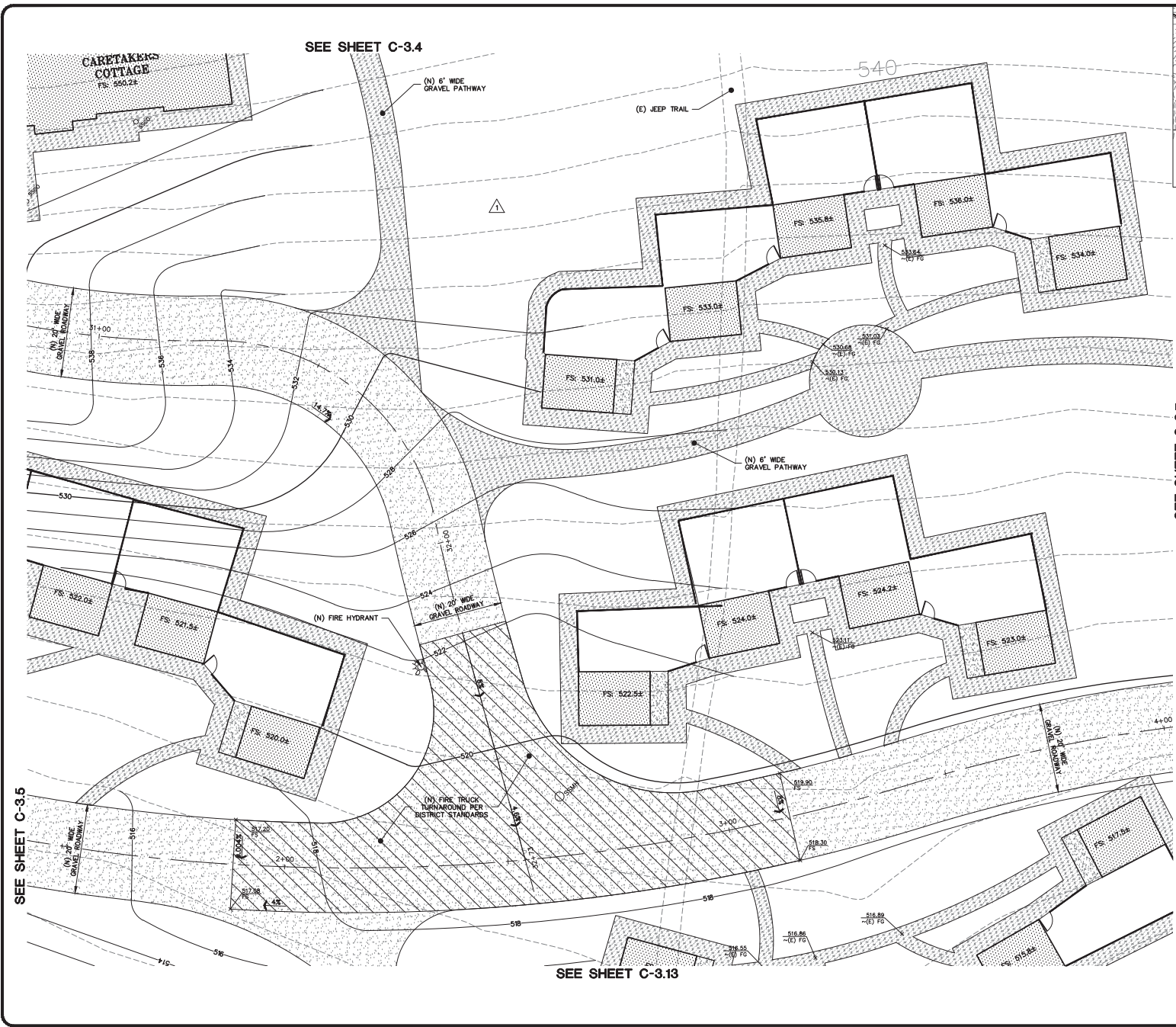
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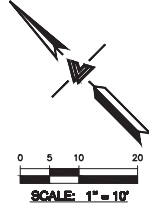
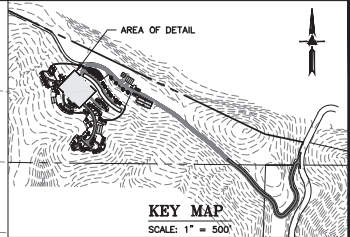


SEE SHEET C-3.4

SEE SHEET C-3.5

SEE SHEET C-3.13

SEE SHEET C-3.7



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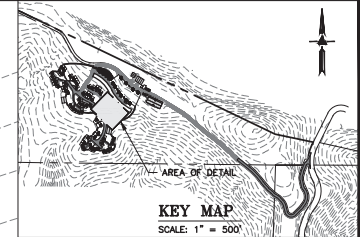
C-3.6
10 OF 54 SHEETS

SEE SHEET C-3.3

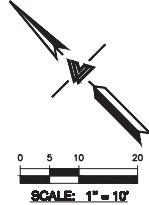


SEE SHEET C-3.6

SEE SHEET C-3.8



KEY MAP
SCALE: 1" = 500'



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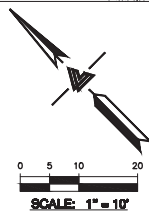
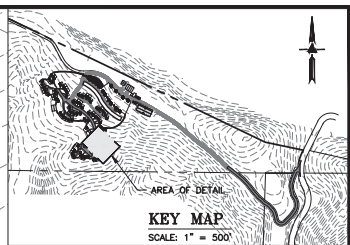
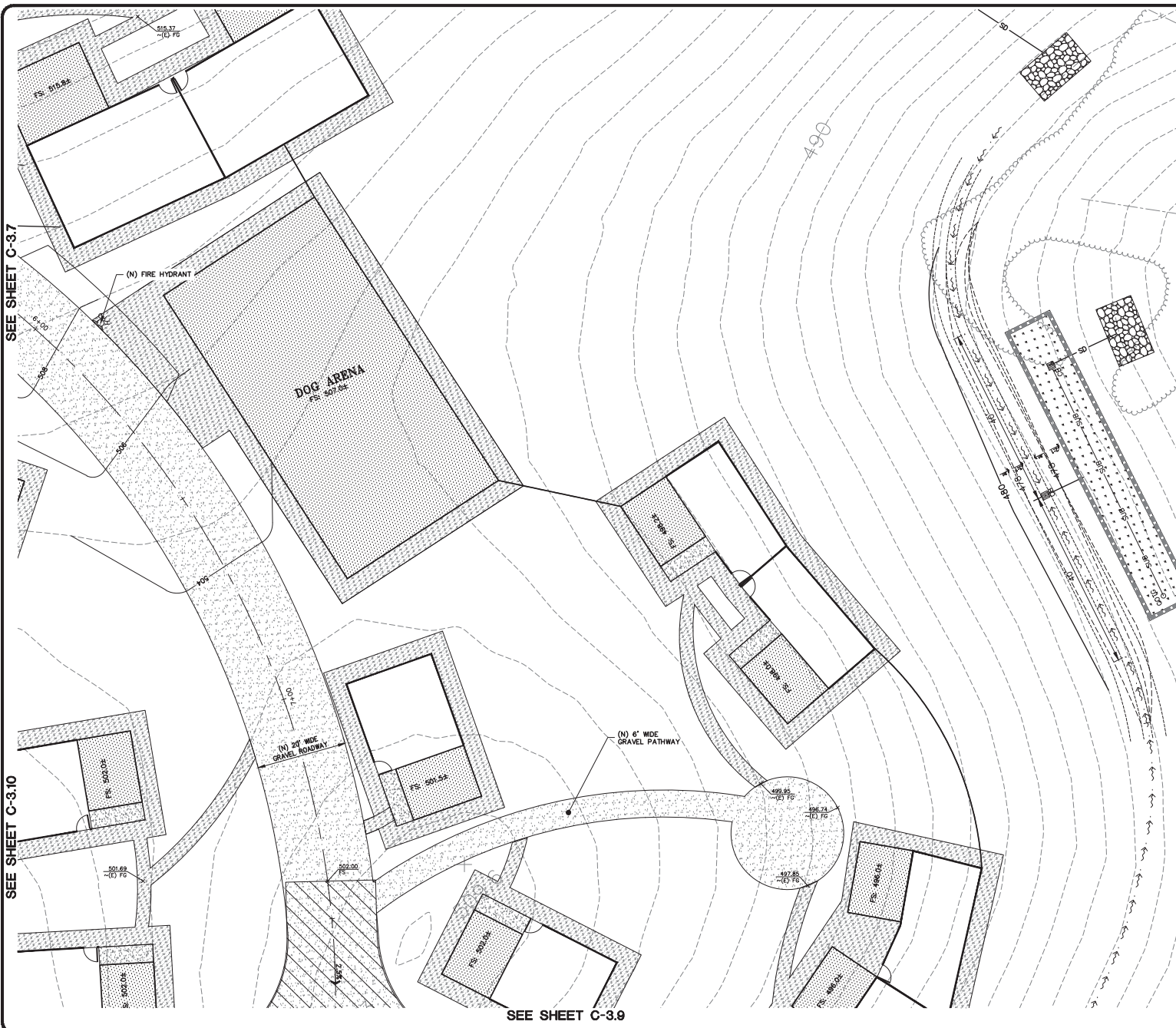
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C-3.7

11 OF 54 SHEETS



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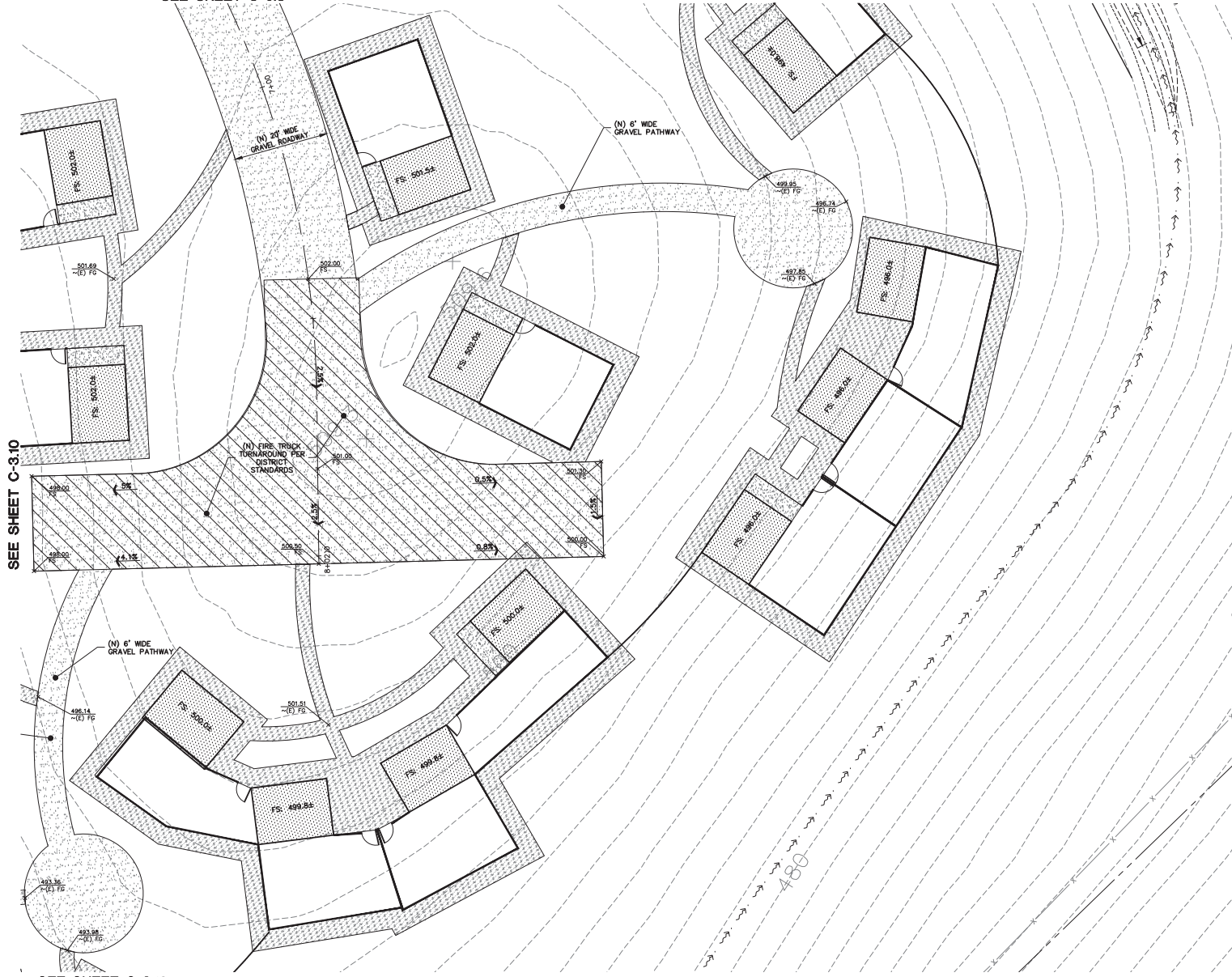
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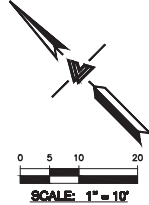
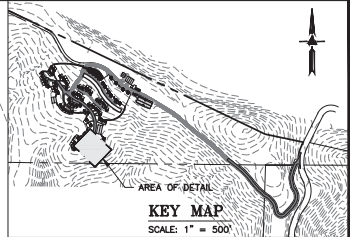
C-3.8

SEE SHEET C-3.8



SEE SHEET C-3.10

SEE SHEET C-3.10



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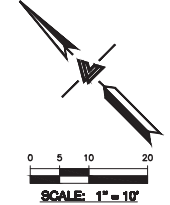
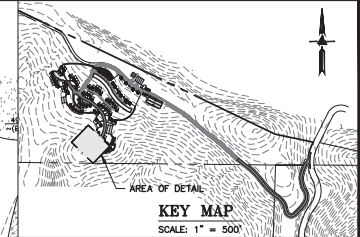
C-3.9

13 OF 54 SHEETS

SEE SHEET C-3.8



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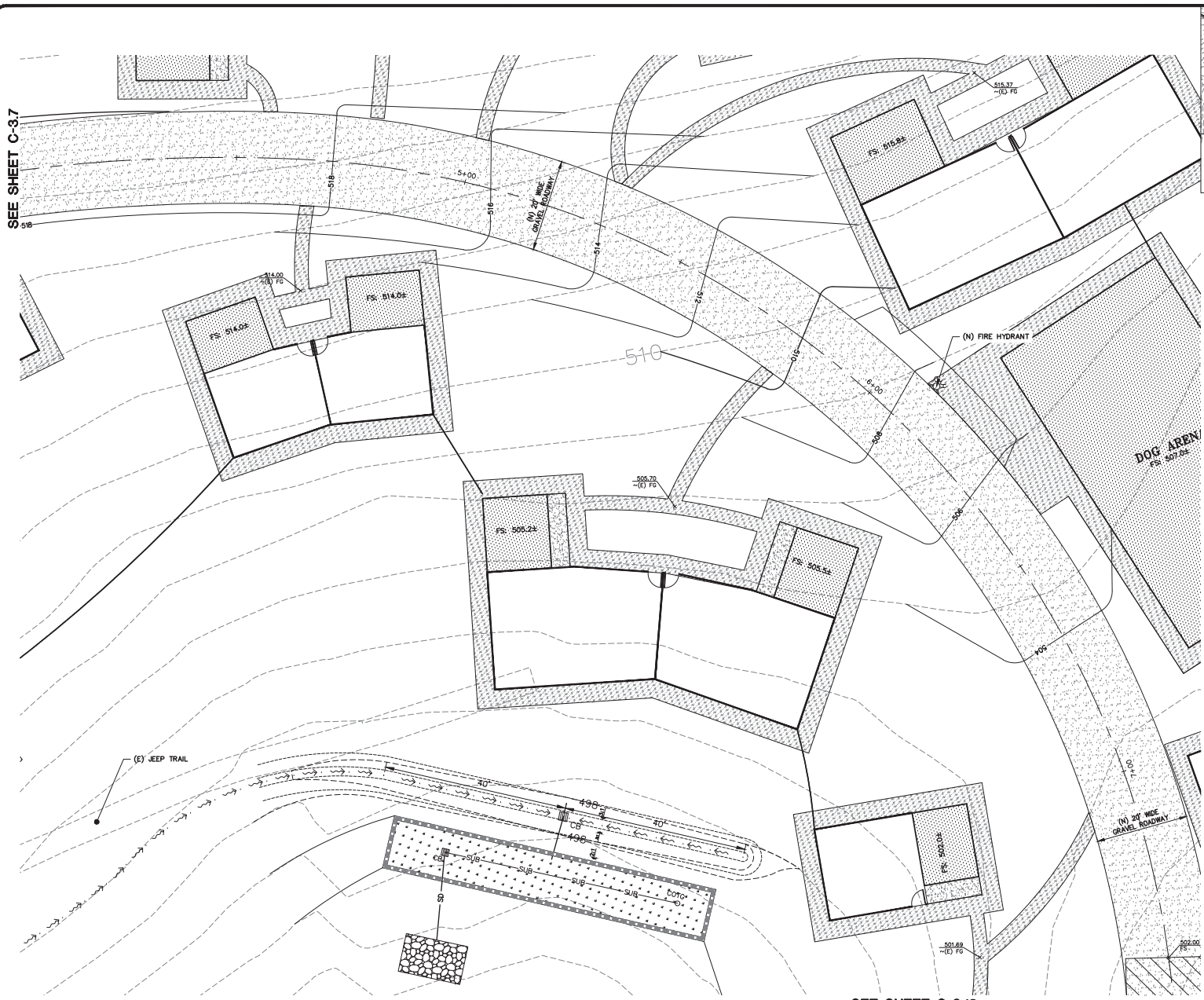
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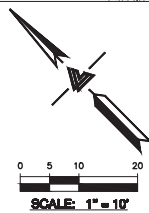
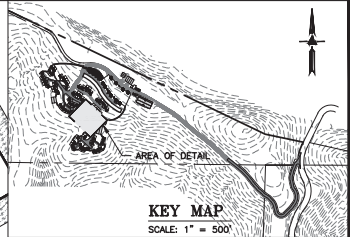
C-3.10
 14 OF 54 SHEETS

SEE SHEET C-37



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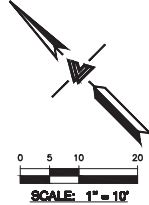
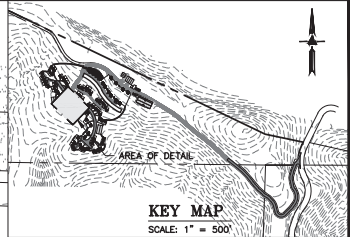
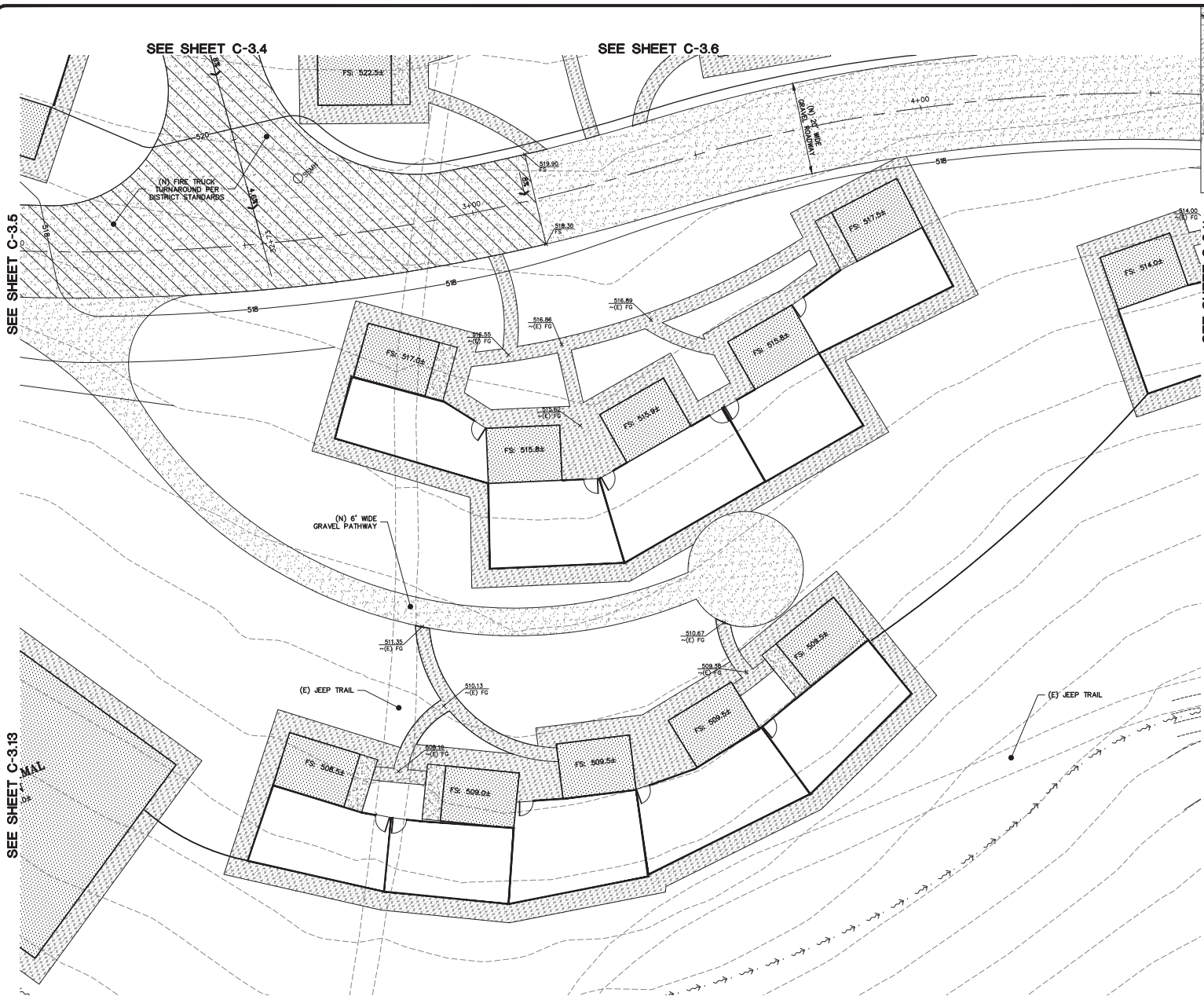
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15 OF 54 SHEETS



FLATWORK
 FINISHED GRADES AT BUILDING PERIMETER SHALL BE SLOPED AT A MINIMUM OF 2% FOR THE FIRST 10' AWAY FROM THE BUILDING PER CSC 1804.4 OR TO AN APPROVED DRAINAGE SWALE OR STRUCTURE. GRADES SHALL CONTINUE TO SLOPE TOWARDS POSITIVE DRAINAGE AND A POSITIVE OUTFALL. MAINTAIN 8" CLEARANCE BETWEEN FINISH EARTHEN GRADE AND BOTTOM OF MUD SILL AT ALL TIMES PER CSC 2304.11.2 UNLESS STRUCTURAL DETAILING ALLOWS LESS. REFER TO STRUCTURAL PLANS FOR FOUNDATION DESIGN AND DETAILS.

PROVIDE 2% (1% MIN.) SLOPE ACROSS FLAT WORK AND/OR PAVING PER CSC 1804.4. SLOPE TOWARDS POSITIVE DRAINAGE AS SHOWN ON PLAN.

- (N) AC ACCESS ROAD/DRIVEWAY.
- (N) GRAVEL PAVING.
- (N) HARDSCAPE, PATIOS, AND WALKWAYS.
- (N) DECOMPOSED GRANITE WALKWAY.

DEMOLITION
 DEMOLISH (E) IMPROVEMENTS AS NECESSARY TO ACCOMMODATE (N) CONSTRUCTION. NO DEMOLITION SHALL COMMENCE WITHOUT REQUIRED DEMOLITION PERMITS.

REMOVE (E) TREE. CONTRACTOR SHALL OBTAIN THE PROPER TREE REMOVAL PERMITS AS REQUIRED.

PROVIDE TREE PROTECTION AROUND TREES TO REMAIN.

NOTE:
 FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ASAYA AT LEA & BRAZE ENGINEERING (651)887-4686 EXT 116. asaya@leabraze.com

*** BUILDING PAD NOTE:**
 ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD LEVEL.



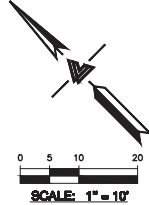
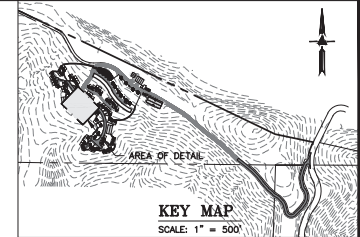
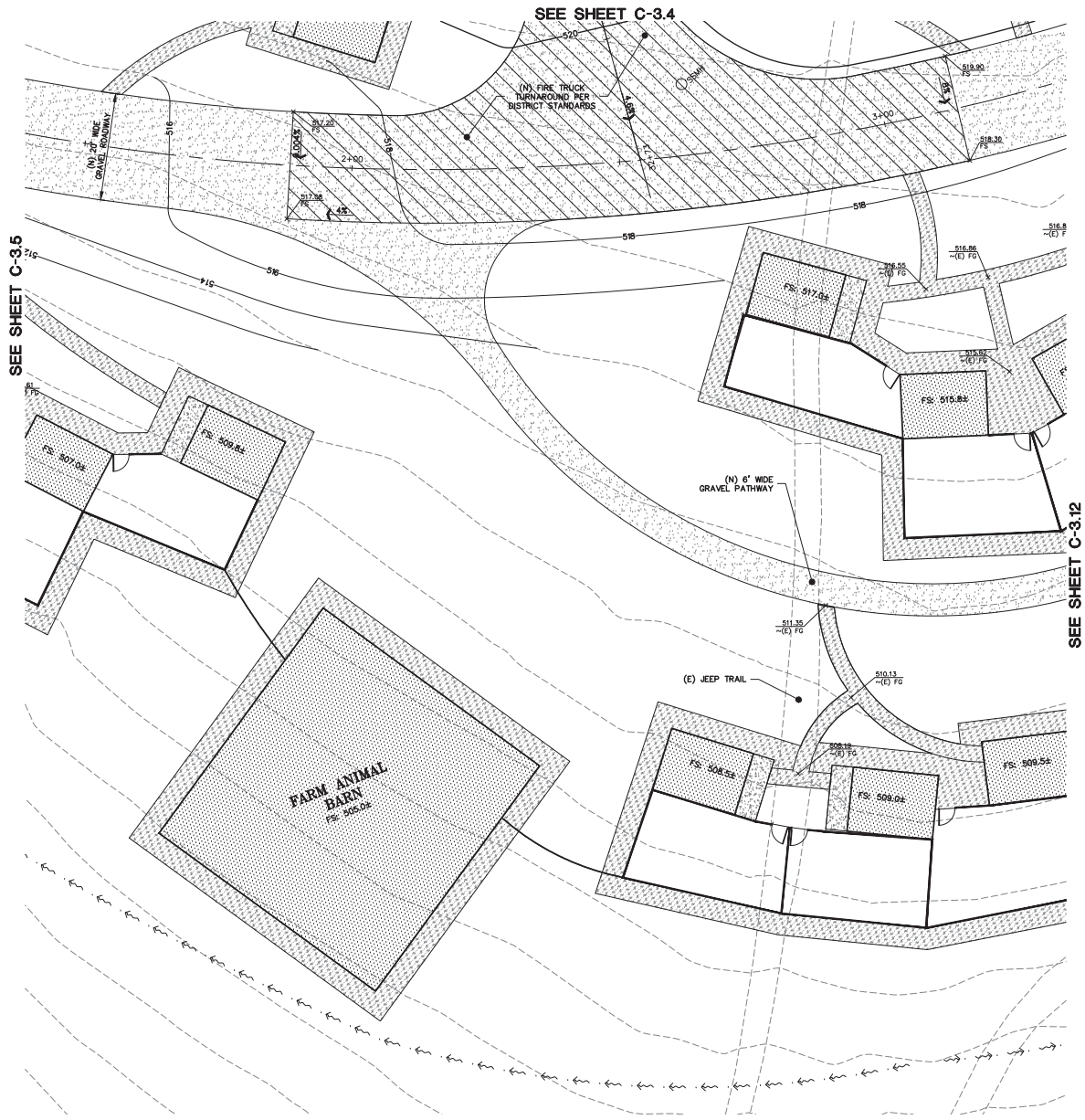
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GRADING & DRAINAGE PLAN

USE PERMIT RESUBMITTAL 08/01/22	TB
USE PERMIT RESUBMITTAL 01/12/22	TB
REVISIONS	BY
JOB NO:	2201144
DATE:	07/12/21
SCALE:	1" = 10'
DESIGN BY:	TB
CHECKED BY:	CA
SHEET NO:	

C-3.12
 16 OF 54 SHEETS



FLATWORK
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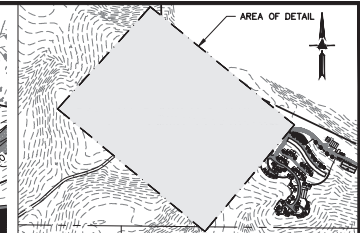
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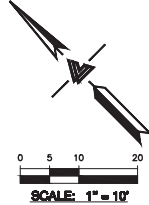
GRADING & DRAINAGE PLAN

USE PERMIT RESUBMITTAL 08/03/22	TB
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SCALE:	1" = 10'
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SHEET NO:	

C-3.13
 17 OF 54 SHEETS



SEE SHEET C-3.4



FLATWORK
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NOTE:
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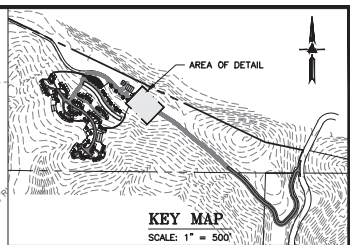
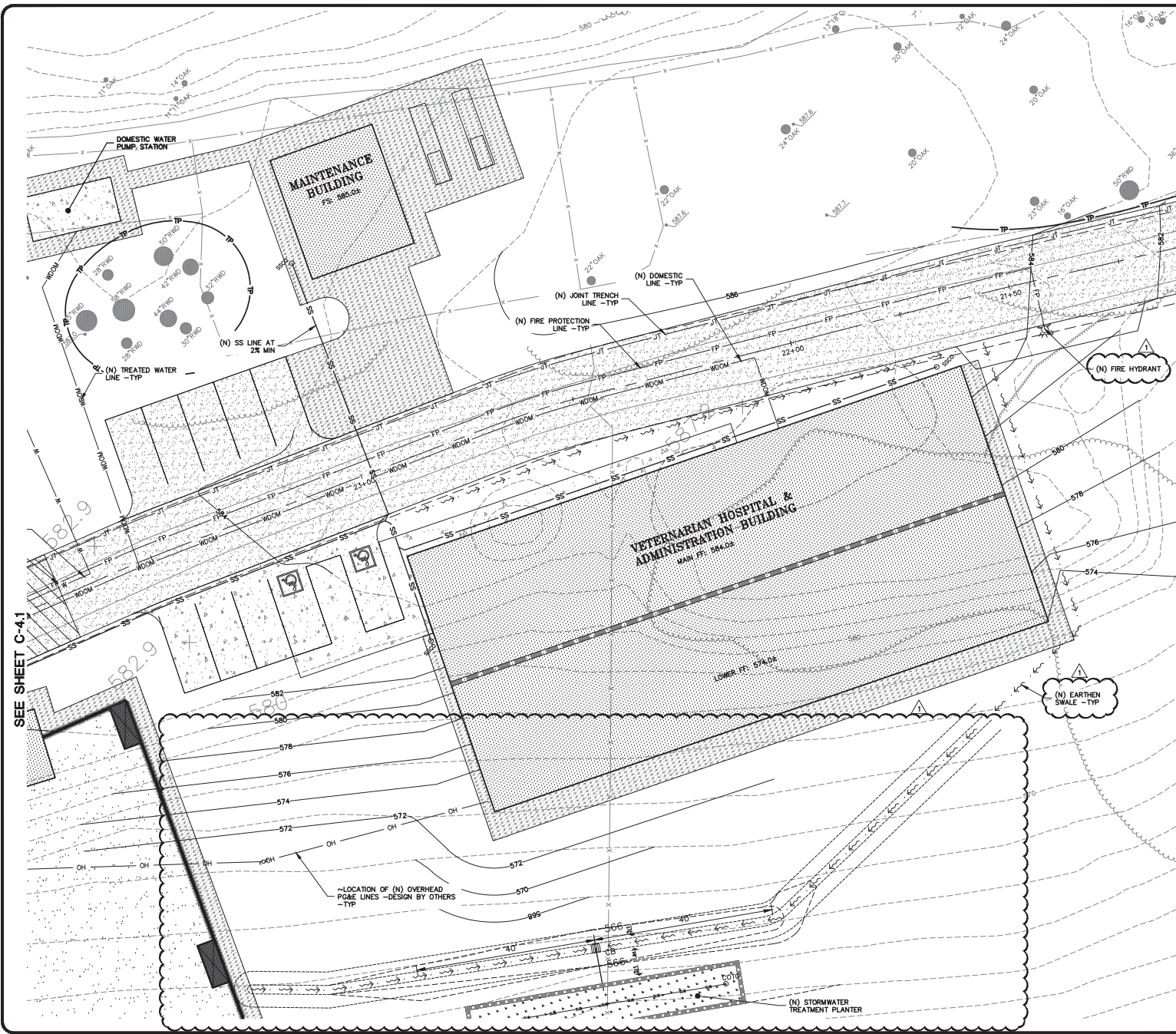
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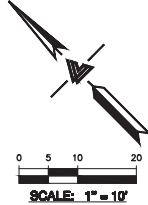
GRADING & DRAINAGE PLAN

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C-3.14
 18 OF 54 SHEETS



NOTE:
FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING (510)887-4086 EXT 116. abaya@leabraze.com



STORM DRAIN
(N) ACCESS ROAD/DRIVEWAY EDGE DRAIN.
(N) ON-SITE STORM WATER BIO-RETENTION AREA (BTA).
INSTALL (N) RIP-RAP ENERGY DISSIPATER, (N) ROCKED LINE SWALE.
(N) EARTHEN SWALE.

UTILITIES
(N) SEPTIC TANK. REFER TO THE SEPTIC PLANS BY LEA & BRAZE ENGINEERING FOR FINAL TANK SIZE AND LOCATION.
(N) LEACH FIELD. REFER TO THE SEPTIC PLANS BY LEA & BRAZE ENGINEERING FOR FINAL FIELD LAYOUT AND LOCATION.
(N) HOLDING TANK WITH LIFT PUMP. REFER TO THE SEPTIC PLANS BY LEA & BRAZE ENGINEERING FOR FINAL TANK SIZE AND LOCATION.
(N) PRESSURE LINE FOR SEPTIC TANK EFFLUENT. REFER TO THE SEPTIC PLANS BY LEA & BRAZE ENGINEERING FOR FINAL PIPE SIZING REQUIREMENTS.
INSTALL (N) SANITARY SEWER LATERAL. USE 6" PVC (SDR-26) SLOPED AT 1% MINIMUM. CONNECT TO (N) LATERAL AND CLEANOUT AS SHOWN. PROVIDE CLEANOUT TO GRADE AT BUILDING AND AT MAJOR CHANGES IN DIRECTION AS SHOWN. CONNECT TO THE (N) SEPTIC TANKS AS SHOWN, AND INSTALL PER DISTRICT STANDARDS.
(N) DEDICATED NEUTRALIZING TANK. REFER TO MECHANICAL PLANS FOR SIZING CRITERIA AND MODEL SELECTION.
(N) SITE WELL. RUN SUPPLY LINE FROM THE WELL TO THE ON-SITE WATER STORAGE TANKS (DOMESTIC / FIRE PROTECTION).
(N) ON-SITE WATER TANK DEDICATED FOR FIRE PROTECTION. REFER TO MECHANICAL PLANS FOR DETAILS ON TANK CONFIGURATION AND PIPE DETAILS.
(N) ON-SITE WATER TANK DEDICATED FOR DOMESTIC SERVICE. REFER TO MECHANICAL PLANS FOR DETAILS ON TANK CONFIGURATION AND PIPE DETAILS.
(N) FIRE PROTECTION WATER LINE.
(N) ON-SITE FIRE HYDRANT.
(N) DOMESTIC WATER LINE.
(N) RAW WATER LINE.
(N) TREATED WATER LINE.
(N) PAD MOUNTED TRANSFORMER. FINAL LOCATION TO BE COORDINATED WITH PG&E. REFER TO MECHANICAL PLANS FOR DETAILS.

SEE SHEET C-4.1



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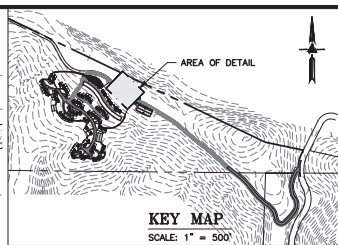
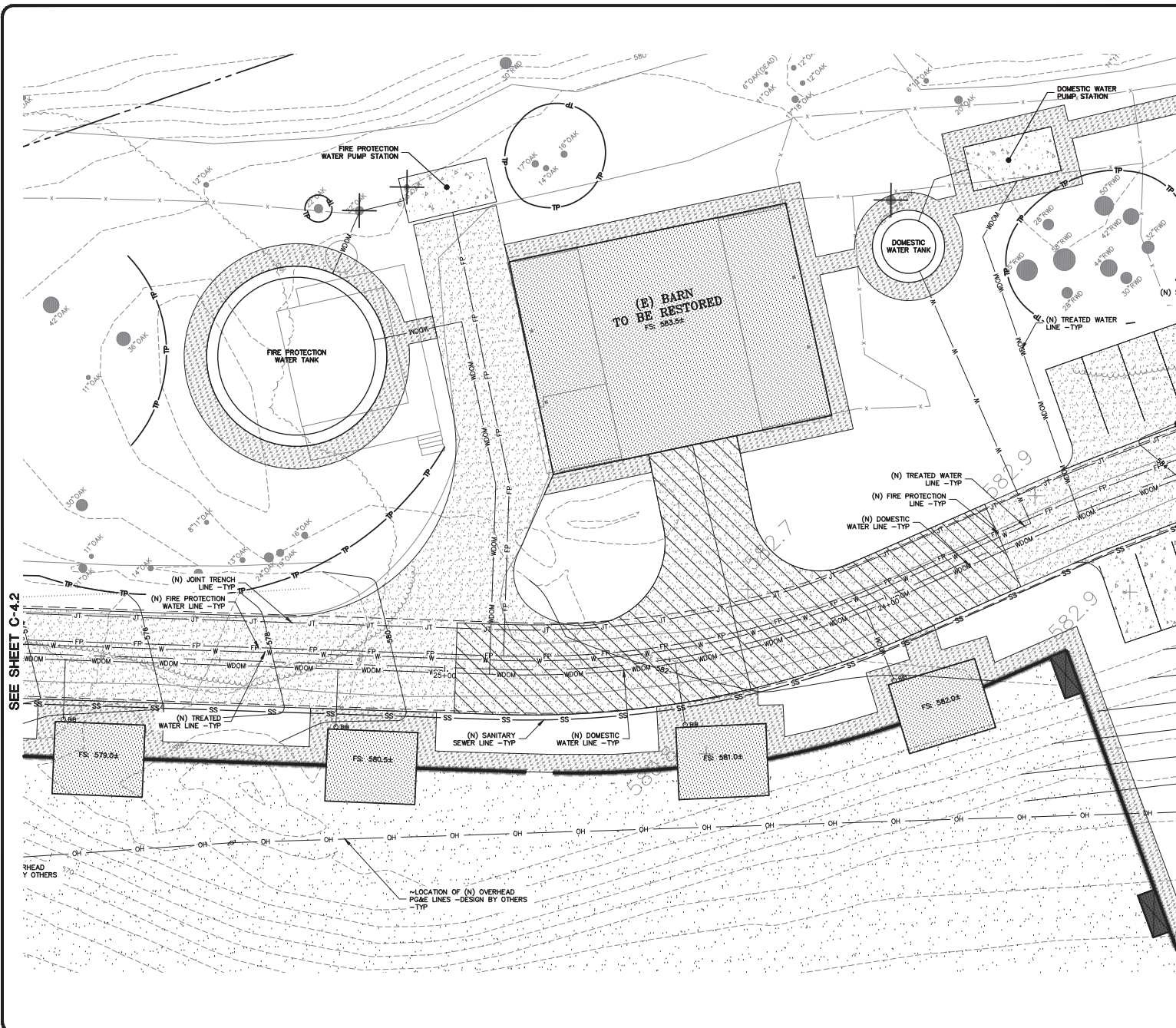
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UTILITY PLAN

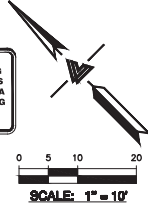
REVISIONS	BY
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19 OF 54 SHEETS



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 PLEASE CONTACT ALEX ABRA
 AT LEA & BRAZE ENGINEERING
 (510)887-4086 EXT 116.
 aabray@leabrazee.com



STORM DRAIN
 (N) ACCESS ROAD/DRIVEWAY EDGE DRAIN.
 (N) ON-SITE STORM WATER BIO-RETENTION AREA (BTA).
 INSTALL (N) RIP-RAP ENERGY DISSIPATER, (N) ROCKED LINE SWALE.
 (N) EARTHEN SWALE.

UTILITIES
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(N) SITE WELL. RUN SUPPLY LINE FROM THE WELL TO THE ON-SITE WATER STORAGE TANKS (DOMESTIC / FIRE PROTECTION).

(N) ON-SITE WATER TANK DEDICATED FOR FIRE PROTECTION. REFER TO MECHANICAL PLANS FOR DETAILS ON TANK CONFIGURATION AND PIPE DETAILS.

(N) ON-SITE WATER TANK DEDICATED FOR DOMESTIC SERVICE. REFER TO MECHANICAL PLANS FOR DETAILS ON TANK CONFIGURATION AND PIPE DETAILS.

(N) FIRE PROTECTION WATER LINE.

(N) ON-SITE FIRE HYDRANT.

(N) DOMESTIC WATER LINE.

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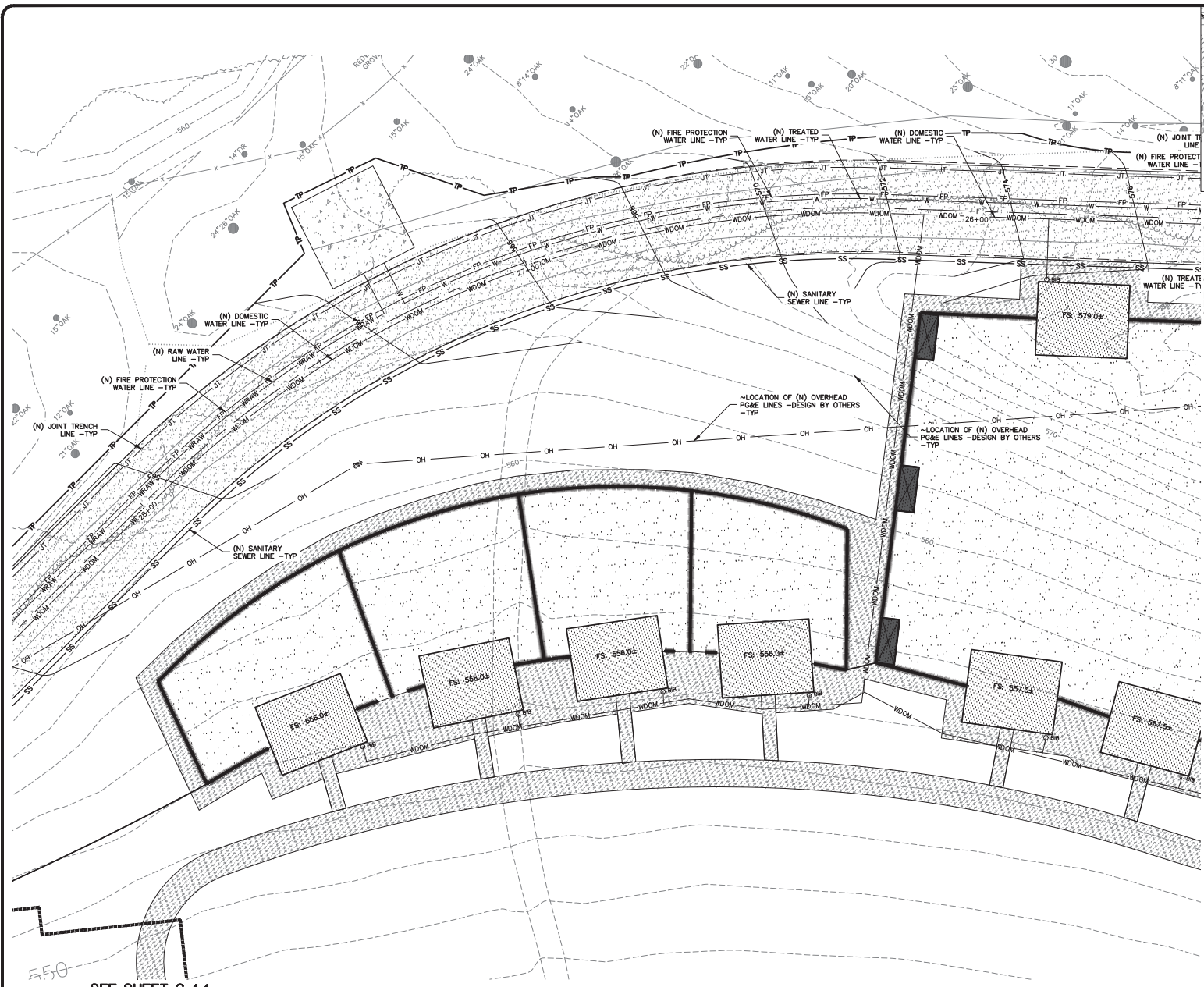
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UTILITY PLAN

REVISIONS	BY
USE PERMIT RESUBMITTAL 08/03/22	TB
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JOB NO: 2201144
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 20 OF 54 SHEETS

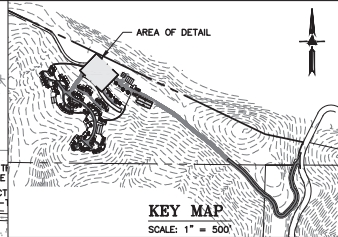


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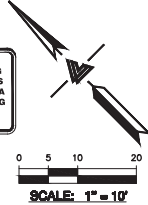
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SEE SHEET C-4.4



NOTE:
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PLEASE CONTACT ALEX ABAYIA
AT LEA & BRAZE ENGINEERING
(510)887-4086 EXT 116.
aabayia@leabrazee.com



STORM DRAIN
(N) ACCESS ROAD/DRIVEWAY EDGE DRAIN.
(N) ON-SITE STORM WATER BIO-RETENTION AREA (BTA).
INSTALL (N) RIP-RAP ENERGY DISSIPATER. (N) ROCKED LINE SWALE.
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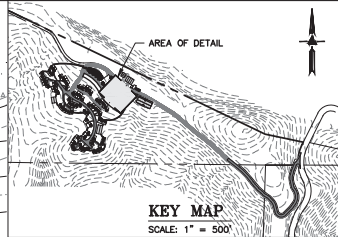
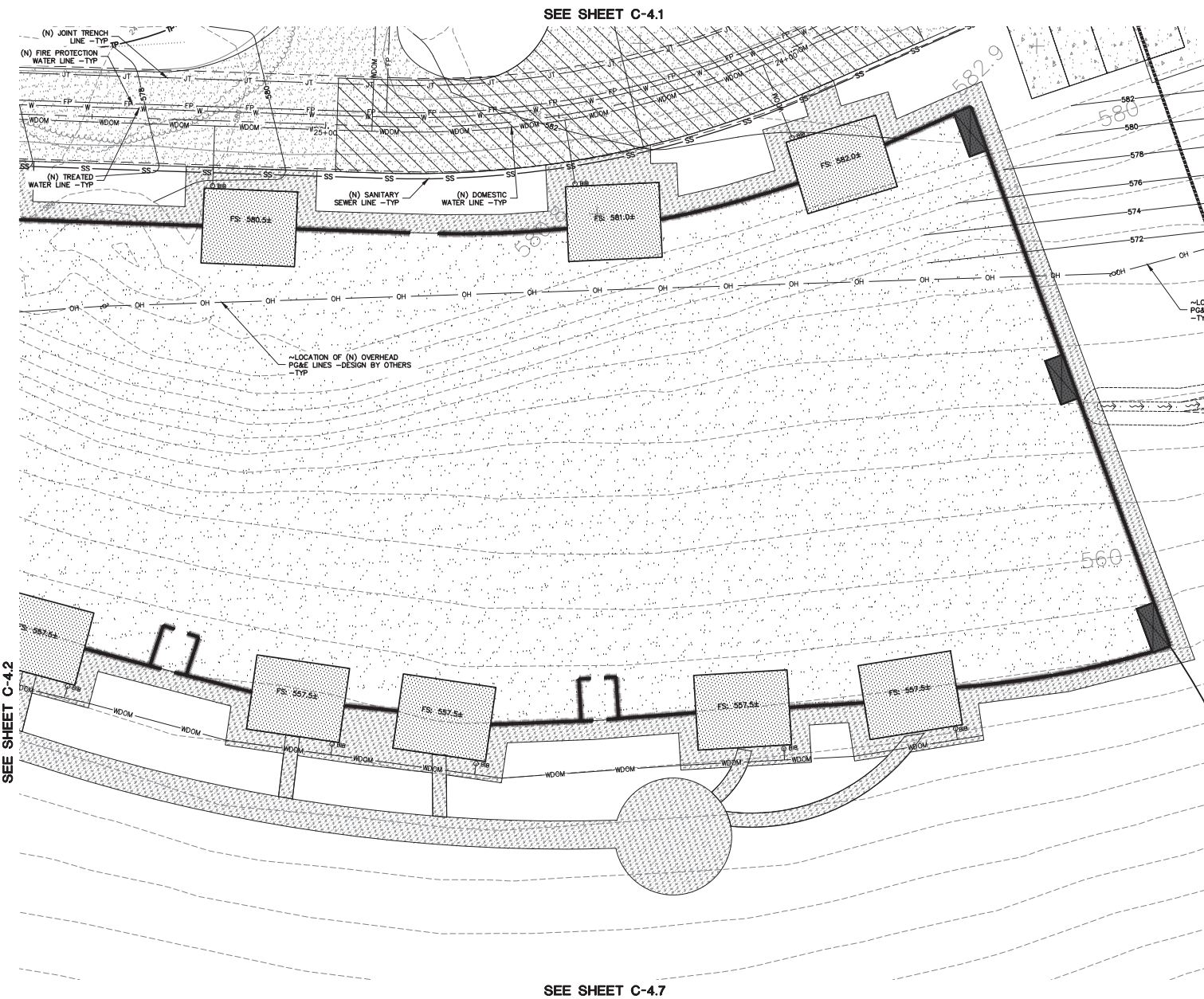
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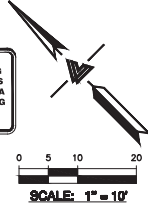
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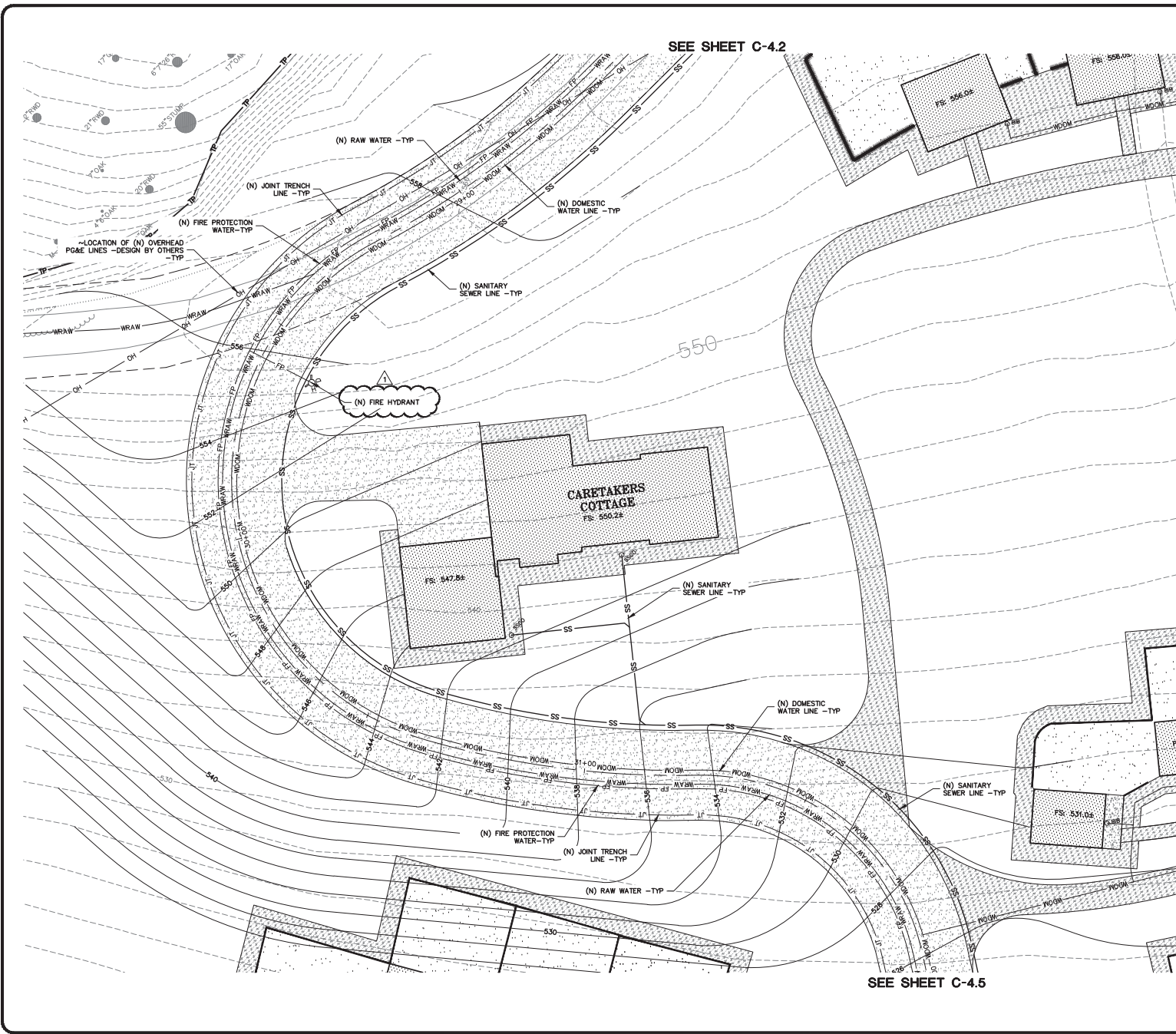
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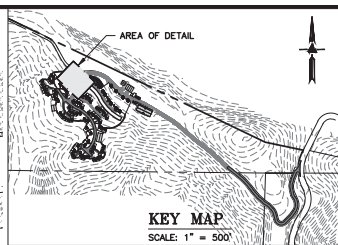
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SHEET NO:



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SEE SHEET C-4.5

SEE SHEET C-4.6



NOTE:
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(510)887-4086 EXT 116.
aabaya@leabrazo.com



STORM DRAIN
(N) ACCESS ROAD/DRIVEWAY EDGE DRAIN.
(N) ON-SITE STORM WATER BIO-RETENTION AREA (BTA).
INSTALL (N) RIP-RAP ENERGY DISSIPATER. (N) ROCKED LINE SWALE.
(N) EARTHEN SWALE.

UTILITIES
(N) SEPTIC TANK. REFER TO THE SEPTIC PLANS BY LEA & BRAZE ENGINEERING FOR FINAL TANK SIZE AND LOCATION.
(N) LEACH FIELD. REFER TO THE SEPTIC PLANS BY LEA & BRAZE ENGINEERING FOR FINAL FIELD LAYOUT AND LOCATION.
(N) HOLDING TANK WITH LIFT PUMP. REFER TO THE SEPTIC PLANS BY LEA & BRAZE ENGINEERING FOR FINAL TANK SIZE AND LOCATION.
(N) PRESSURE LINE FOR SEPTIC TANK EFFLUENT. REFER TO THE SEPTIC PLANS BY LEA & BRAZE ENGINEERING FOR FINAL PIPE SIZING REQUIREMENTS.
INSTALL (N) SANITARY SEWER LATERAL. USE 6" PVC (SDR-26 SLOPED AT 1% MINIMUM. CONNECT TO (N) LATERAL AND CLEANOUT AS SHOWN. PROVIDE CLEANOUT TO GRADE AT BUILDING AND AT MAJOR CHANGES IN DIRECTION AS SHOWN. CONNECT TO THE (N) SEPTIC TANKS AS SHOWN. AND INSTALL PER DISTRICT STANDARDS.
(N) DEDICATED NEUTRALIZING TANK. REFER TO MECHANICAL PLANS FOR SIZING CRITERIA AND MODEL SELECTION.
(N) SITE WELL. RUN SUPPLY LINE FROM THE WELL TO THE ON-SITE WATER STORAGE TANKS (DOMESTIC / FIRE PROTECTION).
(N) ON-SITE WATER TANK DEDICATED FOR FIRE PROTECTION. REFER TO MECHANICAL PLANS FOR DETAILS ON TANK CONFIGURATION AND PIPE DETAILS.
(N) ON-SITE WATER TANK DEDICATED FOR DOMESTIC SERVICE. REFER TO MECHANICAL PLANS FOR DETAILS ON TANK CONFIGURATION AND PIPE DETAILS.
(N) FIRE PROTECTION WATER LINE.
(N) ON-SITE FIRE HYDRANT.
(N) DOMESTIC WATER LINE.
(N) RAW WATER LINE.
(N) TREATED WATER LINE.
(N) PAD MOUNTED TRANSFORMER. FINAL LOCATION TO BE COORDINATED WITH PG&E. REFER TO MECHANICAL PLANS FOR DETAILS



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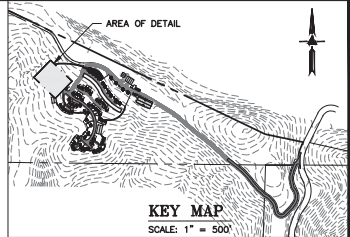
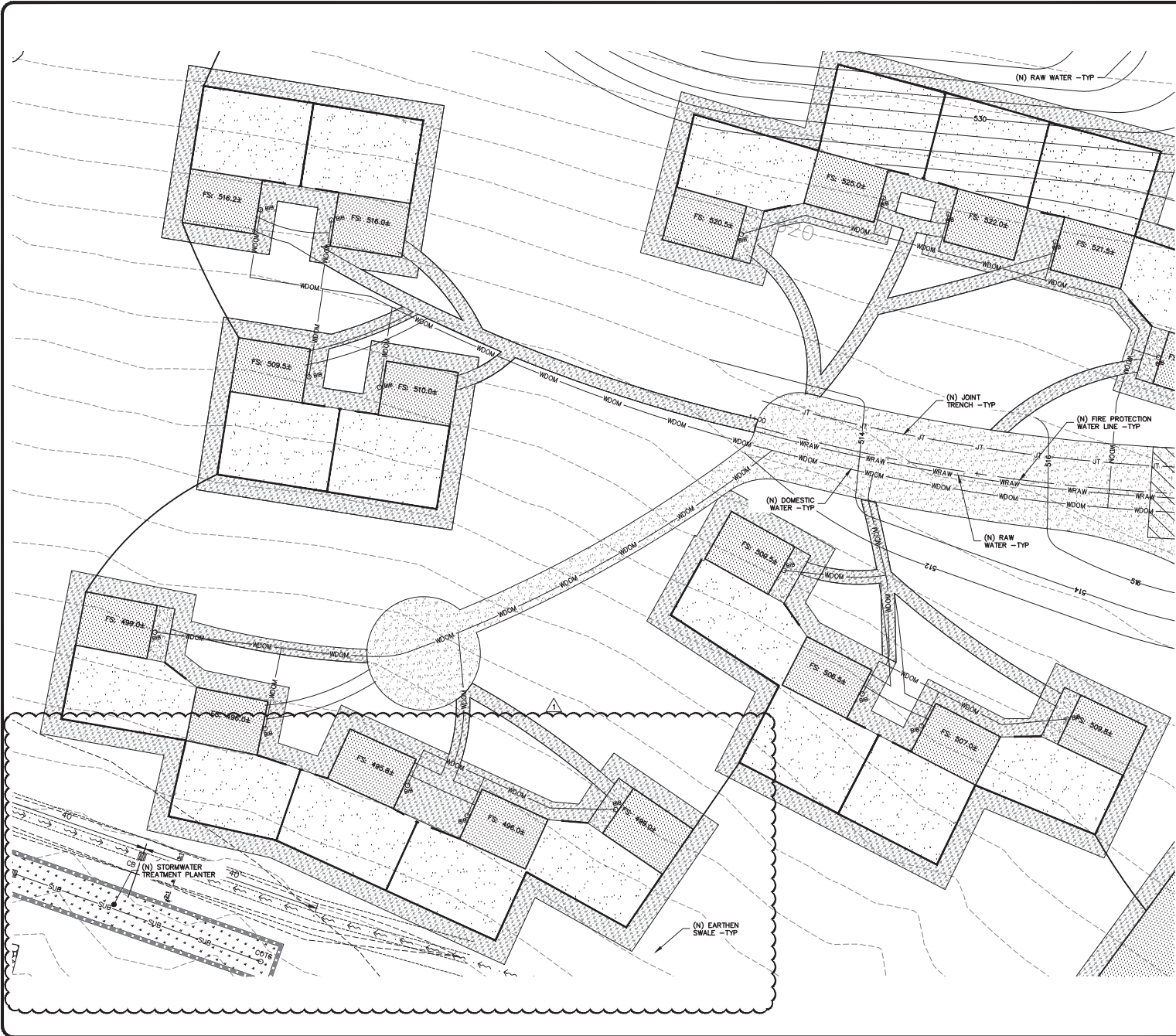
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UTILITY PLAN

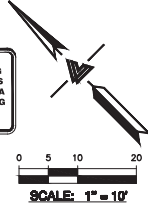
REVISIONS	BY
USE PERMIT RESUBMITTAL 08/03/22	TB
USE PERMIT RESUBMITTAL 01/12/22	TB

JOB NO: 2201144
DATE: 07/12/21
SCALE: 1" = 10'
DESIGN BY: TB
CHECKED BY: CA
SHEET NO:

C-4.4
23 OF 54 SHEETS



NOTE:
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aabaya@leabraze.com



SCALE: 1" = 10'

STORM DRAIN
(N) ACCESS ROAD/DRIVEWAY EDGE DRAIN.
(N) ON-SITE WATER BIO-RETENTION AREA (BTA).
INSTALL (N) RIP-RAP ENERGY DISSIPATER, (N) ROCKED LINE SWALE.
(N) EARTHEN SWALE.

UTILITIES
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(N) LEACH FIELD. REFER TO THE SEPTIC PLANS BY LEA & BRAZE ENGINEERING FOR FINAL FIELD LAYOUT AND LOCATION.
(N) HOLDING TANK WITH LIFT PUMP. REFER TO THE SEPTIC PLANS BY LEA & BRAZE ENGINEERING FOR FINAL TANK SIZE AND LOCATION.
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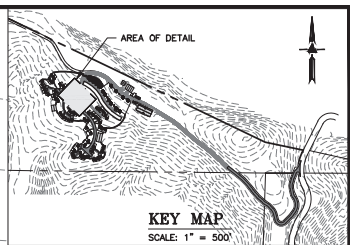
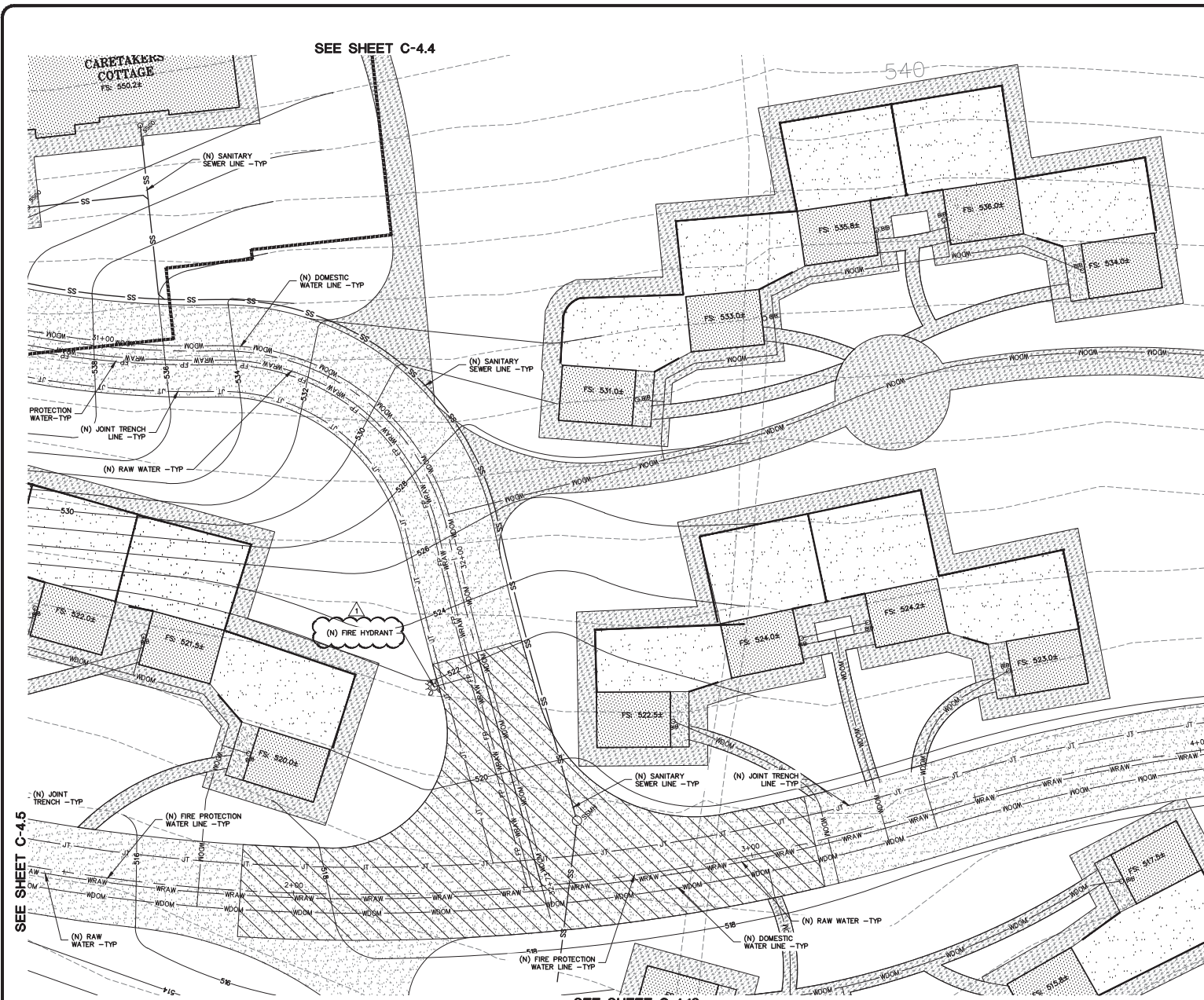
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C-4.5
24 OF 54 SHEETS



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PLEASE CONTACT ALEX ADAMI
AT LEA & BRAZE ENGINEERING
(510)887-4086 EXT 116.
aabadami@leabrazee.com



- STORM DRAIN**
- (N) ACCESS ROAD/DRIVEWAY EDGE DRAIN.
 - (N) ON-SITE STORM WATER BIO-RETENTION AREA (BTA).
 - INSTALL (N) RIP-RAP ENERGY DISSIPATER, (N) ROCKED LINE SWALE.
 - (N) EARTHEN SWALE.

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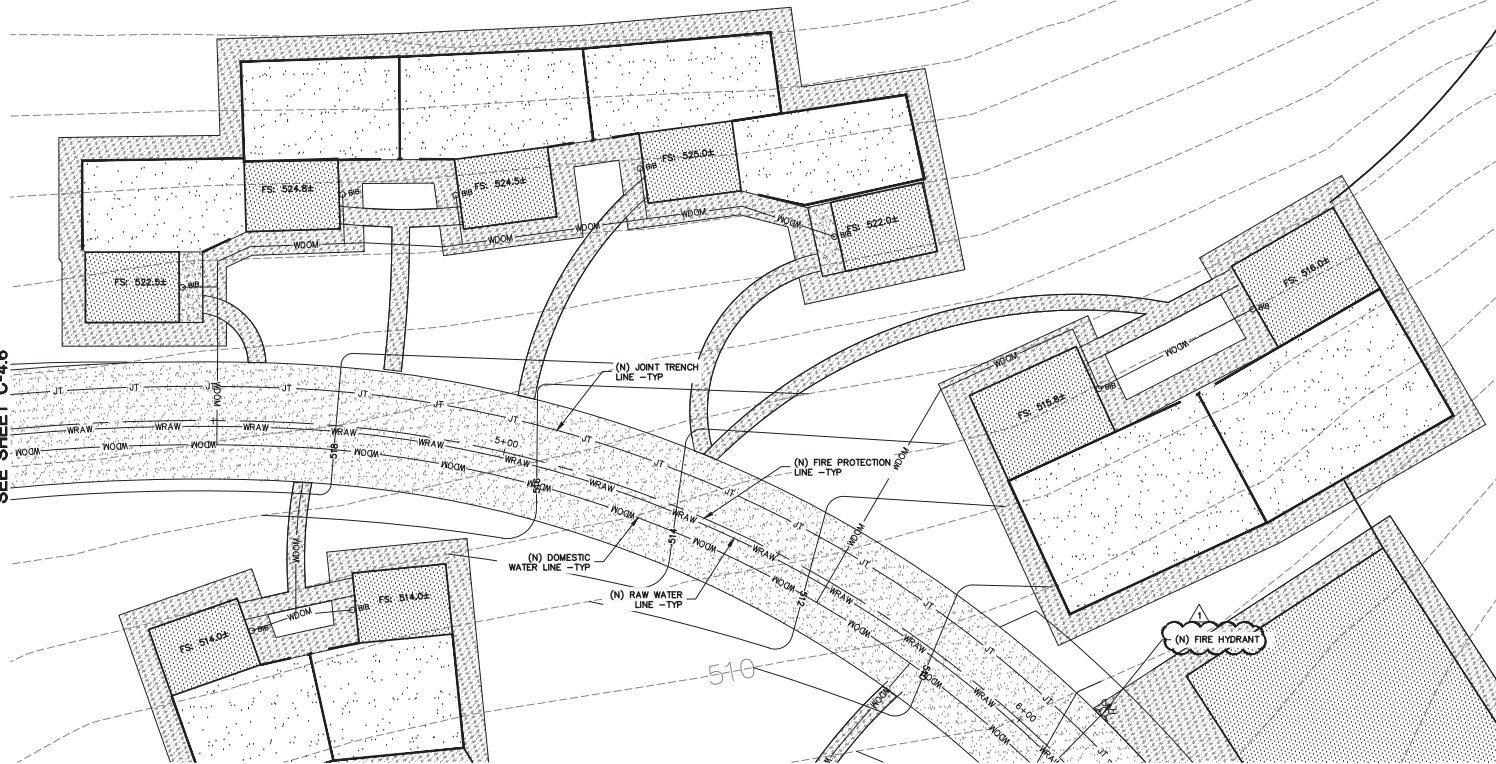
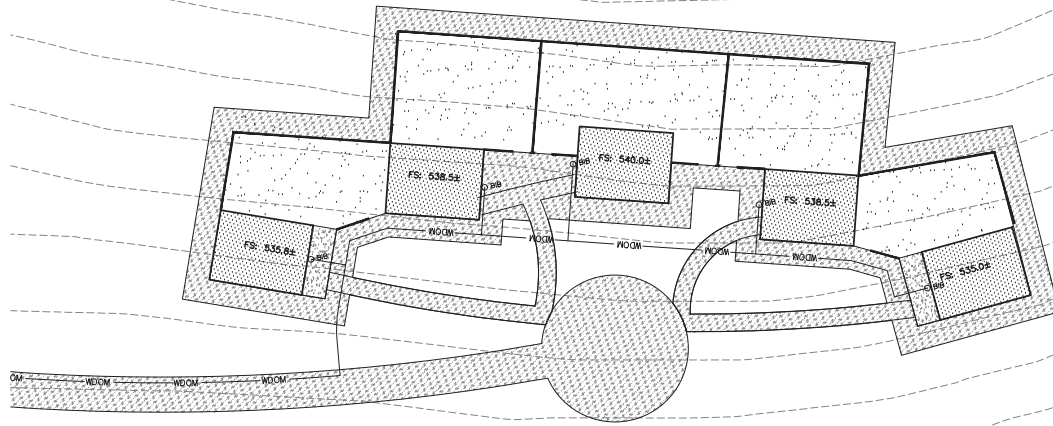
UTILITY PLAN

REVISIONS	BY
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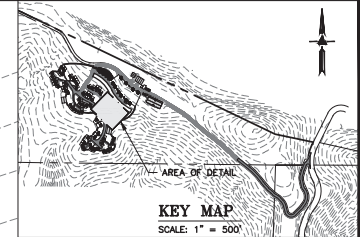
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SCALE: 1" = 10'
DESIGN BY: TB
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SHEET NO:

C-4.6
25 OF 54 SHEETS

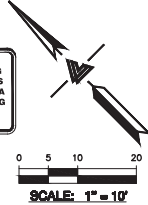
SEE SHEET C-4.3



SEE SHEET C-4.8



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aabada@leabraze.com



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 - (N) EARTHEN SWALE.

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SEE SHEET C-4.6



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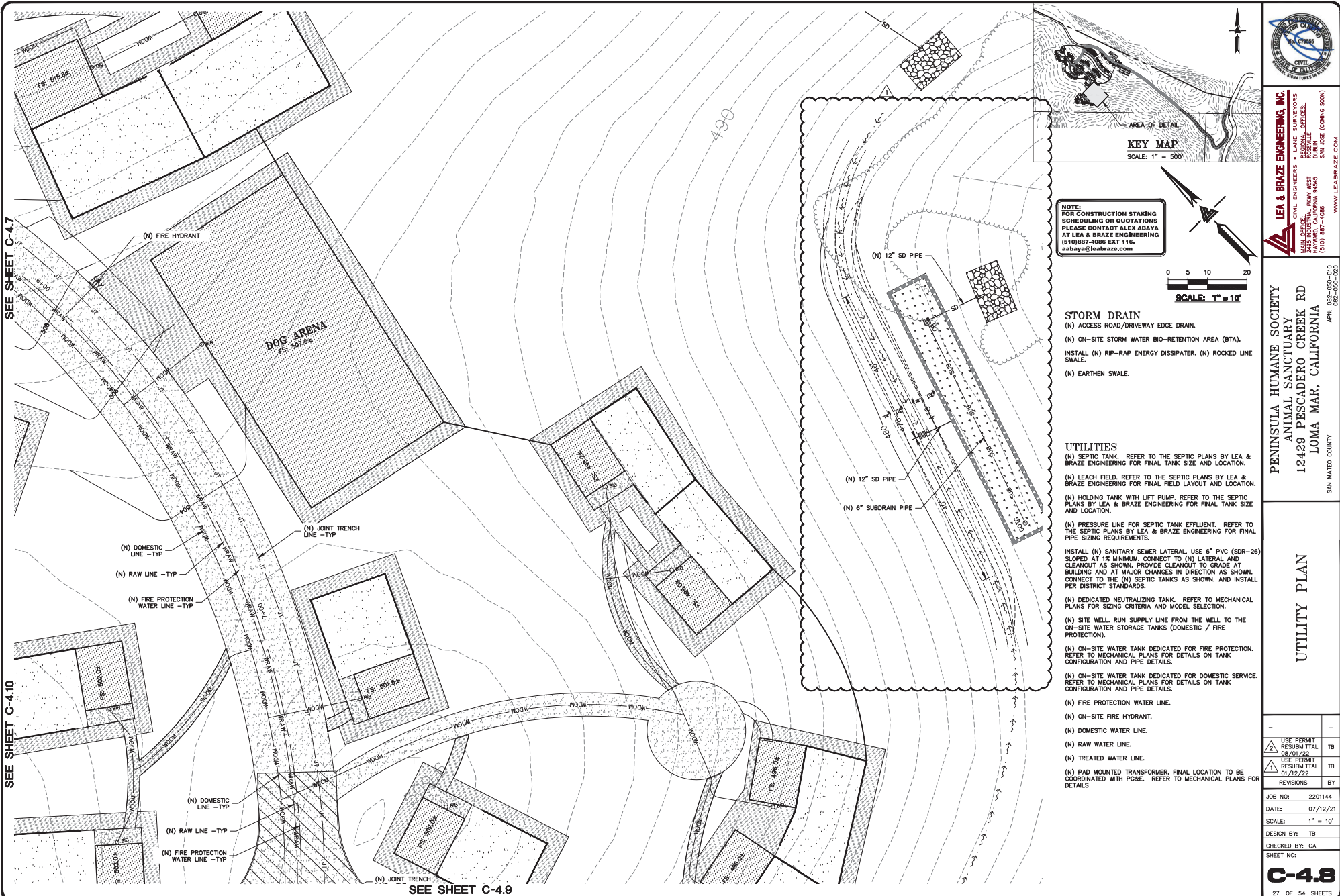
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UTILITY PLAN

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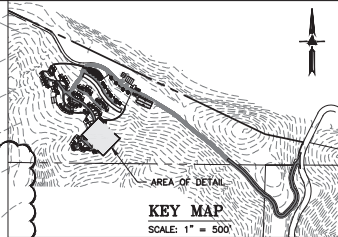
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26 OF 54 SHEETS



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SEE SHEET C-4.10

SEE SHEET C-4.9



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STORM DRAIN
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INSTALL (N) RIP-RAP ENERGY DISSIPATER, (N) ROCKED LINE SWALE.
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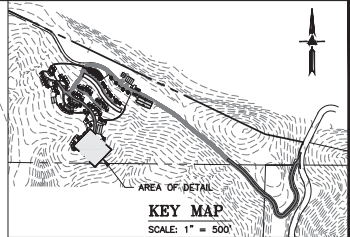
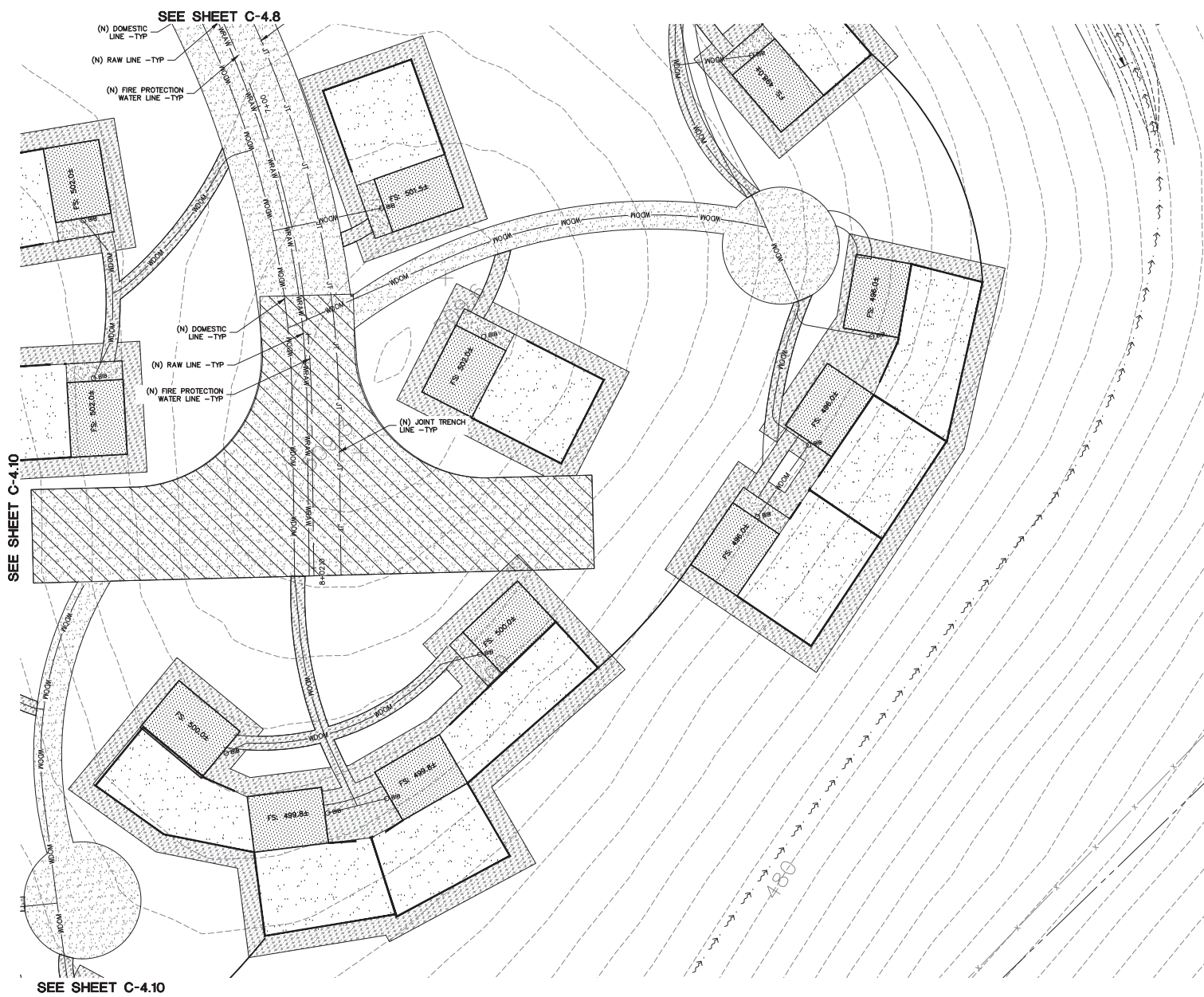
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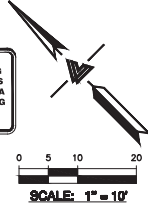
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C-4.9
 28 OF 54 SHEETS

(N) 12" SD PIPE

SEE SHEET C-4.8

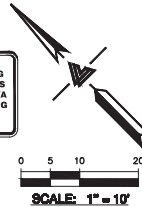
- (N) DOMESTIC LINE -TYP
- (N) RAW LINE -TYP
- (N) FIRE PROTECTION WATER LINE -TYP

(N) JOINT TRENCH LINE -TYP

SEE SHEET C-4.9

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KEY MAP
SCALE: 1" = 500'



STORM DRAIN

- (N) ACCESS ROAD/DRIVEWAY EDGE DRAIN.
- (N) ON-SITE STORM WATER BIO-RETENTION AREA (BTA).
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- (N) DEDICATED NEUTRALIZING TANK. REFER TO MECHANICAL PLANS FOR SIZING CRITERIA AND MODEL SELECTION.
- (N) SITE WELL. RUN SUPPLY LINE FROM THE WELL TO THE ON-SITE WATER STORAGE TANKS (DOMESTIC / FIRE PROTECTION).
- (N) ON-SITE WATER TANK DEDICATED FOR FIRE PROTECTION. REFER TO MECHANICAL PLANS FOR DETAILS ON TANK CONFIGURATION AND PIPE DETAILS.
- (N) ON-SITE WATER TANK DEDICATED FOR DOMESTIC SERVICE. REFER TO MECHANICAL PLANS FOR DETAILS ON TANK CONFIGURATION AND PIPE DETAILS.
- (N) FIRE PROTECTION WATER LINE.
- (N) ON-SITE FIRE HYDRANT.
- (N) DOMESTIC WATER LINE.
- (N) RAW WATER LINE.
- (N) TREATED WATER LINE.
- (N) PAD MOUNTED TRANSFORMER. FINAL LOCATION TO BE COORDINATED WITH PG&E. REFER TO MECHANICAL PLANS FOR DETAILS



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PENINSULA HUMANE SOCIETY
 ANIMAL SANCTUARY
 12429 PESCADERO CREEK RD
 LOMA MAR, CALIFORNIA
 SAN MATEO COUNTY
 APN: 082-050-010
 082-050-020

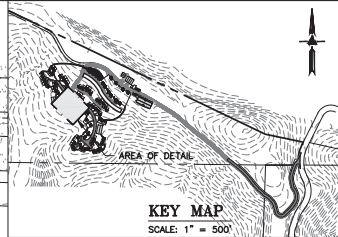
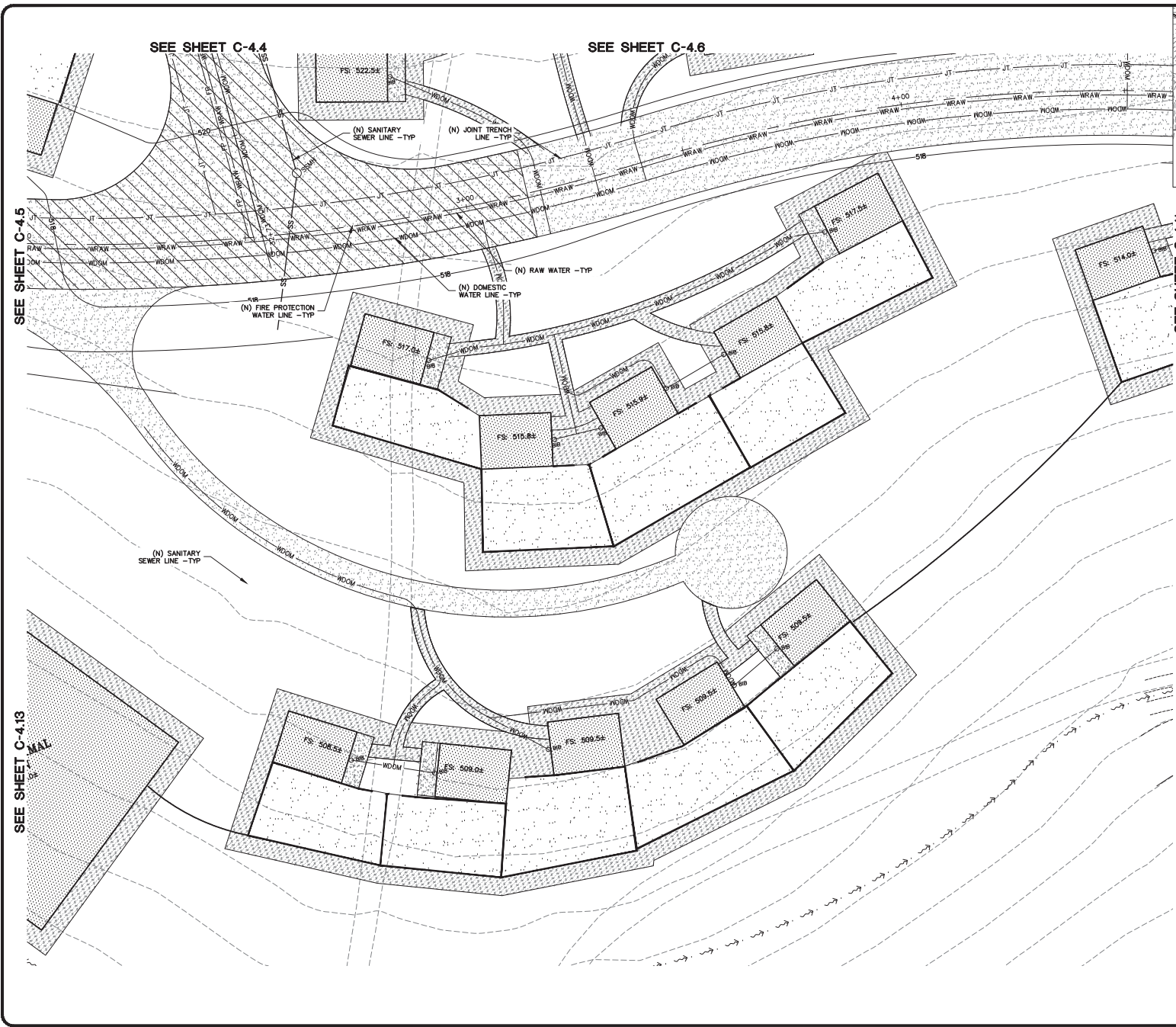
UTILITY PLAN

REVISIONS	BY
USE PERMIT RESUBMITTAL 08/03/22	TB
USE PERMIT RESUBMITTAL 01/12/22	TB

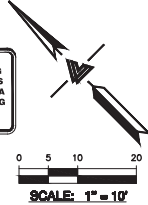
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 DATE: 07/12/21
 SCALE: 1" = 10'
 DESIGN BY: TB
 CHECKED BY: CA
 SHEET NO:

C-4.10

29 OF 54 SHEETS



NOTE:
FOR CONSTRUCTION STAKING
SCHEDULING OR QUOTATIONS
PLEASE CONTACT ALEX ABADA
AT LEA & BRAZE ENGINEERING
(510)887-4086 EXT 116.
aabaza@leabrazo.com



- STORM DRAIN**
- (N) ACCESS ROAD/DRIVEWAY EDGE DRAIN.
 - (N) ON-SITE WATER WATER BIO-RETENTION AREA (BTA).
 - INSTALL (N) RIP-RAP ENERGY DISSIPATER, (N) ROCKED LINE SWALE.
 - (N) EARTHEN SWALE.

- UTILITIES**
- (N) SEPTIC TANK. REFER TO THE SEPTIC PLANS BY LEA & BRAZE ENGINEERING FOR FINAL TANK SIZE AND LOCATION.
 - (N) LEACH FIELD. REFER TO THE SEPTIC PLANS BY LEA & BRAZE ENGINEERING FOR FINAL FIELD LAYOUT AND LOCATION.
 - (N) HOLDING TANK WITH LIFT PUMP. REFER TO THE SEPTIC PLANS BY LEA & BRAZE ENGINEERING FOR FINAL TANK SIZE AND LOCATION.
 - (N) PRESSURE LINE FOR SEPTIC TANK EFFLUENT. REFER TO THE SEPTIC PLANS BY LEA & BRAZE ENGINEERING FOR FINAL PIPE SIZING REQUIREMENTS.
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 - (N) DEDICATED NEUTRALIZING TANK. REFER TO MECHANICAL PLANS FOR SIZING CRITERIA AND MODEL SELECTION.
 - (N) SITE WELL. RUN SUPPLY LINE FROM THE WELL TO THE ON-SITE WATER STORAGE TANKS (DOMESTIC / FIRE PROTECTION).
 - (N) ON-SITE WATER TANK DEDICATED FOR FIRE PROTECTION. REFER TO MECHANICAL PLANS FOR DETAILS ON TANK CONFIGURATION AND PIPE DETAILS.
 - (N) ON-SITE WATER TANK DEDICATED FOR DOMESTIC SERVICE. REFER TO MECHANICAL PLANS FOR DETAILS ON TANK CONFIGURATION AND PIPE DETAILS.
 - (N) FIRE PROTECTION WATER LINE.
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 - (N) DOMESTIC WATER LINE.
 - (N) RAW WATER LINE.
 - (N) TREATED WATER LINE.
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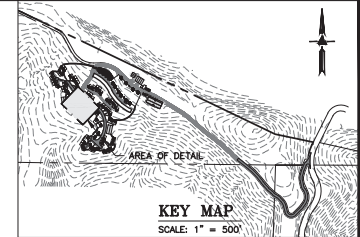
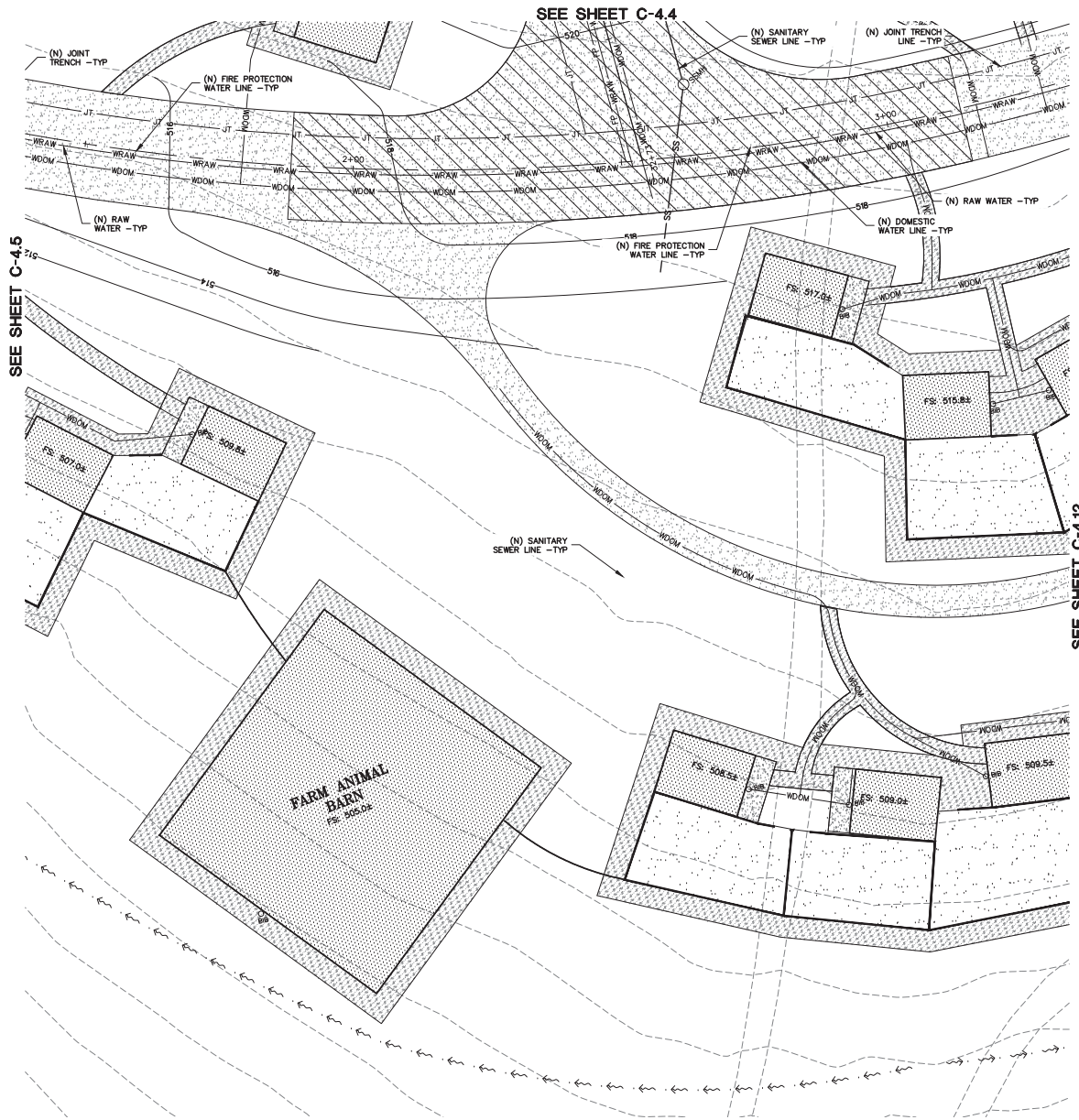
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GENERAL OFFICES:
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ANIMAL SANCTUARY
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SAN MATEO COUNTY
APN: 082-050-010
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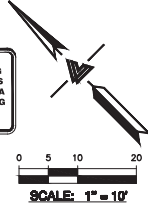
UTILITY PLAN

REVISIONS	BY
USE PERMIT RESUBMITTAL 08/03/22	TB
USE PERMIT RESUBMITTAL 01/23/22	TB

JOB NO: 2201144
DATE: 07/12/21
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aabaza@leabrazee.com



STORM DRAIN

(N) ACCESS ROAD/DRIVEWAY EDGE DRAIN.

(N) ON-SITE STORM WATER BIO-RETENTION AREA (BTA).

INSTALL (N) RIP-RAP ENERGY DISSIPATER, (N) ROCKED LINE SWALE.

(N) EARTHEN SWALE.

UTILITIES

(N) SEPTIC TANK. REFER TO THE SEPTIC PLANS BY LEA & BRAZE ENGINEERING FOR FINAL TANK SIZE AND LOCATION.

(N) LEACH FIELD. REFER TO THE SEPTIC PLANS BY LEA & BRAZE ENGINEERING FOR FINAL FIELD LAYOUT AND LOCATION.

(N) HOLDING TANK WITH LIFT PUMP. REFER TO THE SEPTIC PLANS BY LEA & BRAZE ENGINEERING FOR FINAL TANK SIZE AND LOCATION.

(N) PRESSURE LINE FOR SEPTIC TANK EFFLUENT. REFER TO THE SEPTIC PLANS BY LEA & BRAZE ENGINEERING FOR FINAL PIPE SIZING REQUIREMENTS.

INSTALL (N) SANITARY SEWER LATERAL, USE 6" PVC (SDR-26) SLOPED AT 1% MINIMUM. CONNECT TO (N) LATERAL AND CLEANOUT AS SHOWN. PROVIDE CLEANOUT TO GRADE AT BUILDING AND AT MAJOR CHANGES IN DIRECTION AS SHOWN. CONNECT TO THE (N) SEPTIC TANKS AS SHOWN, AND INSTALL PER DISTRICT STANDARDS.

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(N) SITE WELL. RUN SUPPLY LINE FROM THE WELL TO THE ON-SITE WATER STORAGE TANKS (DOMESTIC / FIRE PROTECTION).

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(N) ON-SITE FIRE HYDRANT.

(N) DOMESTIC WATER LINE.

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(N) TREATED WATER LINE.

(N) PAD MOUNTED TRANSFORMER. FINAL LOCATION TO BE COORDINATED WITH PG&E. REFER TO MECHANICAL PLANS FOR DETAILS



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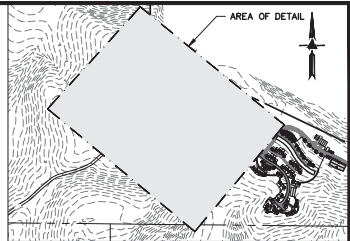
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UTILITY PLAN

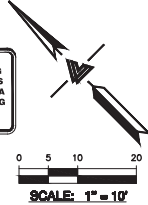
USE PERMIT RESUBMITTAL	TB
USE PERMIT RESUBMITTAL	TB
REVISIONS	BY

JOB NO: 2201144
 DATE: 07/12/21
 SCALE: 1" = 10'
 DESIGN BY: TB
 CHECKED BY: CA
 SHEET NO:

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NOTE:
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AT LEA & BRAZE ENGINEERING
(510)887-4086 EXT 116.
aadam@leabraze.com



- STORM DRAIN**
- (N) ACCESS ROAD/DRIVEWAY EDGE DRAIN.
 - (N) ON-SITE STORM WATER BIO-RETENTION AREA (BTA).
 - INSTALL (N) RIP-RAP ENERGY DISSIPATER. (N) ROCKED LINE SWALE.
 - (N) EARTHEN SWALE.

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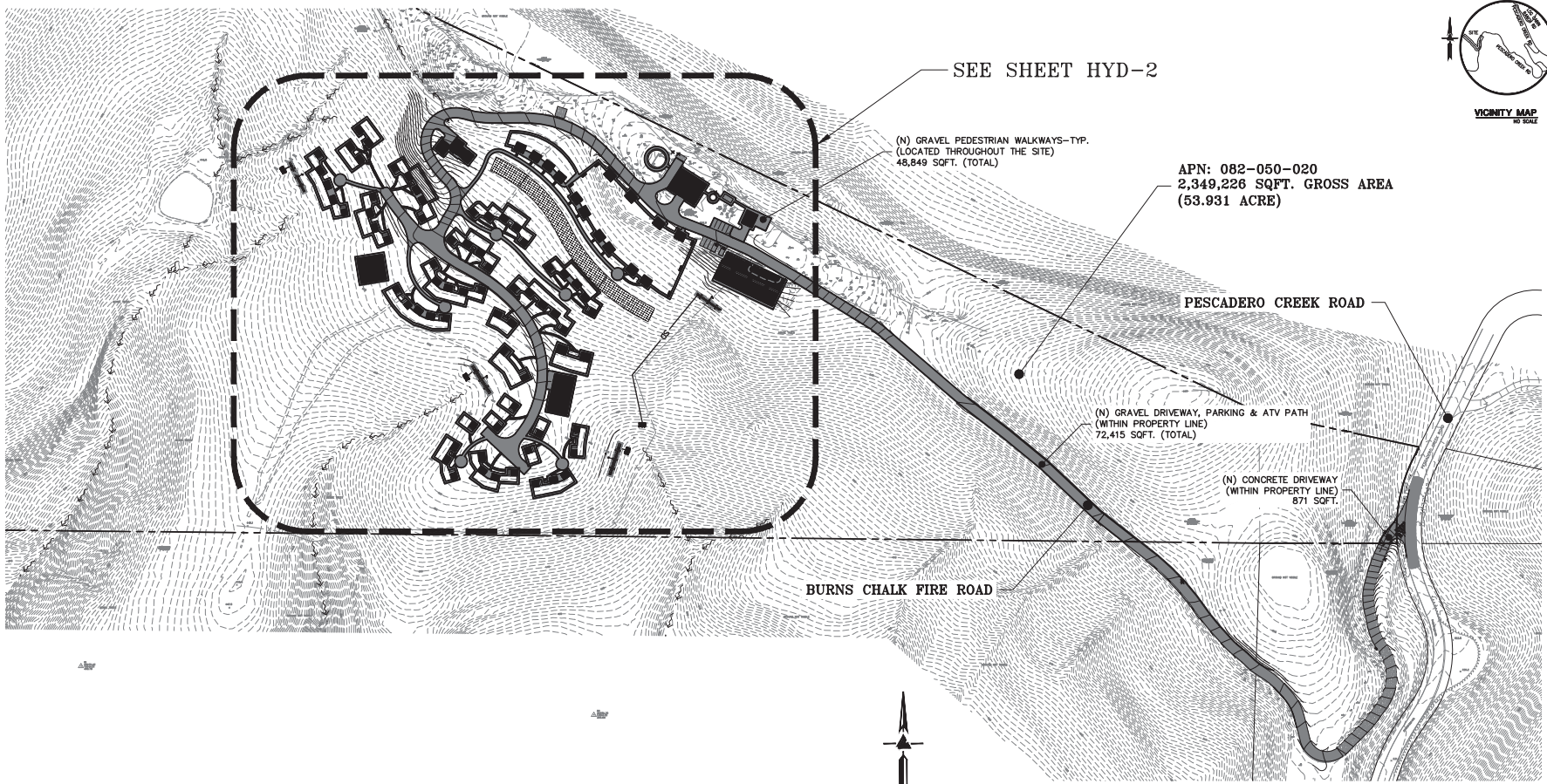
PENINSULA HUMANE SOCIETY
 ANIMAL SANCTUARY
 12429 PESCADERO CREEK RD
 LOMA MAR, CALIFORNIA
 SAN MATEO COUNTY
 APR. 082-050-010
 APR. 082-050-020

UTILITY PLAN

USE PERMIT RESUBMITTAL	08/03/22	TB
USE PERMIT RESUBMITTAL	01/12/22	TB
REVISIONS	BY	

JOB NO: 2201144
 DATE: 07/12/21
 SCALE: 1" = 10'
 DESIGN BY: TB
 CHECKED BY: CA
 SHEET NO:

C-4.14
 33 OF 54 SHEETS



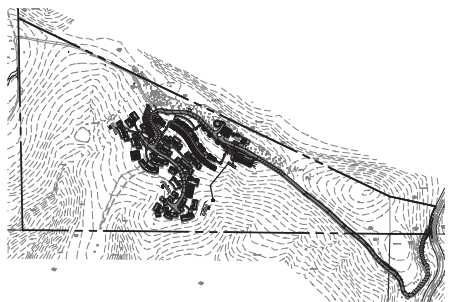
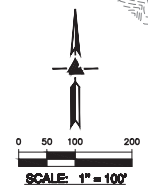
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 LOMA MAR, CALIFORNIA
 SAN MATEO COUNTY
 APN: 082-050-020

IMPERVIOUS SURFACE
 EXHIBIT
 (OVERALL SITE)

USE PERMIT RESUBMITTAL	06/10/22	TB
USE PERMIT RESUBMITTAL	01/22/22	TB
REVISIONS	BY:	
JOB NO:	2201144	
DATE:	07/12/21	
SCALE:	AS NOTED	
DESIGN BY:	TB	
CHECKED BY:	CA	
SHEET NO:		

C-4.15
 34 OF 54 SHEETS



APN: 082-050-020
 2,349,226 SQFT. GROSS AREA
 (53.931 ACRE)

PESCADERO CREEK ROAD

(N) GRAVEL DRIVEWAY, PARKING & ATV PATH
 (WITHIN PROPERTY LINE)
 72,415 SQFT. (TOTAL)

(N) CONCRETE DRIVEWAY
 (WITHIN PROPERTY LINE)
 871 SQFT.

BURNS CHALK FIRE ROAD

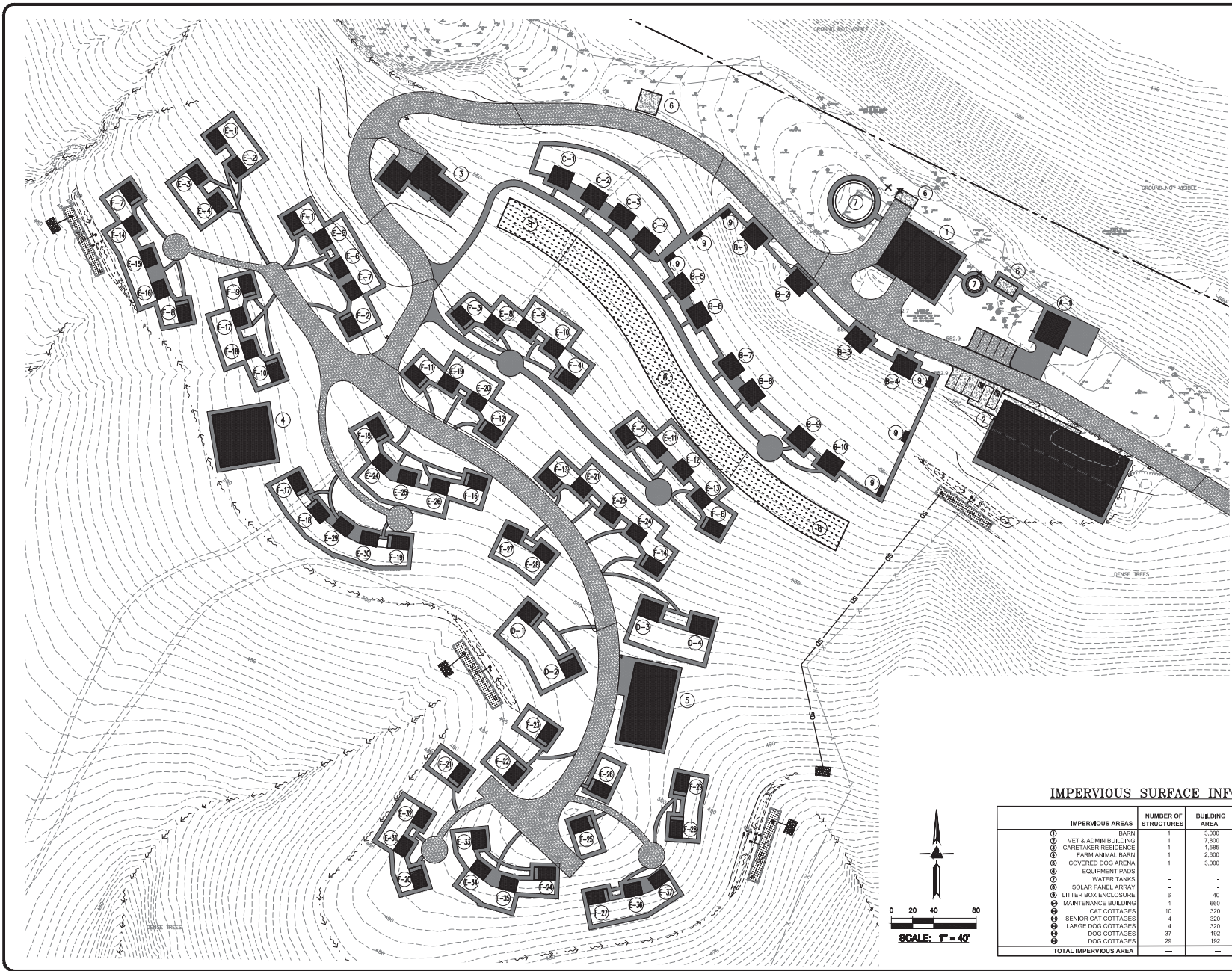
(N) GRAVEL PEDESTRIAN WALKWAYS-TYP.
 (LOCATED THROUGHOUT THE SITE)
 48,849 SQFT. (TOTAL)

SEE SHEET HYD-2

DEVELOPMENT AREA INFORMATION

TOTAL SITE AREA	2,349,226 SQUARE FEET (53,931 ACRE)			
TOTAL DISTURBED AREA	500,000 SQUARE FEET (11,470 ACRE)			
IMPERVIOUS AREAS	EXISTING TOTAL S.F.	REMOVED TOTAL S.F.	NEW TOTAL S.F.	PROPOSED TOTAL S.F.
BARN	3,000	3,000	3,000	3,000
VET & ADMIN BUILDING*	0	0	7,800	7,800
CARETAKER RESIDENCE	0	0	1,585	1,585
FARM ANIMAL BARN	0	0	2,800	2,800
COVERED DOG ARENA	0	0	3,000	3,000
MAINTENANCE BUILDING	635	635	660	660
LITTER BOX ENCLOSURE	0	0	240	240
ANIMAL COTTAGES*	0	0	18,432	18,432
WALKWAYS & PADS**	497	497	3,946	3,946
SOLAR PANELS	0	0	13,530	13,530
WATER TANKS	0	0	1,458	1,458
A.C. / CONCRETE DRIVEWAY	591	591	871	871
TOTAL IMPERVIOUS AREA	4,723	4,723	57,122	57,122
NET CHANGE IN IMPERVIOUS AREA	+ 52,399 SQFT (NET INCREASE)			
PERVIOUS PAVING				
GRAVEL DRIVEWAY, PARKING & ATV PATHS	0	0	72,415	72,415
GRAVEL PEDESTRIAN PATHS	0	0	48,849	48,849
TOTAL PERVIOUS PAVING AREA	0	0	121,264	121,264
NET CHANGE IN PERVIOUS PAVING AREA	+ 121,264 SQFT (NET INCREASE)			
TOTAL DEVELOPED AREA	4,723	4,723	179,386	179,386
NET CHANGE IN DEVELOPED AREA	+ 173,663 SQFT (NET INCREASE)			

*INCLUDES BUILDINGS ONLY (EXCLUDES PORCHES & WALKWAYS)
 **INCLUDES A.D.A. PARKING, VET BUILDING WALKWAY, EQUIPMENT PADS, & ANIMAL COTTAGE PORCHES



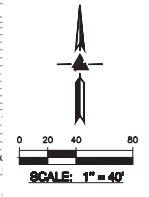
LEA & BRAZE ENGINEERING, INC.
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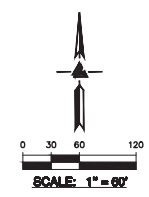
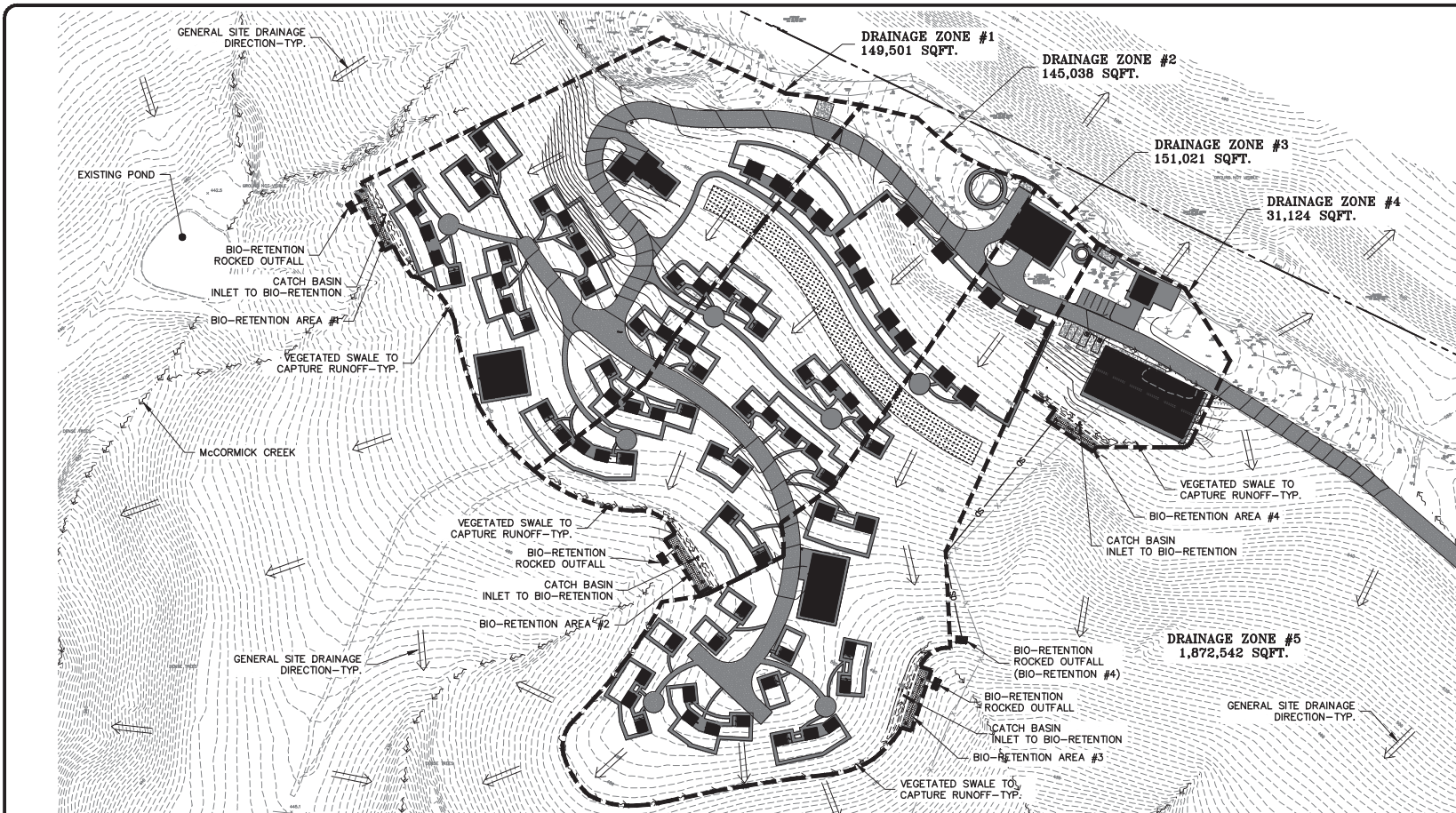
PENINSULA HUMANE SOCIETY
 ANIMAL SANCTUARY
 12429 PESCADERO CREEK RD
 LOMA MAR, CALIFORNIA
 SAN MATEO COUNTY
 APN: 082-080-010
 082-080-020

**IMPERVIOUS SURFACE
 EXHIBIT
 (AREA OF DETAIL)**

IMPERVIOUS SURFACE INFORMATION

IMPERVIOUS AREAS	NUMBER OF STRUCTURES	BUILDING AREA	HARDSCAPE AREA	TOTAL IMPERVIOUS
① BARRN	1	3,000	0	3,000
② VET & ADMIN BUILDING	1	7,820	1,754	9,574
③ CARETAKER RESIDENCE	1	1,585	0	1,585
④ FARM ANIMAL BARN	1	2,600	0	2,600
⑤ COVERED DOG ARENA	1	3,000	0	3,000
⑥ EQUIPMENT PADDS	-	-	800	800
⑦ WATER TANKS	-	-	1,458	1,458
⑧ SOLAR PANEL ARRAY	-	-	13,530	13,530
⑨ LITTER BOX ENCLOSURE	6	40	0	240
⑩ MAINTENANCE BUILDING	1	660	0	660
⑪ CAT COTTAGES	10	320	0	3,200
⑫ SENIOR CAT COTTAGES	4	320	0	1,280
⑬ LARGE DOG COTTAGES	4	320	0	1,280
⑭ DOG COTTAGES	37	182	0	7,104
⑮ DOG COTTAGES	29	182	46	6,962
TOTAL IMPERVIOUS AREA	-	-	-	56,251





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 SAN MATEO COUNTY
 APN: 082-000-010
 082-000-020

STORMWATER CONTROL PLAN

USE PERMIT RESUBMITTAL 06/10/22	TB
USE PERMIT RESUBMITTAL 01/22/22	TB
REVISIONS	BY
JOB NO: 2201144	
DATE: 07/12/21	
SCALE: 1" = 60'	
DESIGN BY: TB	
CHECKED BY: CA	
SHEET NO:	

C-4.17
 36 OF 54 SHEETS

DEVELOPMENT AREA INFORMATION

TOTAL SITE AREA				
2,349,226 SQUARE FEET (53,931 ACRE)				
TOTAL DISTURBED AREA				
500,000 SQUARE FEET (11,478 ACRE)				
IMPERVIOUS AREAS	EXISTING TOTAL S.F.	REMOVED TOTAL S.F.	NEW TOTAL S.F.	PROPOSED TOTAL S.F.
BARN	3,000	3,000	3,000	3,000
VET & ADMIN BUILDING	0	0	7,800	7,800
CARETAKER RESIDENCE	0	0	1,585	1,585
FARM ANIMAL BARN	0	0	2,600	2,600
COVERED DOG ARENA	0	0	3,000	3,000
MAINTENANCE BUILDING	636	636	660	660
LITTER BOX ENCLOSURE	0	0	240	240
ANIMAL COTTAGES**	0	0	18,432	18,432
WALKWAYS & PADS**	497	497	3,946	3,946
SOLAR PANELS	0	0	13,530	13,530
WATER TANKS	0	0	1,458	1,458
A.C. / CONCRETE DRIVEWAY	591	591	871	871
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 **INCLUDES A.D.A. PARKING, VET BUILDING WALKWAY, EQUIPMENT PADS, & ANIMAL COTTAGE PORCHES

DRAINAGE ZONE INFORMATION

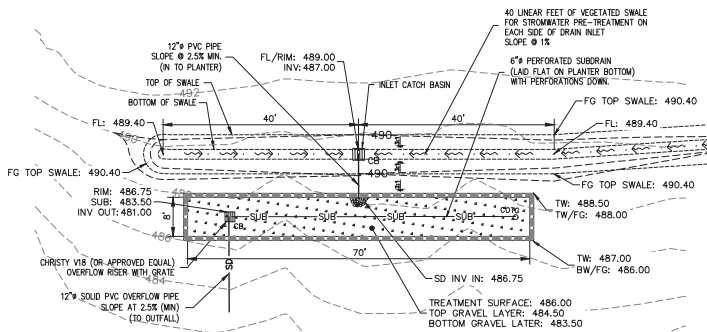
TOTAL SITE AREA						
2,349,226 SQUARE FEET (53,931 ACRE)						
IMPERVIOUS AREAS	PROPOSED TOTAL	DRAINAGE ZONE #1	DRAINAGE ZONE #2	DRAINAGE ZONE #3	DRAINAGE ZONE #4	DRAINAGE ZONE #5
BARN	3,000	0	0	3,000	0	0
VET & ADMIN BUILDING*	7,800	0	0	0	7,800	0
CARETAKER RESIDENCE	1,585	1,585	0	0	0	0
FARM ANIMAL BARN	2,600	2,600	0	0	0	0
COVERED DOG ARENA	3,000	0	0	3,000	0	0
MAINTENANCE BUILDING	660	0	0	0	660	0
LITTER BOX ENCLOSURE	240	0	120	120	0	0
ANIMAL COTTAGES*	18,432	5,632	7,424	5,376	0	0
WALKWAYS & PADS**	3,946	928	336	528	2,154	0
SOLAR PANELS	13,530	2,108	7,838	3,584	0	0
WATER TANKS	1,458	0	1,237	201	0	0
A.C. DRIVEWAY	871	0	0	0	0	871
TOTAL IMPERVIOUS AREA	57,122	12,853	16,975	15,809	10,614	871
PERVIOUS AREAS						
GRAVEL DRIVEWAY, PARKING & ATV PATHS	72,415	21,181	15,954	12,210	5,537	17,524
GRAVEL PEDESTRIAN PATHS	48,849	15,751	13,256	16,083	3,159	0
LANDSCAPE / TREATMENT PLANTERS	2,170,840	99,776	98,853	106,310	11,814	1,854,147
TOTAL PERVIOUS AREA	2,292,104	136,648	128,063	135,212	20,510	1,871,671

*INCLUDES BUILDINGS ONLY (EXCLUDES PORCHES & WALKWAYS)
 **INCLUDES A.D.A. PARKING, VET BUILDING WALKWAY, EQUIPMENT PADS, & ANIMAL COTTAGE PORCHES

STORMWATER TREATMENT CALCULATIONS

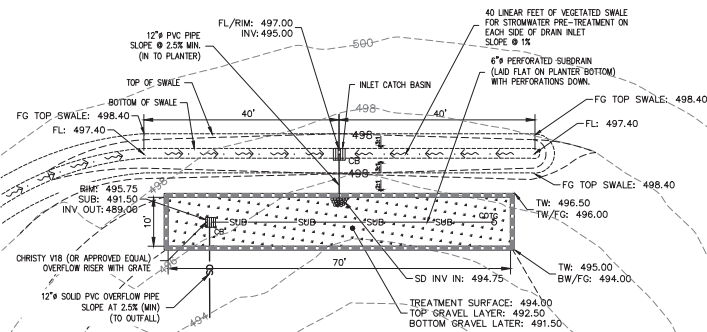
DRAINAGE MANAGEMENT AREA	IMPERVIOUS SURFACE	PERVIOUS PAVING	LANDSCAPE	TREATMENT MEASURE	TREATMENT AREA REQUIRED*	TREATMENT AREA PROVIDED
DRAINAGE AREA #1	12,853	36,932	—	BIO-RETENTION PLANTER	515	560
DRAINAGE AREA #2	16,975	—	99,716	SELF-TREATING	—	—
DRAINAGE AREA #3	15,809	29,210	—	BIO-RETENTION PLANTER	679	700
DRAINAGE AREA #4	10,614	—	98,893	SELF-TREATING	—	—
DRAINAGE AREA #5	871	28,902	—	BIO-RETENTION PLANTER	633	665
DRAINAGE AREA #5	0	—	106,310	SELF-TREATING	—	—
DRAINAGE AREA #5	0	8,698	—	SELF-TREATING	—	—
DRAINAGE AREA #5	0	—	11,814	SELF-TREATING	—	—
DRAINAGE AREA #5	0	17,524	—	SELF-TREATING	—	—
DRAINAGE AREA #5	0	—	1,854,147	SELF-TREATING	—	—
TOTAL	56,251	121,264	2,170,840	BIO-RETENTION PLANTER	2,252	2,405

FLOW-THROUGH PLANTER TREATMENT AREAS ARE CALCULATED USING THE UNIFORM INTENSITY METHOD (IMPERVIOUS SURFACE X 0.04)



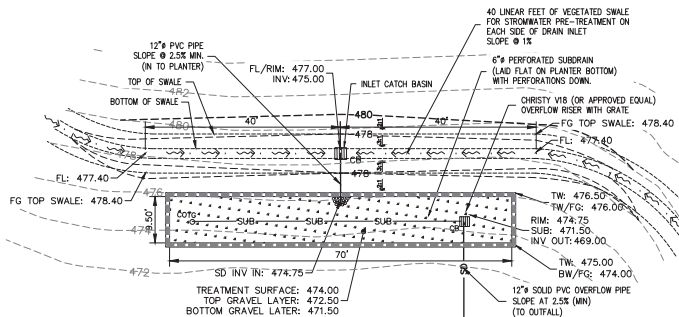
**DRAINAGE ZONE #1
FLOW-THROUGH PLANTER**

NTS



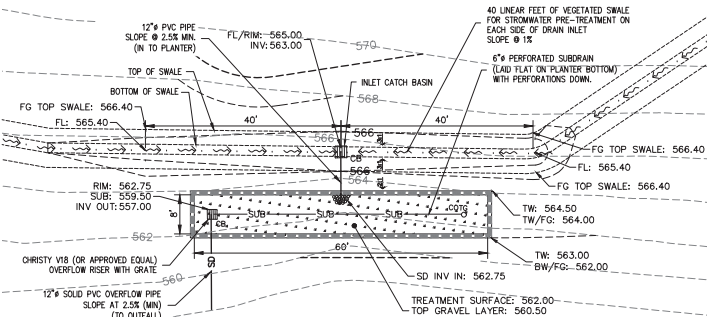
**DRAINAGE ZONE #2
FLOW-THROUGH PLANTER**

NTS



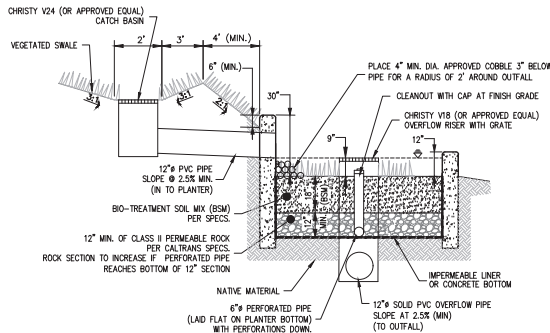
**DRAINAGE ZONE #3
FLOW-THROUGH PLANTER**

NTS



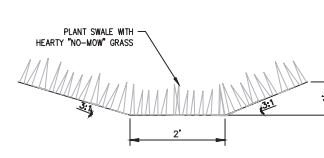
**DRAINAGE ZONE #4
FLOW-THROUGH PLANTER**

NTS



FLOW-THROUGH PLANTER DETAIL

NTS



VEGETATED PRE-TREATMENT SWALE

NTS



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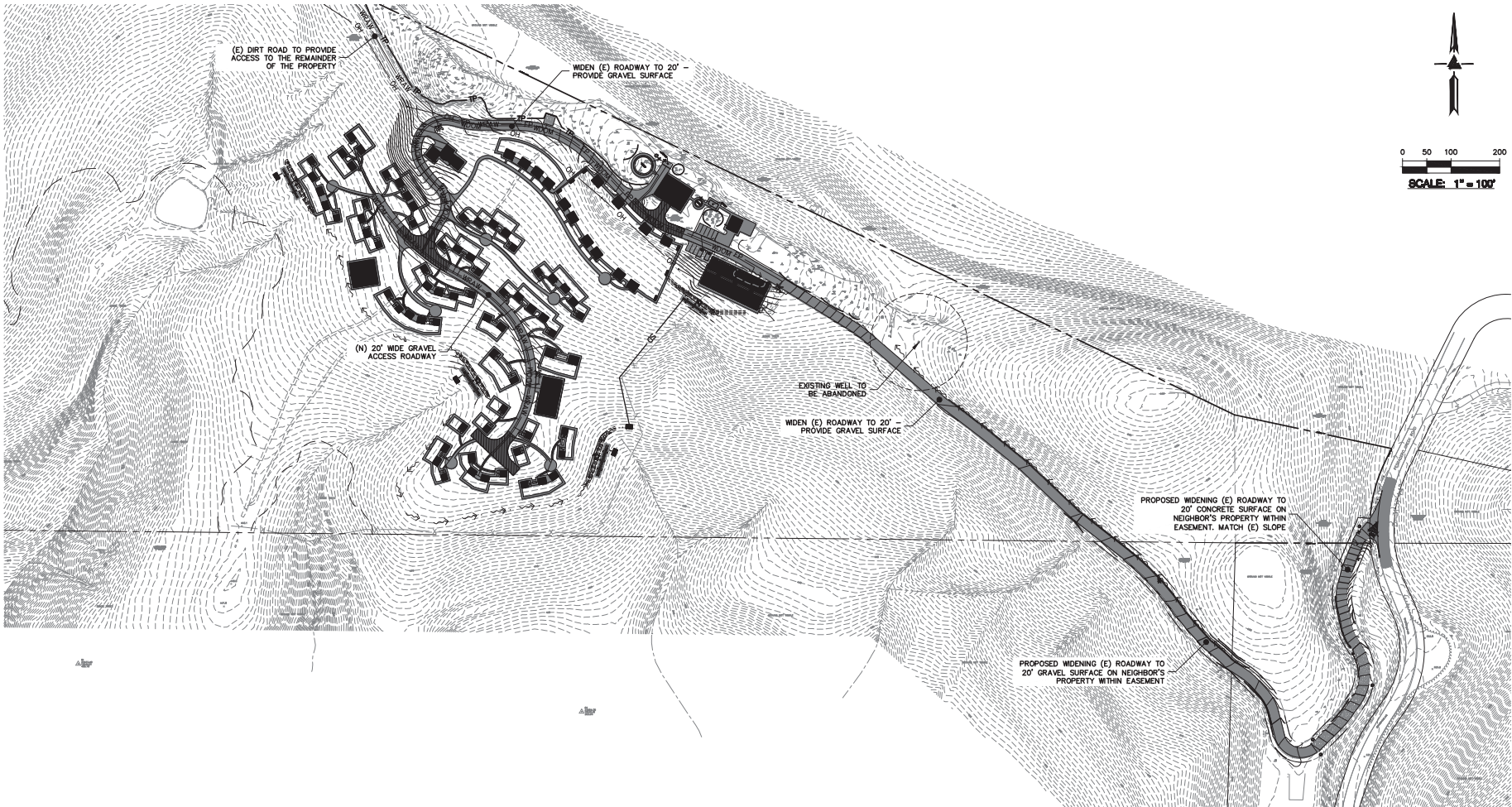
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**STORMWATER TREATMENT
 DETAILS**

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USE PERMIT RESUBMITTAL 01/12/22	TB
REVISIONS	BY
JOB NO: 2201144	
DATE: 07/12/21	
SCALE: N.T.S.	
DESIGN BY: TB	
CHECKED BY: CA	
SHEET NO:	

C-4.18

37 OF 54 SHEETS



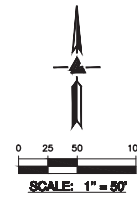
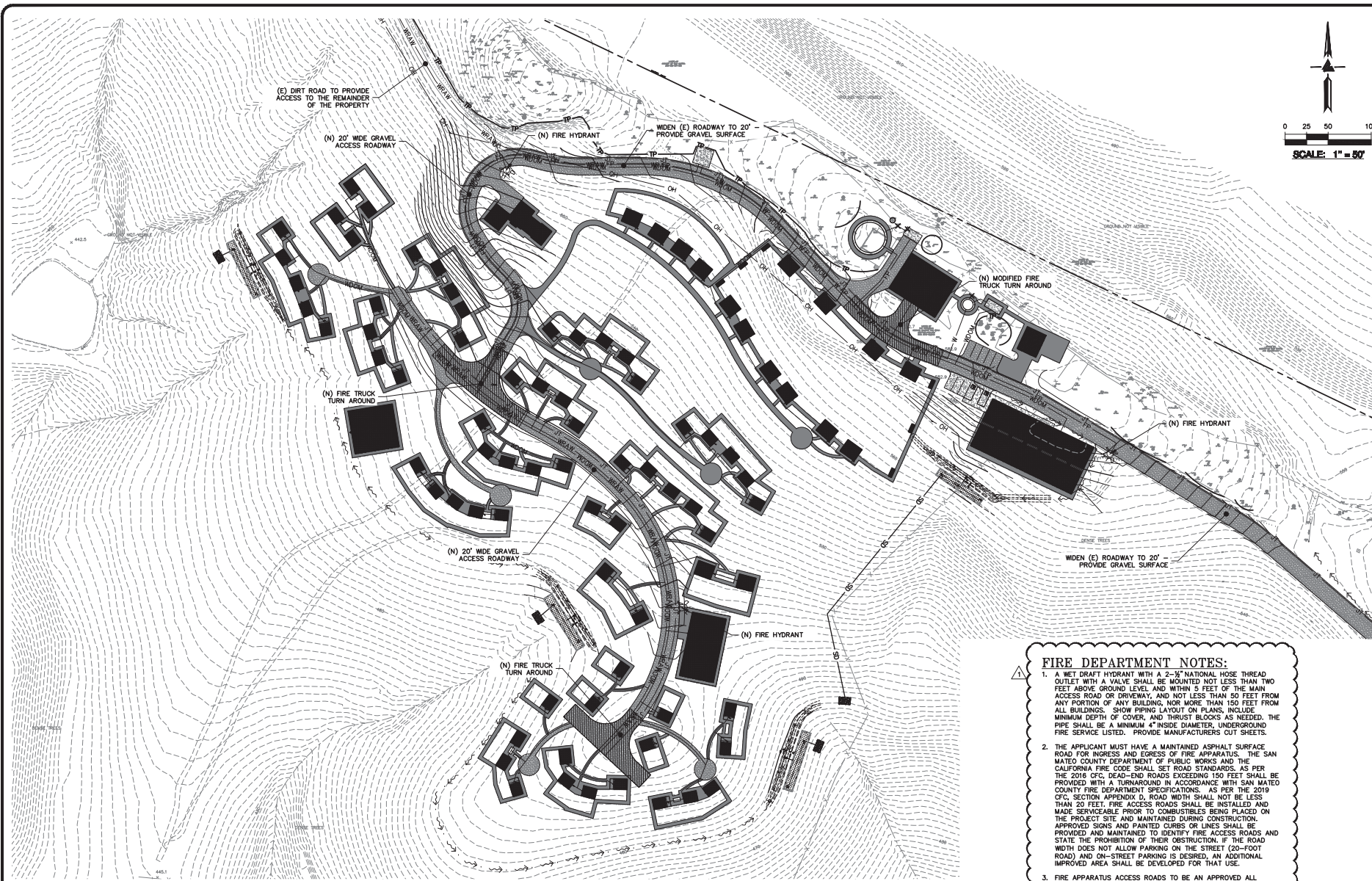
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SITE FIRE EXHIBIT

USE PERMIT RESUBMITTAL	TB
08/01/22	
USE PERMIT RESUBMITTAL	TB
01/12/22	
REVISIONS	BY
JOB NO:	2201144
DATE:	07/12/21
SCALE:	1" = 100'
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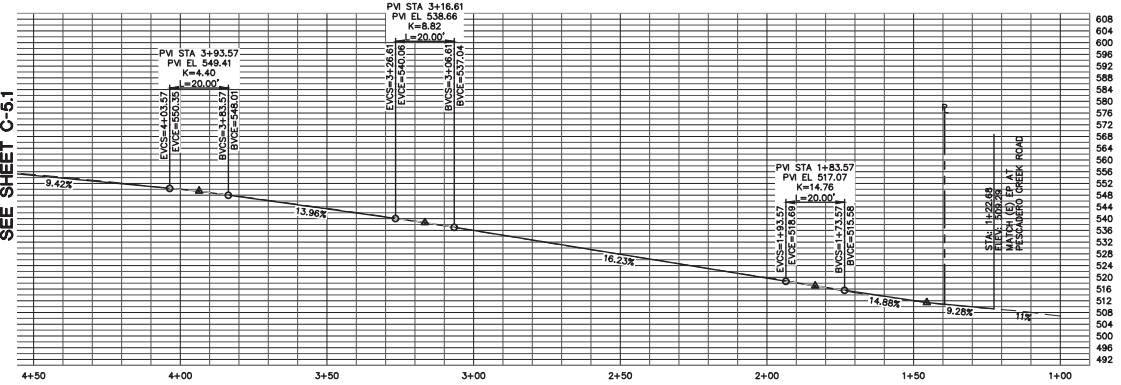
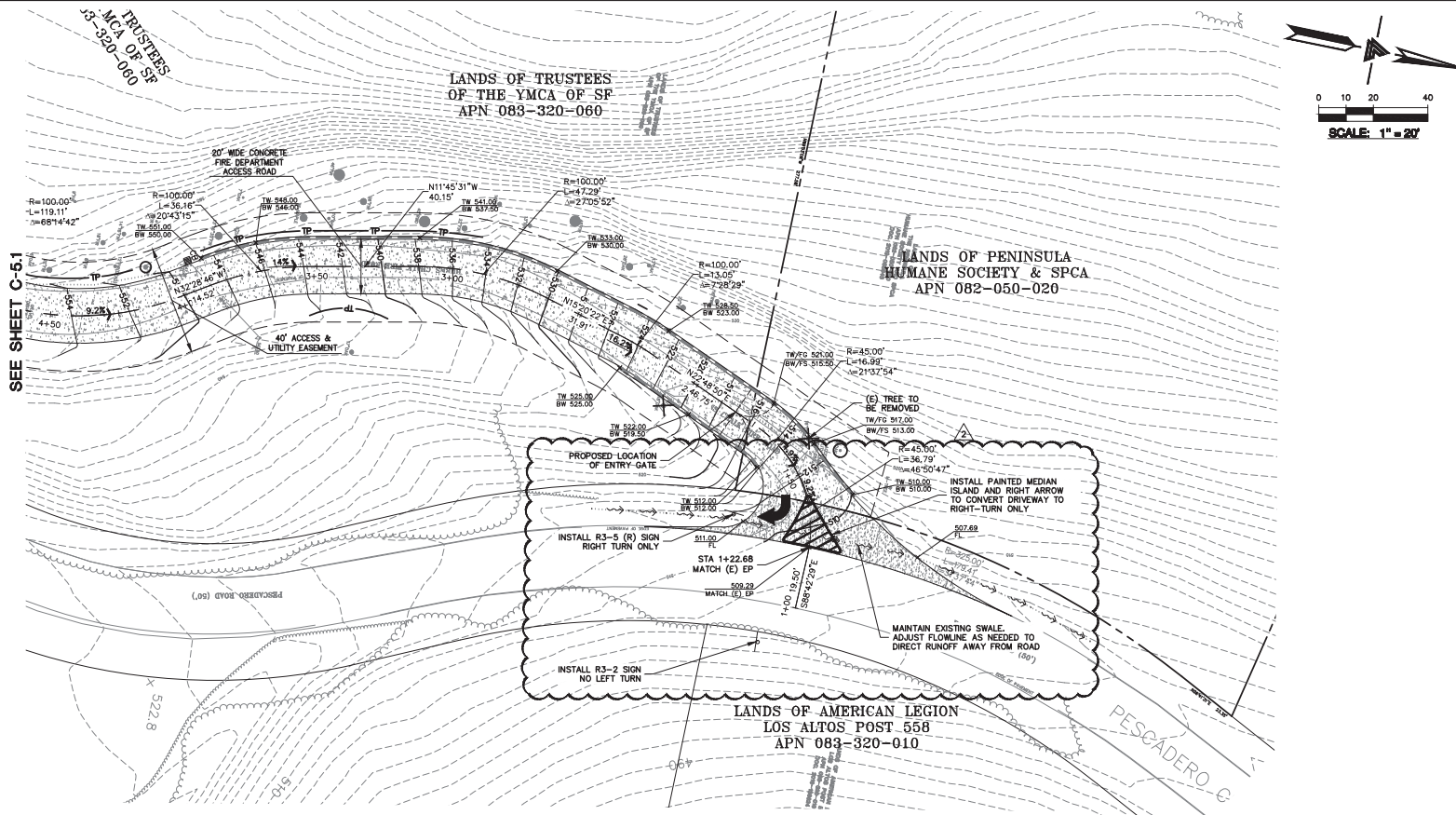
**FIRE SITE PLAN
 (AREA OF DETAIL)**

FIRE DEPARTMENT NOTES:

1. A WET DRIFT HYDRANT WITH A 2-1/2" NATIONAL HOSE THREAD OUTLET WITH A VALVE SHALL BE MOUNTED NOT LESS THAN TWO FEET ABOVE GROUND LEVEL AND WITHIN 5 FEET OF THE MAIN ACCESS ROAD OR DRIVEWAY, AND NOT LESS THAN 80 FEET FROM ANY PORTION OF ANY BUILDING, NOR MORE THAN 150 FEET FROM ALL BUILDINGS. SHOW PIPING LAYOUT ON PLANS, INCLUDE MINIMUM DEPTH OF COVER, AND THRUST BLOCKS AS NEEDED. THE PIPE SHALL BE A MINIMUM 4" INSIDE DIAMETER, UNDERGROUND FIRE SERVICE LISTED. PROVIDE MANUFACTURERS CUT SHEETS.
2. THE APPLICANT MUST HAVE A MAINTAINED ASPHALT SURFACE ROAD FOR INGRESS AND EGRESS OF FIRE APPARATUS. THE SAN MATEO COUNTY DEPARTMENT OF PUBLIC WORKS AND THE CALIFORNIA FIRE CODE SHALL SET ROAD STANDARDS. AS PER THE 2018 CFC, DEAD-END ROADS EXCEEDING 150 FEET SHALL BE PROVIDED WITH A TURNAROUND IN ACCORDANCE WITH SAN MATEO COUNTY FIRE DEPARTMENT SPECIFICATIONS. AS PER THE 2018 CFC, SECTION APPENDIX D, ROAD WIDTH SHALL NOT BE LESS THAN 20 FEET. FIRE ACCESS ROADS SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO COMBUSTIBLES BEING PLACED ON THE PROJECT SITE AND MAINTAINED DURING CONSTRUCTION. APPROVED SIGNS AND PAINTED CURBS OR LINES SHALL BE PROVIDED AND MAINTAINED TO IDENTIFY FIRE ACCESS ROADS AND STATE THE PROHIBITION OF THEIR OBSTRUCTION. IF THE ROAD WIDTH DOES NOT ALLOW PARKING ON THE STREET (20-FOOT ROAD) AND ON-STREET PARKING IS DESIRED, AN ADDITIONAL IMPROVED AREA SHALL BE DEVELOPED FOR THAT USE.
3. FIRE APPARATUS ACCESS ROADS TO BE AN APPROVED ALL WEATHER SURFACE. GRADES 15% OR GREATER TO BE SURFACED W/ ASPHALT, OR BRUSHED CONCRETE. GRADES 15% OR GREATER SHALL BE LIMITED TO 150 FT. IN LENGTH WITH A MINIMUM OF 500 FT. BETWEEN THE NEXT SECTION. FIRE ROADS APPROVED LESS THAN 20 FT., 20 FT. WIDE TURNOUTS SHALL BE ON EACH SIDE OF 15% OR GREATER SECTION. NO GRADES OVER 20%. (PLAN AND PROFILE REQUIRED) CFC 503.
4. "NO PARKING - FIRE LANE" SIGNS SHALL BE PROVIDED ON BOTH SIDES OF ROADS 20 TO 26 FT. WIDE AND ON ONE SIDE OF ROADS 26 TO 32 FT. WIDE. CFC D103.6

USE PERMIT RESUBMITTAL	TB
USE PERMIT RESUBMITTAL	TB
REVISIONS	BY
JOB NO:	2201144
DATE:	07/12/21
SCALE:	1" = 50'
DESIGN BY:	TB
CHECKED BY:	CA
SHEET NO:	

C-4.20
 39 OF 54 SHEETS



MAIN ROADWAY
SCALE: 1" = 20' HORIZ & VERT

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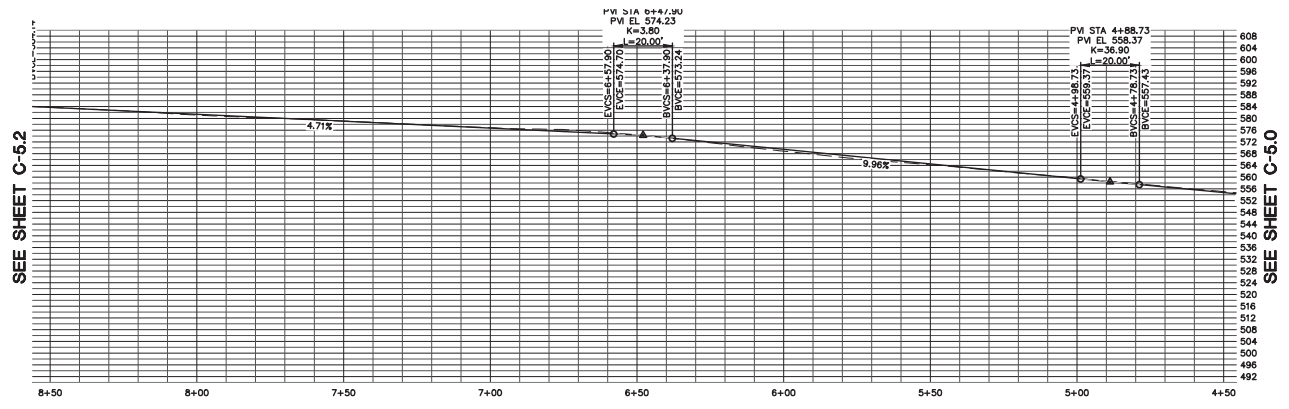
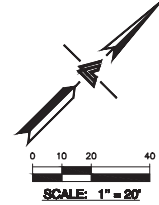
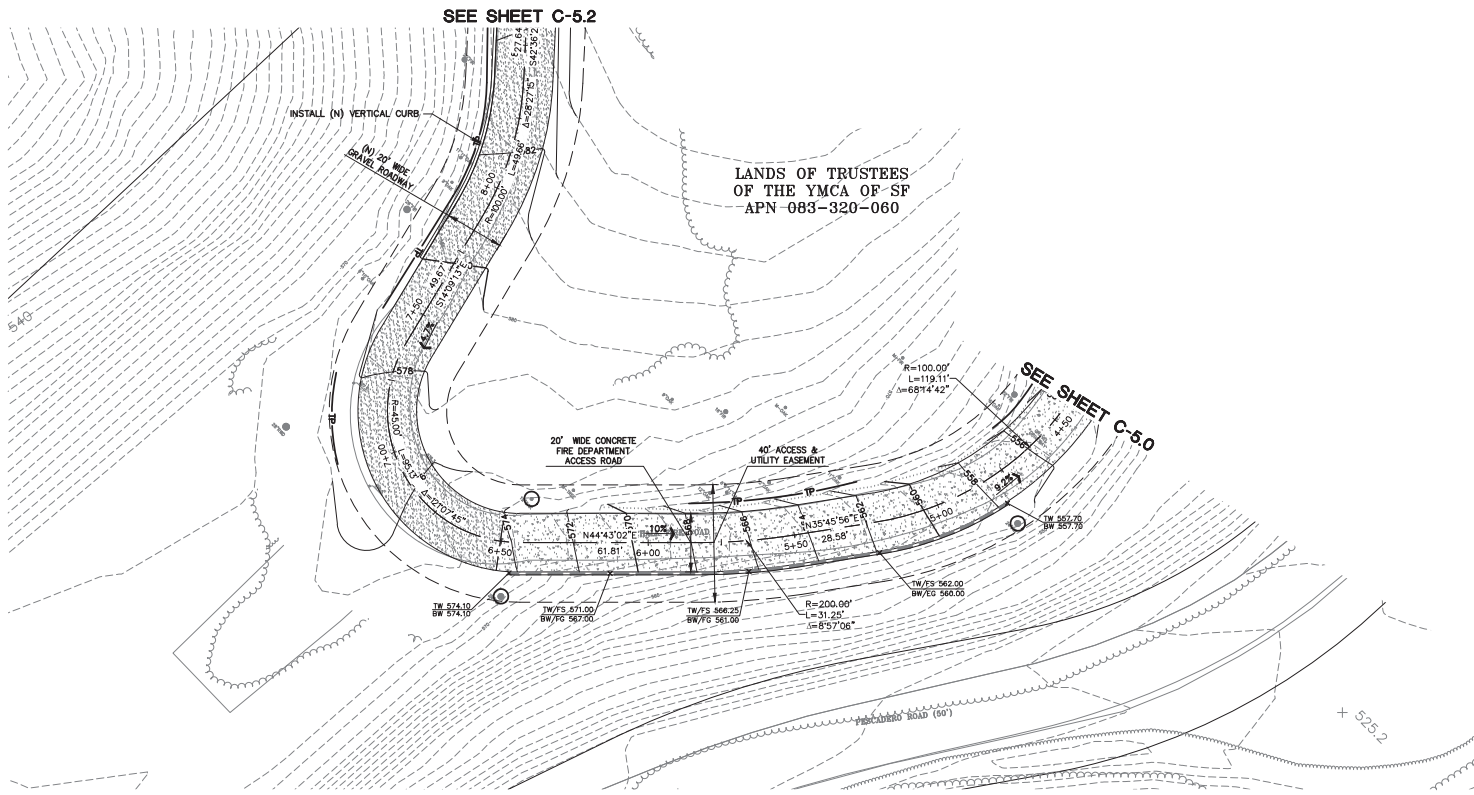
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APN: 082-050-010
082-050-020

PLAN & PROFILE
STA: 1+00 TO 4+50

USE PERMIT SUBMITTAL 08/01/22	TB
USE PERMIT SUBMITTAL 01/12/22	TB
REVISIONS	BY
JOB NO: 2201144	
DATE: 07/12/21	
SCALE: 1" = 20'	
DESIGN BY: TB	
CHECKED BY: CA	
SHEET NO:	

C-5.0
40 OF 54 SHEETS



MAIN ROADWAY
SCALE: 1" = 20' HORIZ & VERT

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PLAN & PROFILE
STA: 4+50 TO 8+50

REVISIONS	BY
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USE PERMIT RESUBMITTAL 01/12/22	TB

JOB NO: 2201144
DATE: 07/12/21
SCALE: 1" = 20'
DESIGN BY: TB
CHECKED BY: CA
SHEET NO:

C-5.1



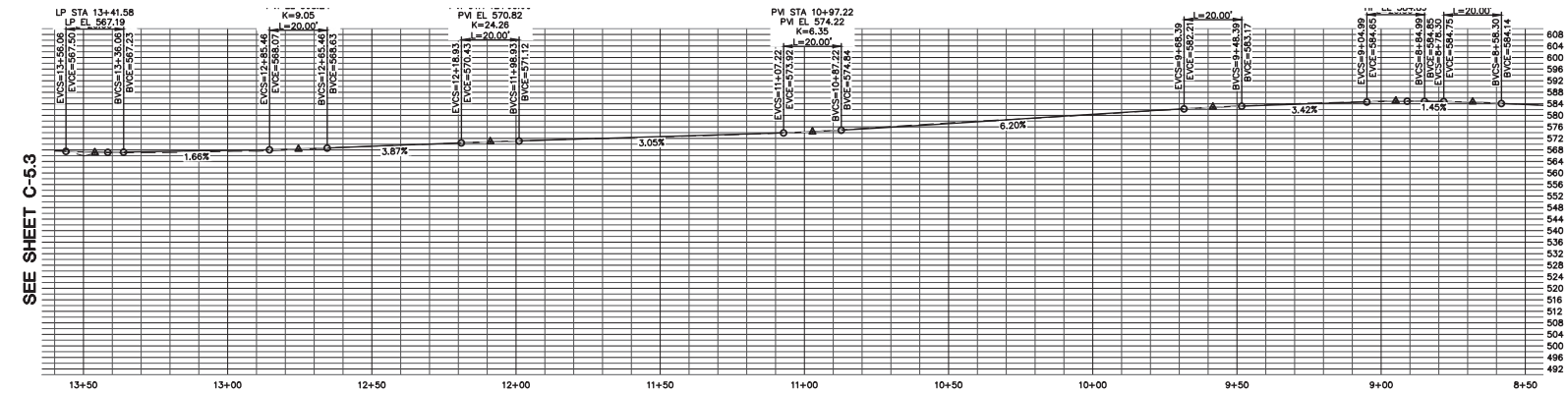
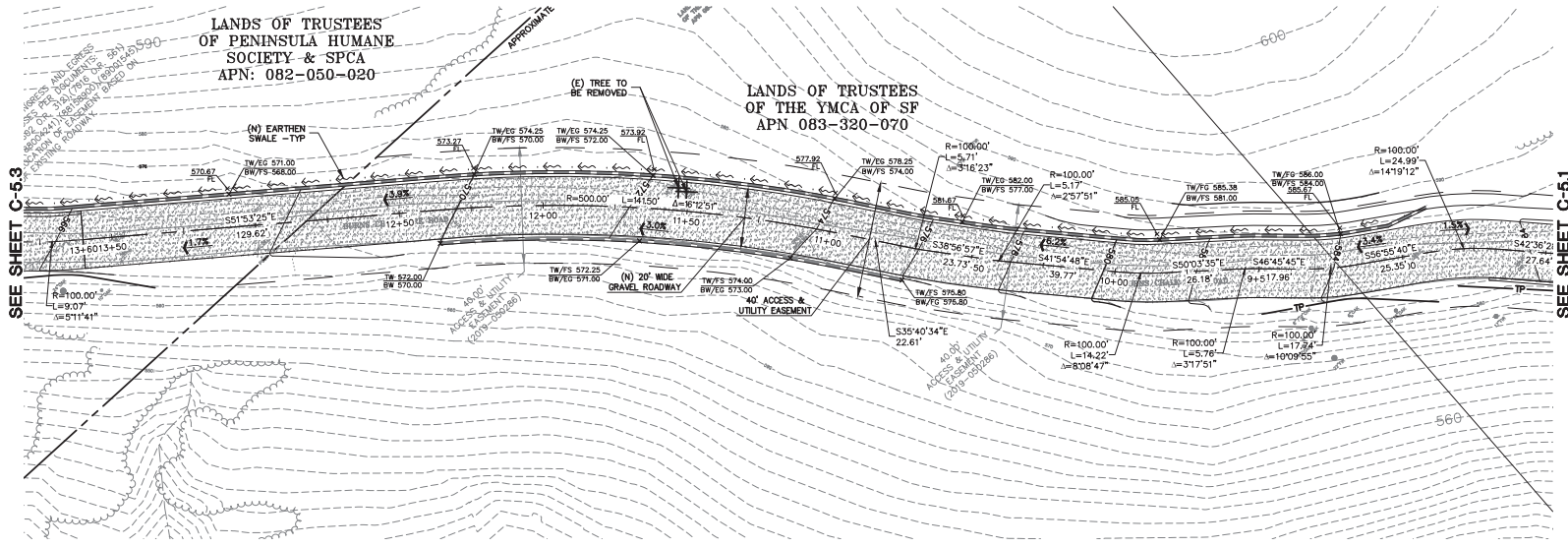
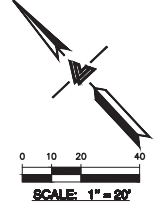
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 082-050-020**

**PLAN & PROFILE
 STA: 8+50 TO 13+50**

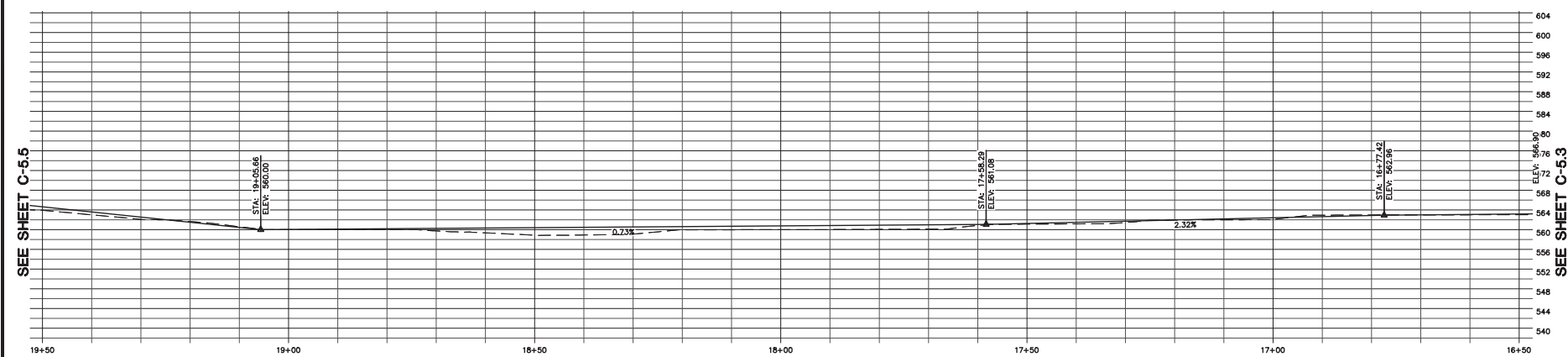
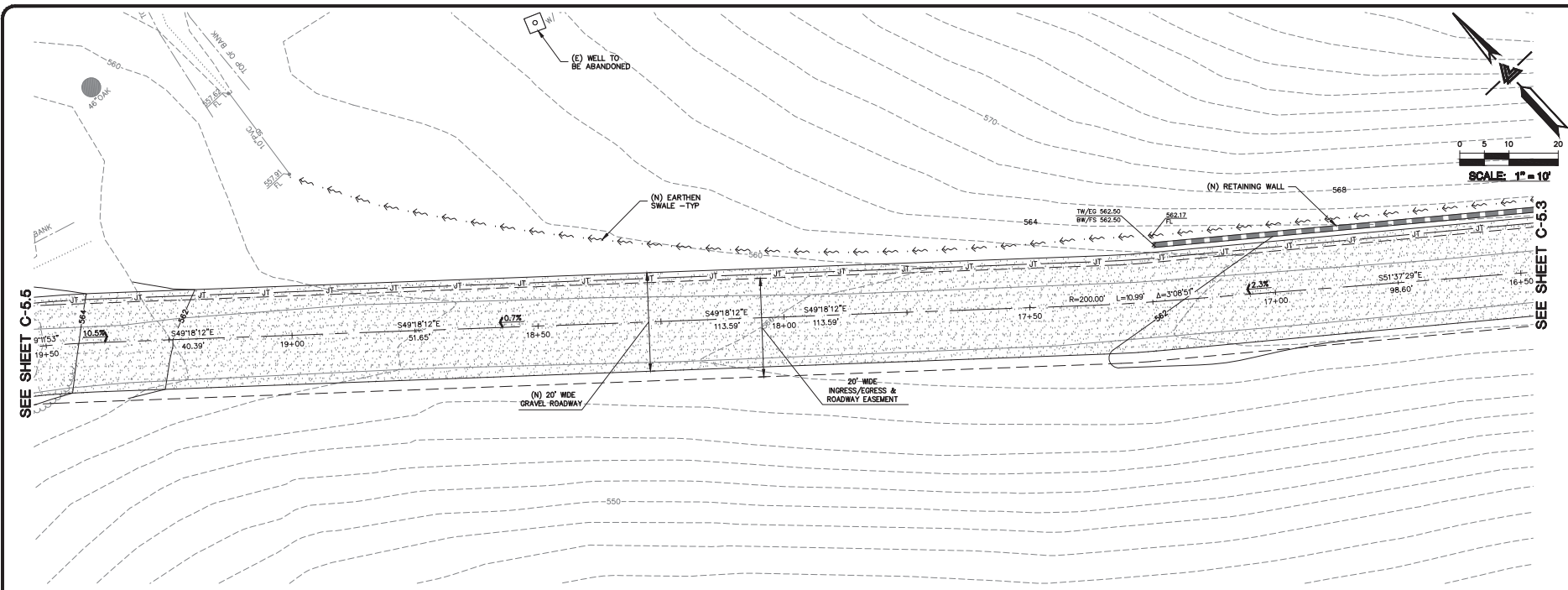
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REVISIONS	BY
JOB NO:	2201144
DATE:	07/12/21
SCALE:	1" = 20'
DESIGN BY:	TB
CHECKED BY:	CA
SHEET NO:	

C-5.2
42 OF 54 SHEETS



MAIN ROADWAY
SCALE: 1" = 20' HORIZ & VERT

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*** BUILDING PAD NOTE:**
ADJUST PAD LEVEL AS
REQUIRED. REFER TO
STRUCTURAL PLANS
FOR SLAB SECTION OR
CRAWL SPACE DEPTH
TO ESTABLISH PAD
LEVEL.



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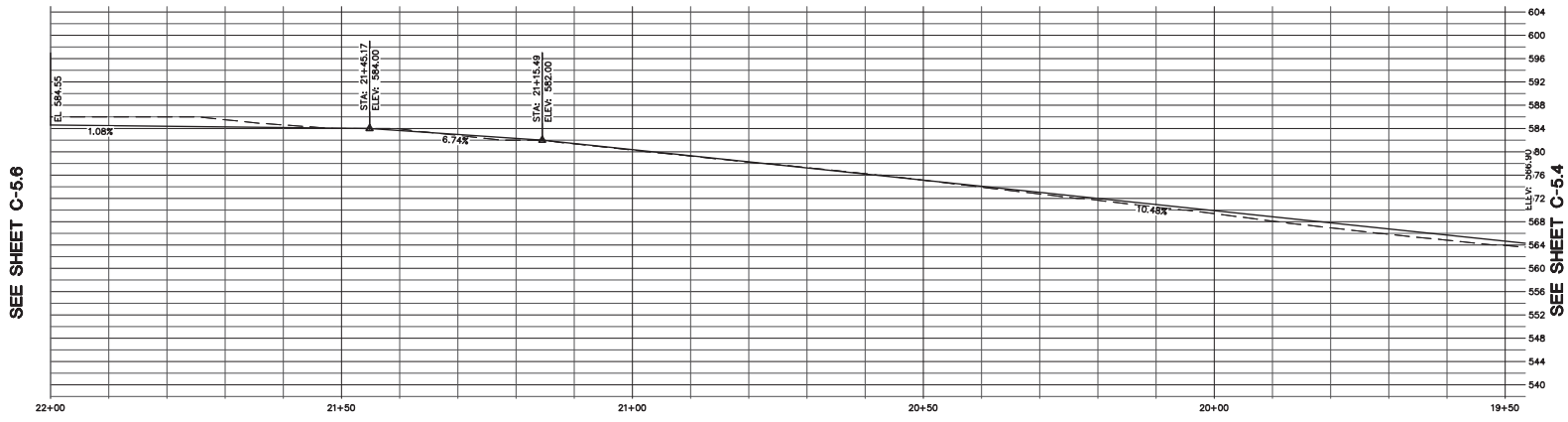
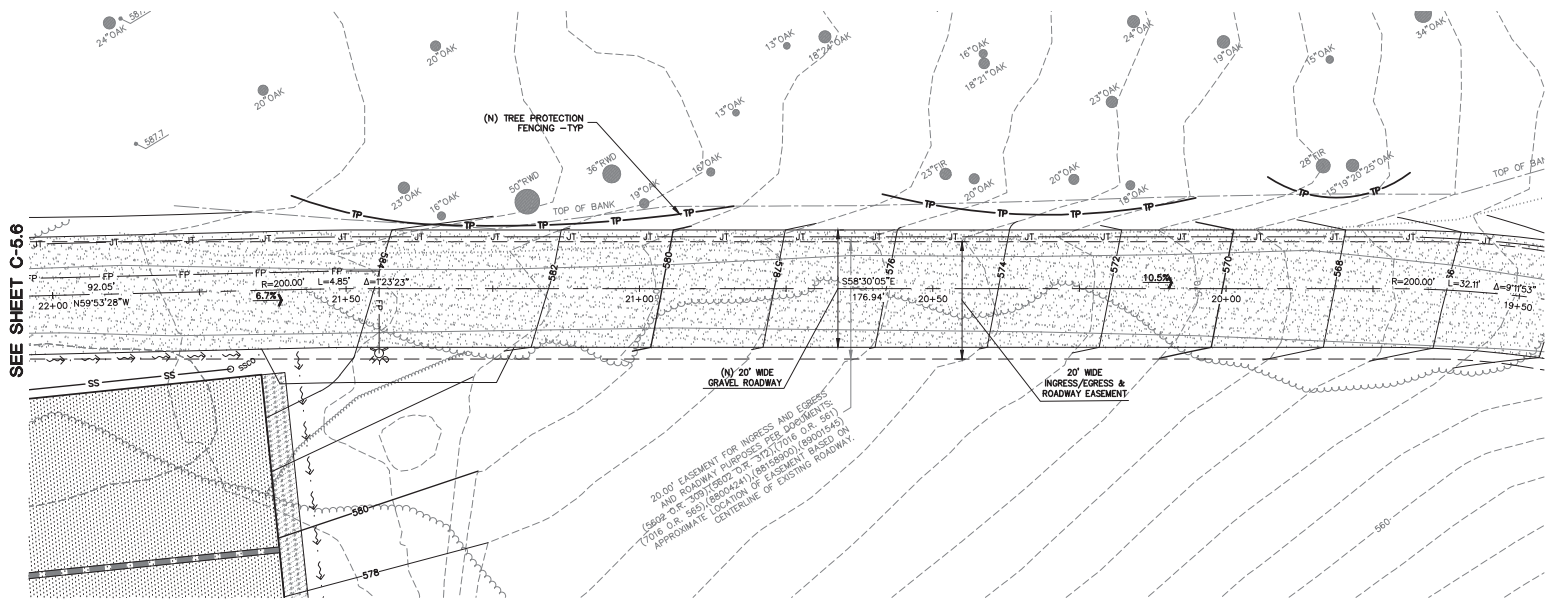
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PLAN & PROFILE
STA: 16+50 TO 19+50

REVISIONS	BY
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USE PERMIT RESUBMITTAL 01/12/22	TB

JOB NO: 2201144
DATE: 07/12/21
SCALE: 1" = 10'
DESIGN BY: TB
CHECKED BY: CA
SHEET NO:

C-5.4
44 OF 54 SHEETS



MAIN ROADWAY
SCALE: 1" = 10' HORIZ & VERT

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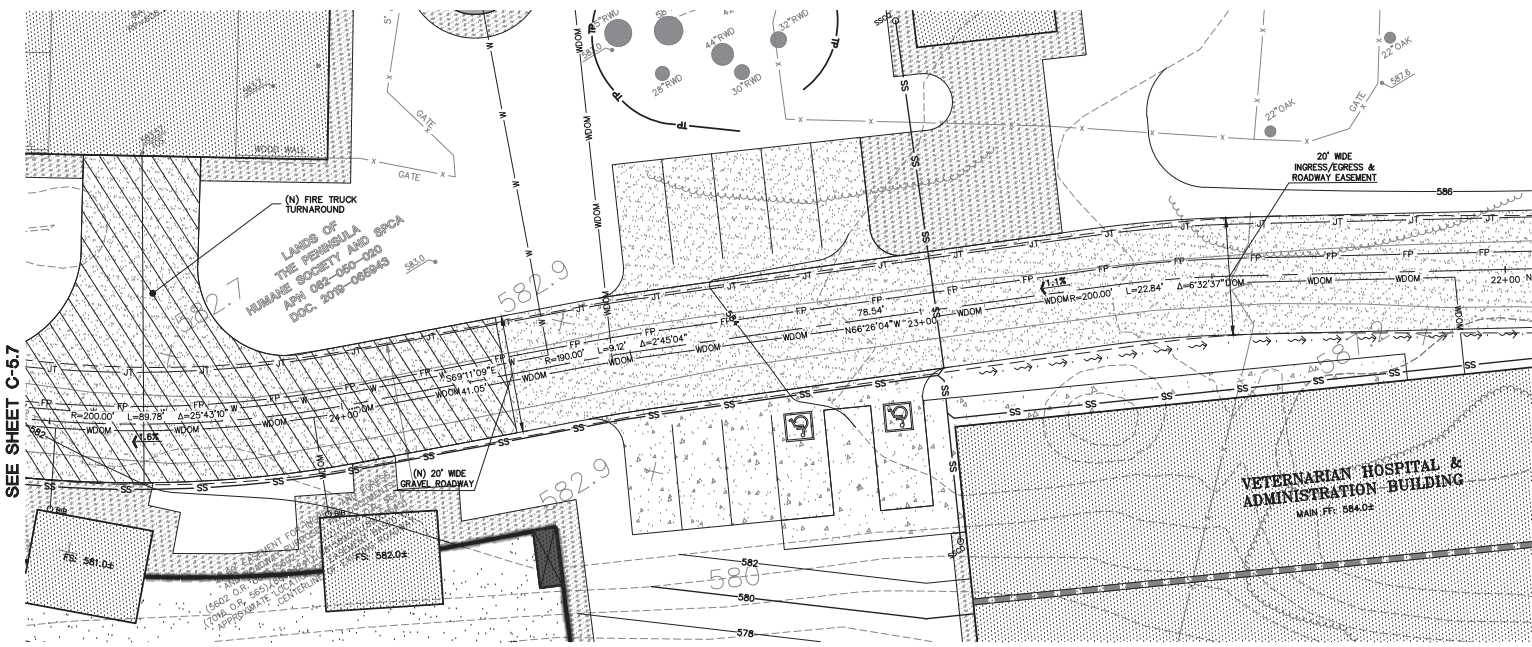
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PLAN & PROFILE
STA: 19+50 TO 22+00

REVISIONS	BY
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JOB NO: 2201144
DATE: 07/12/21
SCALE: 1" = 10'
DESIGN BY: TB
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C-5.5
45 OF 54 SHEETS

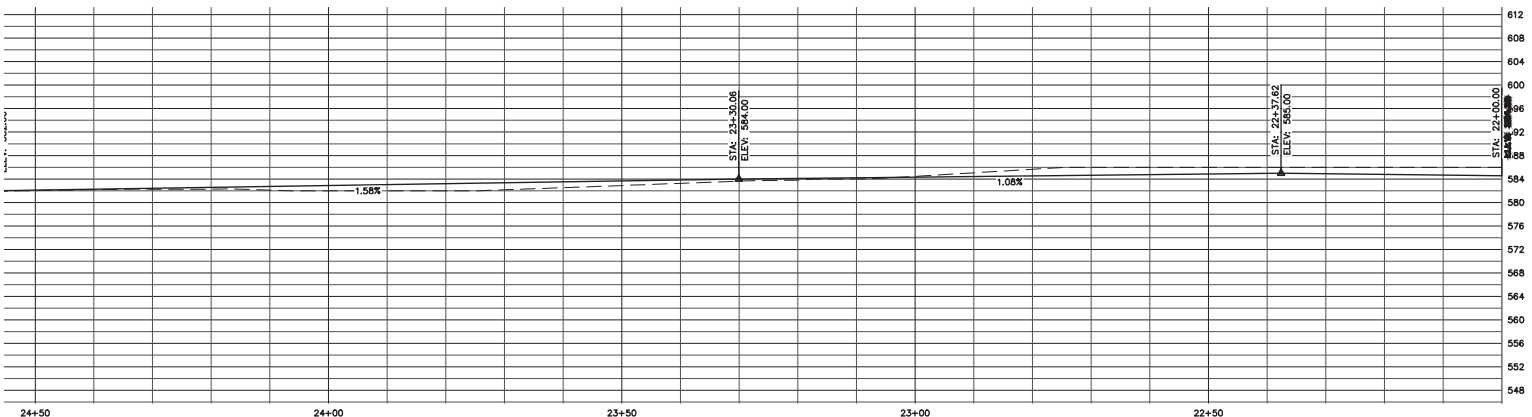


SEE SHEET C-5.7

SEE SHEET C-5.5

SEE SHEET C-5.7

SEE SHEET C-5.5



MAIN ROADWAY
SCALE: 1" = 10' HORIZ & VERT

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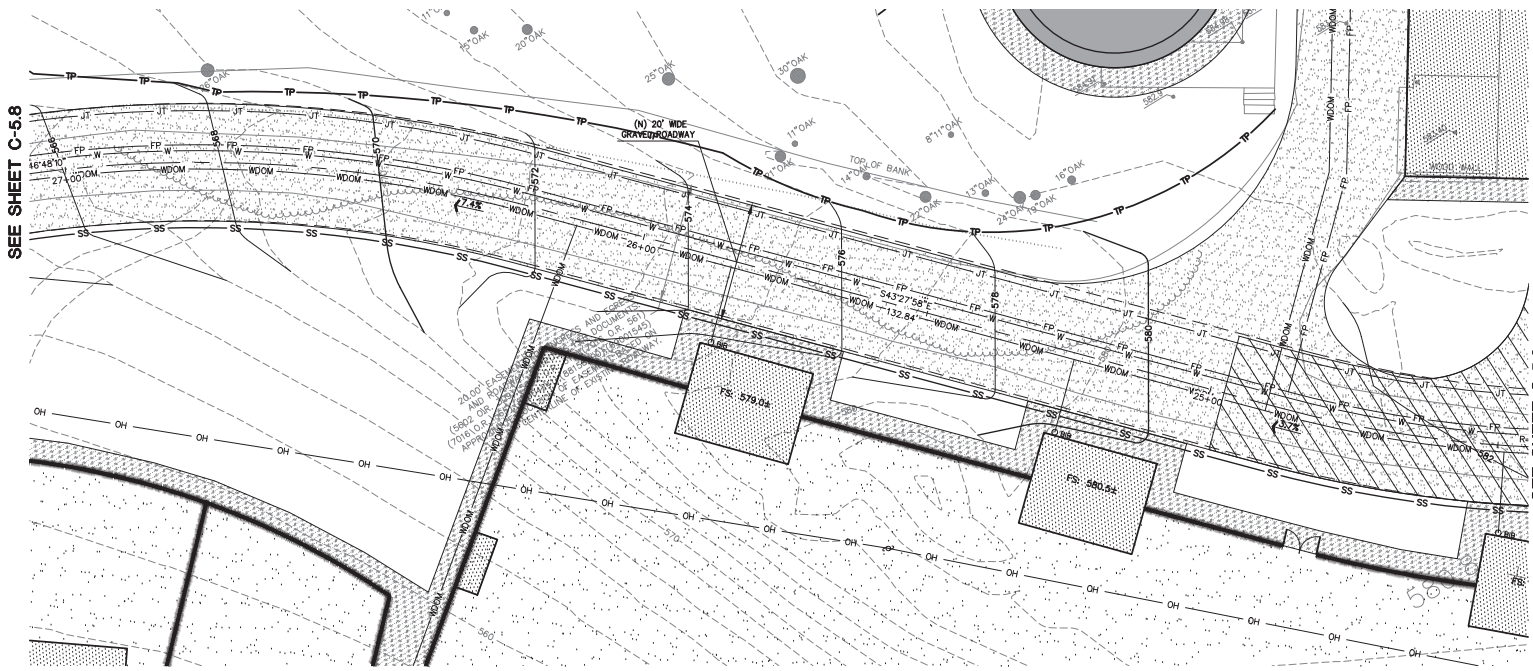
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SAN MATEO COUNTY
APN: 082-050-010
082-050-020

PLAN & PROFILE
STA: 22+00 TO 24+50

NO.	REVISIONS	BY
1	USE PERMIT RESUBMITTAL 08/03/22	TB
2	USE PERMIT RESUBMITTAL 01/12/22	TB

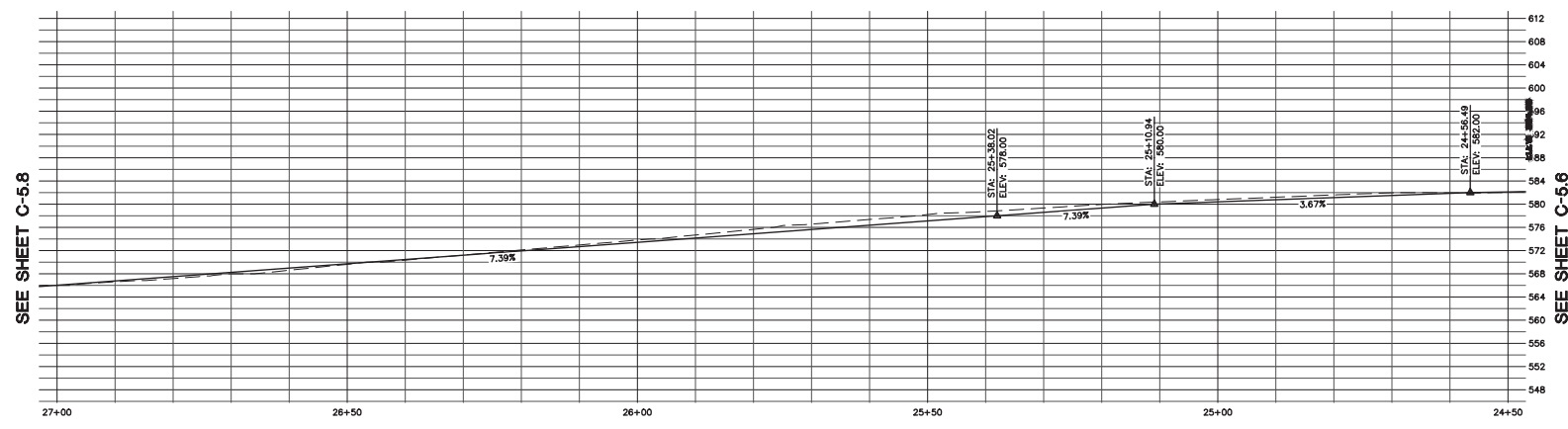
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DATE: 07/12/21
SCALE: 1" = 10'
DESIGN BY: TB
CHECKED BY: CA
SHEET NO:

C-5.6
46 OF 54 SHEETS



SEE SHEET C-5.8

SEE SHEET C-5.6



SEE SHEET C-5.8

SEE SHEET C-5.6

MAIN ROADWAY
SCALE: 1" = 10' HORIZ & VERT

NOTE:
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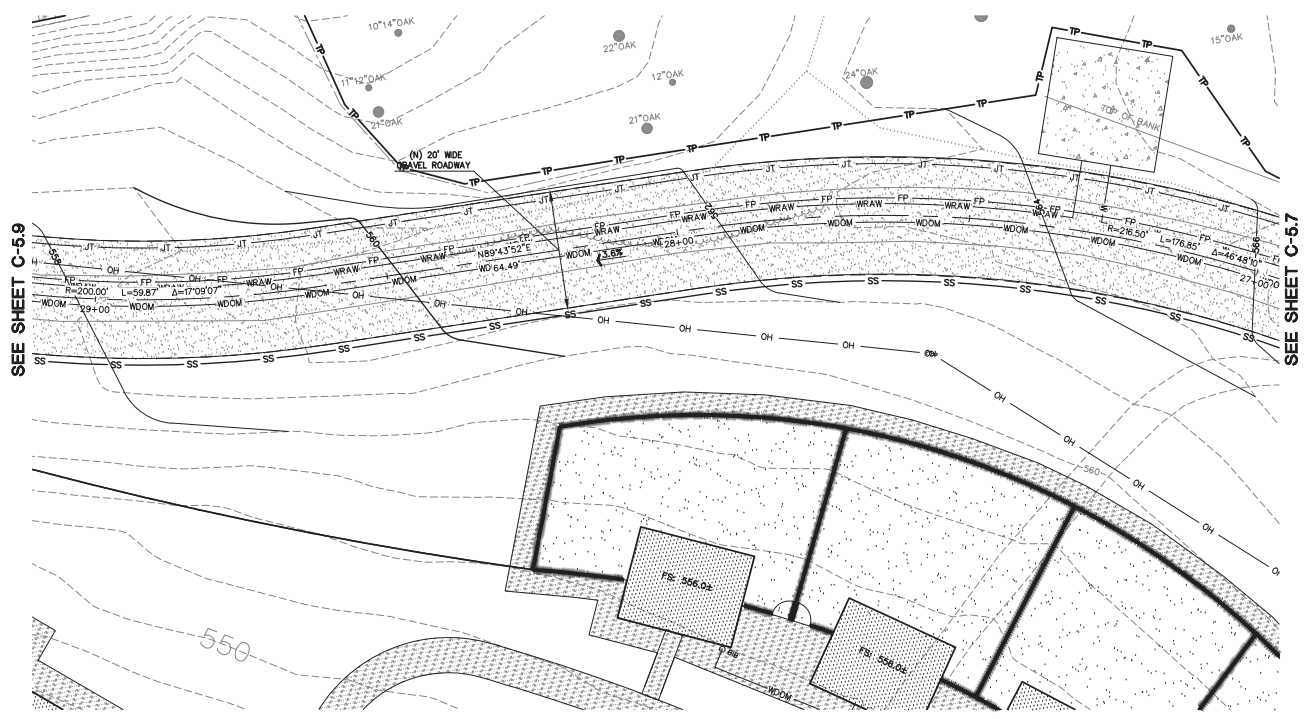
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APN: 082-050-010
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PLAN & PROFILE
STA: 24+50 TO 27+00

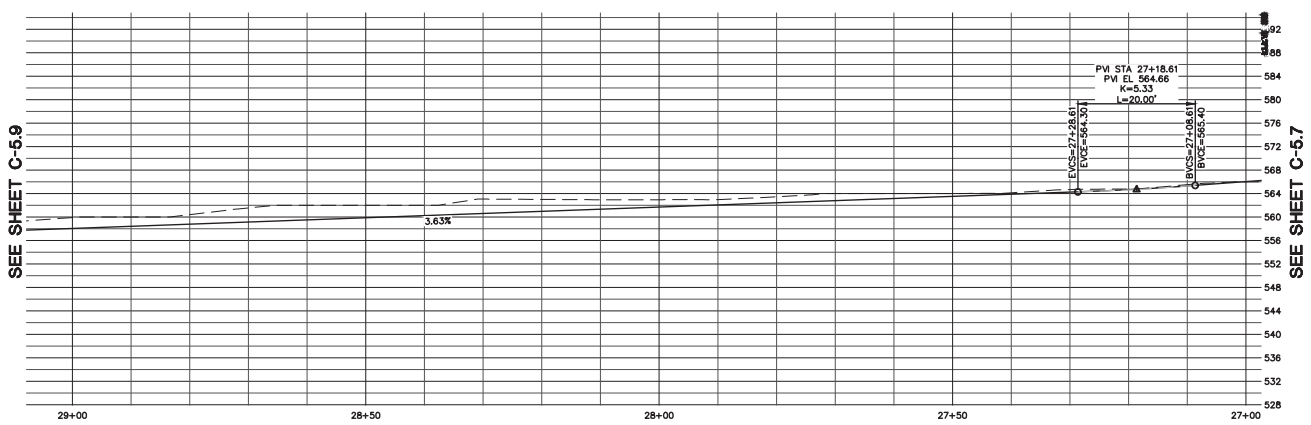
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REVISIONS	BY
JOB NO: 2201144	
DATE: 07/12/21	
SCALE: 1" = 10'	
DESIGN BY: TB	
CHECKED BY: CA	
SHEET NO:	

C-5.7
47 OF 54 SHEETS



SEE SHEET C-5.9

SEE SHEET C-5.7



SEE SHEET C-5.9

SEE SHEET C-5.7

MAIN ROADWAY
SCALE: 1" = 10' HORIZ & VERT

NOTE:
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082-050-020

PLAN & PROFILE
STA: 27+00 TO 29+00

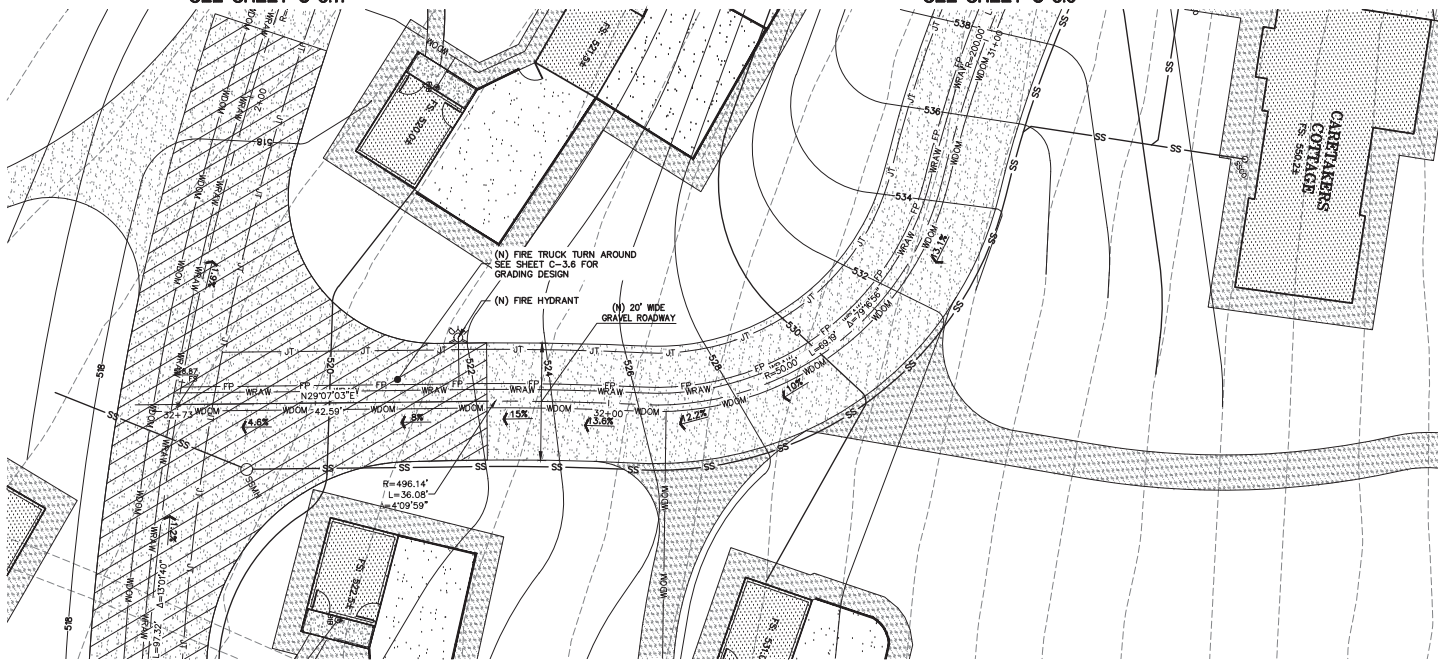
NO.	REVISIONS	BY
1	USE PERMIT RESUBMITTAL 08/03/22	TB
2	USE PERMIT RESUBMITTAL 01/12/22	TB

JOB NO: 2201144
DATE: 07/12/21
SCALE: 1" = 10'
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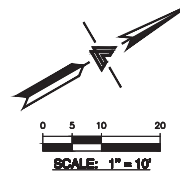
C-5.8
48 OF 54 SHEETS

SEE SHEET C-5.11

SEE SHEET C-5.9



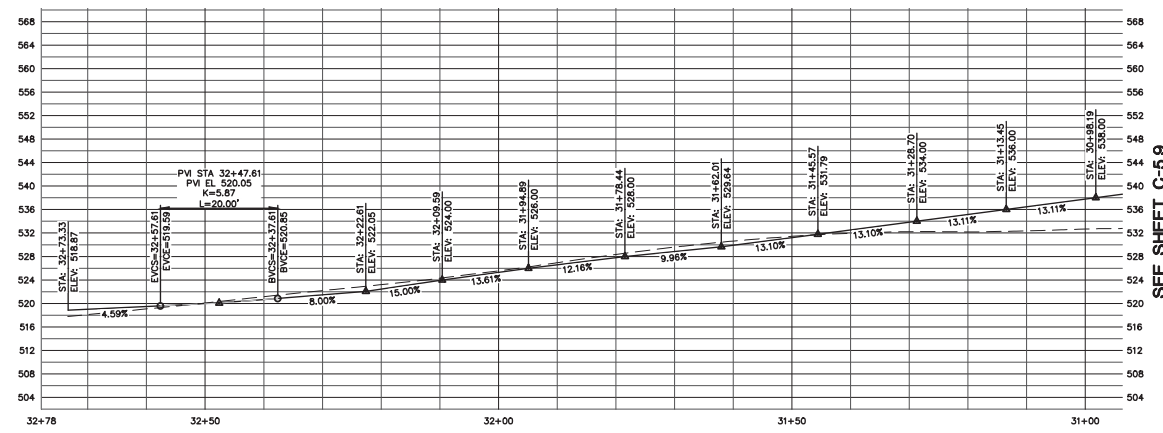
SEE SHEET C-5.11



LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS • LAND SURVEYORS
 SPECIALTY OFFICES:
 SAN JOSE (COMING SOON)
 DUBLIN
 HAYWARD, CALIFORNIA 94545
 (510) 887-4086
 WWW.LEABRAZE.COM

PENINSULA HUMANE SOCIETY
 ANIMAL SANCTUARY
 12429 PISCADERO CREEK RD
 LOMA MAR, CALIFORNIA
 SAN MATEO COUNTY
 APN: 082-050-010
 082-050-020

PLAN & PROFILE
 STA: 31+00 TO 32+80



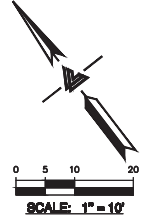
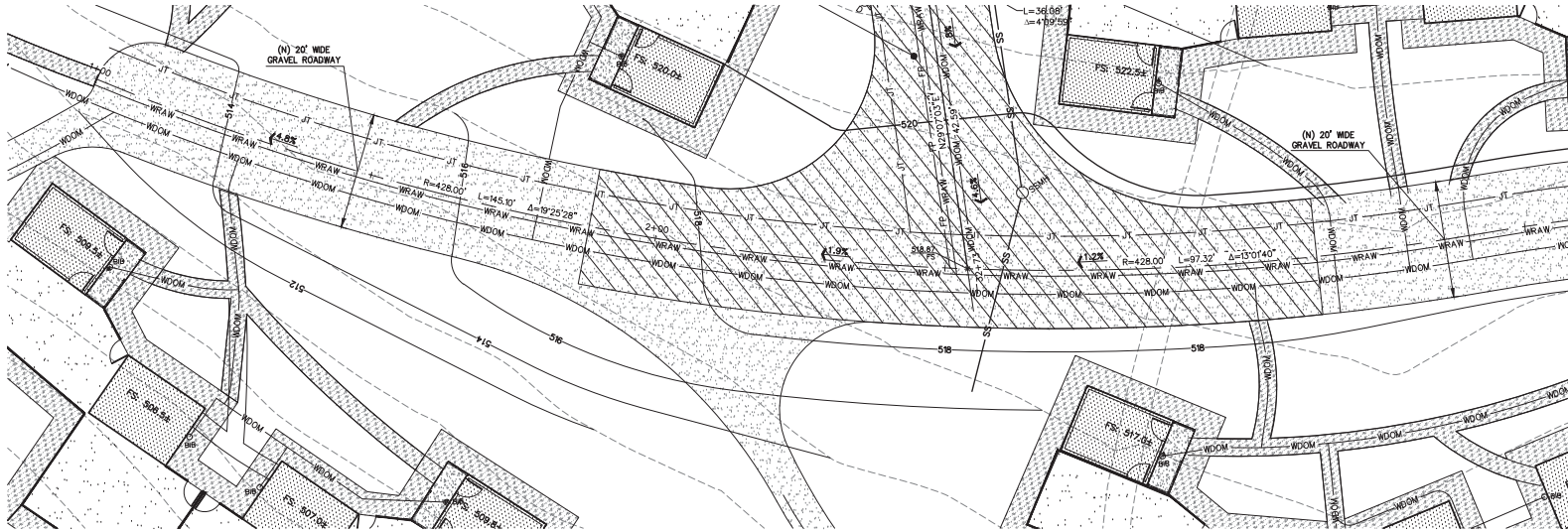
MAIN ROADWAY
 SCALE: 1" = 10' HORIZ & VERT

NOTE:
 FOR CONSTRUCTION STAKING
 SCHEDULING OR QUOTATIONS
 PLEASE CONTACT ALEX ABAYA
 AT LEA & BRAZE ENGINEERING
 (510)887-4086 EXT 116.
 aabaya@leabrazec.com

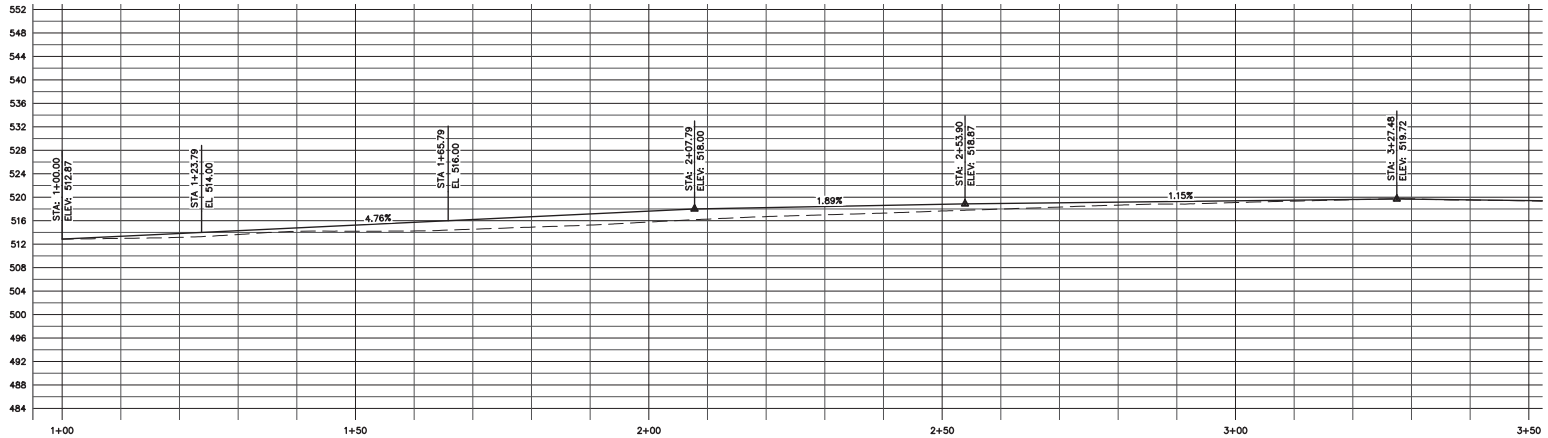
REVISIONS	BY
USE PERMIT RESUBMITTAL 08/03/22	TB
USE PERMIT RESUBMITTAL 01/12/22	TB

JOB NO: 2201144
 DATE: 07/12/21
 SCALE: 1" = 10'
 DESIGN BY: TB
 CHECKED BY: CA
 SHEET NO:

C-5.10
 49 OF 54 SHEETS



SEE SHEET C-5.12



ENCLOSURE ROADWAY
SCALE: 1" = 10' HORIZ & VERT

SEE SHEET C-5.12

NOTE:
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AT LEA & BRAZE ENGINEERING
(510)887-4086 EXT 116.
aabaya@leabrazes.com



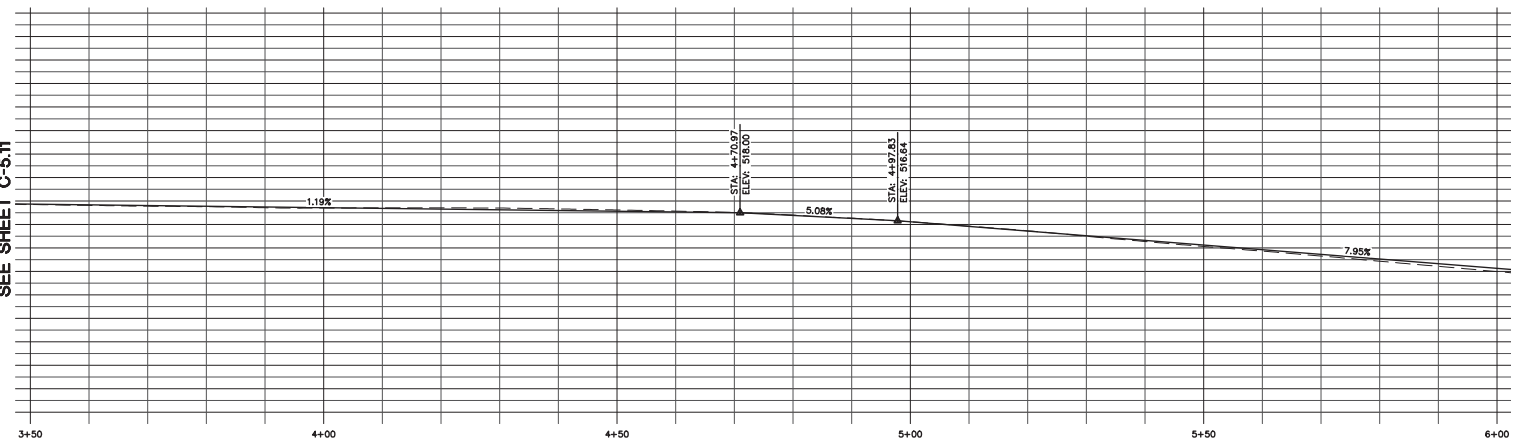
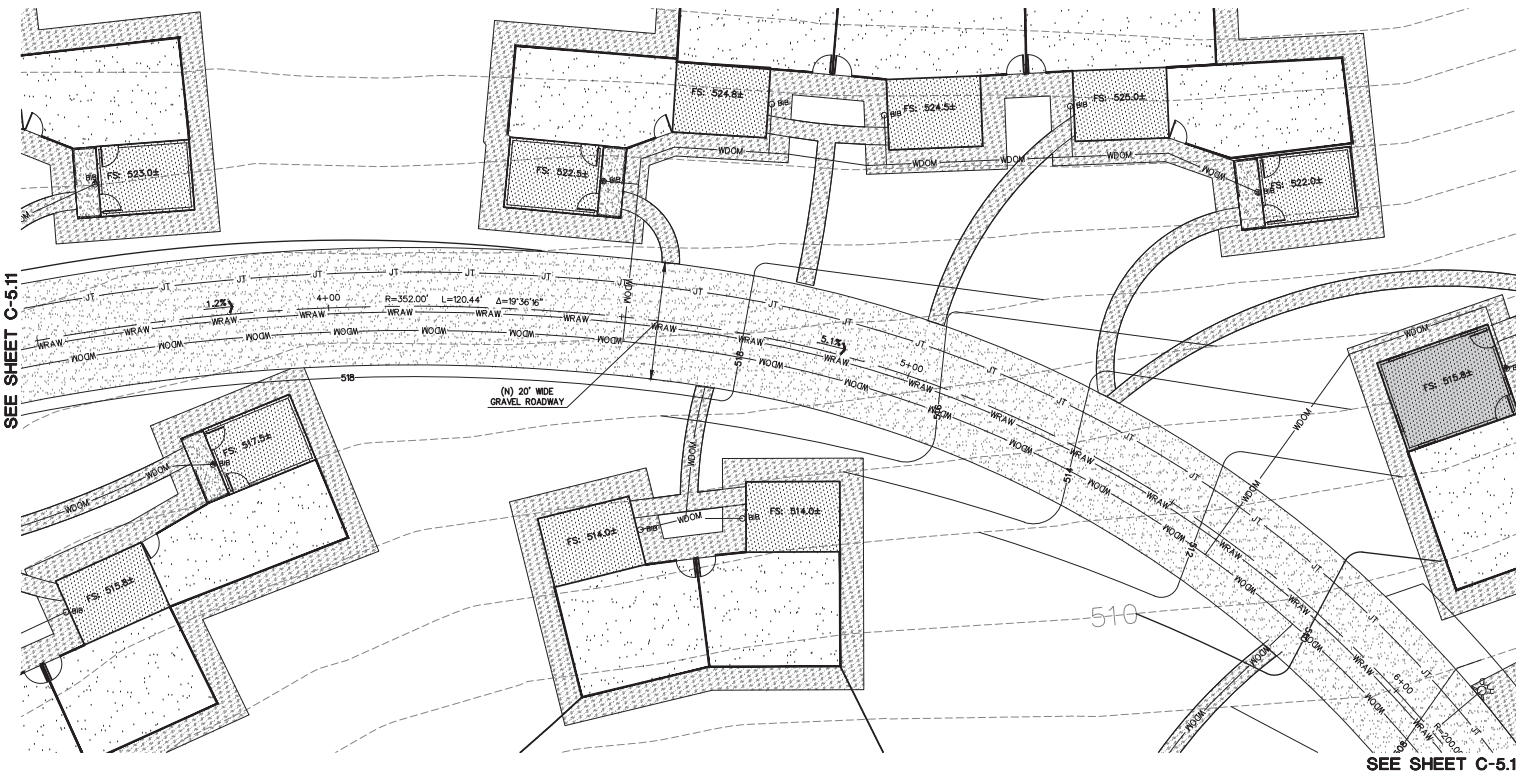
LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS
REGISTERED PROFESSIONAL ENGINEERS
3480 INDUSTRIAL PARK WEST
HAYWARD, CALIFORNIA 94545
(510) 887-4086 SAN JOSE (COMING SOON)
WWW.LEABRAZE.COM

**PENINSULA HUMANE SOCIETY
ANIMAL SANCTUARY
12429 PESCADERO CREEK RD
LOMA MAR, CALIFORNIA**
SAN MATEO COUNTY APN: 082-050-010
082-050-020

**PLAN & PROFILE
STA: 1+00 TO 3+50**

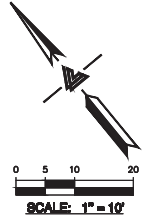
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USE PERMIT RESUBMITTAL 01/13/22	TB
REVISIONS	BY
JOB NO: 2201144	
DATE: 07/12/21	
SCALE: 1" = 10'	
DESIGN BY: TB	
CHECKED BY: CA	
SHEET NO:	

C-5.11
50 OF 54 SHEETS



ENCLOSURE ROADWAY
SCALE: 1" = 10' HORIZ & VERT

NOTE:
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SCHEDULING OR QUOTATIONS
PLEASE CONTACT ALEX ABAYA
AT LEA & BRAZE ENGINEERING
(510)887-4086 EXT 116.
aabaya@leabraze.com



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REGISTERED PROFESSIONAL ENGINEERS
9480 INDUSTRIAL PARK WEST
HAYWARD, CALIFORNIA 94545
(510) 887-4086
WWW.LEABRAZE.COM

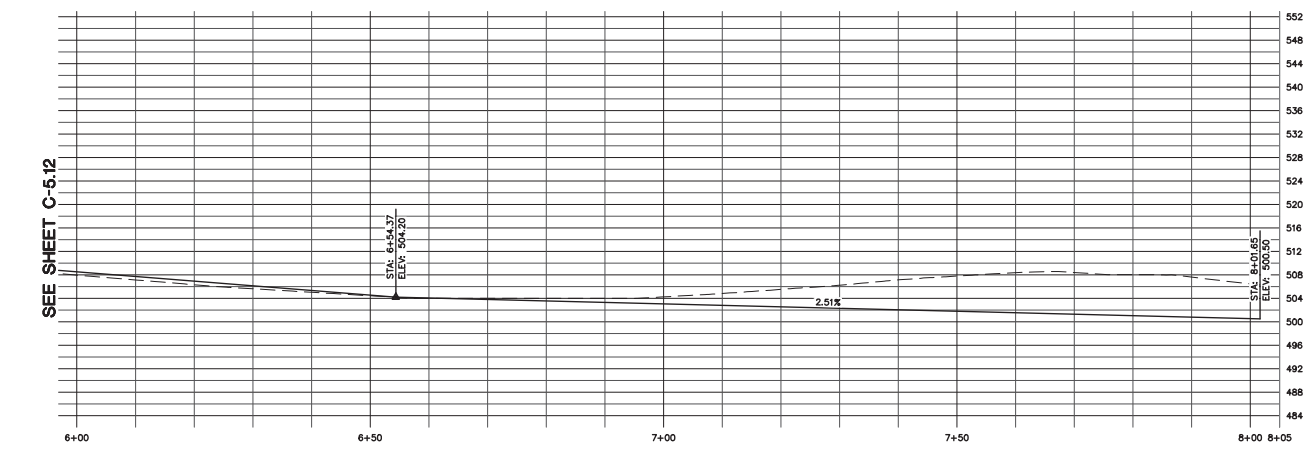
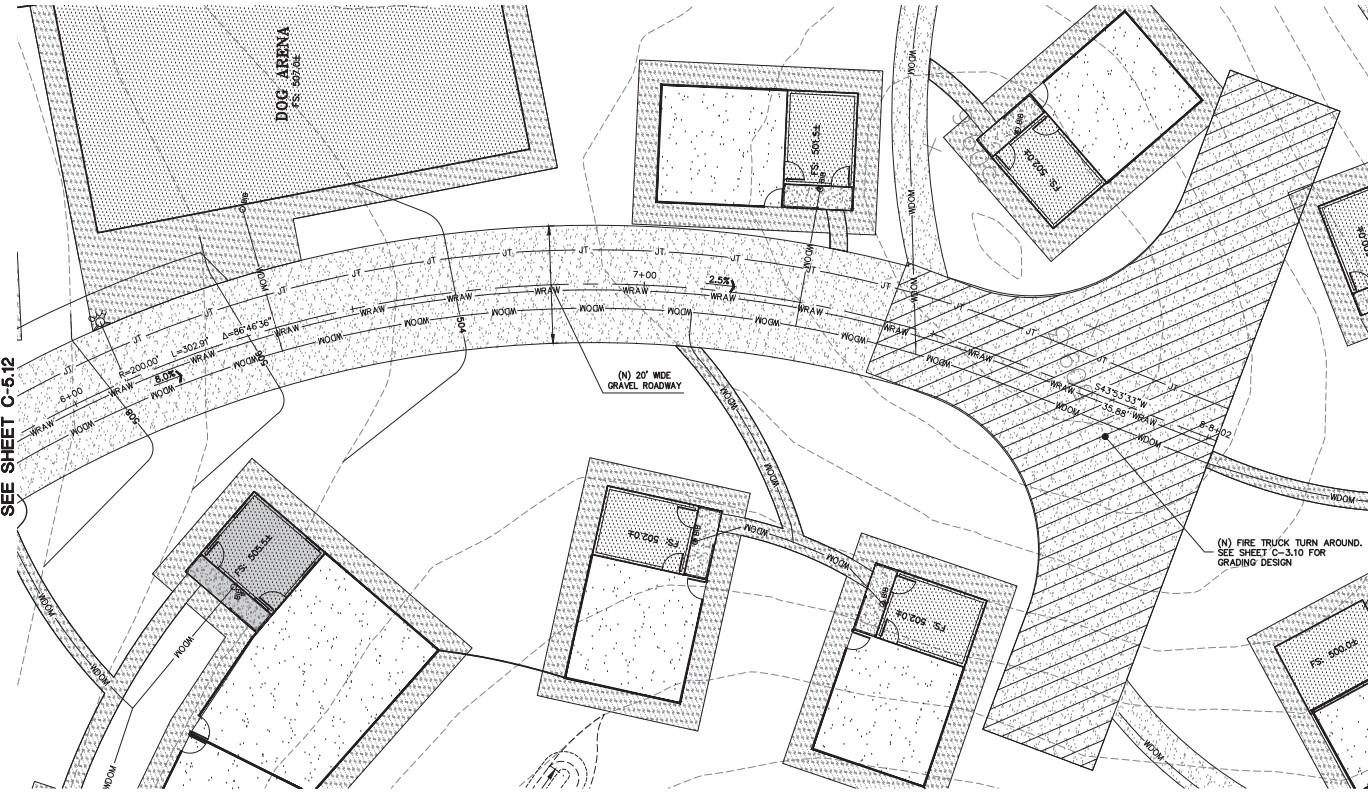
PENINSULA HUMANE SOCIETY
ANIMAL SANCTUARY
12429 PESCADERO CREEK RD
LOMA MAR, CALIFORNIA
SAN MATEO COUNTY
APN: 082-050-010
082-050-020

PLAN & PROFILE
STA: 3+50 TO 6+00

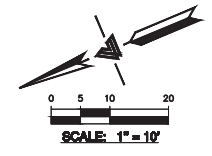
REVISIONS	BY
USE PERMIT RESUBMITTAL 08/01/22	TB
USE PERMIT RESUBMITTAL 01/12/22	TB

JOB NO: 2201144
DATE: 07/12/21
SCALE: 1" = 10'
DESIGN BY: TB
CHECKED BY: CA
SHEET NO:

C-5.12
51 OF 54 SHEETS



ENCLOSURE ROADWAY
SCALE: 1" = 10' HORIZ & VERT



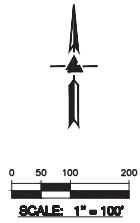
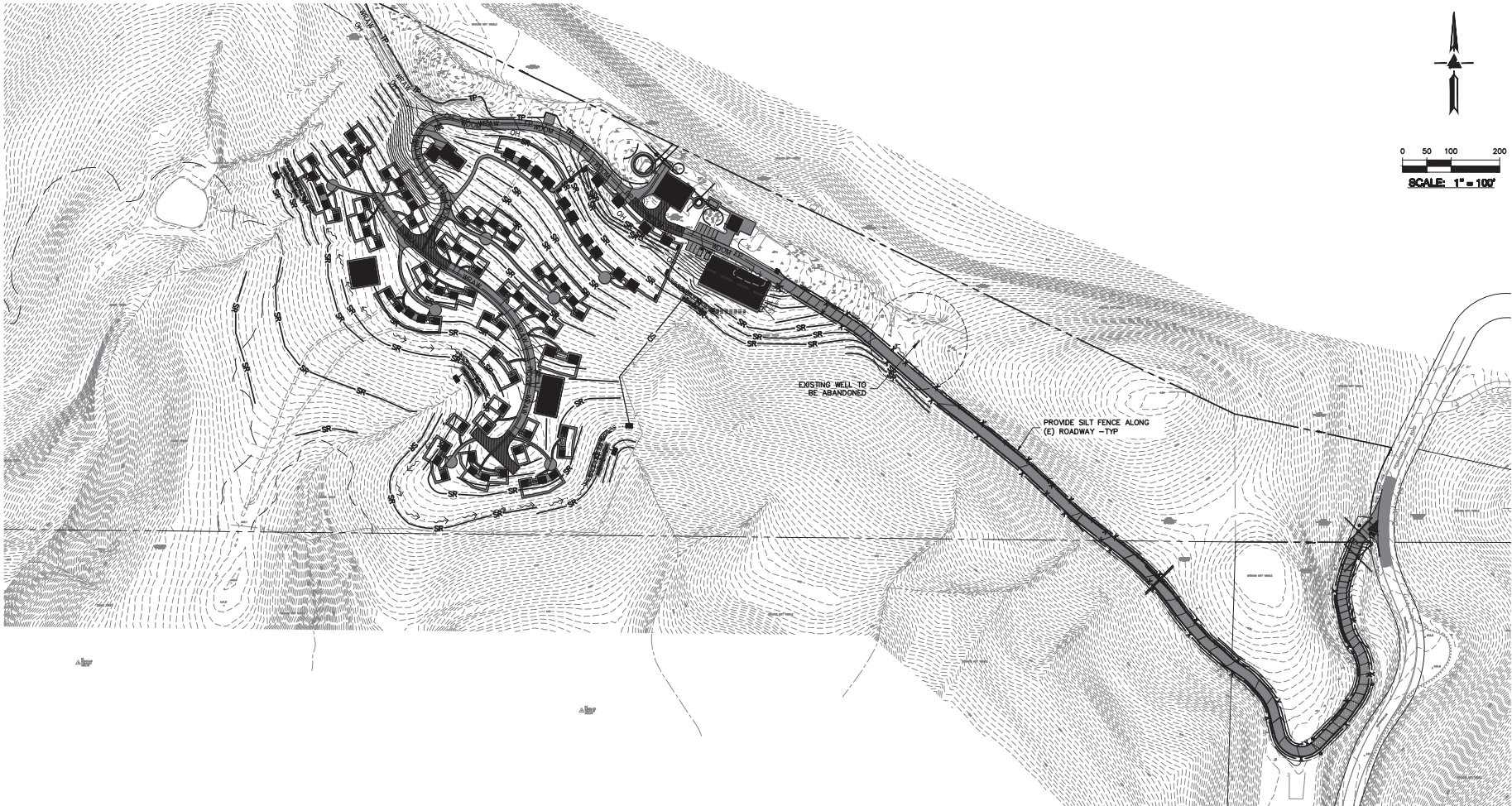
LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS
REGISTERED OFFICES:
3400 INDUSTRIAL PARK WEST
HAYWARD, CALIFORNIA 94545
(510) 887-4086 SAN JOSE (COMING SOON)
WWW.LEABRAZE.COM

PENINSULA HUMANE SOCIETY
ANIMAL SANCTUARY
12429 PESCADERO CREEK RD
LOMA MAR, CALIFORNIA
SAN MATEO COUNTY
APN: 082-050-010
082-050-020

PLAN & PROFILE
STA: 6+00 TO 8+00

USE PERMIT RESUBMITTAL 08/01/22	TB
USE PERMIT RESUBMITTAL 01/12/22	TB
REVISIONS	BY
JOB NO: 2201144	
DATE: 07/12/21	
SCALE: 1" = 10'	
DESIGN BY: TB	
CHECKED BY: CA	
SHEET NO:	

NOTE:
FOR CONSTRUCTION STAKING
SCHEDULING OR QUOTATIONS
PLEASE CONTACT ALEX ABAYA
AT LEA & BRAZE ENGINEERING
(510)887-4086 EXT 116.
aabaya@leabrazec.com



LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS • LAND SURVEYORS
 REGISTERED PROFESSIONAL ENGINEERS
 3400 INDUSTRIAL PARK WEST
 HAYWARD, CALIFORNIA 94545
 (510) 887-4688 SAN JOSE (COMING SOON)
 WWW.LEABRAZE.COM

PENINSULA HUMANE SOCIETY
 ANIMAL SANCTUARY
 12429 PESCADERO CREEK RD
 LOMA MAR, CALIFORNIA
 SAN MATEO COUNTY
 APN: 082-050-010
 082-050-020

EROSION CONTROL PLAN

EROSION CONTROL LEGEND

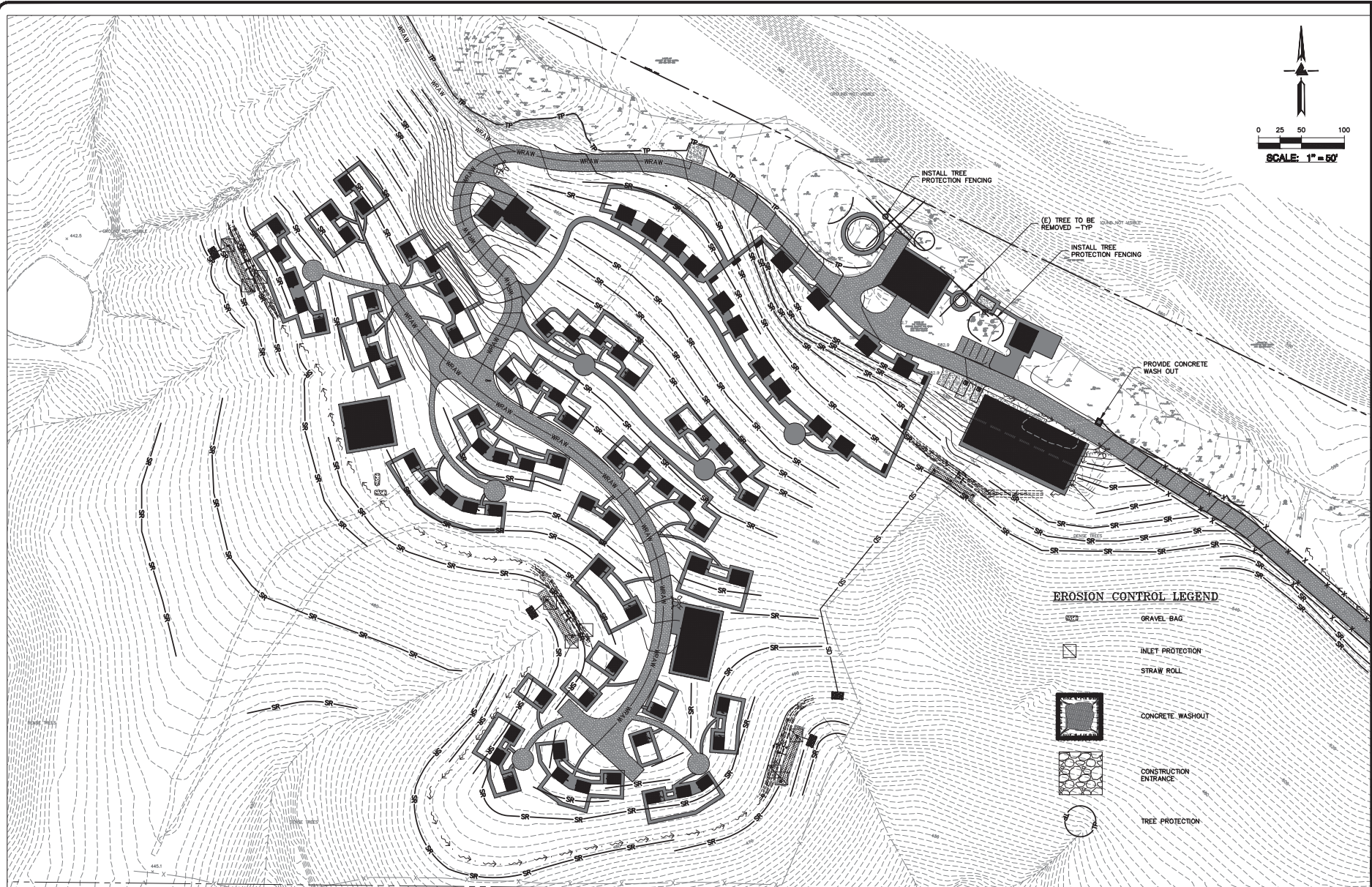
	GRAVEL BAG
	INLET PROTECTION
	STRAW ROLL
	SILT FENCE
	CONCRETE WASHOUT
	CONSTRUCTION ENTRANCE
	TREE PROTECTION

NOTE:
 SEAL ALL OTHER INLETS NOT INTENDED TO ACCEPT STORM WATER AND DIRECT FLOWS TEMPORARILY TO FUNCTIONAL SEDIMENTATION BASIN INLETS. -TYP

USE PERMIT RESUBMITTAL 08/01/22	TB
USE PERMIT RESUBMITTAL 01/12/22	TB
REVISIONS	BY
JOB NO: 2201144	
DATE: 07/12/21	
SCALE: 1" = 100'	
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CHECKED BY: CA	
SHEET NO:	



53 OF 54 SHEETS









LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS • LAND SURVEYORS
 3400 INDUSTRIAL DRIVE WEST
 DUBLIN, CALIFORNIA 94568
 (916) 887-6088
 WWW.LEABRAZE.COM

PENINSULA HUMANE SOCIETY
 ANIMAL SANCTUARY
 12429 PESCADERO CREEK RD
 LOMA MAR, CALIFORNIA
 SAN MATEO COUNTY
 APR. 082-050-010
 082-050-020

**EROSION CONTROL PLAN
 (AREA OF DETAIL)**

EROSION CONTROL LEGEND

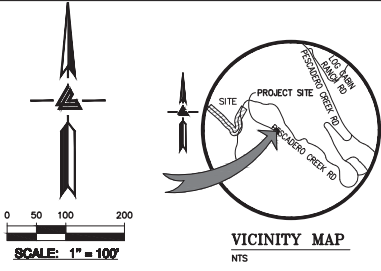
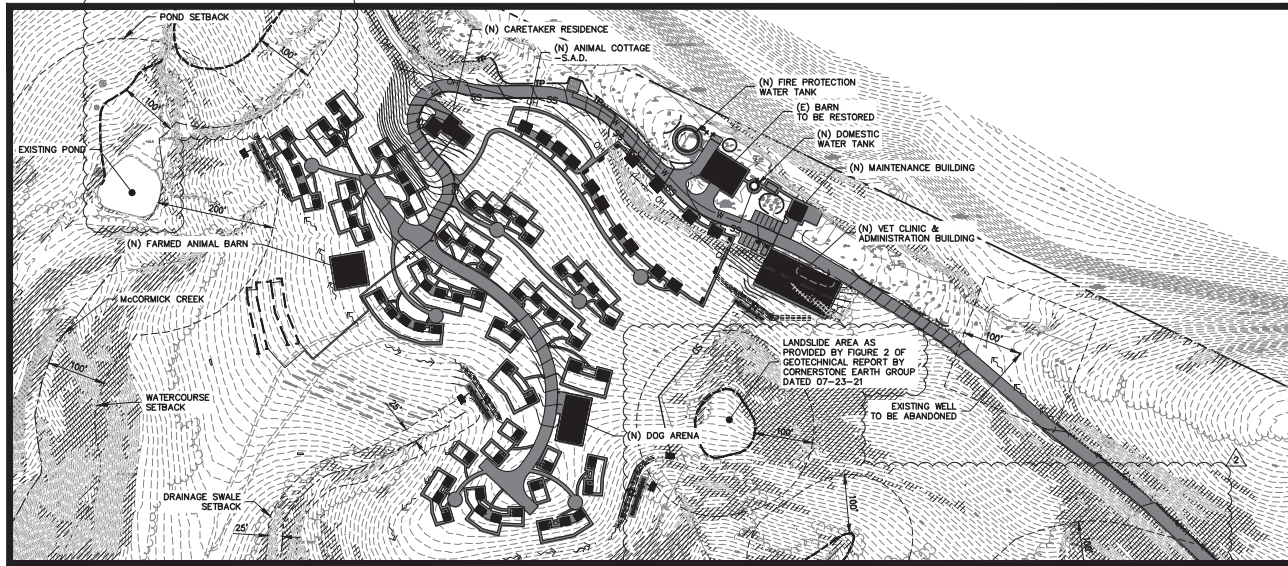
-  GRAVEL BAG
-  INLET PROTECTION
-  STRAW ROLL
-  CONCRETE WASHOUT
-  CONSTRUCTION ENTRANCE
-  TREE PROTECTION

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 TO ACCEPT STORM WATER AND DIRECT
 FLOWS TEMPORARILY TO FUNCTIONAL
 SEDIMENTATION BASIN INLETS. -TYP

USE PERMIT RESUBMITTAL 08/01/22	TB
USE PERMIT RESUBMITTAL 01/12/22	TB
REVISIONS	BY
JOB NO:	2201144
DATE:	07/12/21
SCALE:	1" = 50'
DESIGN BY:	TB
CHECKED BY:	CA
SHEET NO.:	



SEPTIC CONSTRUCTION PLAN HASKIN HILL SANCTUARY 12429 PESCADERO CREEK ROAD LOMA MAR, CALIFORNIA



OWNER'S INFORMATION

OWNER: PENINSULA HUMANE SOCIETY & SPCA
1450 ROLLINS ROAD
BURLINGAME, CA 94010

APN: 082-050-010
082-050-020

THIS SEPTIC CONSTRUCTION PLAN IS SUPPLEMENTAL TO:
1) TOPOGRAPHIC SURVEY BY LEA & BRAZE ENGINEERING, INC., ENTITLED: "HASKIN HILL SANCTUARY" 12429 PESCADERO CREEK ROAD LA HONDA, CA DATED: 09-09-19 JOB#: 2181427
2) CIVIL PLANS BY LEA & BRAZE ENGINEERING, INC., ENTITLED: "HASKIN HILL SANCTUARY" 12429 PESCADERO CREEK ROAD LA HONDA, CA DATED: 11-05-20 JOB#: 2201144

THE CONTRACTOR SHALL REFER TO THE ABOVE NOTED SURVEY AND PLAN, AND SHALL VERIFY BOTH EXISTING AND PROPOSED ITEMS ACCORDING TO THEM.

LEACHFIELD SIZING NOTE

THE LEACH FIELD DESIGN INCLUDES CALCULATIONS WHICH CONSIDER A TWO (2) BEDROOM CARETAKER RESIDENCE, A VETERINARY CLINIC, AND AN ADMINISTRATION OFFICE WITH "A" AND "B" PERCOLATION RATES AS DENOTED ON THE PLANS.

BASED ON THE ABOVE ASSUMPTIONS, MINIMUM LEACHFIELD LENGTHS REQUIRED:

RESIDENTIAL WASTEWATER FLOW	COMMERCIAL WASTEWATER FLOW
(1) CARETAKER RESIDENCE = 2 BEDROOMS = 50 L.F. (FOR AN "A" PERCOLATION RATING) = 85 L.F. (FOR A "B" PERCOLATION RATING)	DOG RUNS (WITHIN VET CLINIC) = 200 GPD (PROVIDED BY KSH ARCHITECTURE)
	FOOD PREPARATION = 210 GPD (PROVIDED BY KSH ARCHITECTURE)
	SHOWERING FACILITIES ¹ = 11.6 GPD PER EMPLOYEE (ASSUME 1 EMPLOYEE)
	LAUNDRY SERVICES = 175 GPD PER CYCLE (ASSUME 8 CYCLES)
	MAINTENANCE BUILDING = 25 GPD (PROVIDED BY KSH ARCHITECTURE)

TOTAL COMMERCIAL WASTEWATER FLOW = 200 + 210 + 11.6 + (175*8) + 25 = 1,847 GPD
¹SHOWERING FACILITIES SIZED AS A SHOWER PER THE EPA ONSITE WASTEWATER TREATMENT SYSTEMS MANUAL TABLE 3-3 (RESIDENTIAL WATER USE BY FIXTURE OR APPLIANCE)

WASTE COLLECTION NOTE:
SEPTIC SYSTEM TO COLLECT WASTE ONLY FROM RESIDENTIAL/COMMERCIAL SPACES AS NOTED IN THE LEACHFIELD SIZING NOTES ON SHEET SS-1. ALL OTHER WASTE GENERATED FROM ANIMAL ENCLOSURES, BARN, COTTAGES, OUTDOOR AREAS ETC. TO BE COLLECTED AND DISPOSED OF THROUGH OTHER MEANS AND METHODS.

LEGEND

PROPOSED	DESCRIPTION
---	BOUNDARY
---	PRIMARY LEACH LINE
---	EXPANSION LEACH LINE
---	EXISTING LEACH LINE
---	EXISTING LEACH LINE TO BE REMOVED
---	RETAINING WALL
---	LANDSCAPE RETAINING WALL
TL	TIGHTLINE
E	EFFLUENT LINE
BFP	BACKFLOW PREVENTOR
OB	CATCH BASIN
W	WATER LINE
X	FENCE LINE
P	PRESSURE LINE
JT	JOINT TRENCH
SUB	SUBDRAIN LINE
---	GRADING LIMIT LINE
---	DIVERSION VALVE
DS	DOWNSPOUT
SSCD	SANITARY SEWER CLEANOUT
AD	AREA DRAIN
222.57	SPOT ELEVATION
200	CONTOURS
○	PERCOLATION TESTING LOCATION

HATCH LEGEND

[Hatch Pattern]	AREAS OF SLOPE GREATER THAN 35%
[Hatch Pattern]	AREAS OF SLOPE GREATER THAN 50%

ABBREVIATIONS

AD	AREA DRAIN
BFP	BACKFLOW PREVENTOR
OB	CATCH BASIN
CL	CENTER LINE
CD	CLEANOUT
DIV	DIVERSION VALVE
EL	EFFLUENT
ELEV	ELEVATIONS
FL	FLOW LINE
EX	EXISTING
INT	INVERT ELEVATION
JT	JOINT TRENCH
LANDG	LANDING
MAX	MAXIMUM
MIN	MINIMUM
(N)	NEW
(N)	NOT TO SCALE
O.C.	ON CENTER
NTS	NOT TO SCALE
RM	PROPERTY LINE
RM	RM ELEVATION
SS	SANITARY SEWER
SSCD	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
STD	STANDARD
TW/FG	TOP OF WALL/FINISH GRADE
TRIP	TYPICAL
W	WITH
WL	WATER LINE

GENERAL INSTALLATION NOTES:

PERMITS: CONSTRUCTION OF THE SEWAGE DISPOSAL SYSTEM SHALL NOT COMMENCE WITHOUT WRITTEN APPROVAL FROM TOWN OF WOODSIDE AND SAN MATEO COUNTY ENVIRONMENTAL HEALTH SERVICES.

PLAN CHANGES: CHANGES TO THE PLANS OR SPECIFICATIONS SHALL BE MADE ONLY AFTER CONSULTATION WITH AND APPROVAL OF THE DESIGNER AND PERMITTING AGENCY.

INSTALLATION: ALL INSTALLATION WORK SHALL BE IN ACCORDANCE WITH TOWN OF WOODSIDE AND SAN MATEO COUNTY SEWAGE DISPOSAL ORDINANCES.

LOCATION OF THE SEPTIC TANK AND LEACHING TRENCHES: LOCATIONS SHOWN ON THE PLANS ARE SUBJECT TO ADJUSTMENT IN THE FIELD BY DESIGNER WITH APPROVAL OF THE PERMITTING AGENCY. TRENCHES SHALL BE INSTALLED ALONG LEVEL CONTOUR TO ENSURE THE TRENCH BOTTOM IS MAINTAINED LEVEL THROUGHOUT THE ENTIRE LENGTH. A TRIPOD-MOUNTED LASER SHALL BE REQUIRED ON SITE.

DRAINFIELDS (LEACHING TRENCH): THE FOLLOWING SHALL APPLY TO DRAIN FIELD INSTALLATION:
 • TEN FEET FROM ANY BUILDING FOUNDATION AND RETAINING WALL.
 • TEN FEET FROM ANY PROPERTY LINE.
 • TRENCHES SHALL BE OUTSIDE DRIP LINE OF EXISTING TREES UNLESS APPROVED BY PERMITTING AUTHORITY UPON RECOMMENDATION OF LICENSED ARBORIST.
 • 100' FROM ANY WELL.
 • TWENTY-FIVE FEET (25') FROM ANY SLOPE EXCEEDING 50% AND LESS THAN TWELVE FEET (12') IN HEIGHT.
 • FIFTY FEET (50') FROM ANY SLOPE EXCEEDING 50% AND GREATER THAN TWELVE FEET (12') IN HEIGHT.
 • ALL LINES ARE SHOWN AT LEAST EIGHT (8) TIMES THE DIAMETER AWAY OF ALL MAJOR TREES.

SEPTIC TANK AND DRAINFIELD CONSTRUCTION NOTES:

1. INSTALL A 3000-GALLON CONCRETE PRECAST SEPTIC TANK.
2. INSTALL GAS-TIGHT RISER TO GRADE.
3. INSTALL A LANGLEY HILL QUARRY DIVERSION VALVE.
4. INSTALL A DUAL LEACHING SYSTEM SEPARATED BY A DIVERSION VALVE.
5. INSTALL AN INSPECTION RISER AT THE END OF EACH TRENCH IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS. THE INSPECTION RISER MAY BE CUT BELOW GRADE AND INSTALLED WITHIN A WATERTIGHT LANDSCAPE IRRIGATION ENCLOSURE.

STAKING NOTES:

LEA & BRAZE SHALL STAKE OUT PROPOSED SEPTIC SYSTEM FOR VERIFICATION BY SAN MATEO COUNTY ENVIRONMENTAL HEALTH PRIOR TO SITE INSPECTION

TRENCHING NOTE:
ALL TRENCHING FOR THE PROPOSED LEACHFIELDS WITHIN THE DRILPLEYS OF ANY SIGNIFICANT TREE WILL BE DONE BY HAND UNDER THE SUPERVISION OF THE PROJECT ARBORIST.

NOTE: FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING (510)857-4066 EXT 116. aabaya@leabrazec.com



SHEET INDEX

SS-1	SEPTIC CONSTRUCTION PLAN
SS-2	SEWER ROUTING PLAN
SS-3	SEPTIC CONSTRUCTION PLAN
SS-4	SEPTIC DETAILS



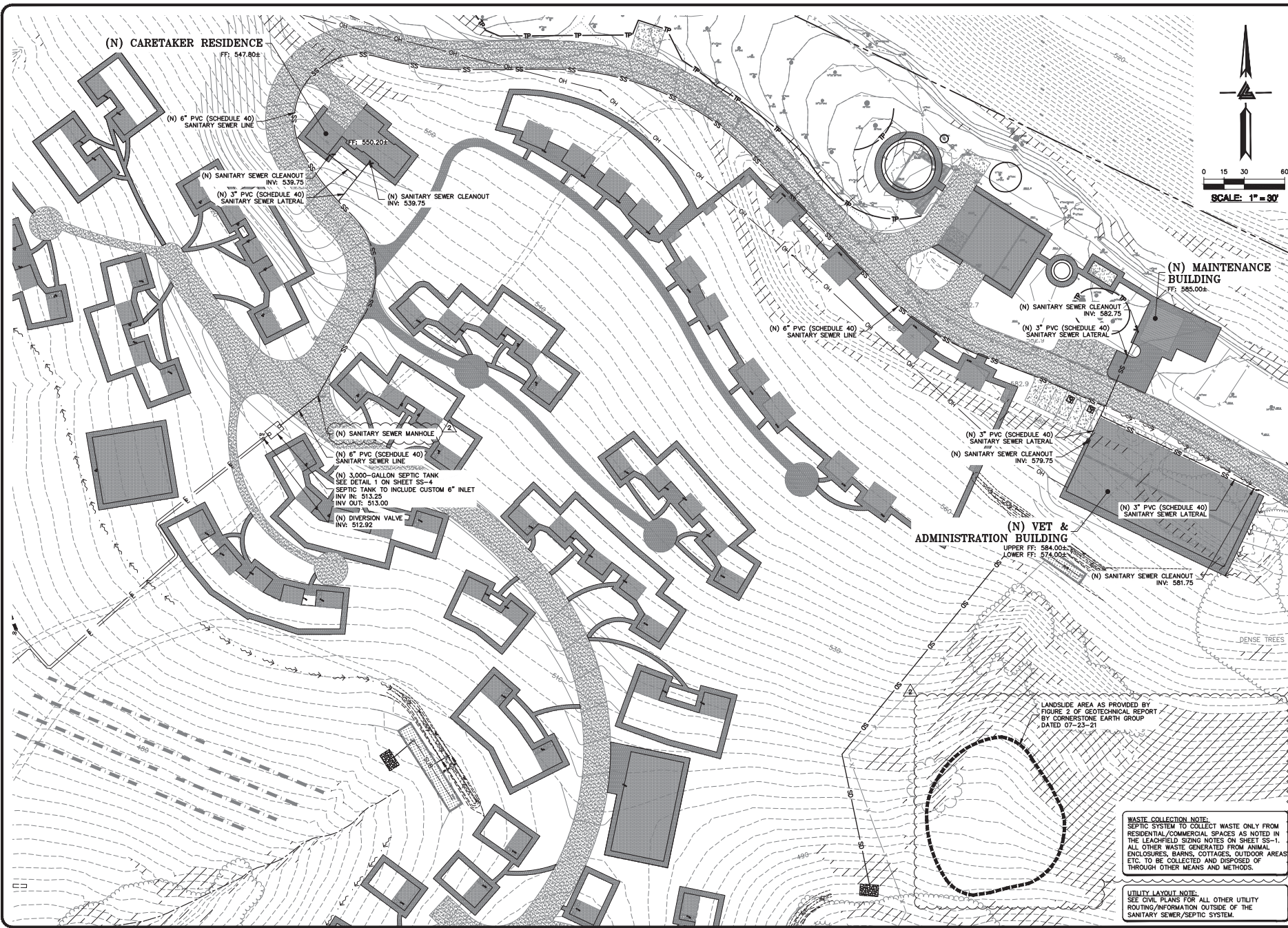
LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS
SEWER DESIGNERS
3400 INDUSTRIAL PARK WEST
HAYWARD, CALIFORNIA 94545
SAN JOSE (COMING SOON)
(510) 881-4066
WWW.LEABRAZE.COM

HASKIN HILL SANCTUARY
12429 PESCADERO CREEK RD
LOMA MAR, CALIFORNIA
SAN MATEO COUNTY
APN: 082-050-010
082-050-020

SEPTIC CONSTRUCTION PLAN

NO.	DATE	BY
1	09/09/22	RM
2	01/23/23	RM
3		RM
4		BY

JOB NO: 2201144
DATE: 06-18-21
SCALE: 1"=100'
DESIGN BY: RM
CHECKED BY: AB
SHEET NO:
98-1
1 of 4 SHEETS



LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS • LAND SURVEYORS
 PROFESSIONAL ENGINEERS
 1340 INDUSTRIAL PARK WEST
 DUBLIN, CALIFORNIA 94568
 (916) 881-4088
 WWW.LEABRAZE.COM

HASKIN HILL SANCTUARY
 12429 PESCADERO CREEK RD
 LOMA MAR, CALIFORNIA
 SAN MATEO COUNTY
 APN: 082-050-010
 082-050-020

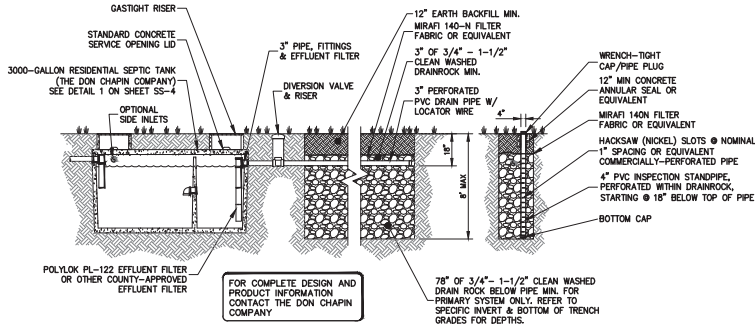
SEWER ROUTING PLAN

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JOB NO: 2201144
 DATE: 06-18-21
 SCALE: 1"=30'
 DESIGN BY: RM
 CHECKED BY: JH
 SHEET NO:

WASTE COLLECTION NOTE:
 SEPTIC SYSTEM TO COLLECT WASTE ONLY FROM RESIDENTIAL/COMMERCIAL SPACES AS NOTED IN THE LEACHFIELD SIZING NOTES ON SHEET SS-1. ALL OTHER WASTE GENERATED FROM ANIMAL ENCLOSURES, BARN, COTTAGES, OUTDOOR AREAS ETC. TO BE COLLECTED AND DISPOSED OF THROUGH OTHER MEANS AND METHODS.

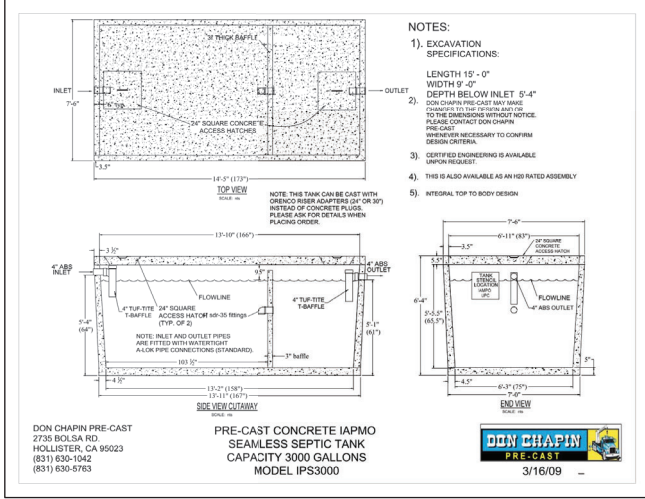
UTILITY LAYOUT NOTE:
 SEE CIVIL PLANS FOR ALL OTHER UTILITY ROUTING INFORMATION OUTSIDE OF THE SANITARY SEWER/SEPTIC SYSTEM.



FOR COMPLETE DESIGN AND PRODUCT INFORMATION CONTACT THE DON CHAPIN COMPANY

LIQUID CAPACITY REQUIRED: 3000 GALLONS (RESIDENTIAL + COMMERCIAL SYSTEM)
 DOSING CAPACITY REQUIRED: 150 GALLONS (50 GALLONS/BEDROOM PER SAN MATEO COUNTY OWTS X 1 BEDROOMS)
 BOX DESIGN LOAD: NON-TRAFFIC, UP TO 3 FEET OF SOIL COVER, MAXIMUM 500 PSF.

1 RESIDENTIAL SEPTIC TANK
 SS-4 NTS



- NOTES:
- 1). EXCAVATION SPECIFICATIONS:
 LENGTH 10' - 0"
 WIDTH 9' - 0"
 DEPTH BELOW INLET 5'-4"
 - 2). DON CHAPIN PRE-CAST TANK SHALL BE SUPPLIED TO THE PERMITS AND TO THE ENGINEER WITHOUT NOTICE. PLEASE CONTACT DON CHAPIN PRE-CAST WHEN NECESSARY TO CONFIRM DESIGN CRITERIA.
 - 3). CERTIFIED ENGINEERING IS AVAILABLE UPON REQUEST.
 - 4). THIS IS ALSO AVAILABLE AS AN ISO RATED ASSEMBLY.
 - 5). INTERNAL TOP TO BODY DESIGN.

DON CHAPIN PRE-CAST
 2735 BOLSA RD.
 HOLLISTER, CA 95023
 (831) 630-1042
 (831) 630-5763

PRE-CAST CONCRETE IAPMO SEAMLESS SEPTIC TANK CAPACITY 3000 GALLONS MODEL IPS3000

3/16/09

2 3000-GALLON SEPTIC TANK
 SS-4 NTS

Langley Hill Quarry
 Ph: 650-851-0126 • Septic Systems Installed & Repaired • Lic. No. A702033
 SMC Certified Installer No. _____
 SMC Soil Percolation Tester No. _____

Observed in Field By: *Michael Williams* Date: *10/22/20*

1/2 HOUR INTERVALS	READINGS	HOLE #1	HOLE #2	HOLE #3	HOLE #4	HOLE #5	HOLE #6
1	FINISH	11:20	11:20	11:20	11:20	11:20	11:20
1	START	11:20	11:20	11:20	11:20	11:20	11:20
1	DIFF.	11:20	11:20	11:20	11:20	11:20	11:20
2	FINISH	11:20	11:20	11:20	11:20	11:20	11:20
2	START	11:20	11:20	11:20	11:20	11:20	11:20
2	DIFF.	11:20	11:20	11:20	11:20	11:20	11:20
3	FINISH	11:20	11:20	11:20	11:20	11:20	11:20
3	START	11:20	11:20	11:20	11:20	11:20	11:20
3	DIFF.	11:20	11:20	11:20	11:20	11:20	11:20
4	FINISH	11:20	11:20	11:20	11:20	11:20	11:20
4	START	11:20	11:20	11:20	11:20	11:20	11:20
4	DIFF.	11:20	11:20	11:20	11:20	11:20	11:20
5	FINISH	11:20	11:20	11:20	11:20	11:20	11:20
5	START	11:20	11:20	11:20	11:20	11:20	11:20
5	DIFF.	11:20	11:20	11:20	11:20	11:20	11:20
6	FINISH	11:20	11:20	11:20	11:20	11:20	11:20
6	START	11:20	11:20	11:20	11:20	11:20	11:20
6	DIFF.	11:20	11:20	11:20	11:20	11:20	11:20
7	FINISH	11:20	11:20	11:20	11:20	11:20	11:20
7	START	11:20	11:20	11:20	11:20	11:20	11:20
7	DIFF.	11:20	11:20	11:20	11:20	11:20	11:20
8	FINISH	11:20	11:20	11:20	11:20	11:20	11:20
8	START	11:20	11:20	11:20	11:20	11:20	11:20
8	DIFF.	11:20	11:20	11:20	11:20	11:20	11:20
9	FINISH	11:20	11:20	11:20	11:20	11:20	11:20
9	START	11:20	11:20	11:20	11:20	11:20	11:20
9	DIFF.	11:20	11:20	11:20	11:20	11:20	11:20
10	FINISH	11:20	11:20	11:20	11:20	11:20	11:20
10	START	11:20	11:20	11:20	11:20	11:20	11:20
10	DIFF.	11:20	11:20	11:20	11:20	11:20	11:20

APPLICANTS NAME: LANGLEY HILL QUARRY PHONE: 650-851-0126
 OWNERS NAME: *Peninsula Humane Society* APN: *052-050-020*
 ADDRESS: *1005 Pescadero Blvd R1 Loma Mar*
 SIZE OF PARCEL: _____ WATER SOURCE: *well* SUBDIVISION: _____
 WET WEATHER TESTING REQUIRED? YES NO DEPTH TO GROUND WATER: *12' deep well*
 SOIL LOG: _____

3 PERCOLATION TEST DATA
 SS-4 NTS

Langley Hill Quarry
 Ph: 650-851-0126 • Septic Systems Installed & Repaired • Lic. No. A702033
 SMC Certified Installer No. _____
 SMC Soil Percolation Tester No. _____

Observed in Field By: *Michael Williams* Date: *10/22/20*

1/2 HOUR INTERVALS	READINGS	HOLE #1	HOLE #2	HOLE #3	HOLE #4	HOLE #5	HOLE #6
1	FINISH	11:20	11:20	11:20	11:20	11:20	11:20
1	START	11:20	11:20	11:20	11:20	11:20	11:20
1	DIFF.	11:20	11:20	11:20	11:20	11:20	11:20
2	FINISH	11:20	11:20	11:20	11:20	11:20	11:20
2	START	11:20	11:20	11:20	11:20	11:20	11:20
2	DIFF.	11:20	11:20	11:20	11:20	11:20	11:20
3	FINISH	11:20	11:20	11:20	11:20	11:20	11:20
3	START	11:20	11:20	11:20	11:20	11:20	11:20
3	DIFF.	11:20	11:20	11:20	11:20	11:20	11:20
4	FINISH	11:20	11:20	11:20	11:20	11:20	11:20
4	START	11:20	11:20	11:20	11:20	11:20	11:20
4	DIFF.	11:20	11:20	11:20	11:20	11:20	11:20
5	FINISH	11:20	11:20	11:20	11:20	11:20	11:20
5	START	11:20	11:20	11:20	11:20	11:20	11:20
5	DIFF.	11:20	11:20	11:20	11:20	11:20	11:20
6	FINISH	11:20	11:20	11:20	11:20	11:20	11:20
6	START	11:20	11:20	11:20	11:20	11:20	11:20
6	DIFF.	11:20	11:20	11:20	11:20	11:20	11:20
7	FINISH	11:20	11:20	11:20	11:20	11:20	11:20
7	START	11:20	11:20	11:20	11:20	11:20	11:20
7	DIFF.	11:20	11:20	11:20	11:20	11:20	11:20
8	FINISH	11:20	11:20	11:20	11:20	11:20	11:20
8	START	11:20	11:20	11:20	11:20	11:20	11:20
8	DIFF.	11:20	11:20	11:20	11:20	11:20	11:20
9	FINISH	11:20	11:20	11:20	11:20	11:20	11:20
9	START	11:20	11:20	11:20	11:20	11:20	11:20
9	DIFF.	11:20	11:20	11:20	11:20	11:20	11:20
10	FINISH	11:20	11:20	11:20	11:20	11:20	11:20
10	START	11:20	11:20	11:20	11:20	11:20	11:20
10	DIFF.	11:20	11:20	11:20	11:20	11:20	11:20

APPLICANTS NAME: LANGLEY HILL QUARRY PHONE: 650-851-0126
 OWNERS NAME: *Peninsula Humane Society* APN: *052-050-020*
 ADDRESS: *1005 Pescadero Blvd R1 Loma Mar*
 SIZE OF PARCEL: _____ WATER SOURCE: *well* SUBDIVISION: _____
 WET WEATHER TESTING REQUIRED? YES NO DEPTH TO GROUND WATER: *12' deep well*
 SOIL LOG: _____

WASTE COLLECTION NOTE:
 SEPTIC SYSTEM TO COLLECT WASTE ONLY FROM RESIDENTIAL/COMMERCIAL SPACES AS NOTED IN THE LEACHFIELD SIZING NOTES ON SHEET SS-1. ALL OTHER WASTE GENERATED FROM ANIMAL ENCLOSURES, BARN, COTTAGES, OUTDOOR AREAS, ETC. TO BE COLLECTED AND DISPOSED OF THROUGH OTHER MEANS AND METHODS.



LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS • LAND SURVEYORS
 3480 INDUSTRIAL PARK WEST
 HAYWARD, CALIFORNIA 94545
 (510) 881-4688 SAN JOSE (COMING SOON)
 WWW.LEABRAZE.COM

HASKIN HILL SANCTUARY
 12429 PESCADERO CREEK RD
 LOMA MAR, CALIFORNIA
 SAN MATEO COUNTY APN: 082-050-010
 082-050-020

SEPTIC DETAILS

USE PERMIT RESUBMITTAL 08/01/22	RM
USE PERMIT RESUBMITTAL 01/13/22	RM
REVISIONS BY	
JOB NO: 2201144	
DATE: 06-18-21	
SCALE:	
DESIGN BY: RM	
CHECKED BY: JH	
SHEET NO:	

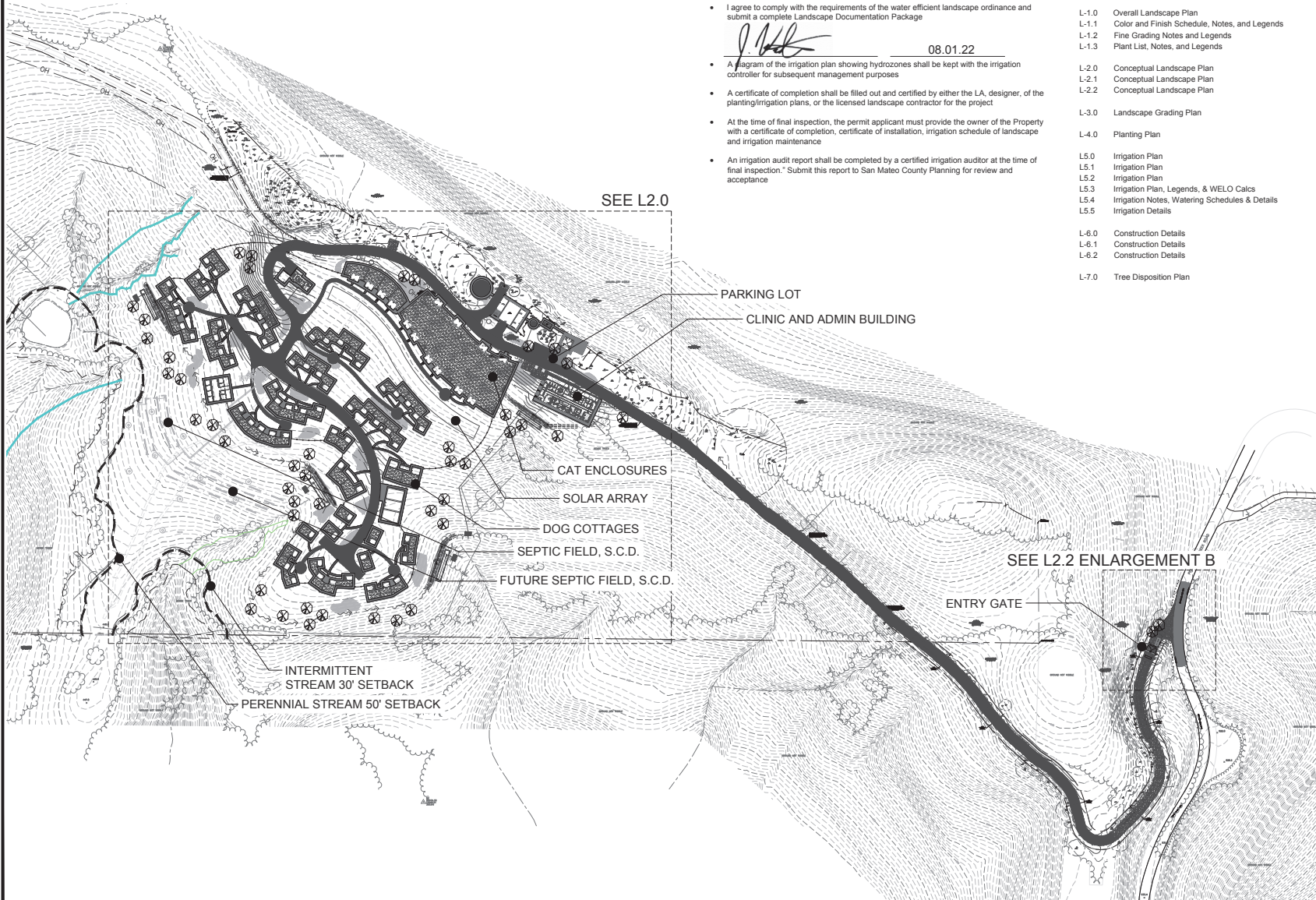
WELO STATEMENT/CERTIFICATION

- I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package
- A diagram of the irrigation plan showing hydrozones shall be kept with the irrigation controller for subsequent management purposes
- A certificate of completion shall be filled out and certified by either the LA, designer, of the planting/irrigation plans, or the licensed landscape contractor for the project
- At the time of final inspection, the permit applicant must provide the owner of the Property with a certificate of completion, certificate of installation, irrigation schedule of landscape and irrigation maintenance
- An irrigation audit report shall be completed by a certified irrigation auditor at the time of final inspection. Submit this report to San Mateo County Planning for review and acceptance

J. K. [Signature] 08.01.22

SHEET INDEX

- L-1.0 Overall Landscape Plan
- L-1.1 Color and Finish Schedule, Notes, and Legends
- L-1.2 Fine Grading Notes and Legends
- L-1.3 Plant List, Notes, and Legends
- L-2.0 Conceptual Landscape Plan
- L-2.1 Conceptual Landscape Plan
- L-2.2 Conceptual Landscape Plan
- L-3.0 Landscape Grading Plan
- L-4.0 Planting Plan
- L-5.0 Irrigation Plan
- L-5.1 Irrigation Plan
- L-5.2 Irrigation Plan
- L-5.3 Irrigation Plan, Legends, & WELO Calcs
- L-5.4 Irrigation Notes, Watering Schedules & Details
- L-5.5 Irrigation Details
- L-6.0 Construction Details
- L-6.1 Construction Details
- L-6.2 Construction Details
- L-7.0 Tree Disposition Plan



THE GUZZARDO PARTNERSHIP INC.
 Landscape Architects • Land Planners
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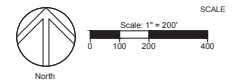


ISSUES AND REVISIONS

No.	Date	Description
07.12.21		COUNTY OF SAN MATEO USE PERMIT SUBMITTAL
01.14.22		COUNTY OF SAN MATEO USE PERMIT RESUBMITTAL 1
08.01.22		COUNTY OF SAN MATEO USE PERMIT RESUBMITTAL 2

PROJECT NUMBER
18042.00

OVERALL LANDSCAPE PLAN SHEET TITLE



SHEET NUMBER

L1.0

LAYOUT NOTES

















- The Contractor shall verify all distances and dimensions in the field and bring any discrepancies to the attention of the Landscape Architect for a decision before proceeding with the work.
- Contractor to take all necessary precautions to protect buildings and waterproof membranes from damage. Any damage caused by the Contractor or the Contractor's representatives during their activities shall be repaired at no cost to the Owner.
- All written dimensions supersede all scaled distances and dimensions. Dimensions shown are from the face of building wall, face of curb, edge of walk, property line, or centerline of column unless otherwise noted on the drawings.
- Walk scoring, expansion joints and paving shall be located as indicated on the Layout Plans, Landscape Construction Details, in the Specifications, or as field adjusted under the direction of the Landscape Architects.
- All building information is based on drawings prepared by:
KSHA
349 Sutter Street
San Francisco, CA 94108
415.954.1960
- All site civil information is based on drawings prepared by:
Lea & Braze Engineering, Inc.
2455 Industrial Parkway West
Hayward, CA 94545
510.887.4086
- The Contractor is to verify location of all on-site utilities before commencing with the work. The Contractor shall be responsible for the repair of any damage to utilities caused by the activities of the Contractor or the Contractor's representatives. Any utilities shown on Landscape Drawings are for reference and coordination purposes only.
- Protect all existing construction from damage. The Contractor shall be responsible for the repair of any damage to existing construction caused by the activities of the Contractor or the Contractor's representatives.
- Expansion joints shall be located no less than 16' o.c. nor greater than 20' o.c. and/or as indicated on the Layout Plans, Landscape Construction Details, in Specifications, or as field adjusted under the direction of the Landscape Architect.

LANDSCAPE BIDDING NOTES

THE FOLLOWING NOTES ARE FOR BIDDING PURPOSES ONLY, SUBJECT TO SITE SOIL TEST RECOMMENDATIONS IN NOTES #7.

- The contractor is required to submit plant quantities and unit prices for all plant materials as a part of the bid.
- Assume 15 gallon plant for any un-labelled or un-sized tree; 5 gallon plant for any un-labelled or un-sized shrub; and 1 gallon @ 18" o.c. for any un-labelled ground cover.
- Assume 5 gallon plant size at 36" o.c. for all planting beds not provided with planting callouts or planting information.
- The planting areas on grade shall be ripped to a depth of 8" to reduce compaction. The native subgrade soil shall be treated with 100 lbs of gypsum/1000 sf and leached to improve drainage and reduce the soil interface barrier. Contractor shall coordinate this work with other trades. This is subject to the final recommendations of the soils test (see below) and review by the Landscape Architect and the Owner.
- All planting areas on grade are to receive Vision Comp OMRI Listed Compost by Vision Recycling, (510) 429-1300, or approved equal, at the rate of 6 cubic yards/1000 square feet, evenly tilled 6" deep into the soil to finish grade. All planting areas shall have 6-20-20 Commercial Fertilizer at 25lbs/1000 square feet evenly distributed into the soil. This is subject to the final recommendations and review of the soils test (see below) by the Landscape Architect and the Owner.
- Planting pits are to be backfilled with a mixture of 50% native soil and 50% amended native soil per note #5 above.
- The General Contractor is to provide an agricultural suitability analysis for representative samples of on-site rough graded soil and any imported topsoil. Recommendations for amendments contained in this analysis are to be carried out before planting occurs. Such changes are to be accompanied by equitable adjustments in the contract price if/when necessary. See specifications for testing procedure.
- The Maintenance Period(s) shall be for 60 (sixty) days. Portions of the installed landscape of a project may be placed on a maintenance period prior to the completion of the project at the Owner's request and with the Owner's concurrence.
- See civil drawings for imported storm water treatment area soil. Contractor to provide agricultural suitability analysis of the soil with amendment recommendations to the Landscape Architect for review.

LAYOUT LEGEND

	Ground Cover		Pedestrian Gravel Paving
	Pedestrian/Vehicular Concrete	E.J.	Expansion Joint
	Detail Number	S.A.D.	See Architect's Drawings
	Sheet Number	S.C.D.	See Civil Engineer's Drawings
	Property Line	S.E.D.	See Electrical Engineer's Drawings
	Center Line	S.C.F.S.	See Color and Finish Schedule
	Phase Line		
	Match Line		
	Align		
	Street Light. S.E.D. and S.C.D.		
	Pedestrian Scale Pole Light. S.E.D. See Color and Finish Schedule		
	Fire Hydrant S.C.D.		
	Utility Boxes S.C.D.		
	Below grade utilities as noted. S.C.D.		
	Trash Receptacle. See Color and Finish Schedule		

COLOR AND FINISH SCHEDULE

KEY	DETAIL	DESCRIPTION	SIZE/COLOR/FINISH	MANUFACTURER	NOTES
PAVING					
PV 1	1 / L6.0	CONCRETE TYPE 1 - PEDESTRIAN	Natural Gray w/ Broom Finish	nila	Provide Mock-Up
PV 2	2 / L6.0	GRAVEL WALKWAY	3/4" Class II Crushed Rock	Granitrock	Submit Cutsheet & Sample
PV 3	3 / L6.0	GRAVEL PAVING AT ANIMAL ENCLOSURE	3/4" Class II Crushed Rock	Granitrock	Submit Cutsheet & Sample
PV 4	4 / L6.0	GRAVEL PATH STEPS	Borealis Precast Concrete Steps Color Smoked Pine	Techo Bloc	Submit Cutsheet & Sample
FENCING					
F 1	1 / L6.1	PERIMETER DEER FENCE	8' Tall 2x2 Welded Mesh w/ Black PVC Coating	Deerfencing.com 855.921.7900	Submit Shop Drawings
F 2	4 / L6.1	DOG COTTAGE FENCE	8' Tall 2x2 Chain Link w/ Black PVC Coating		Submit Shop Drawings
F 3	4 / L6.1	CAT ENCLOSURE FENCE	8' Tall 2x2 Chain Link w/ Black PVC Coating		Submit Shop Drawings
F 4	4 / L6.1	FARM ANIMAL FENCE	4' Tall 2x2 Welded Mesh w/ Black PVC Coating		Submit Shop Drawings
GATES					
G1	1 / L6.2	PROJECT ENTRY GATE		AD Autogate 800.273.4293	Submit Shop Drawings & Sample
G2	2 / L6.1	PERIMETER DEER FENCE GATE	8' Tall 2x2 Welded Mesh w/ Black PVC Coating	Deerfencing.com 855.921.7900	Submit Cutsheet & Sample
LIGHTS					
E 1	S.E.D.	PEDESTRIAN POLE LIGHT	TBD		

PENINSULA HUMANE SOCIETY ANIMAL SANCTUARY



THE
GUZZARDO
PARTNERSHIP INC.
Landscape Architects • Land Planners
181 Greenwich Street
San Francisco, CA 94111
T 415 433 4672
F 415 433 5003



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PROJECT NUMBER
18042.00

LANDSCAPE COLOR AND FINISH SCHEDULE, NOTES, AND LEGENDS

SCALE










SHEET NUMBER

L1.1

FINE GRADING NOTES

- The Landscape Contractor is responsible for fine grading and positive surface drainage in all landscape areas. The Contractor shall verify all rough grades in the field and bring any discrepancies to the attention of the Landscape Architect and Civil Engineer for a decision before proceeding with the work.
- See Civil Engineer's drawings for road surface elevations, roadway sections, catch basins, and top of curb elevations. Top of curb elevations shown on Landscape drawings are for reference and coordination purposes only.
- Earth mounds are shown diagrammatically for form and location. Shaping of mounds to be reviewed and approved in the field by the Landscape Architect.
- Contractors are to exercise extreme care in back filling and compacting any excavation or trenching in areas previously compacted for other aspects of the work.
- The Landscape Contractor shall remove from the site all debris and unsuitable material generated by the Contractor's operations.
- Catch basins, area drains, planter drains, and perforated drain lines are to be connected to the storm drain system as specified in the Civil Engineer's plans. See Civil Engineer's drawings for all connections.
- All catch basins and other drains are to be free of obstructions and maintained open and free running during and upon completion of the Contractor's work.
- All on-grade areas to receive planting are to be received by the fine grading Contractor within a tenth of a foot of final grade. The Landscape Contractor shall rip compacted rough graded soil to a depth of 8 inches, then till in the soil amendment. Soil amendment shall be determined by an Agricultural Suitabilities Analysis conducted by a licensed soils laboratory upon sample(s) taken from the rough graded soil. This analysis shall be conducted and paid for by the General Contractor.
- See structural soils report for recommendations on soil type, grading procedures, soil compaction, maximum allowable slopes, flatwork base material, etc.
- Minimum paving slope to be 2% typically with a maximum cross slope of 2%. Minimum planting area slope to be 2% typically. Bring any discrepancies to the attention of the Landscape Architect for a decision prior to fine grading.
- All slopes 2-1/2:1 and greater shall have jute mesh erosion control netting installed per manufacturer's specifications. Lap netting minimum 2'-0" and stake.
- Grading shall be in conformance with all local codes and ordinances. Swales shall be a minimum of four (4) feet from all structures.
- Grades to be constant and uniform between spot elevations.

FINE GRADING AND DRAINAGE LEGEND

+60.3	Spot Elevation
T.C. (60.6)	Top of Curb Elevation (from Civil Engineer's Drawings, verify)
T.C.I. (60.6)	Top of Curb Elevation Interpolated (from Civil Engineer's Drawings, verify)
+H.P. 61.2	Relative High Point
T.S. 61.25	Top of Step Elevation
B.S. 60.1	Bottom of Step Elevation
T.R. 61.25	Top of Ramp Elevation
B.R. 60.1	Bottom of Ramp Elevation
T.W. 63.4	Top of Wall Elevation
B.W. 60.4	Bottom of Wall Elevation. (Finish Grade of Soil or Paving)
T.F. 63.4	Top of Fence
AD 00.00	Area Drain w/Rim Elevation
	On-Grade Paving; NDS 4" 910B (Brushed)
	Ground Cover Areas: NDS Spee-D-Basin and Grate, NDS #90 6" Atrium Grate, Black.
	Catch Basin See Civil Engineer's Drawings.
	Direction of Surface Water Flow
	Direction of Surface Water Flow in Swale (2% Minimum)
	Grade Break (Ridge Line)
	Subsurface Drainpipe: PVC SA34 by Acme Industries. (4"x6" dia.).
	Perforated Drainpipe: PVC AS987 by Acme Industries 4".
	Diagrammatic 1' Contours

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ISSUES AND REVISIONS		
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PROJECT NUMBER
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SHEET TITLE
LANDSCAPE NOTES AND LEGENDS

SCALE

SHEET NUMBER

L1.2

PLANTING NOTES

- All work shall be performed by persons familiar with planting work and under supervision of a qualified planting foreman.
- Plant material locations shown are diagrammatic and may be subject to change in the field by the Landscape Architect before the maintenance period begins.
- All trees are to be staked as shown in the staking diagrams.
- All tree stakes shall be cut 6" above tree ties after stakes have been installed to the depth indicated in the staking diagrams. Single stake all conifers per tree staking diagram.
- Plant locations are to be adjusted in the field as necessary to screen utilities but not to block windows nor impede access. The Landscape Architect reserves the right to make minor adjustments in tree locations after planting at no cost to the Owner. All planting located adjacent to signs shall be field adjusted so as not to interfere with visibility of the signs.
- The Landscape Architect reserves the right to make substitutions, additions, and deletions in the planting scheme as felt necessary while work is in progress. Such changes are to be accompanied by equitable adjustments in the contract price if/when necessary and subject to the Owner's approval.
- The contractor is to secure all vines to walls and columns with approved fasteners, allowing for two (2) years growth. Submit sample of fastener to Landscape Architect for review prior to ordering.
- All planting areas, except lawns and storm water treatment zones (as defined by the civil engineer), shall be top-dressed with a 3" layer of recycled wood mulch, "Colored Wood Chip" by Vision Recycling (510.429.1300; www.visionrecycling.com) or approved equal. Planter pots shall be top-dressed with "Colored Lumber Fines" mulch by Vision Recycling. Mulch shall be brown in color. Submit sample to Landscape Architect for review prior to ordering. Hold all mulch six (6) inches from all plants where mulch is applied over the rooftop.
- Plants shall be installed to anticipate settlement. See Tree and Shrub Planting Details.
- All trees noted with 'deep root' and those planted within 5'-0" of concrete paving, curbs, and walls shall have deep root barriers installed per manufacturer's specifications. See specifications and details for materials, depth of material, and location of installation.
- The Landscape Contractor shall arrange with a nursery to secure plant material noted on the drawings and have those plants available for review by the Owner and Landscape Architect within thirty (30) days of award of contract. The Contractor shall purchase the material and have it segregated and grown for the job upon approval of the plant material. The deposit necessary for such contract growing is to be born by the Contractor.
- The project has been designed to make efficient use of water through the use of drought tolerant plant materials. Deep rooting shall be encouraged by deep watering plant material as a part of normal landscape maintenance. The irrigation for all planting shall be limited to the amount required to maintain adequate plant health and growth. Water usage should be decreased as plants mature and become established. The irrigation controllers shall be adjusted as necessary to reflect changes in weather and plant requirements.
- The Landscape Contractor shall verify the location of underground utilities and bring any conflicts with plant material locations to the attention of the Landscape Architect for a decision before proceeding with the work. Any utilities shown on the Landscape drawings are for reference and coordination purposes only. See Civil Drawings.
- The design intent of the planting plan is to establish an immediate and attractive mature landscape appearance. Future plant growth will necessitate trimming, shaping and, in some cases, removal of trees and shrubs as an on-going maintenance procedure.
- Install all plants per plan locations and per patterns shown on the plans. Install all shrubs to ensure that anticipated, maintained plant size is at least 2'-0" from the face of building(s) unless shown otherwise on the plans. Refer to Plant Spacing Diagram for plant masses indicated in a diagrammatic manner on the plans. Refer to Plant Spacing Diagram for spacing of formal hedge rows.
- Contractor to provide one (1) Reference Planting Area for review by Landscape Architect prior to installation of the project planting. The Reference Planting Area shall consist of a representative portion of the site of not less than 900 (nine hundred) square feet. Contractor to set out plants, in containers, in the locations and patterns shown on the plans, for field review by the Landscape Architect. The Reference Planting Area will be used as a guide for the remaining plant installation.
- The Maintenance Period(s) shall be for 60 (sixty) days. Portions of the installed landscape of a project may be placed on a maintenance period prior to the completion of the project at the Owner's request and with the Owner's concurrence.
- Contractor to verify drainage of all tree planting pits. See Planting Specifications. Install drainage well per specifications and Tree Planting Detail(s) if the tree planting pit does not drain at a rate to meet the specifications.
- Contractor shall remove all plant and bar code labels from all installed plants and landscape materials prior to arranging a site visit by the Landscape Architect.
- The Landscape Contractor shall, as a part of this bid, provide for a planting allowance for the amount of \$10,000.00 (Ten Thousand Dollars) to be used for supplying and installing additional plant material as directed by the Landscape Architect and approved by the Owner in writing. The unused portion of the allowance shall be returned to the Owner at the beginning of the maintenance period.

PLANT SPACING DIAGRAM

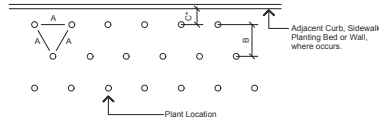
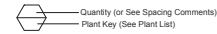


Diagram for use when plants are spaced equidistant from each other as in all ground cover plantings and massed shrub plantings

PLANT CALLOUT SYMBOL



PLANT QUANTITY DIAGRAM

SPACING 'A'	SPACING 'B'	SPACING 'C'	NO. OF PLANTS/SQUARE FOOT
6" O.C.	5.20"	2.60"	4.60
8" O.C.	6.93"	3.47"	2.60
9" O.C.	7.75"	3.90"	1.78
10" O.C.	8.66"	4.33"	1.66
12" O.C.	10.40"	5.20"	1.15
15" O.C.	13.00"	6.50"	0.74
18" O.C.	15.60"	7.80"	0.51
24" O.C.	20.80"	10.40"	0.29
30" O.C.	26.00"	13.00"	0.18
36" O.C.	30.00"	15.00"	0.12
48" O.C.	40.00"	20.00"	0.07
60" O.C.	51.00"	24.00"	0.06
72" O.C.	62.35"	31.18"	0.04

See Plant Spacing Diagram for maximum triangular spacing 'A'. This chart is to be used to determine number of ground cover required in a given area and spacing between shrub massings. Where shrub massings are shown, calculate shrub mass areas before utilizing spacing chart to determine plant quantities.

* Where curb, sidewalk, adjacent planting bed or wall condition occurs, utilize spacing 'C' to determine plant distance from wall, sidewalk, adjacent planting bed or back of curb, where C=1/2 B.

PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WUCOLS	QUANTITY
TREES						
AES CAL	Aesculus californica	California Buckeye	Native		VL	12
CER OCC	Cercis occidentalis	Western Redbud	Native		VL	15
QUE AGR	Quercus agrifolia	Coast Live Oak	Native		VL	16
QUE DOU	Quercus douglasii	Blue Oak	Native		VL	11
QUE KEL	Quercus kelloggii	California Black Oak	Native		L	9
QUE LOB	Quercus lobata	Valley Oak	Native		L	10
SHRUB PLANTING AREAS						
AHM	Arctostaphylos 'Howard McMinn'	Manzanita	Native	5 Gal	72" o.c.	L 21
APR	Arctostaphylos uu. 'Point Reyes'	Manzanita (Groundcover)	Native	1 Gal	36" o.c.	L 21
BAC	Baccharis pilularis	Coyote Brush	Native	1 Gal	48" o.c.	L 741
CEA	Ceanothus sp.	Coast Lilac	Native	1 Gal	48" o.c.	L 19
EPI	Epilobium (Zauschneria) canum	California Fuschia	Native	1 Gal	42" o.c.	L 15
HET	Heteromeles arbutifolia	Toyon	Native	5 Gal	72" o.c.	L 70
RHC	Rhamnus californica	Coffeeferry	Native	5 Gal	42" o.c.	L 27
LEY	Leymus c. 'Canyon Prince'	Canyon Prince Wild Rye	Native	1 Gal	30" o.c.	L 141
MRM	Muhlenbergia rigens	Pink Muhly Grass	Native	1 Gal	30" o.c.	L 130
STORMWATER TREATMENT AREAS						
JUN	Juncus patens	California Gray Rush	Native	1 Gal	24" o.c.	L 257
MRM	Muhlenbergia rigens	California Deer Grass	Native	1 Gal	48" o.c.	257
SYS	Syrinchium bellum	Blue Eyed Grass	Native	1 Gal	24" o.c.	257
HYDROSEED						
Hydroseed mix available from Hedgerow Farms 530.662.6847. Selected to provide native, drought tolerant and low-fuel coverage.						
	Bromus carinatus	California Brome	Native			
	Elymus glaucus	Blue Wildrye	Native			
	Hordeum brachyantherum californicum	California Barley	Native			
	Festuca idahoensis	Idaho Fescue	Native			
	Stipa pulchra	Purple Needlegrass	Native			
	Poa secunda	Pine Bluegrass	Native			
	Eschscholzia californica	Native Calif. Poppy	Native			
	Prunella vulgaris	Purple Selfheal	Native			
	Syrinchium bellum	Blue Eyed Grass	Native			

IRRIGATION WATER USE ESTIMATE

PENINSULA HS SHELTER, SAN MATEO COUNTY
ESTIMATED WATER-USE CALCULATIONS

ESTIMATED WATER USE (EWU) = (ETO x PLANT FACTOR x LANDSCAPED AREA x 0.62)/IRRIGATION EFFICIENCY		MONTHS											
	ANNUALLY	JANUARY	FEBRUARY	MARCH	APRIL	MAY	JUNE	JULY	AUGUST	SEPTEMBER	OCTOBER	NOVEMBER	DECEMBER
ETO	46.31 INCHES	1.86	2.24	3.72	4.8	5.27	5.7	5.58	5.27	4.2	3.41	2.4	1.86
LANDSCAPED AREA	24,192 SQUARE FEET	24,192	24,192	24,192	24,192	24,192	24,192	24,192	24,192	24,192	24,192	24,192	24,192
BUBBLER IRRIGATION FOR LOW WATER-USE PLANT MATERIAL		24,192	24,192	24,192	24,192	24,192	24,192	24,192	24,192	24,192	24,192	24,192	24,192
LANDSCAPED AREA	24,192 SQUARE FEET												
PLANT FACTOR	0.4	0.4	0.4	0.4	0.4	0.4	0.4	0.4	0.4	0.4	0.4	0.4	0.4
IRRIGATION EFFICIENCY	0.81	0.81	0.81	0.81	0.81	0.81	0.81	0.81	0.81	0.81	0.81	0.81	0.81
EWU	343,015 GALLONS PER YEAR	13,777	16,592	27,554	35,553	39,035	42,220	41,331	39,035	31,109	25,258	17,777	13,777 GALLONS PER MONTH

FIRE PROTECTION

A fuel break of defensible space is required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. This is neither a requirement nor an authorization for the removal of living trees. Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 feet above the ground. New trees planted in the defensible space shall be located no closer than 10' adjacent trees when fully grown or at maturity. Remove that portion of any existing trees, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5' of any structure. Maintain any tree adjacent to or overhanging a building free of dead or dying wood.

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ISSUES AND REVISIONS

No.	Date	Description
07.12.21		COUNTY OF SAN MATEO USE PERMIT SUBMITTAL
01.14.22		COUNTY OF SAN MATEO USE PERMIT RESUBMITTAL 1
08.01.22		COUNTY OF SAN MATEO USE PERMIT RESUBMITTAL 2

PROJECT NUMBER
1804200

PLANTING NOTES AND LEGENDS

SCALE

SHEET NUMBER

L1.3



LANDSCAPE LEGEND

KEY	DETAIL	DESCRIPTION
PAVING		
PV 1	1 / L6.0	CONCRETE TYPE 1 - PEDESTRIAN
PV 2	2 / L6.0	GRAVEL WALKWAY
PV 3	3 / L6.0	GRAVEL PAVING AT ANIMAL ENCLOSURE
PV 4	4 / L6.0	GRAVEL PATH STEPS
FENCING		
F 1	1 / L6.1	PEREMETER DEER FENCE
F 2	4 / L6.1	DOG COTTAGE FENCE
F 3	4 / L6.1	CAT ENCLOSURE FENCE
F 4	4 / L6.1	FARM ANIMAL FENCE
GATES		
G 1	1 / L6.2	PROJECT ENTRY GATE
G 2	2 / L6.1	PEREMETER DEER FENCE GATE
LIGHTS		
E 1	S.E.D.	PEDESTRIAN POLE LIGHT



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08.01.22		COUNTY OF SAN MATEO USE PERMIT RESUBMITTAL 2

PROJECT NUMBER 18042.00

SHEET TITLE
OVERALL SITE PLAN

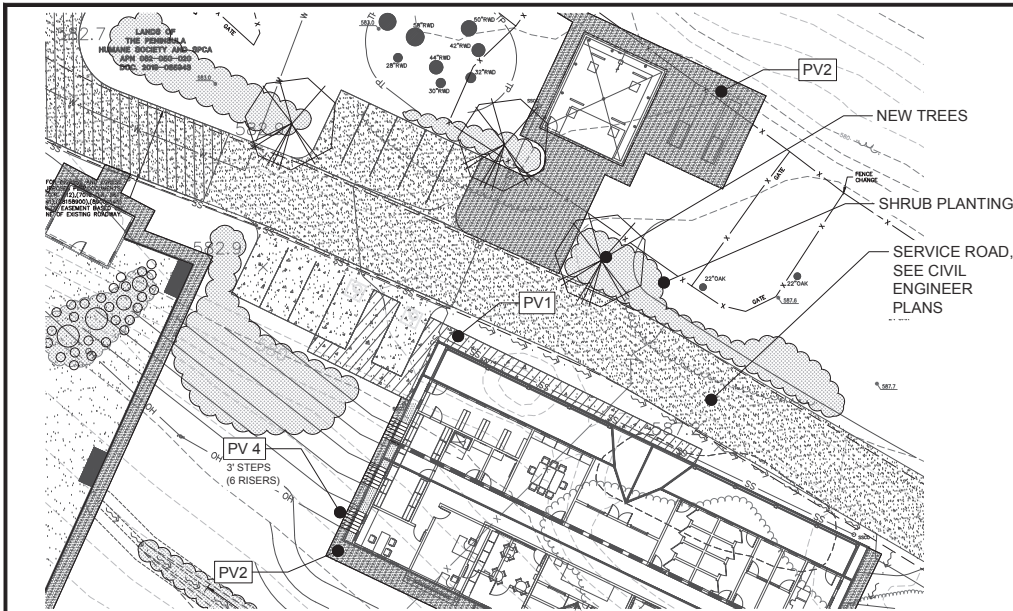
SCALE
Scale: 1" = 50'
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North

SHEET NUMBER

L2.0

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LANDSCAPE LEGEND

KEY	DETAIL	DESCRIPTION
PAVING		
PV 1	1 / L6.0	CONCRETE TYPE 1- PEDESTRIAN
PV 2	2 / L6.0	GRAVEL WALKWAY
PV 3	3 / L6.0	GRAVEL PAVING AT ANIMAL ENCLOSURE
PV 4	4 / L6.0	GRAVEL PATH STEPS
FENCING		
F 1	1 / L6.1	PEREMETER DEER FENCE
F 2	4 / L6.1	DOG COTTAGE FENCE
F 3	4 / L6.1	CAT ENCLOSURE FENCE
F 4	4 / L6.1	FARM ANIMAL FENCE
GATES		
G 1	1 / L6.2	PROJECT ENTRY GATE
G 2	2 / L6.1	PEREMETER DEER FENCE GATE
LIGHTS		
E 1	S.E.D.	PEDESTRIAN POLE LIGHT

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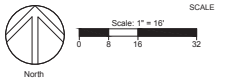


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01.14.22		COUNTY OF SAN MATEO USE PERMIT RESUBMITTAL 1
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PROJECT NUMBER
18042.00

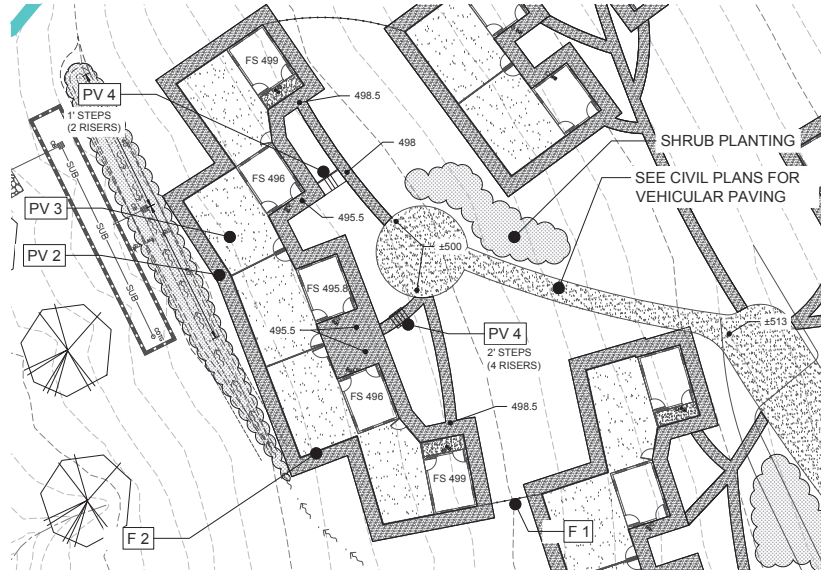
SHEET TITLE
LANDSCAPE PLAN



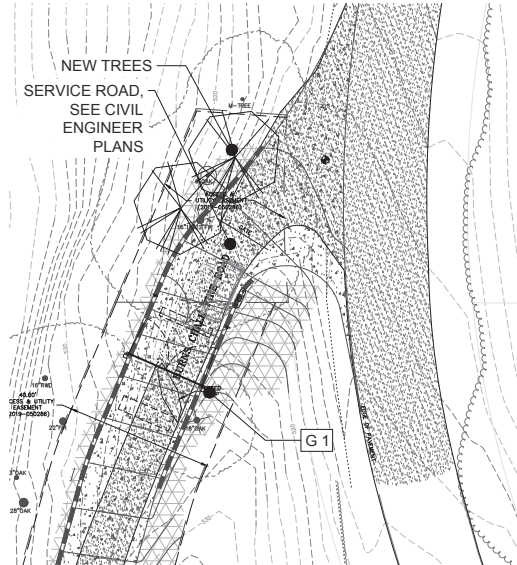
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L2.1

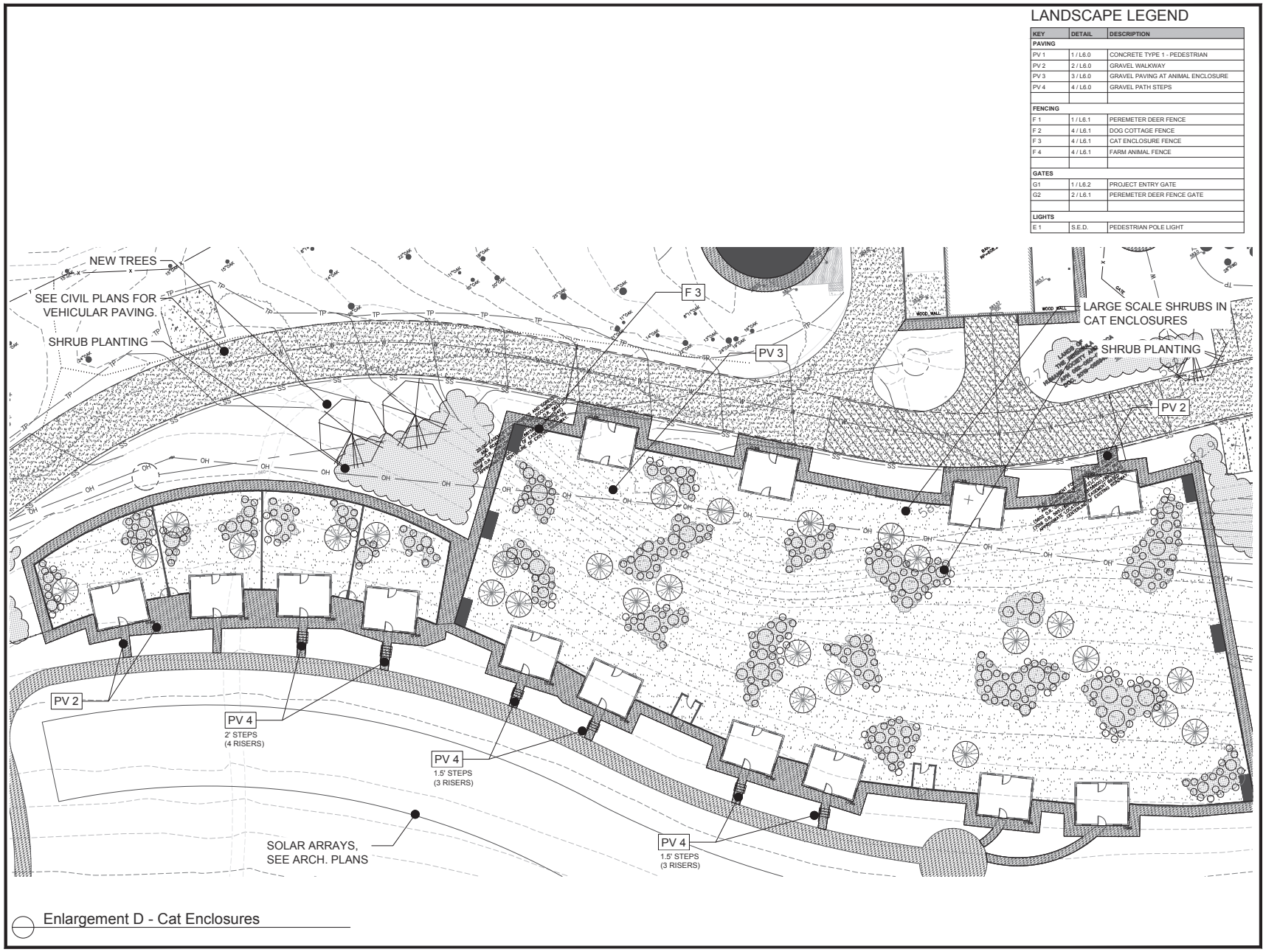
Enlargement A - Admin and Clinic Building



Enlargement B - Dog Cottages



Enlargement C - Entry Gate



LANDSCAPE LEGEND

KEY	DETAIL	DESCRIPTION
PAVING		
PV 1	1 / L6.0	CONCRETE TYPE 1 - PEDESTRIAN
PV 2	2 / L6.0	GRAVEL WALKWAY
PV 3	3 / L6.0	GRAVEL PAVING AT ANIMAL ENCLOSURE
PV 4	4 / L6.0	GRAVEL PATH STEPS
FENCING		
F 1	1 / L6.1	PEREMETER DEER FENCE
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GATES		
G 1	1 / L6.2	PROJECT ENTRY GATE
G 2	2 / L6.1	PEREMETER DEER FENCE GATE
LIGHTS		
E 1	S.E.D.	PEDESTRIAN POLE LIGHT



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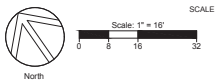


ISSUES AND REVISIONS

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01.14.22	01.14.22	COUNTY OF SAN MATEO USE PERMIT RESUBMITTAL 1
08.01.22	08.01.22	COUNTY OF SAN MATEO USE PERMIT RESUBMITTAL 2

PROJECT NUMBER
18042.00

SHEET TITLE
LANDSCAPE PLAN

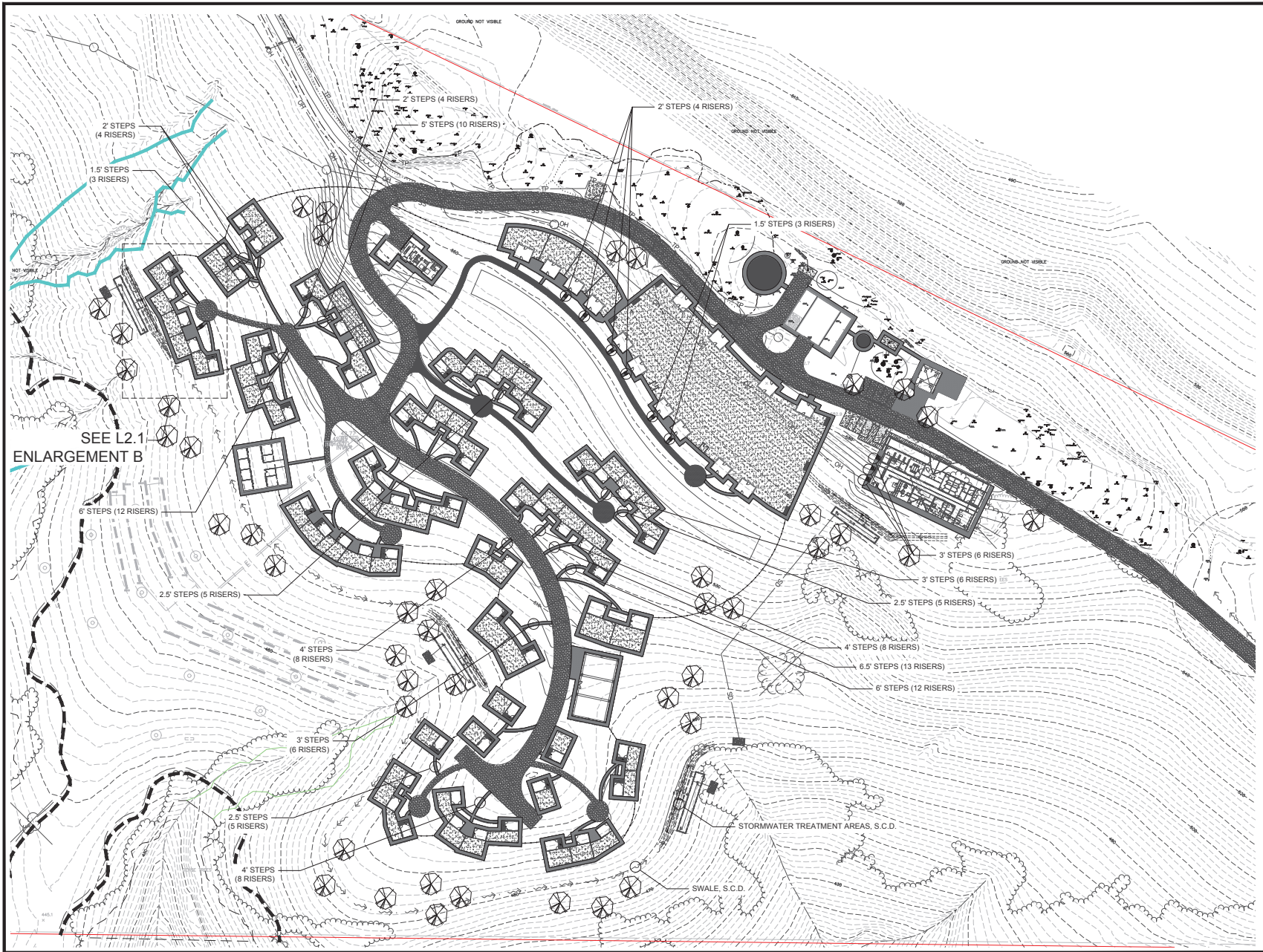


SHEET NUMBER

L2.2

Enlargement D - Cat Enclosures

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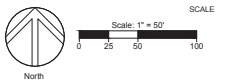


ISSUES AND REVISIONS

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PROJECT NUMBER
18042.00

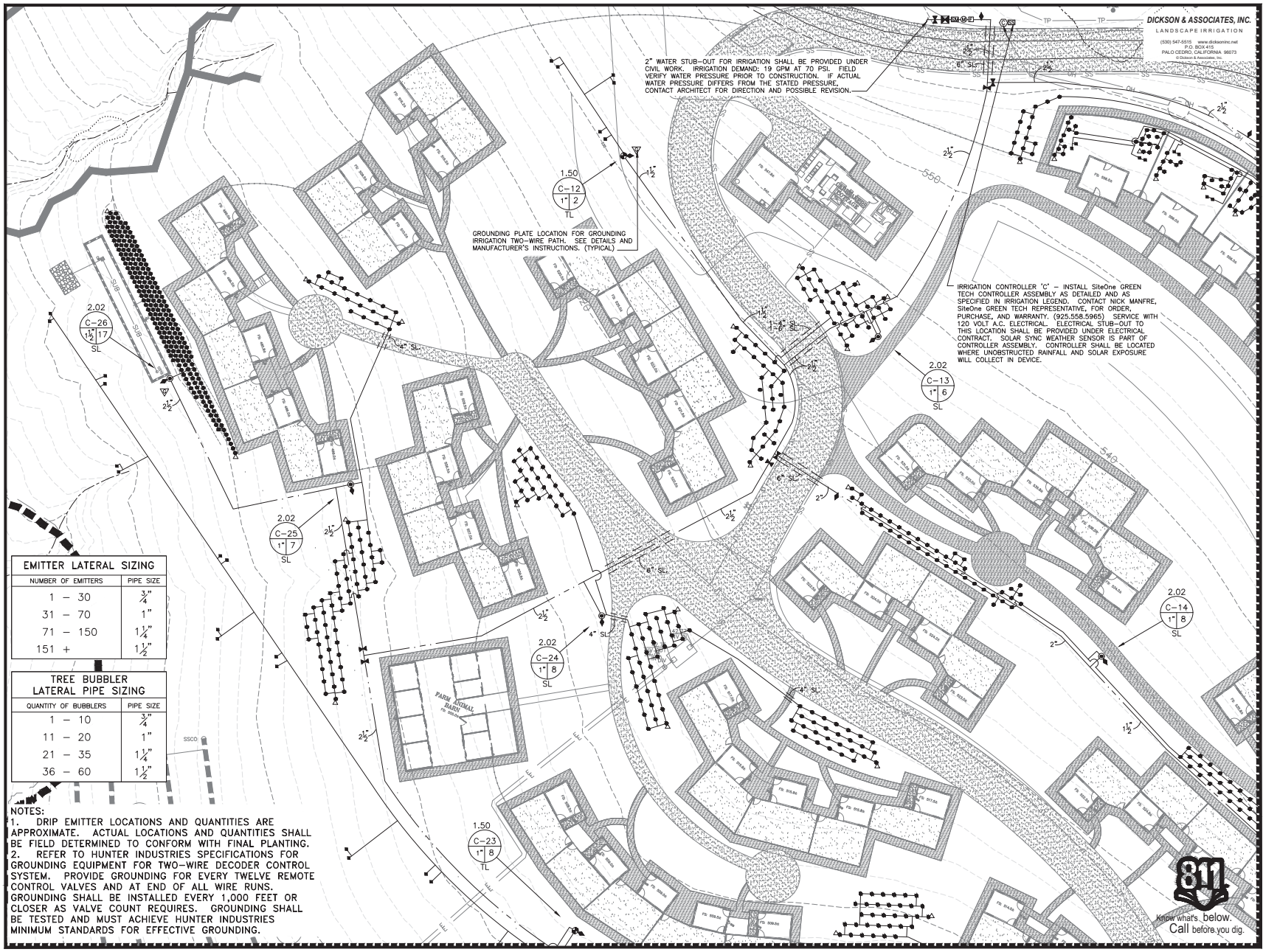
LANDSCAPE GRADING PLAN



SHEET NUMBER

L3.0

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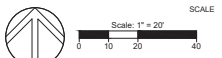


ISSUES AND REVISIONS

No.	Date	Description
07.12.21		COUNTY OF SAN MATEO USE PERMIT SUBMITTAL
01.14.22		COUNTY OF SAN MATEO USE PERMIT RESUBMITTAL 1

PROJECT NUMBER
 18042.00

SHEET TITLE
 IRRIGATION PLAN



SHEET NUMBER

EMITTER LATERAL SIZING

NUMBER OF EMITTERS	PIPE SIZE
1 - 30	3/4"
31 - 70	1"
71 - 150	1 1/4"
151 +	1 1/2"

TREE BUBBLER LATERAL PIPE SIZING

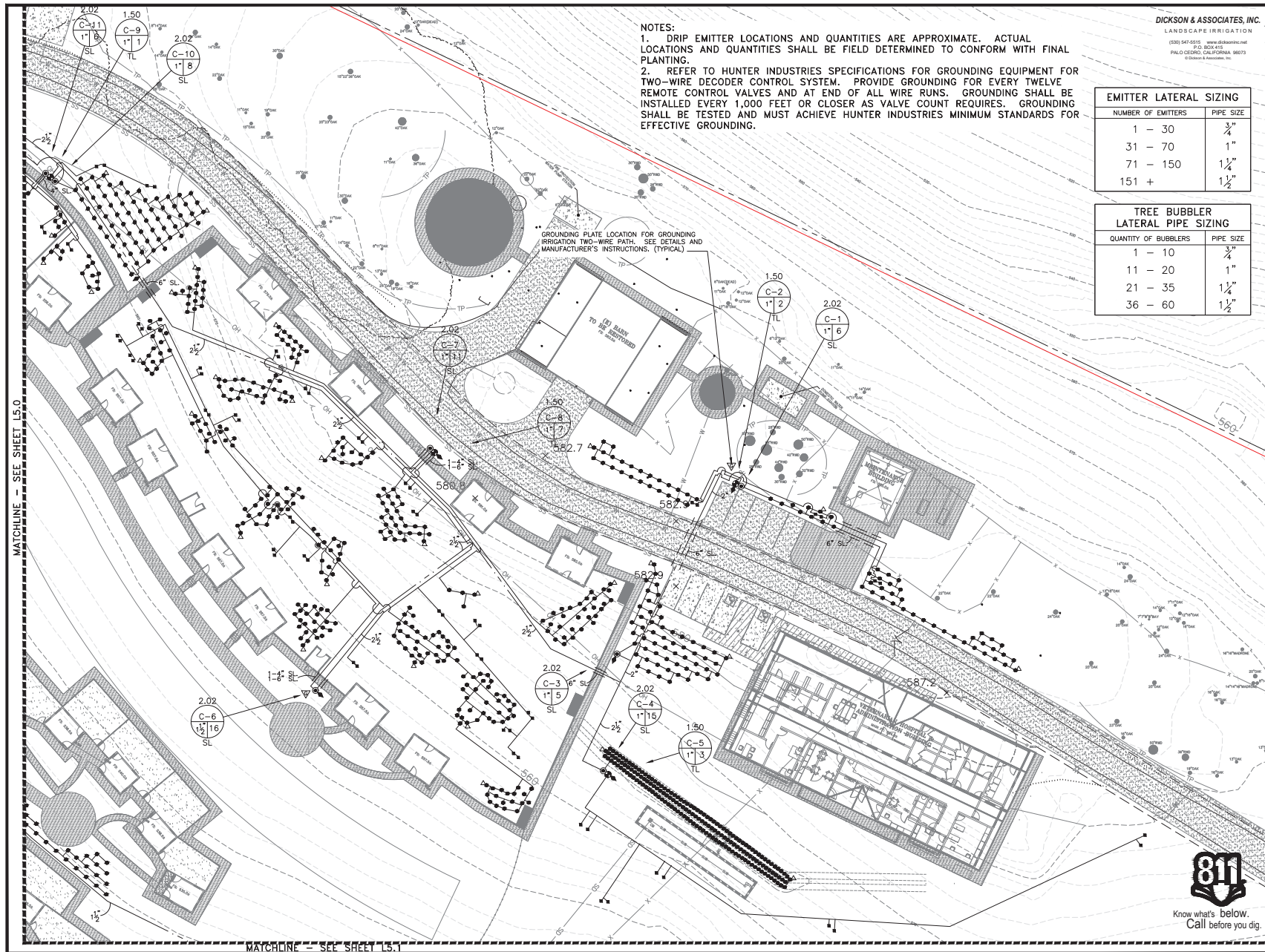
QUANTITY OF BUBBLERS	PIPE SIZE
1 - 10	3/4"
11 - 20	1"
21 - 35	1 1/4"
36 - 60	1 1/2"

NOTES:
 1. DRIP EMITTER LOCATIONS AND QUANTITIES ARE APPROXIMATE. ACTUAL LOCATIONS AND QUANTITIES SHALL BE FIELD DETERMINED TO CONFORM WITH FINAL PLANTING.
 2. REFER TO HUNTER INDUSTRIES SPECIFICATIONS FOR GROUNDING EQUIPMENT FOR TWO-WIRE DECODER CONTROL SYSTEM. PROVIDE GROUNDING FOR EVERY TWELVE REMOTE CONTROL VALVES AND AT END OF ALL WIRE RUNS. GROUNDING SHALL BE INSTALLED EVERY 1,000 FEET OR CLOSER AS VALVE COUNT REQUIRES. GROUNDING SHALL BE TESTED AND MUST ACHIEVE HUNTER INDUSTRIES MINIMUM STANDARDS FOR EFFECTIVE GROUNDING.



L5.0

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NOTES:
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EMITTER LATERAL SIZING	
NUMBER OF EMITTERS	PIPE SIZE
1 - 30	3/4"
31 - 70	1"
71 - 150	1 1/4"
151 +	1 1/2"

TREE BUBBLER LATERAL PIPE SIZING	
QUANTITY OF BUBBLERS	PIPE SIZE
1 - 10	3/4"
11 - 20	1"
21 - 35	1 1/4"
36 - 60	1 1/2"



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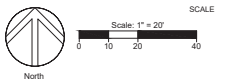


ISSUES AND REVISIONS

No.	Date	Description
07.12.21		COUNTY OF SAN MATEO USE PERMIT SUBMITTAL
01.14.22		COUNTY OF SAN MATEO USE PERMIT RESUBMITTAL 1

PROJECT NUMBER
18042.00

SHEET TITLE
IRRIGATION PLAN

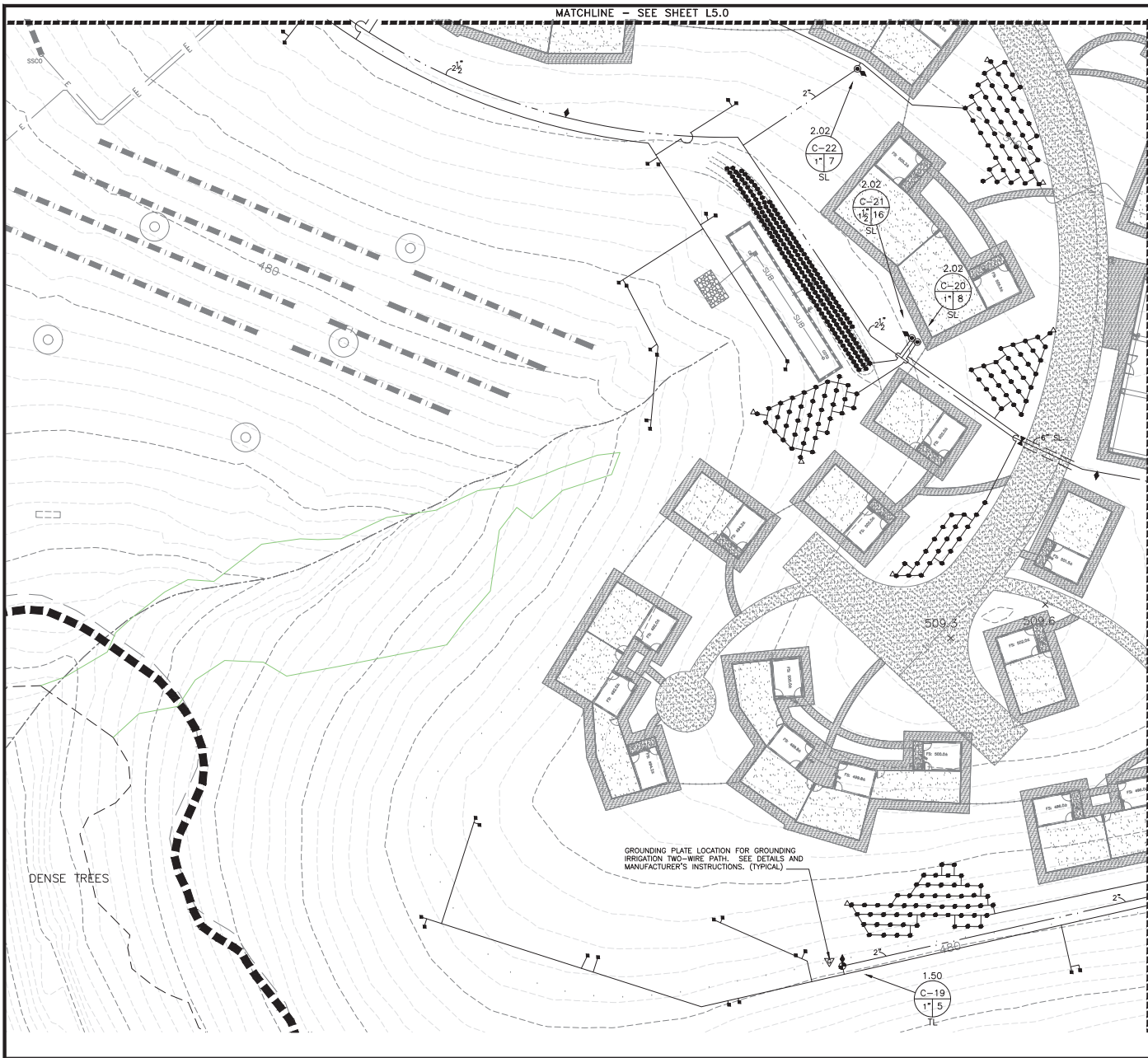


SHEET NUMBER



L5.1

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EMITTER LATERAL SIZING	
NUMBER OF EMITTERS	PIPE SIZE
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151 +	1 1/2"

TREE BUBBLER LATERAL PIPE SIZING	
QUANTITY OF BUBBLERS	PIPE SIZE
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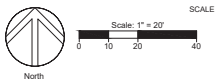
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ISSUES AND REVISIONS
 No. Date Description
 07.12.21 COUNTY OF SAN MATEO USE PERMIT SUBMITTAL
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PROJECT NUMBER
 18042.00

SHEET TITLE
 IRRIGATION PLAN



SHEET NUMBER



L5.2

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IRRIGATION WATERING SCHEDULES

DRIP EMITTER IRRIGATION FOR LOW WATER-USE SHRUBS

SPRINKLER MANUFACTURER	RAIN BRID	LOCATION	SAN MATEO COUNTY, CALIFORNIA	
PROPORTION RATE (INCHES/HOUR)	2.02	EMITTER SPACING	VARIES	
IRRIGATION SYSTEM EFFICIENCY	0.81	EMITTER FLOW	5 GPH	
PLANT FACTOR	0.30			

YEAR 2 REDUCTION AMOUNT: -10% OF YEAR 1 (ESTABLISHMENT) RUN TIME MINUTES

MONTH	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	TOTAL
ETD PER MONTH (INCHES)	1.80	2.20	3.40	4.80	5.60	6.30	6.50	6.20	4.80	3.70	2.40	1.80	49.50
ETD PER WEEK (INCHES)	0.416	0.508	0.785	1.109	1.293	1.455	1.501	1.432	1.109	0.855	0.554	0.416	
APPLIED ETD PER WEEK (INCHES)	0.154	0.188	0.291	0.411	0.479	0.539	0.556	0.530	0.411	0.316	0.205	0.154	
MINUTES OF WATER PER WEEK	YEAR 1	5	6	9	12	14	16	17	16	12	9	6	5
PER WEEK	YEAR 2	4	5	6	11	13	14	15	14	11	8	5	4
DAYS PER WEEK	YEAR 1	1	1	2	3	3	3	3	3	2	1	1	1
YEAR 2	1	1	2	3	3	3	3	3	3	2	1	1	1
MINUTES OF WATER PER DAY	YEAR 1	5	6	4	4	5	5	6	5	4	5	6	5
YEAR 2	4	5	4	4	4	5	5	5	4	4	5	4	4
CYCLES PER DAY	YEAR 1	1	1	1	1	1	1	1	1	1	1	1	1
YEAR 2	1	1	1	1	1	1	1	1	1	1	1	1	1
MINUTES PER CYCLE	YEAR 1	5	6	4	4	5	5	6	5	4	5	6	5
YEAR 2	4	5	4	4	4	5	5	5	4	4	5	4	4

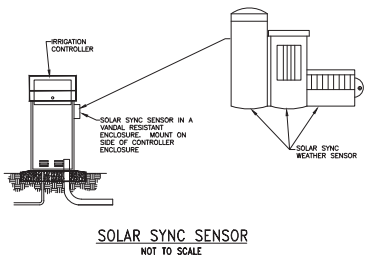
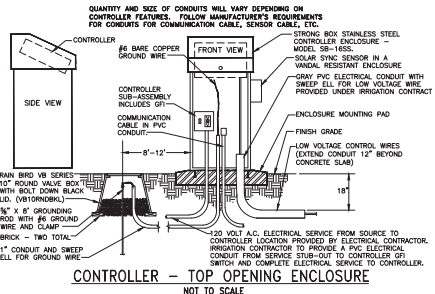
TREE BUBBLER IRRIGATION FOR LOW WATER-USE TREES

SPRINKLER MANUFACTURER	RAIN BRID	LOCATION	SAN MATEO COUNTY, CALIFORNIA	
PROPORTION RATE (INCHES/HOUR)	1.50	HEAD SPACING	VARIES	
IRRIGATION SYSTEM EFFICIENCY	0.81	HEAD GPM	0.25 X 2	
PLANT FACTOR	0.30			

YEAR 2 REDUCTION AMOUNT: -10% OF YEAR 1 (ESTABLISHMENT) RUN TIME MINUTES

MONTH	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	TOTAL
ETD PER MONTH (INCHES)	1.80	2.20	3.40	4.80	5.60	6.30	6.50	6.20	4.80	3.70	2.40	1.80	49.50
ETD PER WEEK (INCHES)	0.416	0.508	0.785	1.109	1.293	1.455	1.501	1.432	1.109	0.855	0.554	0.416	
APPLIED ETD PER WEEK (INCHES)	0.154	0.188	0.291	0.411	0.479	0.539	0.556	0.530	0.411	0.316	0.205	0.154	
MINUTES OF WATER PER WEEK	YEAR 1	6	8	12	16	19	22	22	21	16	13	8	6
PER WEEK	YEAR 2	6	7	10	15	17	19	20	19	15	11	7	6
DAYS PER WEEK	YEAR 1	1	1	1	1	1	1	1	1	1	1	1	1
YEAR 2	1	1	1	1	1	1	1	1	1	1	1	1	1
MINUTES OF WATER PER DAY	YEAR 1	6	8	12	16	19	22	22	21	16	13	8	6
YEAR 2	6	7	10	15	17	19	20	19	15	11	7	6	6
CYCLES PER DAY	YEAR 1	1	1	1	1	1	1	1	1	1	1	1	1
YEAR 2	1	1	1	1	1	1	1	1	1	1	1	1	1
MINUTES PER CYCLE	YEAR 1	6	8	12	16	19	22	22	21	16	13	8	6
YEAR 2	6	7	10	15	17	19	20	19	15	11	7	6	6

NOTES:
THE CHARTS ARE INTENDED TO BE USED AS A GUIDELINE ONLY AND INDICATE APPROXIMATE RUN TIMES (IN MINUTES) FOR EACH ZONE BASED ON ESTIMATED WEEKLY WATER REQUIREMENTS FOR ESTABLISHED PLANT MATERIAL. THE FIGURES SHOWN IN THIS SCHEDULE ARE APPROXIMATE AND HAVE BEEN DEVELOPED FROM LOCAL CURRENT AVERAGES FOR EVAPOTRANSPIRATION, AND REFLECT MAXIMUM IRRIGATION REQUIREMENTS OF THE PLANT MATERIAL BASED ON PLANT TYPE AND SPACING. ACTUAL RUN TIMES MAY BE DIFFERENT DEPENDING ON A VARIETY OF FACTORS INCLUDING TOPOGRAPHY, SOIL STRUCTURE, SUN AND WIND EXPOSURE, WEATHER, ACTUAL PLANT WATER REQUIREMENTS, ETC.



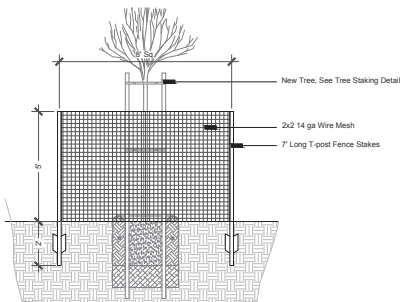
IRRIGATION NOTES

- THESE IRRIGATION DRAWINGS ARE DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS IS FOR CLARITY ONLY AND ARE TO BE INSTALLED WITHIN PAVED AREAS WHERE POSSIBLE. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, ETC., WHICH MAY BE REQUIRED. THE CONTRACTOR IS REQUIRED TO INVESTIGATE THE STRUCTURAL AND FINISHED CONDITIONS AFFECTING ALL OF THE CONTRACT WORK INCLUDING OBSTRUCTIONS, GRADE DIFFERENCES OR AREA DIMENSIONAL DIFFERENCES WHICH MAY NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. IN THE EVENT OF FIELD DIFFERENCES, THE CONTRACTOR IS REQUIRED TO PLAN THE INSTALLATION WORK ACCORDING TO NOTIFICATION OF THE OWNER'S AUTHORIZED REPRESENTATIVE AND TO THE CONTRACT SPECIFICATION. THE CONTRACTOR IS ALSO REQUIRED TO NOTIFY AND COORDINATE IRRIGATION CONTRACT WORK WITH ALL APPLICABLE CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE, CONDUIT OR SLEEVES THROUGH OR UNDER WALLS, ROADWAYS, PAVING, STRUCTURE, ETC., BEFORE CONSTRUCTION. IN THE EVENT THESE NOTIFICATIONS ARE NOT PERFORMED, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL REQUIRED REVISIONS.
- THE CONTRACTOR SHALL EXERCISE CARE IN LOCATING PIPING AS TO NOT CONFLICT WITH OTHER UTILITIES. DO NOT INSTALL IRRIGATION PIPING PARALLEL TO AND DIRECTLY OVER OTHER UTILITIES.
- THE INTENT OF THIS IRRIGATION SYSTEM IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH.
- IT IS THE RESPONSIBILITY OF THE LANDSCAPE MAINTENANCE CONTRACTOR AND/OR OWNER TO PROGRAM THE IRRIGATION CONTROLLER TO PROVIDE THE MINIMUM AMOUNT OF WATER NEEDED TO SUSTAIN GOOD PLANT HEALTH. THIS INCLUDES MAKING ADJUSTMENTS TO THE PROGRAM FOR SEASONAL WEATHER CHANGES, PLANT MATERIAL WATER REQUIREMENTS, MOUNDS AND SLOPES, SUN, SHADE, AND WIND EXPOSURES.
- AT THE END OF THE REQUIRED MAINTENANCE PERIOD OF THE CONTRACTOR, THE OWNER SHALL PROVIDE REGULAR MAINTENANCE OF THE IRRIGATION SYSTEM TO ENSURE THE EFFICIENT USE OF WATER. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO CHECKING, ADJUSTING, AND REPAIRING IRRIGATION EQUIPMENT AND CONTROL SYSTEM.
- 120 VOLT A.C. (2.5 AMP DEMAND) ELECTRICAL SERVICE TO IRRIGATION CONTROLLER LOCATION TO BE PROVIDED UNDER ELECTRICAL CONTRACT WORK. IRRIGATION CONTRACTOR TO MAKE FINAL CONNECTION FROM ELECTRICAL STUB-OUT TO CONTROLLER AND PROVIDE PROPER GROUNDING PER CONTROLLER MANUFACTURER'S INSTRUCTIONS.
- CONTROLLER SHALL HAVE ITS OWN GROUND ROD. THE GROUND ROD SHALL BE AN EIGHT FOOT LONG BY 5/8" DIAMETER ULL APPROVED COPPER CLAD ROD. NO MORE THAN 4" OF THE GROUND ROD TO BE ABOVE GRADE. CONNECT #6 GAUGE WIRE WITH A ULL APPROVED GROUND ROD CLAMP TO ROD AND BACK TO GROUND SCREW AT BASE OF CONTROLLER WITH APPROPRIATE CONNECTION. THIS WIRE SHOULD BE AS SHORT AS POSSIBLE, AVOIDING ANY KINKS OR BENDING. GROUND ROD SHALL BE A MINIMUM OF EIGHT FEET (8') FROM IRRIGATION CONTROL WIRE BUNDLE.
- IRRIGATION CONTROLLER TO HAVE ITS OWN INDEPENDENT 24 VOLT COMMON GROUND WIRE.
- PRIOR TO INSTALLATION OF IRRIGATION CONTROLLER AND ASSOCIATED COMPONENTS CONTRACTOR SHALL CONTACT HUNTER REPRESENTATIVE (CHRIS MONARY 707.695.3890) FOR ON-SITE TUTORIAL ON INSTALLATION PROCEDURES FOR CONTROLLER, DECODERS, TWO-WIRE CABLE, WIRE SPLICES, GROUNDING, INTERFACE WITH FLOW SENSOR AND MASTER VALVE, AS WELL AS PROGRAMMING OF CONTROLLER.
- CONTROLLER PROGRAMMING:
A. CONTRACTOR SHALL PROGRAM THE IRRIGATION CONTROLLER TO PROVIDE IRRIGATION TO ALL PLANTING WITHIN THE ALLOWED WATERING WINDOW OF TIME AS REQUIRED. THE CONTRACTOR SHALL CREATE CONTROLLER PROGRAMMING THAT WILL NOT EXCEED THE MAXIMUM GALLONS PER MINUTE FLOW RATE STATED ON THE DRAWINGS, AND NOT EXCEED THE CAPACITY OF ANY MAINLINE PIPING.
B. CONTRACTOR SHALL PROGRAM CONTROLLER TO MONITOR FLOW CONDITIONS AND RESPOND WITH CONTROL OF MASTER VALVE AND/OR RECORDING ALARM CONDITIONS FOR USE BY MAINTENANCE PERSONNEL.
- IRRIGATION CONTROL WIRES SHALL BE HUNTER JACKETS DECODER CABLES (PAGE ELECTRIC P7354D) WITH ULL APPROVAL FOR DIRECT BURIAL IN GROUND, SIZE #14-1. SPLICE SHALL BE MADE WITH 3M-DBR/7-6 SEAL PACKS.
- CONNECT FLOW SENSOR TO CONTROLLER VIA FLOW SENSOR DECODER AND TWO-WIRE PATH PER HUNTER SPECIFICATIONS.
- SPLICING OF DECODER CABLES IS NOT PERMITTED EXCEPT IN VALVE BOXES. SEAL WIRE SPLICES WITH 3M-DBR/7-6 SPLICE SEALING DEVICES OF SIZE COMPATIBLE WITH WIRE SIZE. LEAVE A 36" LONG COIL OF EXCESS CABLE AT EACH SPLICE AND A 36" LONG EXPANSION LOOP EVERY 100 FEET ALONG WIRE RUN. TAPE DECODER CABLES TOGETHER EVERY TEN FEET. TAPING IS NOT REQUIRED INSIDE SLEEVES.
- PLASTIC VALVE BOXES ARE TO BE BLACK IN COLOR WITH BOLT DOWN, NON-HINGED COVER MARKED "IRRIGATION". BOX BODY SHALL HAVE KNOCK OUTS. MANUFACTURER SHALL BE RAIN BRID.
- INSTALL REMOTE CONTROL VALVE BOXES 12" FROM WALK, CURB, HEADER BOARD, BUILDING, OR LANDSCAPE FEATURE. AT MULTIPLE VALVE BOX GROUPS, EACH BOX SHALL BE AN EQUAL DISTANCE FROM THE WALK, CURB, ETC. AND EACH BOX SHALL BE 12" APART. SHORT SIDE OF RECTANGULAR VALVE BOXES SHALL BE PARALLEL TO WALK, CURBS, ETC.
- VALVE LOCATIONS SHOWN ARE DIAGRAMMATIC. INSTALL IN GROUND COVER/SHRUB AREAS WHERE POSSIBLE.
- THE RAIN BRID PDSB REMOTE CONTROL VALVE SPECIFIED ON THE DRAWINGS IS A PRESSURE REDUCING TYPE. SET THE DISCHARGE PRESSURE TO 30 PSI.
- THE IRRIGATION CONTRACTOR SHALL FLUSH ALL SYSTEMS FOR OPTIMUM PERFORMANCE AND COVERAGE OF THE LANDSCAPE AREA. THIS SHALL INCLUDE ADJUSTING THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM.
- ALL IRRIGATION PIPING THAT IS NOT A DIRECT LINE TO TREES SHALL BE A MINIMUM FIVE (5) FEET FROM CENTER OF TREE.
- LOCATE EMITTERS ON UP-HILL SIDE OF PLANT.
- LOCATE BUBBLERS ON UP-HILL SIDE OF TREE.
- INSTALL A NDS FLOW MANAGEMENT INLINE SPRING LOADED CHECK VALVE (CV-0500-FM) BELOW THOSE BUBBLERS WHERE LOW HEAD DRAINAGE WILL CAUSE EROSION AND/OR EXCESS WATER.
- WHERE IT IS NECESSARY TO EXCAVATE ADJACENT TO EXISTING TREES, THE CONTRACTOR SHALL USE ALL POSSIBLE CARE TO AVOID INJURY TO TREES AND TREE ROOTS. EXCAVATION IN AREAS WHERE TWO (2) INCH AND LARGER ROOTS OCCUR SHALL BE DONE BY HAND. TRENCHES ADJACENT TO TREE SHOULD BE CLOSED WITHIN TWENTY-FOUR (24) HOURS; AND WHERE THIS IS NOT POSSIBLE, THE SIDE OF THE TRENCH ADJACENT TO THE TREE SHALL BE KEPT SHADED WITH BURLAP OR CANVAS.
- IRRIGATION CONTRACTOR TO NOTIFY ALL LOCAL JURISDICTIONS FOR INSPECTION AND TESTING OF INSTALLED BACKFLOW PREVENTION DEVICE.
- PRESSURE TEST PROCEDURE. THE CONTRACTOR SHALL:
A. NOTIFY ARCHITECT AT LEAST THREE (3) DAY IN ADVANCE OF TESTING.
B. PERFORM TESTING AT HIS OWN EXPENSE.
C. CENTER LOAD PIPING WITH SMALL AMOUNT OF BACKFILL TO PREVENT ARCHING OR SLIPPING UNDER PRESSURE. NO FITTING SHALL BE COVERED.
D. APPLY THE FOLLOWING TESTS AFTER WELD PLASTIC PIPE JOINTS HAVE CURED AT LEAST 24 HOURS.
1. TEST LINE (CONSTANT PRESSURE) AND QUICK COUPLER LINE HYDROSTATICALLY AT 125 PSI MINIMUM. LINES WILL BE APPROVED IF TEST PRESSURE IS MAINTAINED FOR SIX (6) HOURS. THE LINE WILL BE APPROVED OR NOT APPROVED AS SUCH RESULTS MAY INDICATE. THE CONTRACTOR SHALL MAKE TESTS AND REPAIRS AS NECESSARY UNTIL TEST CONDITIONS ARE MET.
2. TEST RCV CONTROLLED LATERAL LINES WITH WATER AT LINE PRESSURE AND VISUALLY INSPECT FOR LEAKS. REPEAT AFTER CORRECTING DEFECTS.
- THE SPRINKLER SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE SHOWN ON THE IRRIGATION DRAWINGS. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE.
- IRRIGATION DEMAND: 19 GPM AT 70 PSI STATIC PRESSURE AT IRRIGATION POINT OF CONNECTION. FIELD VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. IF ACTUAL WATER PRESSURE DIFFERS FROM THE STATED PRESSURE CONTACT ARCHITECT FOR DIRECTION AND POSSIBLE REVISION.
- PIPE THREAD SEALANT COMPOUND SHALL BE RECTOR SEAL T+2, CHRISTY'S ULTRA SEAL, OR APPROVED EQUAL.
- RECORD DRAWINGS:
A. THE CONTRACTOR SHALL MAINTAIN IN GOOD ORDER IN THE FIELD OFFICE ONE COMPLETE SET OF BLACK LINE PRINTS OF ALL IRRIGATION DRAWINGS WHICH FORM A PART OF THE CONTRACT, SHOWING ALL WATER LINES, HEADS, VALVES, CONTROLLERS AND STUB-OUTS. IN THE EVENT ANY WORK IS NOT INSTALLED AS INDICATED ON THE DRAWINGS, SUCH WORK SHALL BE CORRECTED AND DIMENSIONED ACCURATELY FROM THE BUILDING WALL.
B. CONTRACTOR SHALL RECORD EACH DECODER NUMBER AND ASSOCIATED CONTROLLER STATION NUMBER. PROVIDE LIST WITH RECORD AS-BUILT DRAWINGS.
C. ALL UNDERGROUND STUB-OUTS FOR FUTURE CONNECTIONS AND VALVES SHALL BE LOCATED AND DIMENSIONED ACCURATELY FROM BUILDING WALLS ON ALL RECORD DRAWINGS.
D. UPON COMPLETION OF THE WORK, OBTAIN REPRODUCIBLE PRINTS FROM ARCHITECT AND NEATLY CORRECT THE PRINTS TO SHOW THE AS-BUILT CONDITIONS.
- FINE TUNE IRRIGATION SYSTEM TO PROVIDE COMPLETE AND UNIFORM COVERAGE OF THE LANDSCAPE WHILE AVOIDING RUNOFF OF WATER ONTO NON-IRRIGATED AREAS, PAVED AND OTHERWISE. THIS INCLUDES PROGRAMMING THE CONTROLLER RUN TIMES FOR OPTIMIZING SOIL INFILTRATION WITH OUT FLOODING OR RUNOFF.
- WARRANTY:
A. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FILL AND REPAIR ALL NECESSARY PLANTING DUE TO THE SETTLEMENT OF IRRIGATION TRENCHES FOR ONE YEAR FOLLOWING COMPLETION AND ACCEPTANCE OF THE JOB.
B. THE CONTRACTOR SHALL ALSO MAINTAIN ALL MATERIALS, EQUIPMENT AND WORKMANSHIP FURNISHED BY HIM TO BE FREE OF ALL DEFECTS OF WORKMANSHIP AND MATERIALS, AND SHALL AGREE TO REPLACE AT HIS EXPENSE, AT ANY TIME WITHIN ONE YEAR AFTER INSTALLATION IS ACCEPTED, ANY AND ALL DEFECTIVE PARTS THAT MAY BE FOUND.

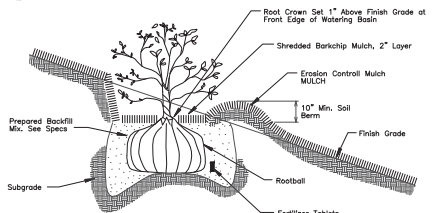


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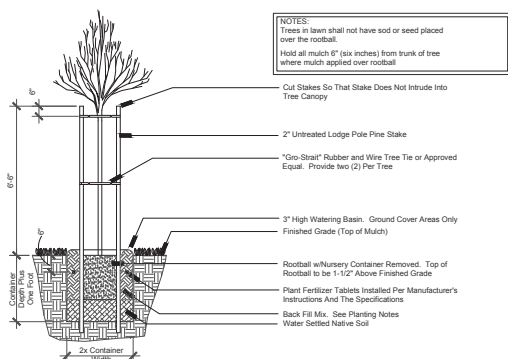
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01.14.22		COUNTY OF SAN MATEO USE PERMIT RESUBMITTAL 1



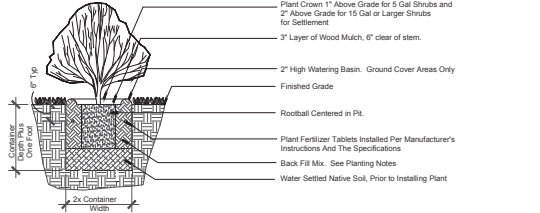
8 Deer Protection Fence at Trees
Not to Scale



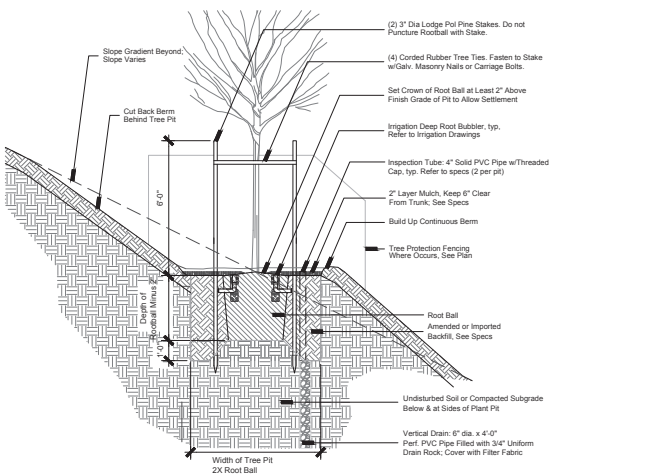
9 Shrub Planting on Slopes
Scale: NTS



5 Tree Staking Diagram
Not to Scale

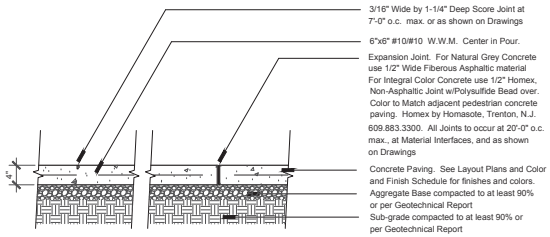


6 Shrub Planting Detail
Not to Scale

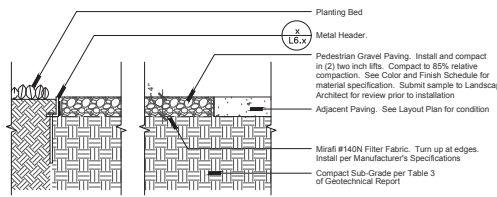


7 Tree Planting on Slope, typ.
Not to Scale

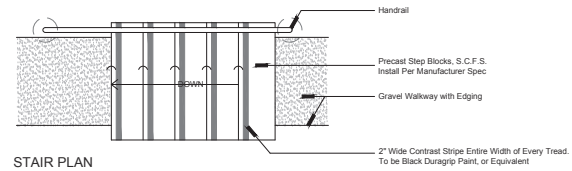
NOTES:
Trees in lawn shall not have sod or seed placed over the rootball.
Head all mulch 6\"/>



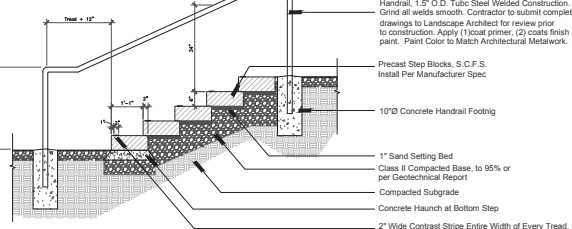
1 Pedestrian Concrete Paving
Scale: 1\"/>



2 Pedestrian Gravel Paving
Scale: 1\"/>



3 Gravel Path Steps
Scale: 1/2\"/>



4 Gravel Path Steps
Scale: 1/2\"/>

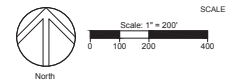


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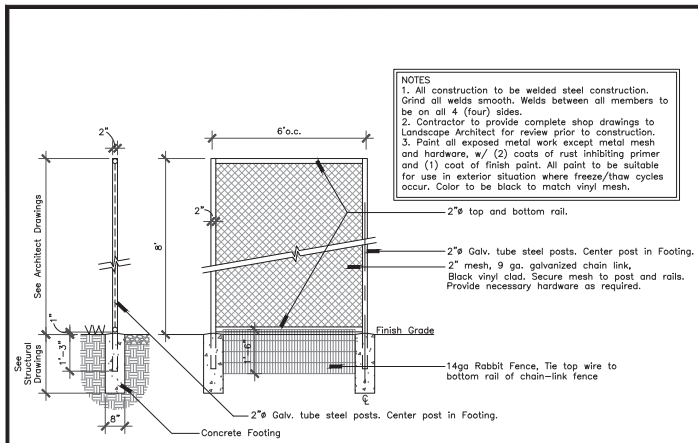
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SHEET TITLE
LANDSCAPE DETAILS

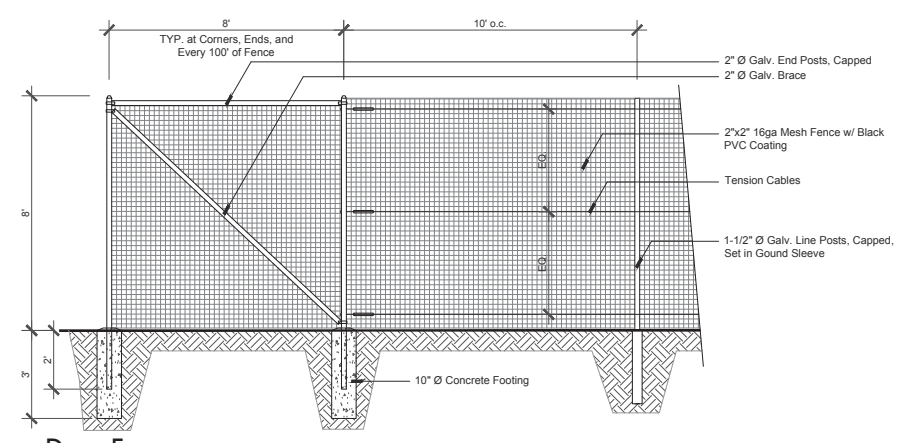


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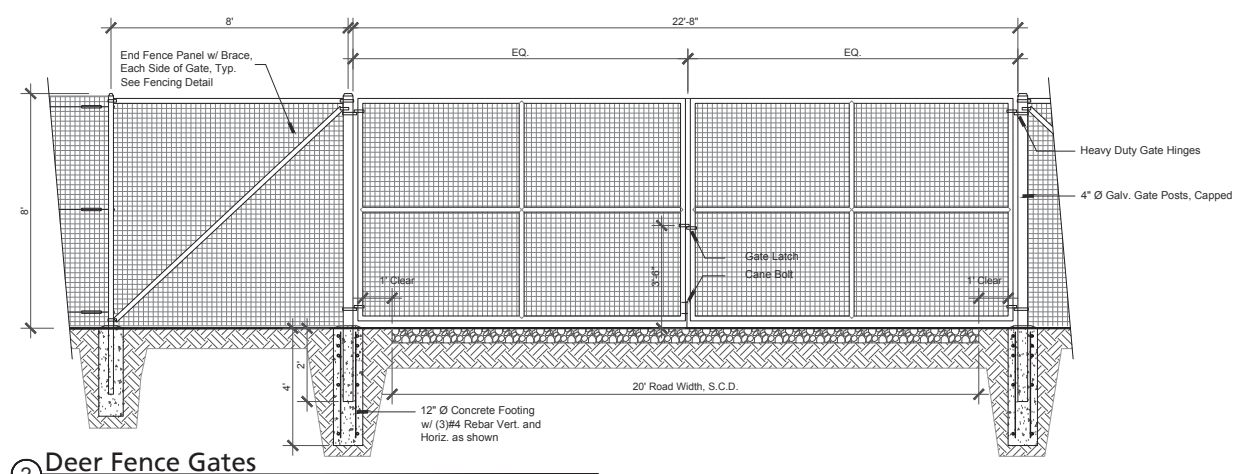
L6.0



4 Chain Link Fence Enclosures
Scale: 1/2"=1'-0"



1 Deer Fence
Scale: 1/2"=1'-0"



2 Deer Fence Gates
Scale: 1/2"=1'-0"



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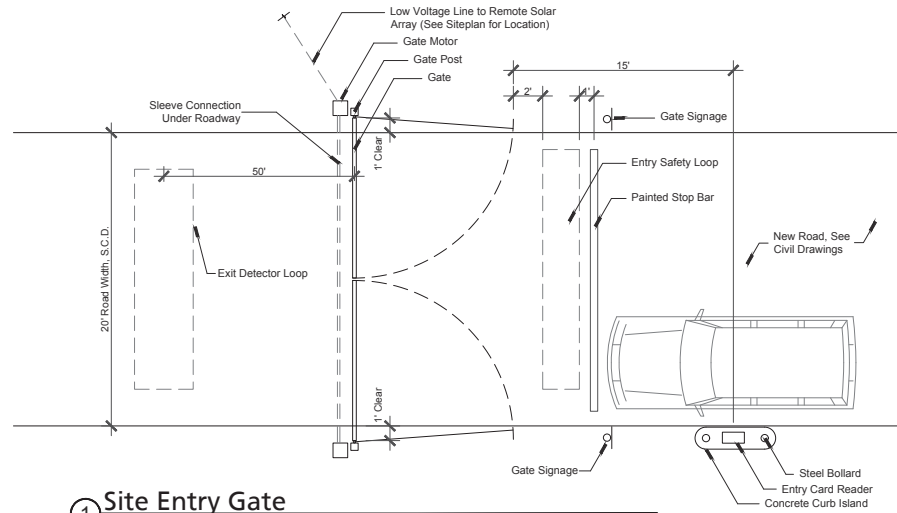
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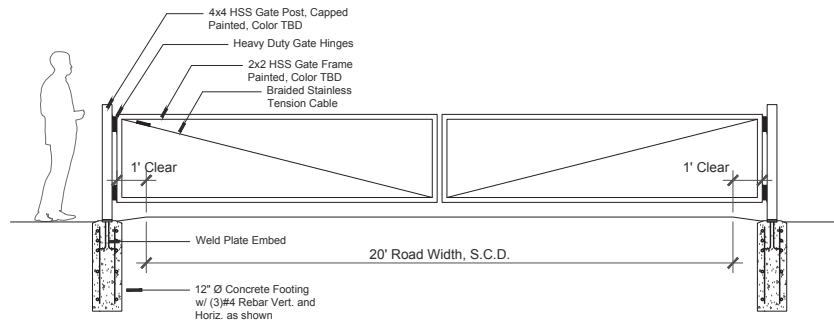
SCALE

SHEET NUMBER

L6.1



1 Site Entry Gate
Scale: 1/2"=1'-0"



2 Site Entry Gate
Scale: 1/2"=1'-0"

PENINSULA HUMANE SOCIETY
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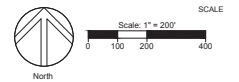


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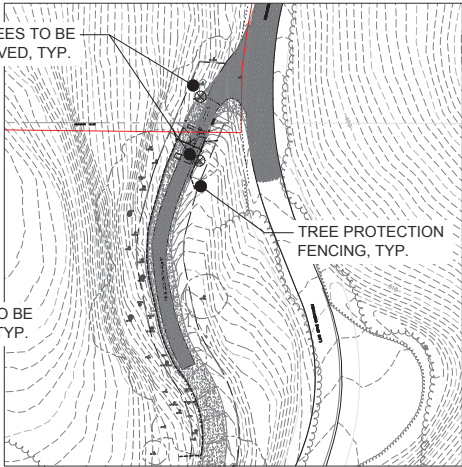
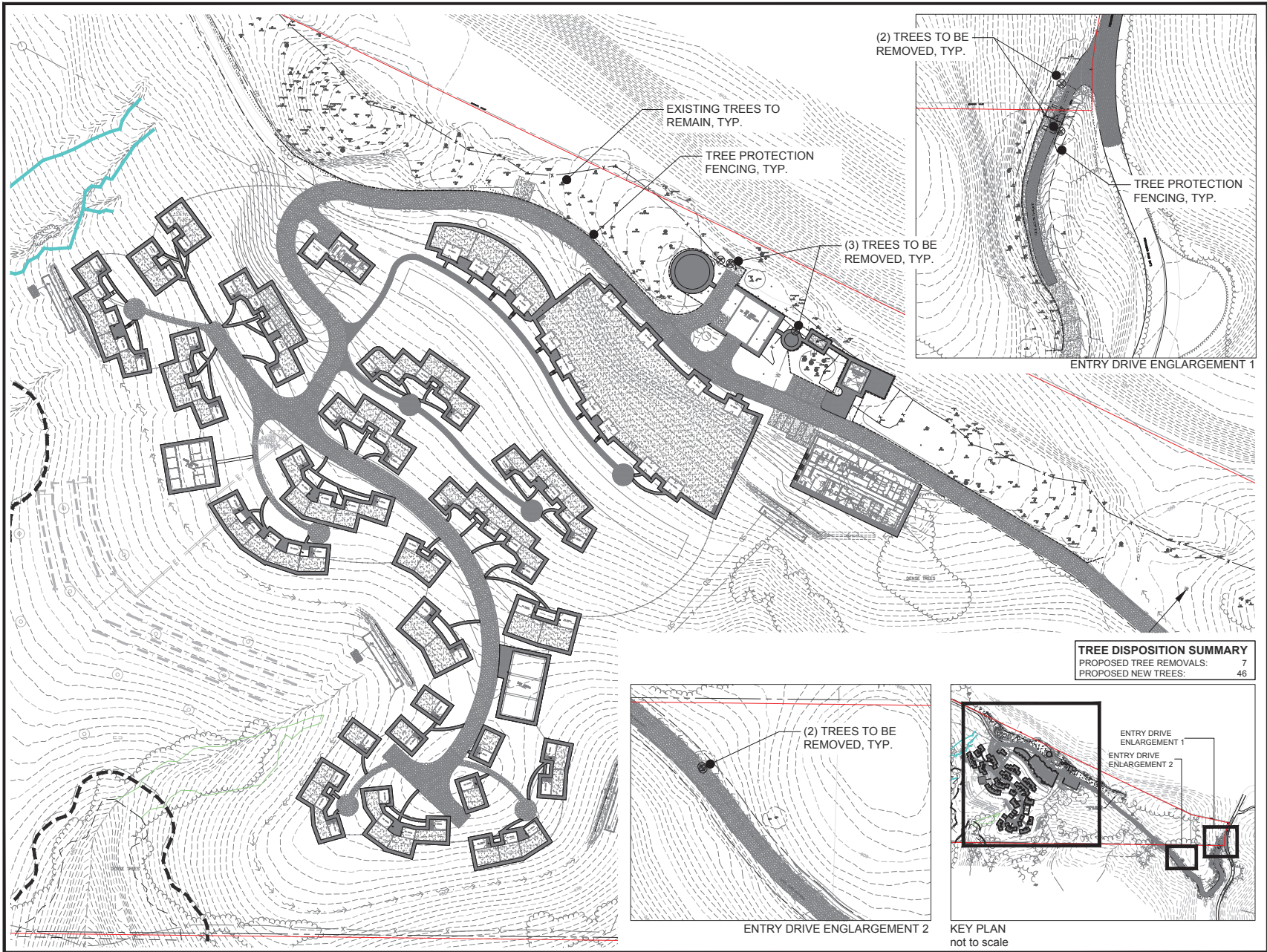
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SHEET TITLE
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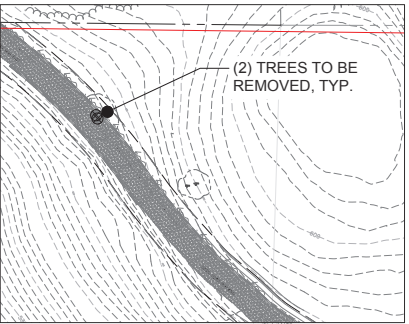


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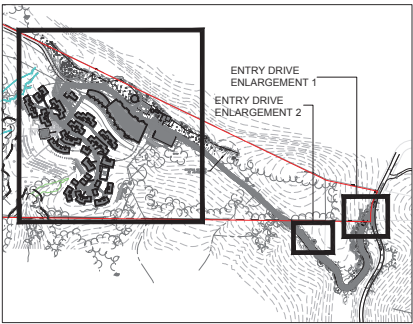
L6.2



ENTRY DRIVE ENLARGEMENT 1



ENTRY DRIVE ENLARGEMENT 2



KEY PLAN
not to scale

TREE DISPOSITION SUMMARY	
PROPOSED TREE REMOVALS:	7
PROPOSED NEW TREES:	46

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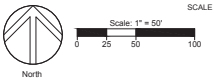


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PROJECT NUMBER
18042.00

SHEET TITLE
TREE DISPOSITION PLAN



SHEET NUMBER

L7.0

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