

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: November 13, 2024

TO: Planning Commission

FROM: Planning Staff

SUBJECT: Consideration of a Design Review (DR) permit and Non-Conforming Use Permit (NCUP) pursuant to Sections 6565.3 and 6137.1, respectively, of the San Mateo County Zoning Regulations, to allow for a 434 sq. ft. first floor addition, a 758 sq. ft. second story addition, a new detached 655 sq. ft. 2-car garage with a half bathroom and outdoor shower, and remodel of an existing 701 sq. ft., 1-story, single-family residence, on a developed 5,729 sq. ft. parcel, associated with a NCUP. A NCUP is required to expand the non-conforming residence with a front setback of approximately 6 feet and 9.5 inches where 20 feet is required. The project involves only minor grading and no tree removal.

County File Number: PLN2024-00141 (Kostiuk/Bradley)

PROPOSAL

The applicant is seeking a Design Review (DR) permit and Non-Conforming Use Permit for additions to the existing 701 sq. ft. residence and a new detached 655 sq. ft. 2-car garage with a half bathroom and outdoor shower, along with remodeling of the existing residence. The property is relatively flat, not within a scenic corridor, and within an urban coastal area. The site is currently developed with an existing single-family residence, accessory building, driveway, and other ancillary onsite improvements. No covered parking is currently provided on-site.

RECOMMENDATION

That the Planning Commission approve the Design Review Permit and Non-Conforming Use Permit, County File Number PLN2024-00141, by adopting the required findings and conditions of approval listed in Attachment A.

BACKGROUND

Report Prepared By: Luis Topete, Planner III

Applicant: Katie Kostiuik, Fat Pen Studios, Inc.

Owner: Riley Bradley and Kristin Meader Bradley

Public Notification: Ten (10) day advanced notification for the hearing was mailed to all property owners within 300 feet of the perimeter of the project parcels and a notice for the hearing posted in a newspaper (San Mateo County Times) of general public circulation.

Location: 167 Avenue Portola, El Granada, CA 94018

APN: 047-208-110

Parcel Size: 5,729 sq. ft.

Existing Zoning: R-3/S-3/DR/CD (Multiple Family Residential District/Residential Density District 3/Design Review District/Coastal Development District)

General Plan Designation: High Density Residential

Local Coastal Plan Designation: High Density Residential

Sphere-of-Influence: City of Half Moon Bay

Existing Land Use: Single-family Residential

Water Supply: Coastside County Water District

Sewage Disposal: Granada Community Services District

Flood Zone: The parcel is located within Zone X, areas of minimal flood hazard; FEMA Community Panel 06081C0138F, effective August 2, 2017.

Environmental Evaluation: This project is exempt from environmental review, pursuant to the CEQA Guidelines Section 15301(e) (Class 1, Existing Facilities), which includes additions to existing structures provided that the addition will not result in an increase of more than: (1) 50 percent of the floor area of the structures before the addition, or 2,500 square feet, whichever is less; or (2) 10,000 square feet if: (A) The project is in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan and (B) the area in which the project is located is not environmentally sensitive. The project will not result in an increase of

more than 10,000 sq. ft., all public services and facilities are available to serve the project, and the area in which the project is located is not environmentally sensitive.

Setting: The 5,729 sq. ft. project site is located north of Highway 1 within an existing residential neighborhood in the unincorporated community of El Granada between Coronado Street and The Alameda. The property is accessed from Avenue Portola. The property is relatively flat, not within a scenic corridor, and within an urban coastal area. The site is currently developed with an existing single-family residence, accessory building, driveway, and other ancillary onsite improvements.

Chronology:

<u>Date</u>	<u>Action</u>
1948	- House constructed.
June 22, 2021	- Application for removal of 2 Monterey pine trees approved.
February 2, 2024	- Design review pre-application meeting completed.
May 9, 2024	- Application submitted.
June 21, 2024	- Agency reviews completed.
July 1, 2024	- Application deemed complete.
September 12, 2024	- Coastside Design Review Committee meeting. Project recommended for approval. Public comments focused on height of second story relative to surrounding single-story houses, project scale, and potential for project to block private ocean views.
November 13, 2024	- Planning Commission hearing.

DISCUSSION

A. KEY ISSUES

1. Conformance with the County General Plan

Upon review of the applicable provisions of the General Plan, staff has determined that the project complies with all applicable General Plan Policies, including the following:

a. Visual Quality

Policy 4.15 (*Appearance of New Development*) seeks to regulate development to promote and enhance good design, site relationships and other aesthetic considerations and Policy 4.36 (*Urban Area Design Concept*) calls for new development to maintain and, where possible, improve upon the appearance and visual character of development in urban areas, and ensures that new development in urban areas is designed and constructed to contribute to the orderly and harmonious development of the locality. The design review standards implement these policies within Design Review Zoning Districts of the County, including the Midcoast area. The Coastside Design Review Committee (CDRC) reviewed the project and found that the project complies with the applicable design review standards.

b. Urban Land Use

Policy 8.39 (*Height, Bulk and Setbacks*) regulates the height, bulk and setback requirements in zoning districts to: (1) ensure that the size and scale of development is compatible with the parcel size, (2) provide sufficient light and air in and around structures, (3) ensure that development of permitted densities is feasible, and (4) ensure public health and safety. The project meets the zoning district height standards and is compatible in design, scale and size with other residences located in the neighborhood. The house has a legal non-conforming front setback of 6-foot-9.5-inch where 20 feet is required. No further encroachment into the front setback is proposed. The appearance of mass and bulk of the project is reduced by articulation of the exterior façades. The design and materials of the project are complementary to other homes in the neighborhood, as supported by the Coastside Design Review Committee's review and recommendation.

Policy 8.40 (*Parking Requirements*) requires that minimum on-site parking requirements be regulated to (1) accommodate the parking needs of the development, (2) provide convenient and safe access, (3) prevent congestion of public streets, (4) establish orderly development patterns, and (5) discourage an over-reliance on auto travel to the exclusion of other travel modes. The parcel is regulated by Chapter 3 of the San Mateo County Zoning Regulations. This section requires 2 covered spaces for each dwelling unit having 2 or more bedrooms. Section 6118 of the Zoning Regulations requires each off-street parking space to be a minimum of 171 sq. ft. in size. No covered parking is currently provided on-site. The parking area within the proposed 2-car garage exceeds this minimum size requirement which will be accessed through a new driveway that can also accommodate additional onsite parking.

2. Conformance with the Local Coastal Program

The applicant has applied for a Coastal Development Permit Exemption for which this project meets the criteria for exemption under Section A of the Coastal Development Permit Exemption/Exclusion Worksheet related to maintenance and alteration of, or addition to, existing single-family dwellings. Staff has determined that the project is in compliance with applicable Local Coastal Program (LCP) Policies discussed below:

a. Sensitive Habitats Component

Policy 7.3 (*Protection of Sensitive Habitats*) prohibits any land use or development which would have a significant adverse impact on sensitive habitat areas and requires development in areas adjacent to sensitive habitats to be sited and designed to prevent impacts that could significantly degrade the sensitive habitats. The project site has existing development and is not located in an area identified as sensitive habitat in the Local Coastal Program. No tree removal is proposed.

b. Visual Resources Component

Policy 8.12(a) (*General Regulations*) applies the Design Review Zoning District to urban areas of the Coastal Zone, which includes El Granada. The project is, therefore, subject to the standards for design for one-family and two-family residential development in the Midcoast as identified in Section 6565.20 of the Zoning Regulations. As discussed in Section A.3.b of this report, the CDRC considered this project at their regularly scheduled meeting on August 8, 2024. The CDRC determined that the project is in compliance with applicable Design Review Standards, and recommended approval.

Policy 8.13.a (*Special Design Guidelines for Coastal Communities*) establishes design guidelines for Montara, Moss Beach, El Granada, and Miramar. The proposed home complies with these guidelines as follows:

- (1) On-site grading is not extensive and only limited to standard construction activity.
- (2) Earthy, natural colors and sustainable materials have been proposed to complement the natural setting.
- (3) Primary and secondary roof forms are utilized to reduce the mass and scale of the addition. Standing seam metal gable roof of quartz zinc or equivalent color is proposed. The addition will also incorporate a flat roof over the existing non-conforming massing in the front setback, and the second-floor massing has been pushed farther back to provide a roof deck that preserves neighbor views in the view corridor. Gable roof and ample glass are common in this coastal community.
- (4) This part of El Granada is unique, with a mix of one-story homes, two-story homes, three-story multi-family apartment buildings and commercial buildings. The mass and scale of the project are subordinate to the three-story apartment buildings on both sides of Avenue Portola, and the towering Eucalyptus trees and two-story homes that form the backdrop to this property. Facade articulation is utilized to reduce the visual mass of the home and more than 3 colors/materials are proposed to further reduce the appearance of visual mass and scale.

3. Conformance with the Zoning Regulations

a. Conformance with S-3 District Development Standards

The property is located in the Multiple Family Residential District/Residential Density District 3/Design Review District/Coastal Development District (R-3/S-3/DR/CD). A one-family dwelling and accessory buildings are permitted uses in the R-3 zoning district.

The house has a legal non-conforming front setback of 6-foot-9.5-inch where 20 feet is required. The proposal includes a Non-Conforming Use Permit (NCUP) to allow the project to maintain the existing non-conforming front setback. The proposal complies with all other S-3 development standards, as indicated in the following table:

	S-3 Development Standards	Proposed	Complies? Yes/No
Average Site Width	50 feet	50 feet	Yes
Minimum Site Area	5,000 sq. ft.	5,729.21 sq. ft. (legal site)	Yes
Minimum Lot Area Per Dwelling Unit	1,250 sq. ft.	5,729.21 sq. ft.	Yes
Minimum Front Setback	20 feet	Maintain 6 feet-9.5 inches	No, needs NCUP
Minimum Rear Setback	20 feet	54 feet	Yes
Minimum Right Side Setback	5 feet	12 feet -10 ¾ inches	Yes
Minimum Left Side Setback	5 feet	5 feet	Yes
Maximum Building Height	36 feet /3 stories	28 ft./2 story	Yes
Maximum Building Site Coverage	2,864.6 sq. ft. (50%)	1,948.01 sq. ft. (34%)	Yes
Minimum Parking Spaces	2 covered spaces	New 2 covered spaces	Yes, with proposal

The detached garage was also found to comply with the development standards applicable to accessory buildings, including location and building size, as found in Section 6409 through Section 6411 of the Zoning Regulations.

b. Conformance with Design Review Standards

At its meeting of September 12, 2024, the CDRC received comments and reviewed the project. Comments, summarized below, are also included in Attachment E.

The CDRC found that: 1) the project is successful in its use of materials and color palette; 2) that the second story, while having a very tall ridge line, is sited towards the center of the first story, resulting in a less boxy appearance at the upper level; 3) the project also extensively utilizes wall articulation to break up massing significantly and adds to the architectural character of the design; and 4) the project successfully incorporates dark-sky compliant and downward-facing lights and minimizes the number of exterior lights. The CDRC recommended conditioning the project to require the maximum building height be reduced by a minimum of two feet and to change the horizontal siding adjacent to the front entrance to a wood material to enhance design and prominence of the front entrance. The CDRC recommended, but did not propose as a condition of approval, the use of a darker color for the roof and roof fascia.

The CDRC adopted findings to recommend project approval, pursuant to the Design Review Standards for One-Family Residential Development in the Midcoast, Section 6565.20 of the San Mateo County Zoning Regulations, specifically elaborated as follows:

- (1) *Section 6565.20(D)4a & 4c ELEMENTS OF DESIGN; Exterior Materials and Colors: Use warm, muted colors and natural appearing materials on the house that blend with the surrounding natural features when viewed from a distance. Encourage the use of three or more colors on larger houses to reduce the appearance of bulk by emphasizing architectural features and trim.*

The project is successful in its use of materials and color palette.

- (2) *Section 6565.20(D)1c(1) ELEMENTS OF DESIGN; Second-Story Location: Locating the second story towards the center of the first story and away from property lines results in a more balanced, less boxy appearance and increases light into neighboring properties.*

The proposed second story, while having a very tall ridge line, is sited towards the center of the first story, resulting in a less boxy appearance at the upper level.

- (3) *Section 6565.20(D)1e ELEMENTS OF DESIGN; Wall Articulation: Building wall gaps that articulate the walls of the house create shadows and contribute to the architectural character of the home.*

In addition to changes in exterior material, the project also extensively utilizes wall articulation to break up massing significantly, adding to the architectural character of the design.

- (4) *Section 6565.20(F)4 Lighting: In general, low-level lighting directed toward the ground is preferred.*

Project successfully incorporates dark-sky compliant and downward-facing lights and minimizes the number of exterior lights.

The CDRC proposed the following conditions of approval and made the following recommendation, which have been incorporated as Conditions 13-15:

- (1) The maximum building height shall be reduced by a minimum of two feet.
- (2) The design shall change the horizontal siding adjacent to the front entrance (as shown on Sheet A3.2, BEHR FLIPPER PPU25-15) to a wood material to enhance design and prominence of the front entrance. The direction of wood siding can remain horizontal.
- (3) Recommendation: Use a darker color for the roof and roof fascia (proposed Quartz Zinc).

c. Non-Conforming Use Permit Findings

Section 6135.5.b allows for major repair, remodel or upgrade of a non-conforming structure, where any nonconformity violates the required zoning standard by 50% or more, shall result in the entire structure conforming with the zoning regulations currently in effect. The house has a legal non-conforming front setback of 6-feet-9.5-inch where 20 feet is required in the S-3 zoning district. The existing front setback violates the required minimum 20 feet requirement by more than 50% (being less than 10 feet).

Section 6137 (Exceptions) allows for the Planning Commission, at a public hearing, to grant a use permit to except any provision in this Chapter which restricts the continuation, enlargement, re-establishment or replacement of a non-conforming use, structure or situation.

In accordance with Section 6137, a Non-conforming Use Permit is being requested in order to allow the major remodel and maintain the existing non-conforming front setback.

Pursuant to Section 6503 of the San Mateo County Zoning Regulations, in order to grant the use permit as applied for or conditioned, the Planning Commission must find that the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood.

This project was reviewed and conditionally approved by all applicable reviewing agencies including the Building Inspection Section, the Coastside County Water District, the Coastside Fire Protection District, the Department of Public Works, the Geotechnical Section, and the Granada Community Services District. The project complies with all S-3 District Development Standards with the exception of the existing

encroachment into the front yard that will be maintained. The project site has existing development and is not located in an area identified as sensitive habitat in the Local Coastal Program. The project, as proposed and conditioned, will not result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood.

In conformance with Section 6503 of the Zoning Regulations, this project does not propose to exceed maximum floor area, height, or parcel coverage.

B. ENVIRONMENTAL REVIEW

This project is exempt from environmental review, pursuant to CEQA Guidelines Section 15301(e) (Class 1, Existing Facilities), which includes additions to existing structures provided that the addition will not result in an increase of more than: (1) 50 percent of the floor area of the structures before the addition, or 2,500 square feet, whichever is less; or (2) 10,000 square feet if: (A) The project is in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan and (B) The area in which the project is located is not environmentally sensitive. The project will not result in an increase of more than 10,000 sq. ft. The existing residence is 701 sq. ft. in size and the total floor area proposed is 2,548 sq. ft. The site is currently served, and will continue to be served, by the Coastside County Water District for domestic water and the Granada Community Services District for public sewer. Further, the area in which the project is located is not environmentally sensitive.

C. REVIEW BY THE MIDCOAST COMMUNITY COUNCIL

The Midcoast Community Council (MCC) commented noting discrepancies in the plumbing plans but had no comments on the project. This comment was forwarded to the applicant for resolution at the building permit stage. The MCC has been notified of the Planning Commission's review of this project.

D. REVIEWING AGENCIES

Building Inspection Section
Coastside County Water District
Coastside Fire Protection District
Department of Public Works
Geotechnical Section
Granada Community Services District
Midcoast Community Council

ATTACHMENTS

- A. Recommended Findings and Conditions of Approval
- B. Location Map
- C. Vicinity Map
- D. Plans
- E. Coastside Design Review Committee Recommendation Letter
- F. Comments Received at the CDRC Meeting of September 12, 2024

County of San Mateo
Planning and Building Department

RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL

Permit or Project File Number: PLN 2024-00141 Hearing Date: November 13, 2024

Prepared By: Luis Topete, Project Planner For Adoption By: Planning Commission

RECOMMENDED FINDINGS

Regarding the Environmental Review, Find:

1. This project is exempt from environmental review, pursuant to CEQA Guidelines Section 15301(e) (Class 1, Existing Facilities), which includes additions to existing structures provided that the addition will not result in an increase of more than: (1) 50 percent of the floor area of the structures before the addition, or 2,500 square feet, whichever is less; or (2) 10,000 square feet if: (A) The project is in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan and (B) The area in which the project is located is not environmentally sensitive. The project will not result in an increase of more than 10,000 sq. ft., all public services and facilities are available to serve the project, and the area in which the project is located is not environmentally sensitive.

Regarding the Design Review, Find:

2. That the project has been reviewed by the Coastside Design Review Committee, and as conditioned, has been found to be in compliance with the Design Review Standards for One-Family and Two-Family Residential Development in the Midcoast, Section 6565.20 of the San Mateo County Zoning Regulations, specifically elaborated as follows:
 - a. Section 6565.20(D)4a & 4c ELEMENTS OF DESIGN; Exterior Materials and Colors.

The projects is successful in its use of materials and color palette.
 - b. Section 6565.20(D)1c(1) ELEMENTS OF DESIGN; Second-Story Location.

The proposed second story, while having a very tall ridge line, is sited towards the center of the first story, resulting in a less boxy appearance at the upper level.

- c. Section 6565.20(D)1e ELEMENTS OF DESIGN; Wall Articulation.

In addition to changes in exterior material, the project also extensively utilizes wall articulation to break up massing significantly adding to the architectural character of the design.

- d. Section 6565.20(F)4 Lighting.

Project successfully incorporates dark-sky compliant and downward-facing lights and minimizes the number of exterior lights.

Regarding the Non-Conforming Use Permit, Find:

- 3. Pursuant to Section 6503 of the San Mateo County Zoning Regulations, in order to grant the use permit as applied for or conditioned, the Planning Commission must find that the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood.

This project was reviewed and conditionally approved by all applicable reviewing agencies including the Building Inspection Section, the Coastside County Water District, the Coastside Fire Protection District, the Department of Public Works, the Geotechnical Section, and the Granada Community Services District. The project complies with all S-3 District Development Standards with the exception of the existing encroachment into the front yard that will be maintained. The project site has existing development and is not located in an area identified as sensitive habitat in the Local Coastal Program. The project, as proposed and conditioned, will not result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood.

In conformance with Section 6503 of the Zoning Regulations, this project does not propose to exceed maximum floor area, height, or parcel coverage.

RECOMMENDED CONDITIONS OF APPROVAL

Current Planning Section

1. The project shall be constructed in compliance with the plans reviewed and approved by the Planning Commission on November 13, 2024. Any changes or revisions to the approved plans shall be submitted to the Design Review Officer for review and approval prior to implementation. Minor adjustments to the project design may be approved by the Design Review Officer if they are consistent with the intent of and are in substantial conformance with this approval. Alternatively, the Design Review Officer may refer consideration of the revisions to the Coastside Design Review Committee, with applicable fees to be paid.
2. The final approval of the subject permits shall be valid for five (5) years from the date of final approval, in which time a valid a building permit shall be issued for the work and a completed inspection (to the satisfaction of the Building Official) shall have occurred within 180 days of its issuance. This approval may be extended by a 1-year increment with submittal of an application for permit extension and payment of applicable extension fees sixty (60) days prior to the expiration date.
3. The applicant shall provide “finished floor elevation verification” to certify that the structure is constructed at the height shown on the approved plans. The applicant shall have a licensed land surveyor or engineer establish a baseline elevation datum point near the construction site.
 - a. The applicant shall maintain the datum point so that it will not be disturbed by the proposed construction activities until final approval of the building permit.
 - b. This datum point and its elevation shall be shown on the submitted site plan. This datum point shall be used during construction to verify the elevation of the finished floors relative to the existing natural or to the grade of the site (finished grade).
 - c. Prior to Planning approval of the building permit application, the applicant shall also have the licensed land surveyor or engineer indicate on the construction plans: (1) the natural grade elevations at the significant corners (at least four) of the footprint of the proposed structure on the submitted site plan, and (2) the elevations of proposed finished grades.
 - d. In addition, (1) the natural grade elevations at the significant corners of the proposed structure, (2) the finished floor elevations, (3) the topmost elevation of the roof, and (4) the garage slab elevation must be shown on the plan, elevations, and cross-section (if one is provided).

- e. Once the building is under construction, prior to the below floor framing inspection or the pouring of the concrete slab (as the case may be) for the lowest floor(s), the applicant shall provide to the Building Inspection Section a letter from the licensed land surveyor or engineer certifying that the lowest floor height, as constructed, is equal to the elevation specified for that floor in the approved plans. Similarly, certifications on the garage slab and the topmost elevation of the roof are required.
 - f. If the actual floor height, garage slab, or roof height, as constructed, is different than the elevation specified in the plans, then the applicant shall cease all construction and no additional inspections shall be approved until a revised set of plans is submitted to and subsequently approved by both the Building Official and the Director of Planning and Building.
 - g. A survey verification letter will be required during the construction phase of this project. Once the building permit has been issued and the forms have been set, the surveyor of record shall field measure the setback dimensions of the set forms from applicable property lines and compose a survey verification letter, with stamp and signature, of the field measurements to be submitted to the Planning and Building Department for review and approval.
- 4. The applicant shall include an erosion and sediment control plan to comply with the County's Erosion Control Guidelines on the plans submitted for the building permit. This plan shall identify the type and location of erosion control measures to be installed upon the commencement of construction in order to maintain the stability of the site and prevent erosion and sedimentation off-site.
 - 5. Approved erosion and sediment control measures shall be installed prior to beginning any work and maintained throughout the term of the building permit. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.
 - 6. The applicant is responsible for ensuring that all contractors minimize the transport and discharge of pollutants from the project site into water bodies by adhering to the San Mateo Countywide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines," below.
 - a. Stabilizing all denuded areas and maintaining erosion control measures continuously between October 1 and April 30. Stabilizing shall include both proactive measures, such as the placement of hay bales or coir netting, and passive measures, such as revegetating disturbed areas with plants propagated from seed collected in the immediate area. Storing, handling, and disposing of construction materials and wastes properly, so as to prevent their contact with stormwater.

- b. Controlling and preventing the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
 - c. Using sediment controls or filtration to remove sediment when dewatering site and obtaining all necessary permits.
 - d. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
 - e. Delineating with field markers clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses.
 - f. Protecting adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
 - g. Performing clearing and earth-moving activities only during dry weather.
 - h. Limiting and timing applications of pesticides and fertilizers to prevent polluted runoff.
 - i. Limiting construction access routes and stabilizing designated access points.
 - j. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
 - k. The contractor shall train and provide instruction to all employees and subcontractors regarding the construction best management practices.
7. To reduce the impact of construction activities on neighboring properties, comply with the following:
- a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
 - b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.

- c. The applicant shall ensure that no construction-related vehicles shall impede through traffic along the right-of-way. All construction vehicles shall be parked on-site outside the public right-of-way. There shall be no storage of construction vehicles in the public right-of-way.
8. All new power and telephone utility lines from the street or nearest existing utility pole to the main dwelling and/or any other structure on the property shall be placed underground.
9. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 5 p.m., Saturdays. Said activities are prohibited on Sundays, Thanksgiving, and Christmas (San Mateo County Ordinance Code Section 4.88.360).
10. The exterior colors and materials as approved by the Planning Commission shall be implemented. Color verification shall occur in the field after the applicant has applied the approved materials and colors but before a final inspection has been scheduled.
11. The applicant shall include a copy of the approval letter with conditions of approval on the top pages of the building plans.
12. Installation of the approved landscape plan is required prior to final inspection.

Coastside Design Review Committee

13. The maximum building height shall be reduced by a minimum of two feet.
14. The design shall change the horizontal siding adjacent to the front entrance (as shown on Sheet A3.2, BEHR FLIPPER PPU25-15) to a wood material to enhance design and prominence of the front entrance. The direction of wood siding can remain horizontal.
15. Recommendation (Optional): Use of a darker color for the roof and roof fascia (proposed Quartz Zinc).

Building Inspection Section

16. A building permit is required for this project. The applicant shall apply for a building permit and shall adhere to all requirements from the Building Inspection Section, the Geotechnical Section, the Department of Public Works, and the Coastside Fire Protection District. No site disturbance shall occur, including any grading, until a building permit has been issued.

Drainage Section

17. Applicant shall submit a completed C.3 and C.6 Development Review Checklist at the time of Building Permit application.
18. Applicant shall demonstrate compliance with applicable site design and source control measures.
19. An Erosion Control Inspection is required prior to the issuance of a building permit for grading, construction, and demolition purposes. Once all review agencies have approved your Building Permit, you will be sent an approved job copy of the Erosion Control Plan. Once the Erosion Control measures have been installed per the approved plans, please send photos to the Project Planner. A \$165 inspection fee will be assessed to the Building Permit for the inspection. If the initial pre-site inspection is not approved, an additional inspection fee will be assessed for each required re-inspection until the job site passes the Pre-Site Inspection, or as determined by the Project Planner.

Geotechnical Section

20. The geotechnical engineer should provide a plan review for the final building phase and submit it with the building permit.

Department of Public Works

21. Construct a county standard sidewalk in accordance with County Detail D-3 along the entire parcel frontage where no sidewalk currently exists.
22. Replace any damaged curb, gutter, and sidewalk along the entire parcel frontage in accordance with County Detail D-3.

Coastside County Water District (District)

23. The project is required to comply with Coastside County Water District's regulations on water service and metering. The District performs inspections to verify compliance with all District regulations during construction and a final inspection when construction is complete.
24. Fire sprinklers are served from an independent and dedicated water service connection with a separate fire meter. Please note that Coastside County Water District does not allow passive purge systems to be installed on fire protection services. Fire protection services are authorized for the sole purpose of fire protection, and there shall be no cross connections.

25. A full set of the most recent plans and drawings for the project, (fire sprinkler, architectural, plumbing, mechanical, green building, structural, civil, utility, and landscape/irrigation) must be submitted to the District for review and approval. Existing and new utilities must be clearly marked on the drawings.

Coastside Fire Protection District

Address Numbers

26. CFC 2022 Section 505.1.1 [Added] - New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. Residential address numbers shall be at least six feet above the finished surface. Where buildings are located remotely to the public roadway, additional signage at the driveway/roadway entrance leading to the building and/or on each individual building shall be required by the Coastside Fire Protection District. This remote signage shall consist of a 6-inch by 18-inch green reflective metal sign with 4-inch reflective numbers and letters similar to Hy-Ko 911 or equivalent.

Temporary address numbers shall be posted prior to combustible materials being placed on site.

For New Driveway

27. CFC 2022 Section 503.1.1 [Amended] - Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet (45,720 mm) of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.

Exceptions: The fire code official is authorized to increase the dimension of 150 feet (45,720 mm) where any of the following conditions occur:

- a. The building is equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1, 903.3.1.2 or 903.3.1.3.
- b. Fire apparatus access roads cannot be installed because of location on property, topography, waterways, nonnegotiable grades or other similar conditions, and an approved alternative means of fire protection is provided.
- c. There are not more than two Group R-3 or Group U occupancies.

- d. Where approved by the fire code official, fire apparatus access roads shall be permitted to be exempted or modified for solar photovoltaic power generation facilities and unmanned cellular sites.
- 28. CFC 2022 Section 503.2.3 - Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities.
- 29. CFC 2022 Section 503.2.5 - Dead-end fire apparatus access roads in excess of 150 feet (45,720 mm) in length shall be provided with an approved area for turning around fire apparatus. Turn-around areas for fire apparatus within Coastside Fire Protection District jurisdiction must comply with CFC 2022 Appendix D.
- 30. CFC 2022 Section 503.3.1 [Added] - The designation shall be indicated (1) by a sign posted immediately adjacent to, and visible from, the designated place clearly stating in letters not less than one inch in height that the place is a fire lane, (2) by outlining or painting the place in red and, in contrasting color, marking the place with the words "FIRE LANE", which are clearly visible from a vehicle, or (3) by a red curb or red paint on the edge of the roadway upon which is clearly marked the words "FIRE LANE".
- 31. CFC 2022 Section 503.2.6 [Amended] - Where a bridge or an elevated surface is part of a fire apparatus access road, the bridge shall be constructed and maintained in accordance with AASHTO HS-20 (25 ton). Bridges and elevated surfaces shall be designed for a live load sufficient to carry the imposed loads of fire apparatus. Vehicle load limits, certified by an engineer, shall be posted at both entrances to bridges. Where elevated surfaces designed for emergency vehicle use are adjacent to surfaces which are not designed for such use, approved barriers, approved signs or both shall be installed and maintained. The Fire Marshal may allow the width to be reduced for a bridge providing access to R-3 and/or U occupancies and lands used primarily for agricultural purposes or recreation.
- 32. CFC 2022 Section 503.2.7 - The grade of the fire apparatus access road shall be within the limits established by the fire code official based on the fire department's apparatus.

Grading must comply with Coastside Fire Protection District Standard Detail R-001.

- 33. CFC 2022 Section 506.1.3 [Added] - When required by the Coastside Fire Protection District, a Knox Box of the size and type designated shall be mounted on the building near the main entrance and shall be located a minimum of 60 inches and not higher than 72 inches above the finished floor, in a location approved by the fire code official. Additional Knox Boxes may be required at rear

entrances to buildings. Knox padlocks or Knox Gate Switches may be required at any access as specified by the fire code official.

34. CFPD Standard R-001 - Gates shall be a minimum of 2-feet wider than the roadway they serve. Overhead gate structures shall have a minimum of 15 ½ feet of vertical clearance. Locked gates shall be provided with a Knox Box or Knox Padlock for fire department access. Electric gates shall be provided with a Knox Gate Switch and automatically open during power failures, unless equipped with manual override capability that is approved by Coastside Fire Protection District. Gates providing Fire access to a driveway or other roadway shall be located at least 35-feet from the primary road or street and shall open to allow a vehicle to stop without obstructing traffic on the adjoining roadway.

Smoke Alarms and Egress

35. CFC 2022 Section 907.2.11 - Listed single- and multiple-station smoke alarms complying with UL 217 shall be installed in accordance with Sections 907.2.11.1 through 907.2.11.7 and NFPA 72.

Exception: For Group R occupancies. A fire alarm system with smoke detectors located in accordance with this section may be installed in lieu of smoke alarms. Upon actuation of the detector, only those notification appliances in the dwelling unit or guest room where the detector is actuated shall activate.

36. CFC 2022 Section 907.2.11.2 - Single or multiple-station smoke alarms shall be installed and maintained in Groups R-2, R-2.1, R-2.2, R-3, R-3.1 and R-4 regardless of occupant load at all of the following locations:
 - a. On the ceiling or wall outside of each separate sleeping area in the immediate vicinity of bedrooms.
 - b. In each room used for sleeping purposes.
 - c. In each story within a dwelling unit, including basements but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.
 - d. In a Group R-3.1 occupancies, in addition to the above, smoke alarms shall be provided throughout the habitable areas of the dwelling unit except kitchens.

37. CFC 2022 Section 907.2.11.5 - Where more than one smoke alarm is required to be installed within an individual dwelling unit or sleeping unit in Group R occupancies, the smoke alarms shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual unit. Physical interconnection of smoke alarms shall not be required where listed wireless alarms are installed and all alarms sound upon activation of one alarm. The alarm shall be clearly audible in all bedrooms over background noise levels with all intervening doors closed.
38. CFC 2022 Section 907.2.11.6 - In new construction, and in newly classified Group R-3.1 occupancies, required smoke alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and shall be equipped with a battery backup. Smoke alarms with integral strobes that are not equipped with battery back-up shall be connected to an emergency electrical system in accordance with Section 1203. Smoke alarms shall emit a signal when the batteries are low. Wiring shall be permanent and without a disconnecting switch other than as required for overcurrent protection.

Exception: Smoke alarms are not required to be equipped with battery backup where they are connected to an emergency electrical system that complies with Section 603.
39. CFC 2022 Section 1031.3.1 - Emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet (0.53 m²).

Exception: The minimum net clear opening for grade-floor emergency escape and rescue openings shall be 5 square feet (0.46 m²).
40. CFC 2022 Section 1031.3.2 - The minimum net clear opening height dimension shall be 24 inches (610 mm). The minimum net clear opening width dimension shall be 20 inches (508 mm). The net clear opening dimensions shall be the result of normal operation of the opening.
41. CFC 2022 Section 1031.3.3 - Emergency escape and rescue openings shall have the bottom of the clear opening not greater than 44 inches (1118 mm) measured from the floor.
42. CFC 2022 Section 1031.4 - Where a door is provided as the required emergency escape and rescue opening, it shall be a swinging door or a sliding door.
43. CRC 2022 Section R311.2 - Not less than one egress door shall be provided for each dwelling unit. The egress door shall be side-hinged and shall provide a clear width of not less than 32 inches (813 mm) where measured between the face of the door and the stop, with the door open 90 degrees (1.57 rad). The clear height of the door opening shall be not less than 78 inches (1981 mm) in height measured from the top of the threshold to the bottom of the stop. Other doors

shall not be required to comply with these minimum dimensions. Egress doors shall be readily openable from inside the dwelling without the use of a key or special knowledge or effort.

Water Tanks or Sources

44. CFC 2022 Section 507.1 - An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises on which facilities, buildings or portions of buildings are hereafter constructed or moved into or within the jurisdiction.
45. CFC 2022 Section 507.2.1 - Private fire service mains and appurtenances shall be installed in accordance with NFPA 24 as amended in Chapter 80.
46. CFC 2022 Section 507.2.2 - Water tanks for private fire protection shall be installed in accordance with NFPA 22.
47. CFC 2022 Section B105.1 - The minimum fire-flow and flow duration requirements for one- and two-family dwellings, Group R-3 and R-4 buildings and townhouses shall be as specified in Tables B105.1(1) and B105.1(2).

Required Fire Flow: **500 Gallons Per Minute (GPM) PM for 30 minutes.**

48. CFC 2022 Section B105.3 - For buildings equipped with an approved automatic sprinkler system, the water supply shall be capable of providing the greater of.
 - a. The automatic sprinkler system demand, including hose stream allowance.
 - b. The required fire flow.
49. CFC 2022 Section C102.1 - The number of fire hydrants available to a building shall be not less than the minimum specified in Table C102.1.
50. CFPD Standard FPE-005 – Water Storage for One- and Two-Family Dwellings up to 3,600 sq. ft. shall be 7,500 gallons reserved for Fire, in addition to any domestic use. If larger than 3600 sq. ft. single family dwelling, use NFPA 1142.
51. CFPD Standard FPE-005 - Fire flow requirements for multiple structures shall be calculated based on the structure requiring the largest Fire Flow per NFPA 1142.
52. CFPD Standard FPE-005 - Water tanks shall be interconnected by using a minimum 4-inch pipe diameter.

Interconnection piping and valves must be protected, or of a material not damaged by UV exposure. The cross connection shall also have an appropriately sized control valve located at each tank.

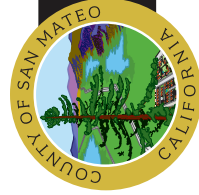
53. NFPA 22 Section 4.2.1.2 - Where the water supply from a public service main is not adequate in quality, quantity, or pressure, an alternative water source shall be provided.
54. NFPA 22 Section 4.2.1.4 - The water supply shall be capable of filling the minimum required fire protection volume within the tank in a maximum of 8 hours.
55. NFPA 22 Section 4.15.2 - A vent pipe shall have a cross-sectional area equal to a minimum of one-half the area of the discharge pipe(s) or fill pipe, whichever is the larger.
56. NFPA 24 Section 4.2.1 - Installation work shall be done by fully experienced and responsible contractors. Contractors shall be appropriately licensed in the State of California to install private fire service mains and their appurtenances.
57. NFPA 24 Section 10.9.1 - Backfill shall be well tamped in layers or puddle under and around pipes to prevent settlement or lateral movement. Backfill shall consist of clean fill sand or pea gravel to a minimum 6 inches below and to a minimum of 12 inches above the pipe and shall contain no ashes, cinders, refuse, organic matter or other corrosive materials. Other backfill materials and methods are permitted where designed by a registered professional engineer and approved by the enforcing agency.
58. CFPD Standard FPE-005 - Water tanks located closer than 30 feet of structures or flammable vegetation shall be constructed of non-combustible materials.

Fire Hydrants

59. CFC 2022 Section 507.5.1 - Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.

Exception: For Group R-3 and Group U occupancies, equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1, 903.3.1.2 or 903.3.1.3, the distance requirement shall be not more than 600 feet (183 m).
60. CFPD Standard FPE-005 - Hydrants shall be located no closer than 50 feet to any building, no further away than 150 feet of the protected structure and be located on the fire department access side of the building.
61. CFPD Standard FPE-005 - Hydrants shall be placed in a concrete pad 4 inches deep, and 2 feet by 2 feet minimum at base.

62. CFPD Standard FPE-005 - Hydrants shall be positioned so the center of the discharge is 30 inches to 36 inches above grade and be within 5 feet of the fire department access roadway.
63. CFC 2022 Section 507.5.5 - A 3-foot (914 mm) clear space shall be maintained around the circumference of fire hydrants, except as otherwise required or approved.
64. CFC 2022 Section 507.5.6 - Where fire hydrants are subject to impact by a motor vehicle, guard posts or other approved means shall comply with Section 312.
65. CFPD Standard FPE-005 - Hydrant supply pipe shall be listed and approved for fire protection service for underground pipe, such as AWWA C900. Pipe shall be buried a minimum of 30 inch below grade (36 inch if the pipe passes under a road or is subject to heavy loads).
66. CFPD Standard FPE-005 - Concrete thrust blocks shall be sized in accordance with national standards and shall be provided at all changes in pipe direction.
67. CFPD Standard FPE-005 - The hydrant riser and elbow shall be steel. All above ground piping used for fire hydrant water supply shall be metallic.
68. CFPD Standard FPE-005 - Rural hydrants used for drafting shall have at least one 4½" outlet with National Hose thread and shall have a removable metallic cap. Wharf hydrants that are gravity or pump fed may use a single discharge that has a 2½" outlet with National Hose thread.
69. CFPD Standard FPE-005 - Hydrants shall have a permanent sign affixed, red in color with white 1-inch letters stating "Wet Draft Hydrant, No. gallons", with the gallons of water available for the hydrant provided.



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT


ATTACHMENT B



0.37 0 0.18 0.37 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
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1: 11,714



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT C



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT D

AVENUE PORTOLA RESIDENCE

FAT PEN
STUDIOS

GENERAL NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE 2022 BUILDING CODE, CALIFORNIA ELECTRICAL, MECHANICAL, PLUMBING AND FIRE CODE, AS AMENDED AND ADOPTED BY SAN MATEO COUNTY.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS OF THE SITE, AND EXISTING UTILITIES PRIOR TO COMMENCING WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO THE START OF WORK.
- CONTRACTOR SHALL GIVE NOTICES AND COMPLY WITH THE LAWS, ORDINANCES, RULES, REGULATIONS AND ORDERS OF ANY PERTINENT PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK. NOTIFY ARCHITECT IF THE DRAWINGS ARE AT VARIANCE THEREWITH.
- CONTRACTOR SHALL KEEP A RECORD SET OF ALL AS-BUILT CONDITIONS AND PROVIDE THE ARCHITECT WITH A SET OF REPRODUCIBLE AS-BUILT DRAWINGS UPON COMPLETION OF THE PROJECT.
- DO NOT SCALE DRAWINGS TO OBTAIN DIMENSIONS, SIZES, ETC. REFER TO DIMENSIONS GIVEN ON DRAWINGS OR CONSULT WITH ARCHITECT. ALL INTERIOR DIMENSIONS ARE TO THE FACE OF FINISH, UNLESS OTHERWISE NOTED. ALL EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING, UNLESS OTHERWISE NOTED.
- REFER TO STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL REQUIREMENTS OF THIS DISCIPLINE. ALL STRUCTURAL INFORMATION SHOWN ON ARCHITECTURAL DRAWINGS IS FOR COORDINATION PURPOSES ONLY. CONTRACTOR SHALL PROMPTLY NOTIFY ARCHITECT UPON DISCOVERY OF POSSIBLE CONFLICTS.
- PROVIDE FIRE PROTECTANT TO CEILING, FLOORS, FURRED DOWN CEILINGS, SHOWERS, SOFFITS, AND AT CONCEALED DRAFT OPENINGS NOT TO EXCEED 10" MAXIMUM.
- THE MINIMUM TREAD DIMENSION SHALL BE 10 INCHES. THE MAXIMUM RISER SHALL BE 7.75 INCHES WITH A MAXIMUM VARIATION OF 3/8 INCH.
- INSULATION SHALL BE PROVIDED PER T24 REPORT. REFER TO ROOF NOTES, SECTIONS & DETAILS FOR SPECIFIC INSULATION SPECIFICATIONS. GENERALLY, EXTERIOR WALLS SHALL BE R-15, FLOORS SHALL BE R-19 (NOT APPLICABLE ON SLAB), ROOF SHALL BE R-38 (TYP).
- ALL SHEET METAL WORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE "SMACNA ARCHITECTURAL SHEET METAL MANUAL," LATEST EDITION.
- ALL DOORS NOT LOCATED BY DIMENSIONS ON PLANS SHALL BE 4" FROM FACE OF STUD TO EDGE OF OPENING.
- INTERIOR WOOD DOORS SHALL BE 1 3/4" THICK AND SHALL MATCH (E) IN TYPE & FINISH. FURNISH ALL LABOR, MATERIAL, EQUIPMENT AND SERVICES REQUIRED FOR COMPLETE INSTALLATION OF WOOD DOORS.
- FURNISH AND INSTALL PERIMETER WEATHER STRIPPING AND THRESHOLDS AT EXTERIOR DOORS AS MANUFACTURED BY PEMKO OR EQUIVALENT.
- NEW WINDOWS AND EXTERIOR DOORS WITH GLAZING SHALL MEET THE U-FACTOR AND SHGC SPECIFIED IN THE T24 REPORT. DIMENSIONS ARE NOMINAL. VERIFY WITH MFR FOR SPECIFIC R.O. AND MODEL NUMBER.
- ALL GLASS AND GLAZING SHALL CONFORM WITH HUMAN IMPACT AND SAFETY REQUIREMENTS AND SHALL BE IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE CALIFORNIA BUILDING CODE, LATEST EDITION. ALL GLASS SHALL BE SET ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- EACH UNIT OF TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED BY THE MANUFACTURER. THE IDENTIFICATION SHALL BE ETCHED OR CERAMIC FIRED ON THE GLASS AND BE VISIBLE WHEN THE GLASS IS GLAZED.
- FURNISH, TAG AND DELIVER TO THE JOB SITE ALL FINISHED HARDWARE AS REQUIRED TOGETHER WITH ALL NECESSARY SCREWS, FITTINGS, TRIM, ETC. FOR A COMPLETE AND READY INSTALLATION. REVIEW FINISH HARDWARE WITH OWNER PRIOR TO ORDERING.
- GYPSUM DRYWALL MATERIAL & APPLICATION SHALL BE IN ACCORDANCE WITH THE "GYPSUM CONSTRUCTION HANDBOOK," LATEST EDITION AS PUBLISHED BY UNITED STATES GYPSUM & WITH THE UNIFORM BUILDING CODE, LATEST ADOPTED EDITION. GYPSUM WALLBOARD SHALL BE 1/2" THICK UNLESS OTHERWISE NOTED. TAPE AND FINISH ALL JOINTS AND NAIL HEADS. ALL GYPSUM DRYWALL SHALL BE FINISHED TO MATCH EXISTING.
- PROVIDE CEMENT, FIBER-CEMENT OR GLASS MAT GYPSUM BACKERS AS A BASE FOR ALL WALL TILE IN TUB AND SHOWER AREAS AND WALL AND CEILING PANELS IN SHOWER AREAS.
- ALL MILL WORK SHALL BE MANUFACTURED IN ACCORDANCE WITH THE STANDARDS IN THE LATEST EDITION OF THE "MANUAL OF MILLWORK" OF THE WOODWORK INSTITUTE OF CALIFORNIA (WIC). EXTERIOR TRIM SHALL MATCH EXISTING, AND RECEIVE A WATER REPELLANT PRESERVATIVE TREATMENT APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. INSTALLATION OF MILLWORK SHALL CONFORM TO WIC CUSTOM GRADE STANDARDS.
- ALL INTERIOR PAINT SHALL BE LOW-V.O.C. BY BENJAMIN MOORE OR EQ.
- PAINT AND STAIN COLORS, MOLDINGS & FLOORING AS WELL AS ELECTRICAL, LIGHTING & PLUMBING FIXTURES TRIM SHALL BE SELECTED BY OWNER.
- PAINT WORK SHALL BE IN ACCORDANCE WITH THE BENJAMIN MOORE PAINTS "SPECIFICATIONS FOR ARCHITECT, ENGINEERS AND PAINTING CONTRACTORS," LATEST EDITION. ALL PRODUCTS SHALL BE THOSE OF BENJAMIN MOORE PAINTS, OR EQUIVALENT PRODUCTS. ALL COLORS SHALL BE AS SELECTED BY THE OWNER. PREPARE LARGE SAMPLES OF EACH COLOR FOR REVIEW BY THE OWNER BEFORE PROCEEDING WITH THE WORK. ALL EXTERIOR & INTERIOR SURFACES SHALL RECEIVE (1) QUAT PRIMER AND (2) COATS FINISH S DIRECTED BY THE OWNER. INTERIOR PAINT TO BE ROLLED-ON, NOT SPRAYED.
- USE LOW-V.O.C. CAULK AND CONSTRUCTION ADHESIVES FOR ALL ADHESIVES.
- KITCHEN COUNTERTOPS, BACKSPLASH AND SLABS AS WELL AS EDGE PROFILES AND COLOR SHALL BE SELECTED BY THE OWNER. FINISH SHALL BE POLISHED. SUBMIT SAMPLES TO THE OWNER FOR APPROVAL. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- FURNISH AND INSTALL FLOORING AS SELECTED BY THE OWNER INCLUDING FINISH. INSTALLATION OF FLOORING AND APPLICATION OF FINISH SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- CONTRACTOR SHALL INSTALL "ENERGY STAR" RESIDENTIAL APPLIANCES AS SELECTED BY OWNER. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- PLUMBING FIXTURES SHALL BE AS SELECTED BY THE OWNER AND SHALL INCLUDE ALL FITTINGS, TRIM & ACCESSORIES REQUIRED FOR A COMPLETE & FINISHED INSTALLATION. SEE ADDITIONAL BATHROOM NOTES ON A2.2.
- PROVIDE SMOKE DETECTORS IN THE FOLLOWING AREAS (AS APPLICABLE): AT EACH STORY AND BASEMENT; WITHIN EACH BEDROOM AND CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SLEEPING AREA; IN EACH ROOM WHERE NON-BEDROOM CEILING HEIGHTS EXCEED THE HALL CEILING HEIGHT BY MORE THAN 2'-0". SMOKE DETECTOR ALARMS SHALL BE INSTALLED A MINIMUM OF 20 FEET HORIZONTAL DISTANCE FROM A PERMANENTLY INSTALLED COOKING APPLIANCE. SMOKE DETECTORS SHALL BE REQUIRED TO BE LISTED BY THE CALIFORNIA STATE FIRE MARSHALL AND SHALL BE POWERED BY 110V BUILDING WIRING WITH BATTERY BACKUP.
- CARBON MONOXIDE (CO) ALARMS SHALL BE INSTALLED ON THE CEILING OR WALL IN EACH AREA/HALLWAY ADJACENT TO SLEEPING ROOMS. CARBON MONOXIDE DETECTORS SHALL BE REQUIRED TO BE LISTED BY THE CALIFORNIA STATE FIRE MARSHALL AND SHALL BE POWERED BY 110V BUILDING WIRING WITH BATTERY BACKUP. REFER TO ELECTRICAL PLAN, E.1.
- INSTALLATION OF WIRING, ELECTRICAL DEVICES & LIGHTING FIXTURES SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS & SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION.
- CONFIRM LOCATION OF ALL HEATING OUTLETS, ELECTRICAL RECEPTACLES & SWITCHES WITH OWNER PRIOR TO INSTALLATION.
- FURNISH AND INSTALL FLOORING AS SELECTED BY THE OWNER INCLUDING FINISH. INSTALLATION OF FLOORING AND APPLICATION OF FINISH SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- PLUMBING FIXTURES SHALL BE AS SELECTED BY THE OWNER AND SHALL INCLUDE ALL FITTINGS, TRIM & ACCESSORIES REQUIRED FOR A COMPLETE & FINISHED INSTALLATION. SEE ADDITIONAL BATHROOM NOTES ON A2.2.
- PROVIDE DUCTING TO THE EXTERIOR FROM ALL BATHROOM EXHAUST. SEE ADDITIONAL NOTES ON A2.2.
- A MINIMUM OF 65% OF THE NON-HAZARDOUS CONSTRUCTION & DEMOLITION WASTE GENERATED AT THE SITE SHALL BE DIVERTED TO AN OFFSITE RECYCLE, DIVERSION, OR SALVAGE FACILITY PER CGC 4.408. CONTRACTOR SHALL COMPLETE AND SUBMIT THE "CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT AGREEMENT" FORM PRIOR TO PULLING THE PERMIT. CONTACT GREEN HALO RECYCLING SPECIALIST WITH ANY QUESTIONS.
- WRB: WATER RESISTIVE BARRIER = 2 LAYERS SUPER JUMBO TEX, 60 MINUTE BUILDING PAPER, OR EQUAL. USE UNDER ALL EXTERIOR WALL CLADDINGS. PROVIDE 4 IN. HORIZONTAL LAP. 12 IN. END LAPS MINIMUM. SEAL PENETRATIONS WATER TIGHT. REPAIR DAMAGES, TEARS, AND WATER PATHS TO PREVENT WATER INTRUSION BEFORE CONCALMENT.
- SAF = SELF-ADHERED FLASHING. COVER SAF MATERIALS INSTALLED UNDER CEMENT PLASTER WITH 1 LAYER WRB MATERIAL TO PREVENT DIRECT CONTACT WITH CEMENT PLASTER.
SAF1 = 40-MIL WGOR V-40 (SBS RUBBER) OR EQUAL. USE UNDER TRIM, STANDARD DETAILING.
SAF2 = 25-MIL ALUMINUM FLASHING (SBS RUBBER) OR EQUAL. USE AT WINDOWS/DOORS TO SEAL AGAINST.
- SAF3 = 30-MIL GRACE ULTRA (BUTYL RUBBER) OR EQUAL. USE AT HIGH-HEAT LOCATIONS, UNDER SHEET METAL EXPOSED TO SUN, UNDER RED ROSIN PAPER ISOLATION SHEET.
- WINDOW/DOOR SILL PANS AND HEAD FLASHINGS: PROVIDE WINDOWS/DOORS WITH WATERTIGHT SOLDERED SHEET METAL SILL PANS WITH REAR VERTICAL LEG, END DAMS, 4 IN. HIGH FLANGES, AND HEAD FLASHINGS WITH SOLDERED END CAPS AND 4 IN. HIGH FLANGES OUT ONTO WALL SURFACE FOR INTEGRATING WITH WRB AND WATERPROOFING SYSTEMS. PROVIDE SAF WRAPPING INTO FULL PERIMETER OF ROUGH OPENING UNDER WINDOW/DOOR SILL PANS AND ATTACHMENT FIN. LAPPING JAMB SAF OVER END DAMS OF SILL PANS.
- PROVIDE SAF OVER WRB, AT ALL INSIDE/OUTSIDE EXTERIOR WALL CORNERS, SOFFIT EDGES, UNDER STUCCO CONTROL JOINTS, OVER WEEP SCREEDS, AND UNDER SHEET METAL FLASHINGS.
- PER CRC SECTION 313.3.7, AN OWNER'S MANUAL FOR THE FIRE SPRINKLER SYSTEM SHALL BE PROVIDED TO THE OWNER. A SIGN OF VALVE TAG SHALL BE INSTALLED AT THE MAIN SHUT OFF VALVE TO THE WATER DISTRIBUTION SYSTEM STATING THE FOLLOWING "WARNING: THE WATER SYSTEM FOR THIS HOME SUPPLIES FIRE SPRINKLERS THAT REQUIRE CERTAIN FLOWS AND PRESSURES TO FIGHT A FIRE. DEVICES THAT RESTRICT THE FLOW OR DECREASE THE PRESSURE OR AUTOMATICALLY SHUT OFF THE WATER TO THE FIRE SPRINKLER SYSTEM, SUCH AS WATER SOFTENERS, FILTRATION SYSTEMS AND AUTOMATIC SHUT OFF VALVES, SHALL NOT BE ADDED TO THIS SYSTEM WITHOUT A REVIEW OF THE FIRE SPRINKLER SYSTEM BY A FIRE PROTECTION SPECIALIST. DO NOT REMOVE THIS SIGN."
- UPON REQUEST, VERIFICATION OF COMPLIANCE WITH 2016 CALIFORNIA GREEN BUILDING CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE BUILDING DEPARTMENT WHICH WILL SHOW SUBSTANTIAL CONFORMANCE. AN OPERATION AND MAINTENANCE MANUAL WILL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER PER CGC 4.410.1.
- BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. MOISTURE CONTENT SHALL BE CHECKED PRIOR TO FINISH MATERIAL BEING APPLIED PER CGC 4.504.3.
- RODENT PROOFING: ANNUAL SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE RODENT PROOFED BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY PER CGC 4.406.1.
- A CAPILARY BREAK SHALL BE INSTALLED IN A SLAB ON GRADE FOUNDATION SYSTEM IS USED. THE USE OF A 4" THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE UNDER A 6 MIL VAPOR RETARDER WITH JOINT LAPPED NOT LESS THAN 6" WILL BE PROVIDED PER CGC 4.505.2 AND CRC R506.2.3.

PERSPECTIVE VIEW



ANNOTATIONS

@	AT
CL	CENTERLINE
#	POUND OR NUMBER
A.B.	ANCHOR BOLT
A.D.	AREA DRAIN
A.F.F.	ABOVE FINISH FLOOR
A.F.C.I.	ARC FAULT CIRCUIT INTERRUPT
ALUM	ALUMINUM
ANOD	ANODIZED
APPROX	APPROXIMATE
ARCH	ARCHITECTURAL
BD	BOARD
CLR	CLEAR
CONC	CONCRETE
CONSTR	CONSTRUCTION
CTR	CENTER
DBL	DOUBLE
DEMO	DEMOLISH
DIM	DIMENSION
DN	DOWN
D.S.	DOWNSPOUT
DWG	DRAWING
(E)EXIST	EXISTING
ELEC	ELECTRICAL
ELEV	ELEVATOR OR ELEVATION
EQ	EQUAL
EXT	EXTERIOR
F.A.R.	FLOOR AREA RATIO
F.B.O.	FURNISHED BY OWNER/OTHER
FL	FLOOR
F.O.C.	FACE OF CONCRETE
F.O.F.	FACE OF FINISH
F.O.S.	FACE OF STUD
FT	FOOT OR FEET
GA	GAUGE
GALV	GALVANIZED
GFI	GROUND FAULT INTERRUPTOR
GSM	GALVANIZED SHEET METAL
GYP	GYPSUM
H.C.	HOLLOW CORE
HDWD	HARDWOOD

HORIZ	HORIZONTAL
HVAC	HEATING, VENTILATING AIR CONDITIONING
INSUL	INSULATION
MAX	MAXIMUM
MECH	MECHANICAL
MEMB	MEMBRANE
MET/MTL	METAL
MFR	MANUFACTURER
MIN	MINIMUM
(N)	NEW
N.T.S.	NOT TO SCALE
O	OVER
O.C.	ON CENTER
PLYWD	PLYWOOD
PT	PAINT
REINFC	REINFORCED
REF	REFRIGERATOR
REQD	REQUIRED
R.O.	ROUGH OPENING
SI	SIMILAR
SPEC	SPECIFICATION
STD	STANDARD
STL	STEEL
STRUCT	STRUCTURAL
S.S.	SANITARY SEWER
S.S.D.	SEE STRUCTURAL DRAWINGS
SYM	SYMMETRICAL
T	TREAD
TEMP	TEMPERED
T.O.S.	TOP OF SLAB
T.W.	TOP OF WALL
TYP	TYPICAL
U.O.F.	UNLESS OTHERWISE NOTED
V.I.F.	VERIFY IN FIELD
W	WITH WASHER
WD	WOOD
W/O	WITHOUT
WP	WATERPROOF
WRB	WEATHER-RESISTANT BARRIER
W.S.	WEATHERSTRIP

SHEET INDEX

ARCHITECTURE	
A0.0	PROJECT DATA, VICINITY MAP, GENERAL NOTES, SHEET INDEX
A0.1	AREA PLANS, DOOR & WINDOW SCHEDULES, MECH. NOTES, VENT CALCS
A1.0	EXISTING & PROPOSED SITE PLAN
A2.0	EXISTING / DEMO FLOOR PLANS, DEMO NOTES
A2.1	PROPOSED FLOOR PLANS
A2.2	PROPOSED ROOF PLANS
A3.0	EXISTING HOUSE ELEVATIONS, PROPOSED DETACHED GARAGE ELEVATIONS, GARAGE SECTIONS
A3.1	PROPOSED HOUSE EXTERIOR ELEVATIONS, MATERIAL SPECIFICATIONS
A3.2	PERSPECTIVE VIEWS
A4.0	BUILDING SECTIONS
CIVIL	
C1	DRAINAGE PLAN
C2	EROSION CONTROL PLAN
SURVEYOR	
SU-1	BOUNDARY & TOPOGRAPHIC SURVEY

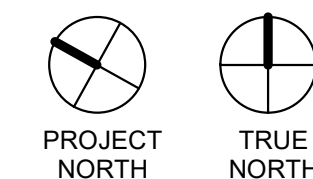
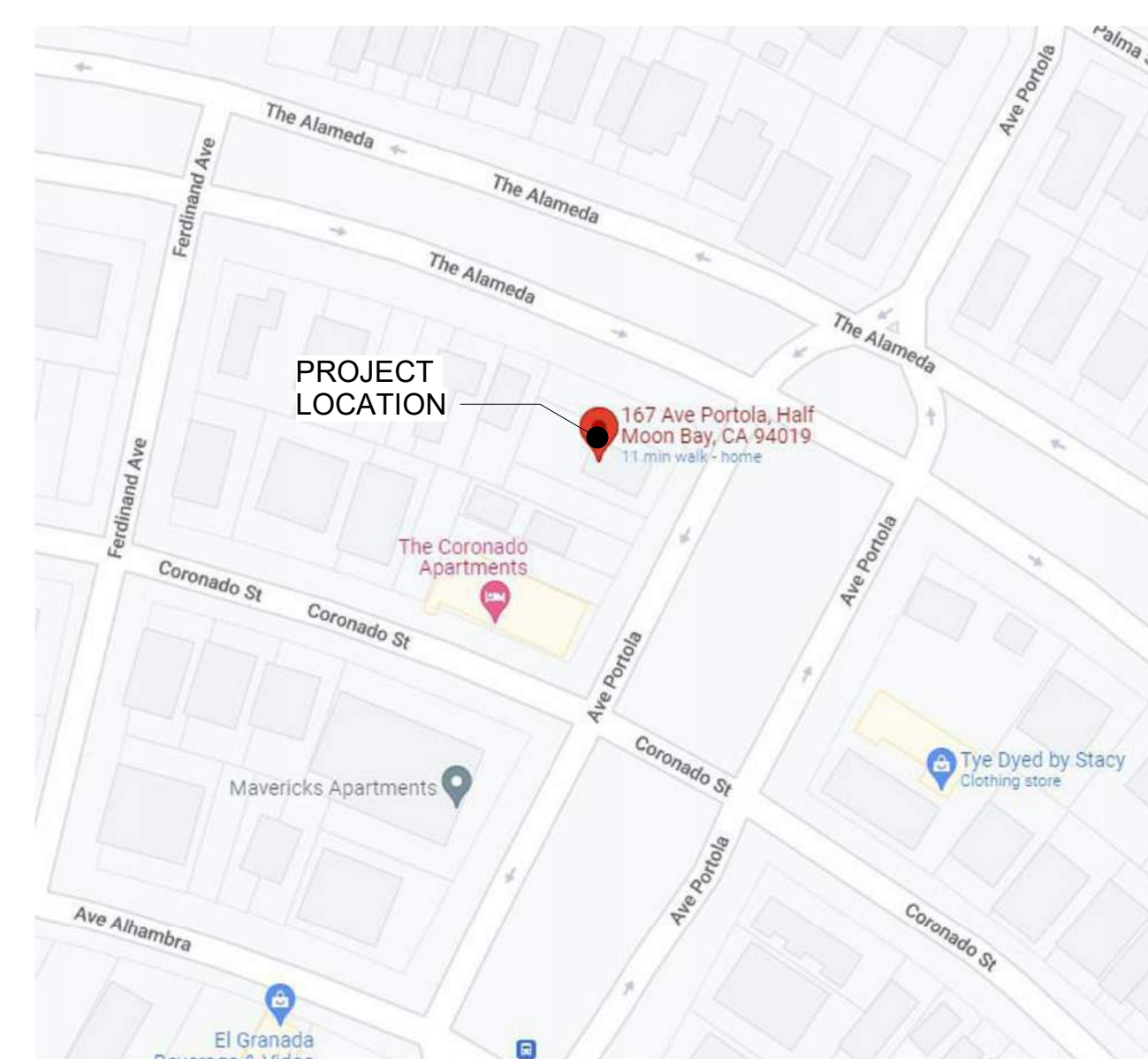
PROJECT DATA

APN:	047-208-110
ZONING:	R-3/S-3DR/CD
APPLICABLE CODES:	2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA FIRE CODE ALL OTHER STATE AND LOCAL ORDINANCES AND REGULATIONS ADOPTED BY SAN MATEO COUNTY.
CONSTRUCTION TYPE:	VB
OCCUPANCY:	R-3 (MAIN RESIDENCE) / U-1 (GARAGE)
LOT AREA:	5,729.21 SF
AREA SUMMARY (REFER TO AREA PLANS, A0.1):	
EXISTING AREA:	700.94 SF
PROPOSED GARAGE AREA:	654.57 SF
PROPOSED 1ST FLOOR ADDITION:	433.60 SF
PROPOSED 2ND FLOOR ADDITION:	758.24 SF
TOTAL PROPOSED FLOOR AREA:	2,547.35 SF (NO FLOOR AREA LIMITATION IN S-3 ZONING)
MAX LOT COVERAGE (60%):	2,864.61 SF
PROPOSED LOT COVERAGE:	1,948.01 SF (SEE AREA PLANS & CALCULATIONS, A0.1)
REQUIRED FRONT SETBACK:	20'
REQUIRED REAR SETBACK:	20'
REQUIRED SIDE SETBACK:	5'
MAX HEIGHT:	36 FEET / 3 STORIES
PROJECT SCOPE:	ADDITIONS & RENOVATIONS TO EXISTING SINGLE STORY HOME: ADDITION TO FIRST FLOOR, NEW SECOND FLOOR, NEW DETACHED 2 CAR GARAGE WITH HALF BATHROOM AND OUTDOOR SHOWER, MINIMAL GRADING FOR FOUNDATIONS, AND NO TREE REMOVAL IS REQUIRED.
FIRE SPRINKLERS:	PER SECTION 9105, SECTION 903 & 1(C)5, A NFPA-13D AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE REQUIRED UNDER A SEPARATE PERMIT DUE TO THE ADDITION OF A SECOND STORY WHEN ONE DID NOT PREVIOUSLY EXIST.

CONSTRUCTION HOURS

NOISE SOURCES ASSOCIATED WITH DEMOLITION, CONSTRUCTION, REPAIR, REMODELING, OR GRADING OF ANY REAL PROPERTY, PROVIDED SAID ACTIVITIES DO NOT TAKE PLACE BETWEEN THE HOURS OF 6:00 P.M. AND 7:00 A.M. WEEKDAYS, 5:00 P.M. AND 9:00 A.M. ON SATURDAYS OR AT ANY TIME ON SUNDAYS, THANKSGIVING AND CHRISTMAS.

VICINITY MAP

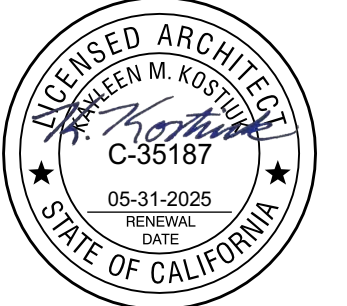


PROJECT DIRECTORY

ARCHITECT
FAT PEN STUDIOS, INC.
620 AVENUE PORTOLA #522
EL GRANADA, CA 94018
650-918-7117
info@fatpenstudios.com

OWNER
RILEY & KRISTIN BRADLEY
167 AVENUE PORTOLA
EL GRANADA, CA 94018
978-766-0957
Kristin.meador@gmail.com
Lion.RWC@gmail.com

CIVIL / GEOTECH ENGINEER
SIGMA PRIME GEOSCIENCES
332 PRINCETON AVENUE
HALF MOON BAY, CA 94019
650-728-3590
sigmaprime@gmail.com



AVENUE
PORTOLA
RESIDENCE
167 AVENUE PORTOLA,
EL GRANADA CA 94018

REVISIONS

NO.	DESCRIPTION	DATE

PROJECT NUMBER: 22111
ISSUE DATE: 05/03/2024
SCALE: As indicated
ISSUE STATUS:

CDR APPLICATION

PROJECT DATA,
VICINITY MAP,
GENERAL NOTES,
SHEET INDEX

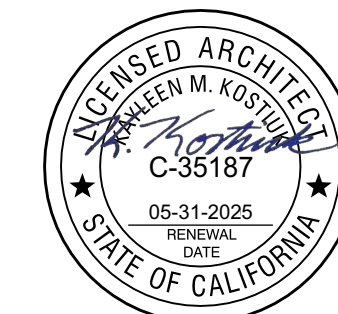
A0.0

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**AVENUE
 PORTOLA
 RESIDENCE**
 167 AVENUE PORTOLA,
 EL GRANADA CA 94018

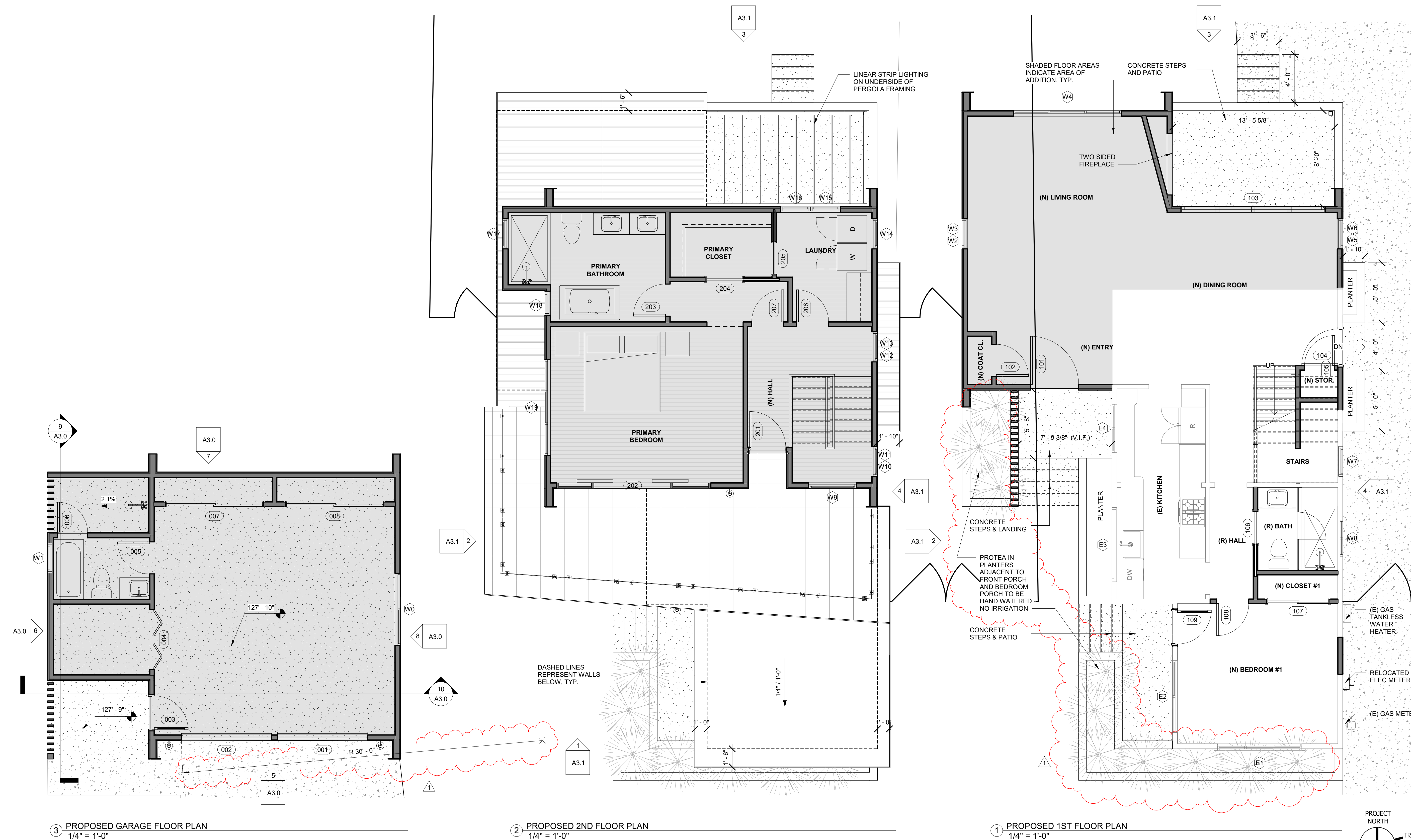
REVISIONS

NO.	DESCRIPTION	DATE
1	CDRC RESPONSE TO COMMENTS	6/24/2024

PROJECT NUMBER: 22111
 ISSUE DATE: 05/03/2024
 SCALE: 1/4" = 1'-0"
 ISSUE STATUS:
CDRC APPLICATION

**PROPOSED FLOOR
 PLANS**

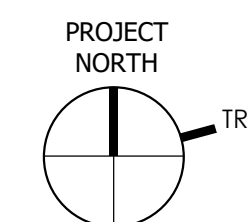
A2.1



③ PROPOSED GARAGE FLOOR PLAN
 1/4" = 1'-0"

② PROPOSED 2ND FLOOR PLAN
 1/4" = 1'-0"

① PROPOSED 1ST FLOOR PLAN
 1/4" = 1'-0"

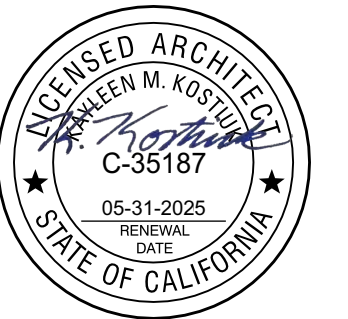


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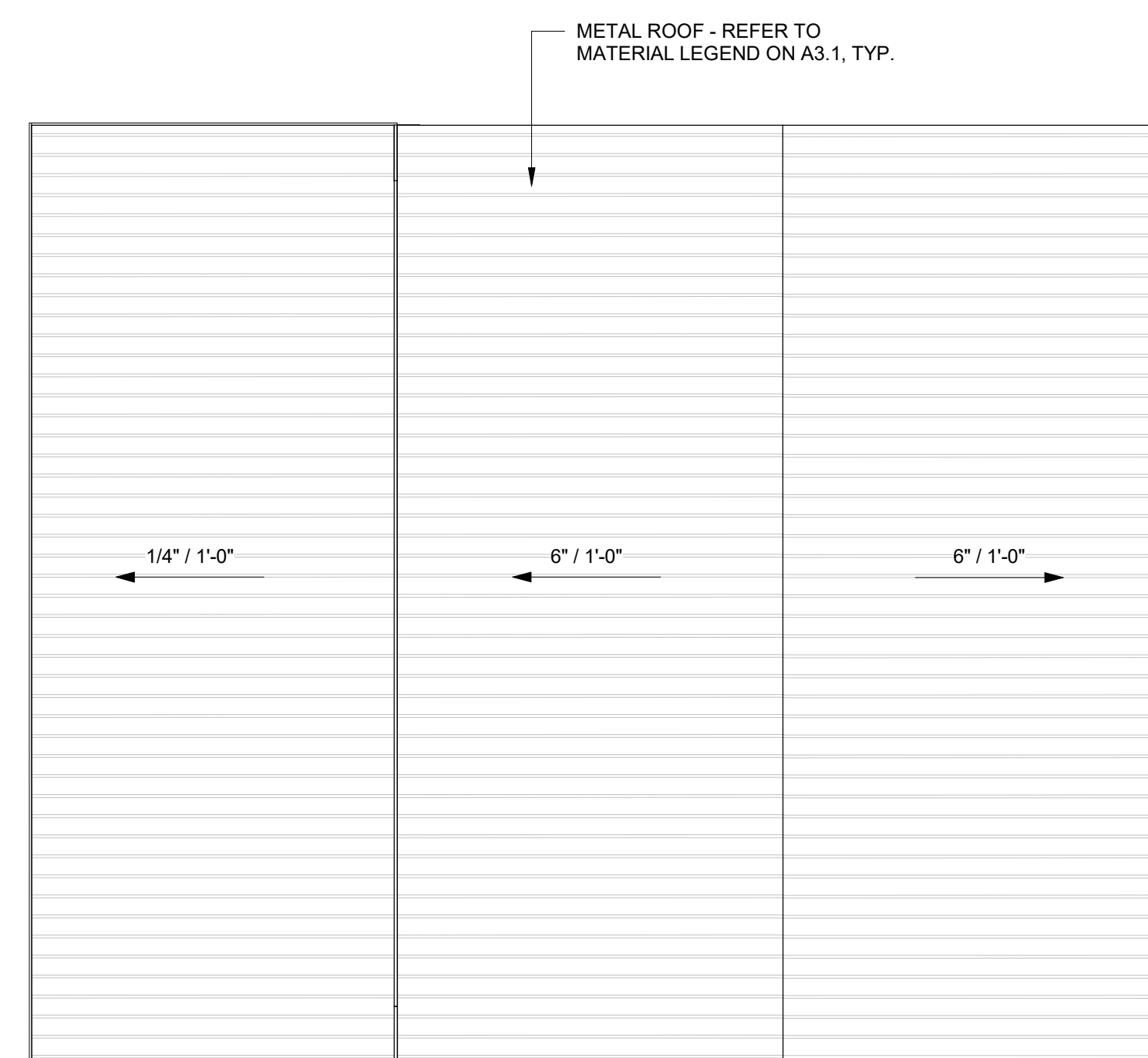
REVISIONS

NO.	DESCRIPTION	DATE

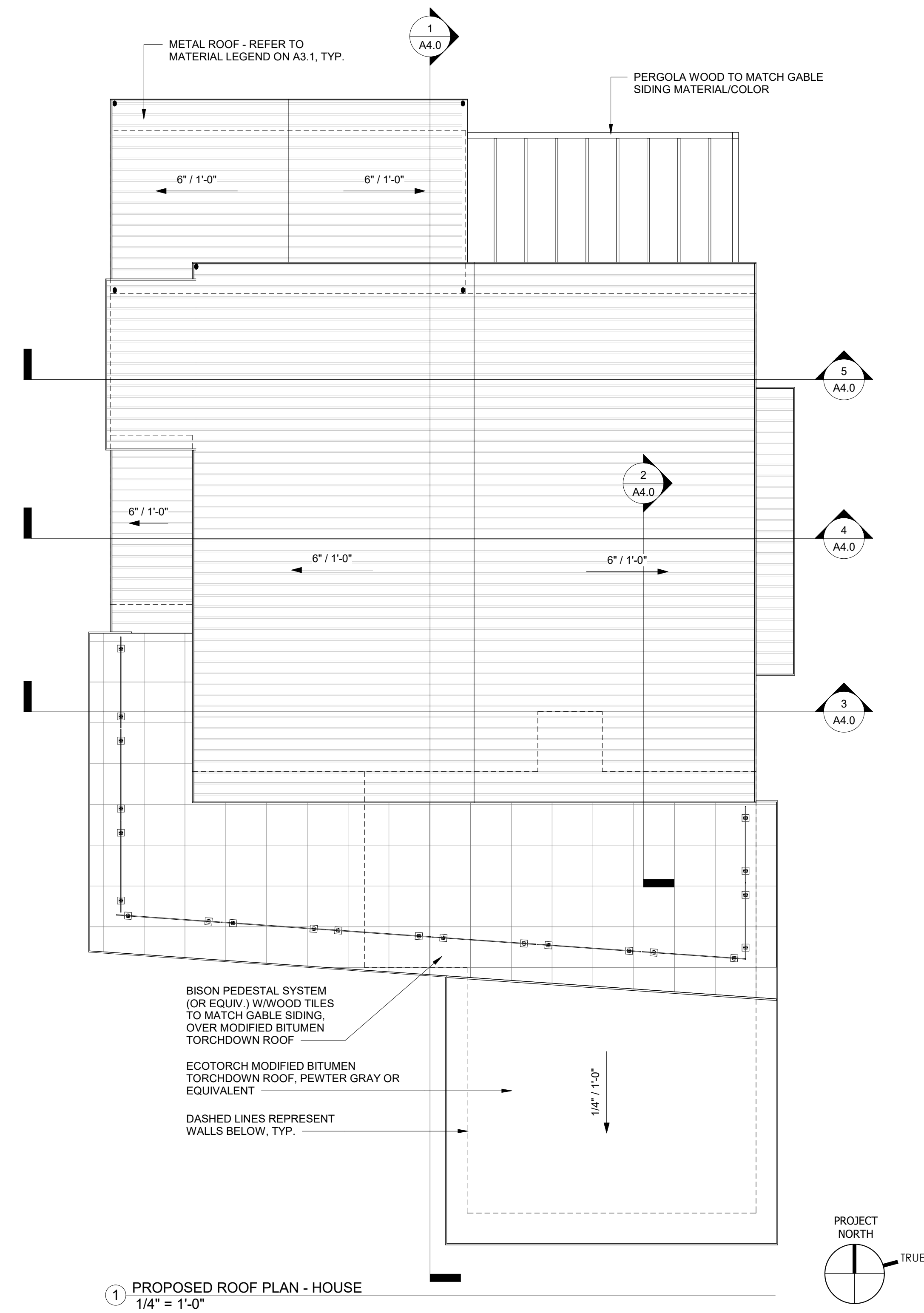
PROJECT NUMBER: 22111
 ISSUE DATE: 05/03/2024
 SCALE: 1/4" = 1'-0"
 ISSUE STATUS:
CDRC APPLICATION

PROPOSED ROOF
 PLANS

A2.2



2 PROPOSED ROOF PLAN - GARAGE
 1/4" = 1'-0"



1 PROPOSED ROOF PLAN - HOUSE
 1/4" = 1'-0"

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 RESIDENCE**
 167 AVENUE PORTOLA,
 EL GRANADA CA 94018

REVISIONS

NO.	DESCRIPTION	DATE
1	CDRC RESPONSE TO COMMENTS	6/24/2024

PROJECT NUMBER: 22111
 ISSUE DATE: 05/03/2024
 SCALE: 1/4" = 1'-0"
 ISSUE STATUS:
CDRC APPLICATION

**EXISTING HOUSE
 ELEVATIONS,
 PROPOSED DETACHED
 GARAGE ELEVATIONS,
 GARAGE SECTIONS**

A3.0



④ EXISTING RIGHT SIDE ELEVATION
 1/4" = 1'-0"

(E) HIGH RIDGE HEIGHT
 142' - 9 3/8"

(E) HOUSE T.O. PLATE
 139' - 2 1/2"

(E) HOUSE F.F.E.
 130' - 11"

GARAGE F.F.E.
 127' - 10"



③ EXISTING REAR ELEVATION
 1/4" = 1'-0"

(E) HIGH RIDGE HEIGHT
 142' - 9 3/8"

(E) HOUSE T.O. PLATE
 139' - 2 1/2"

(E) HOUSE F.F.E.
 130' - 11"

GARAGE F.F.E.
 127' - 10"



② EXISTING LEFT SIDE ELEVATION
 1/4" = 1'-0"

(E) HIGH RIDGE HEIGHT
 142' - 9 3/8"

(E) HOUSE T.O. PLATE
 139' - 2 1/2"

(E) HOUSE F.F.E.
 130' - 11"

GARAGE F.F.E.
 127' - 10"



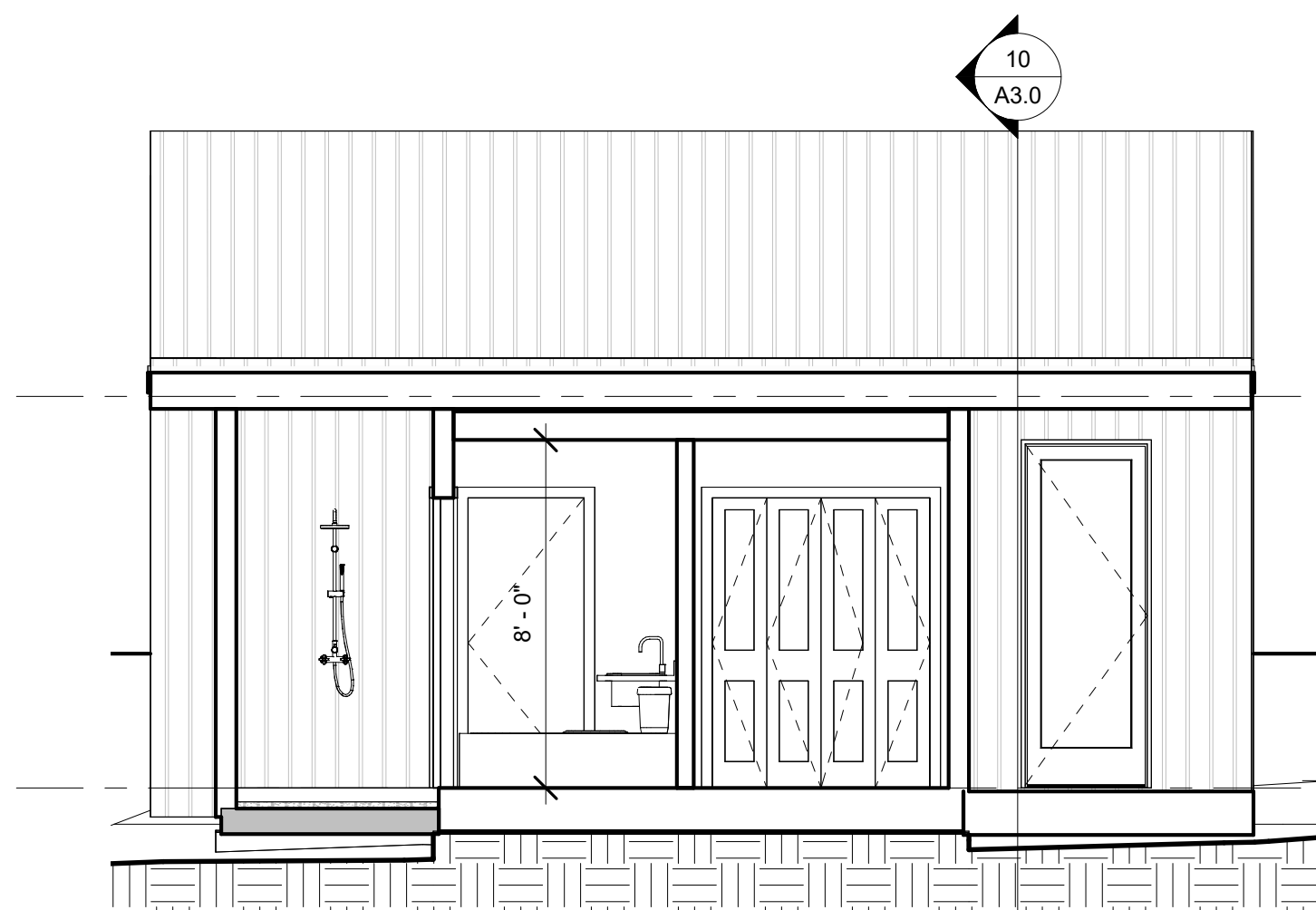
① EXISTING FRONT ELEVATION
 1/4" = 1'-0"

(E) HIGH RIDGE HEIGHT
 142' - 9 3/8"

(E) HOUSE T.O. PLATE
 139' - 2 1/2"

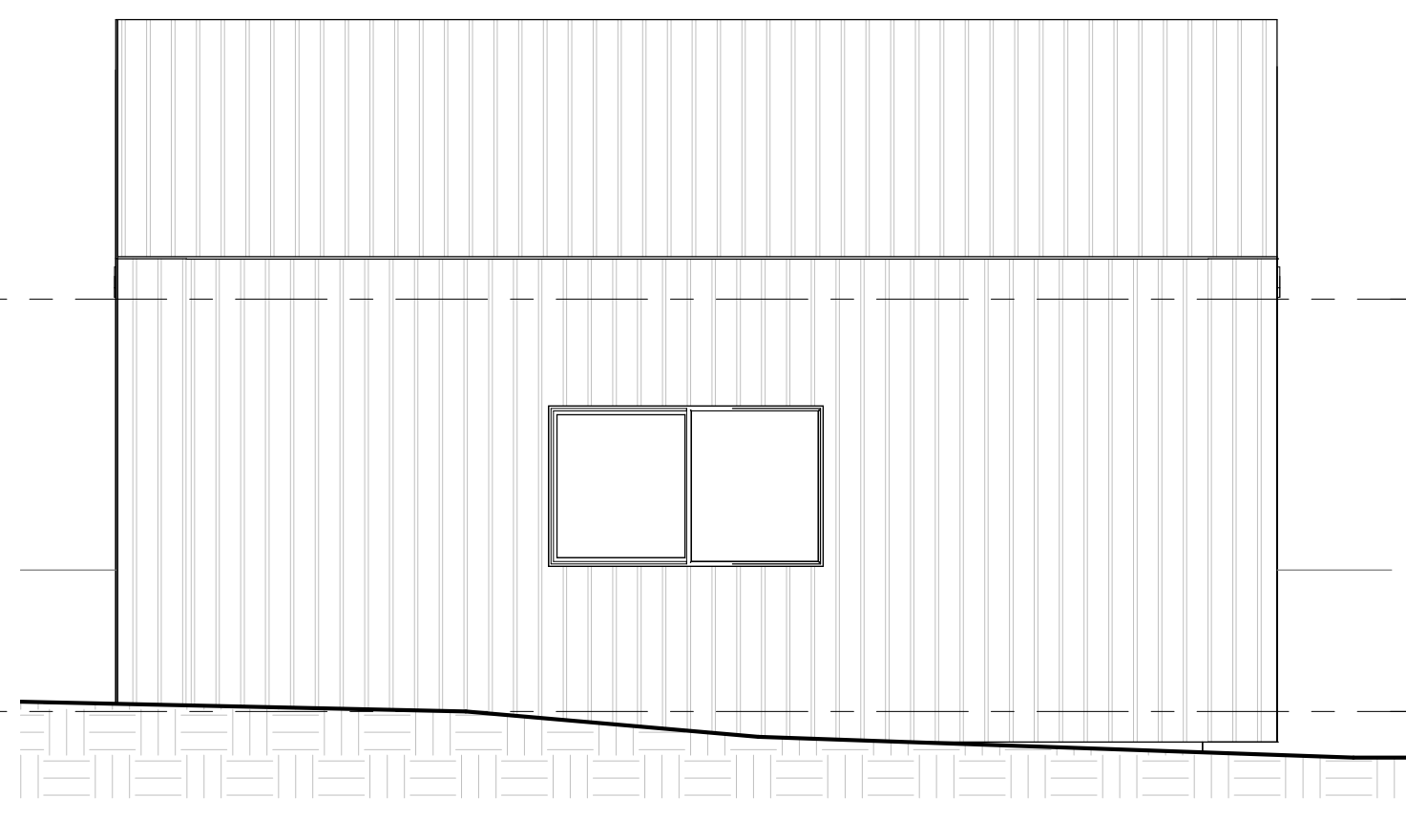
(E) HOUSE F.F.E.
 130' - 11"

GARAGE F.F.E.
 127' - 10"



⑨ GARAGE - CROSS SECTION
 1/4" = 1'-0"

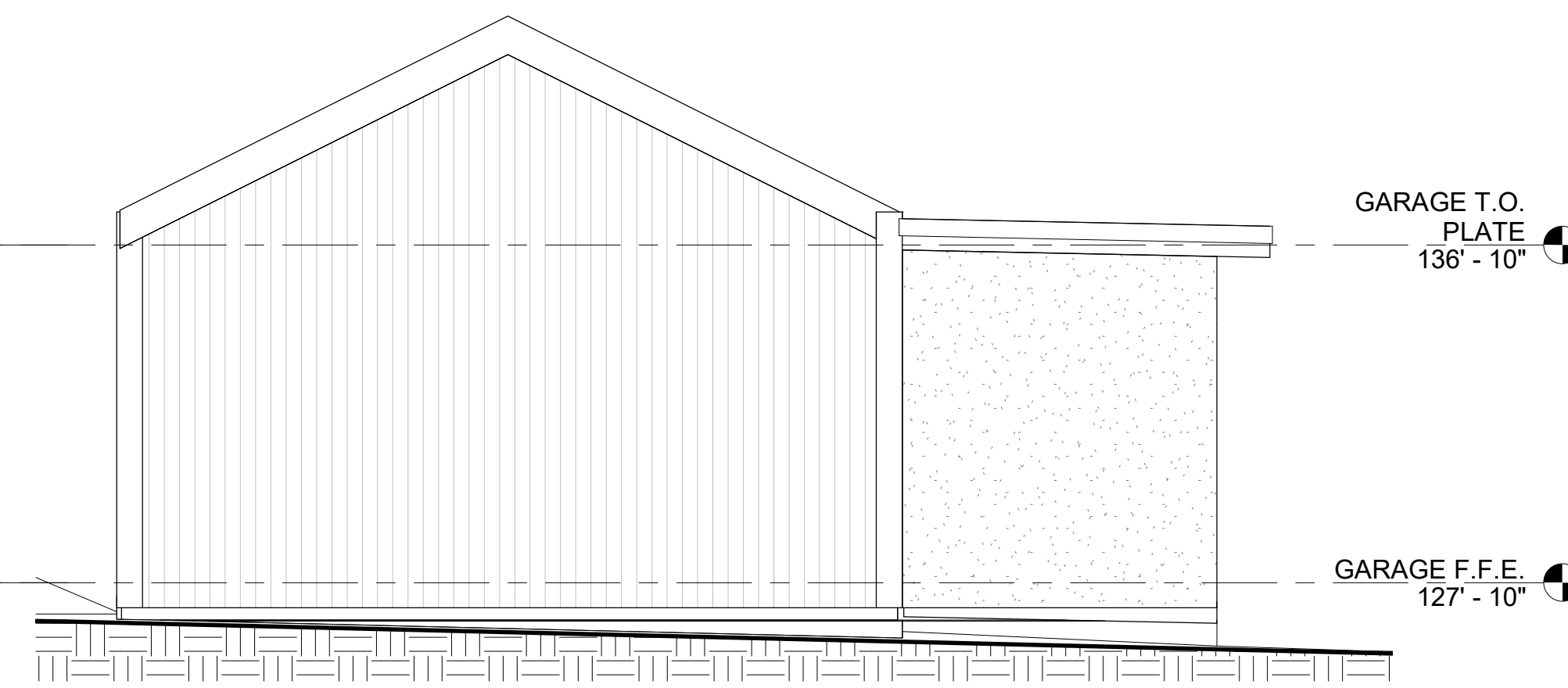
10
 A3.0



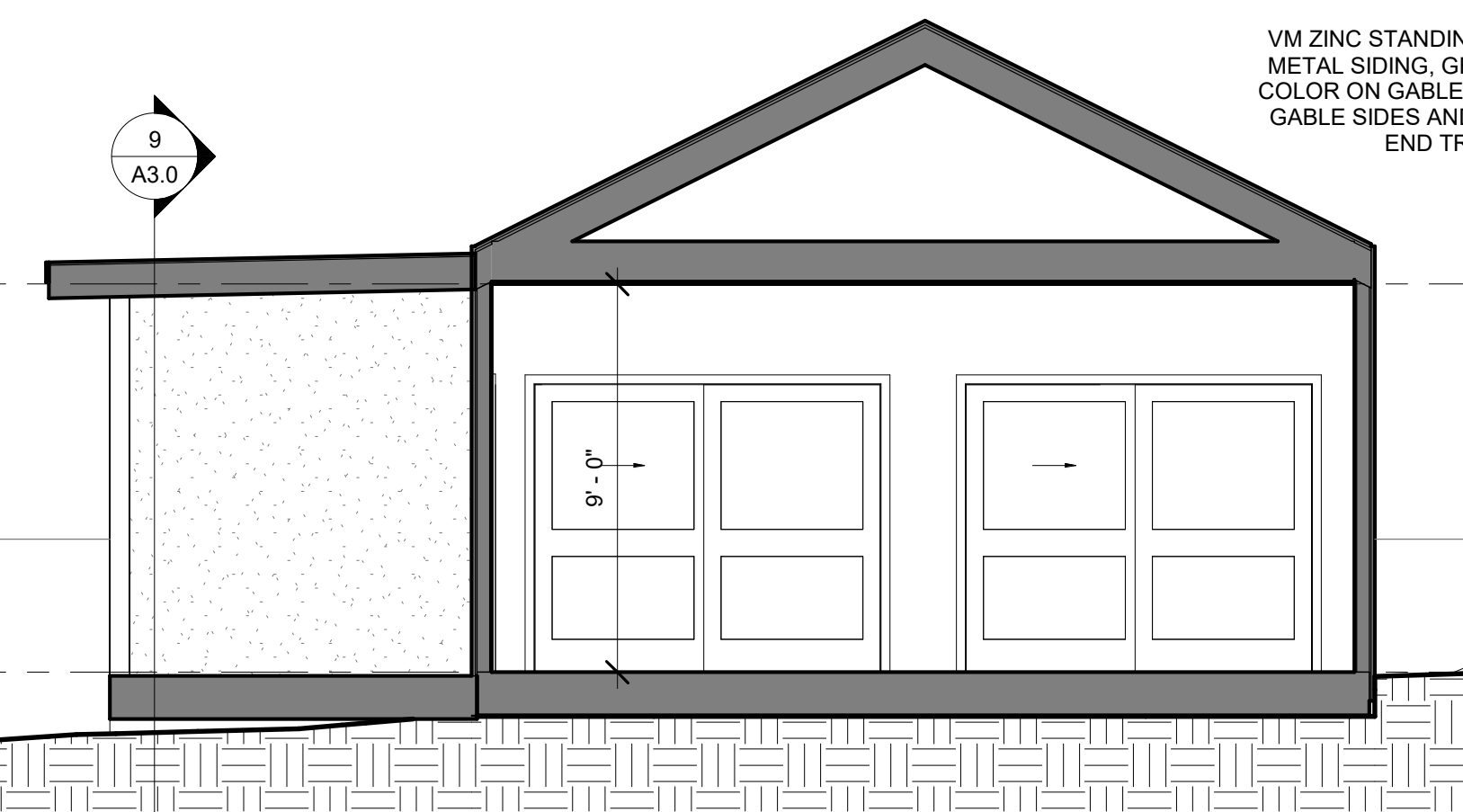
⑧ PROPOSED GARAGE RIGHT SIDE ELEVATION
 1/4" = 1'-0"

GARAGE T.O. PLATE
 136' - 10"

GARAGE F.F.E.
 127' - 10"



⑦ PROPOSED GARAGE REAR ELEVATION
 1/4" = 1'-0"



⑩ GARAGE - LONGITUDINAL SECTION 1
 1/4" = 1'-0"

VM ZINC STANDING SEAM METAL SIDING, GRAPHITE COLOR ON GABLE ROOFS, GABLE SIDES AND GABLE END TRIM, TYP.

FLAT ROOF FASCIA TO MATCH VM ZINC, COLOR: QUARTZ ZINC OR EQUIVALENT, TYP.

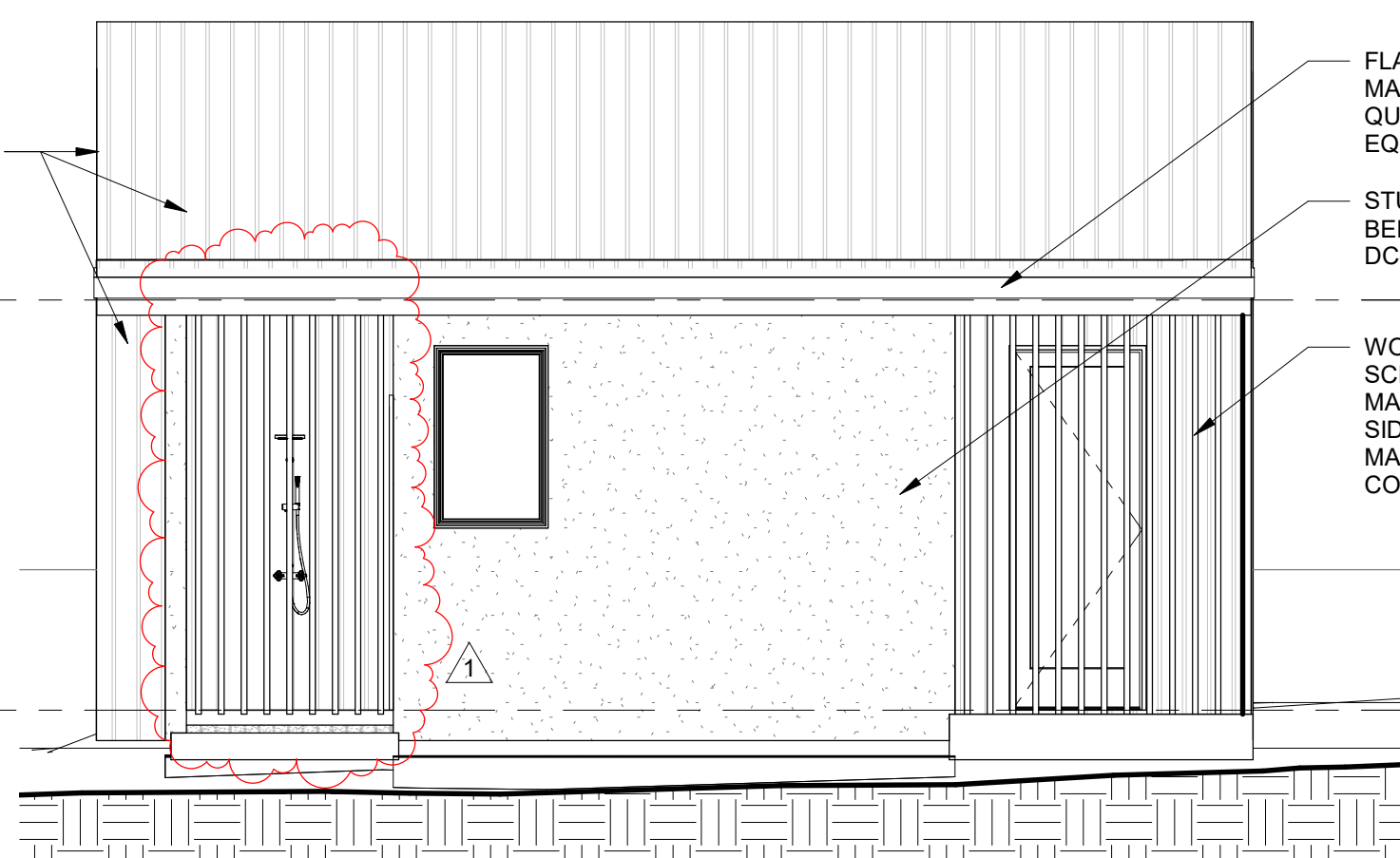
STUCCO TO BE PAINTED, BEHR WHIPPED CREAM DC-001, TYP.

WOOD SCREENING TO MATCH GABLE SIDING MATERIAL/ COLOR, TYP.

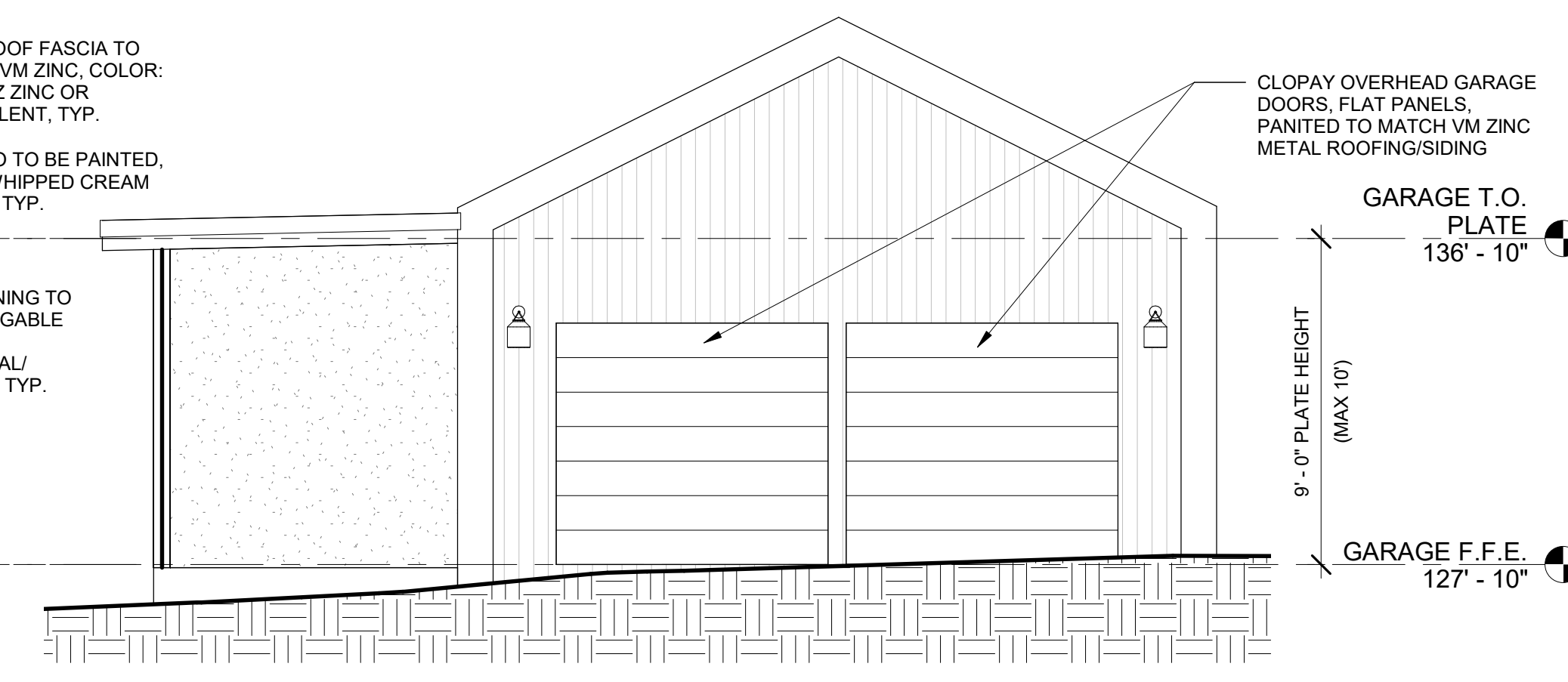
CLOPAY OVERHEAD GARAGE DOORS: FLAT PANELS, PAINTED TO MATCH VM ZINC METAL ROOFING/SIDING

GARAGE T.O. PLATE
 136' - 10"

GARAGE F.F.E.
 127' - 10"

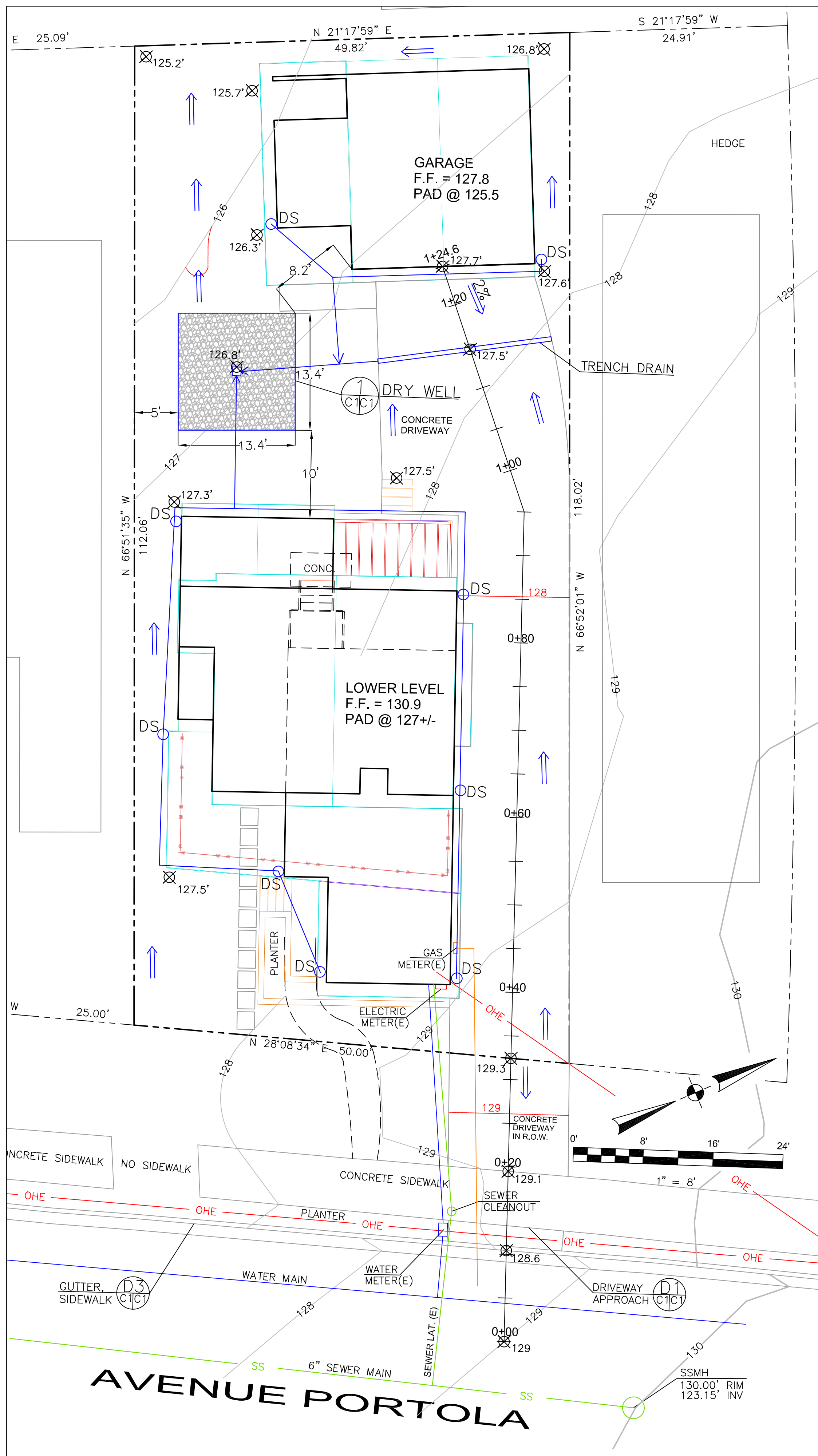


⑥ PROPOSED GARAGE LEFT SIDE ELEVATION
 1/4" = 1'-0"



⑤ PROPOSED GARAGE FRONT ELEVATION
 1/4" = 1'-0"

9'-0" PLATE HEIGHT (MAX 10')



LEGEND

- EXISTING CONTOURS
- DS
DOWNSPOUT
- 4" SOLID DRAIN PIPE
- DIRECTION OF SURFACE DRAINAGE
- 127.6' PROPOSED SPOT ELEVATION

GENERAL NOTES

1. PLANS PREPARED AT THE REQUEST OF:
TARA BENSON, OWNER
2. TOPOGRAPHY BY BGT LAND SURVEYING, SURVEYED APRIL 11, 2019.
3. THIS IS NOT A BOUNDARY SURVEY.
4. ELEVATION DATUM NAVD88.

DRAINAGE NOTES

1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
2. ALL NEW DOWNSPOUT DRAIN LINES SHALL LEAD TO DRY WELL, AS SHOWN.
3. ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
4. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DRY WELL TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

GRADING NOTES

CUT VOLUME : 105 CY (FOR FOUNDATION, DRYWELL, DRIVEWAY)
FILL VOLUME: 0 CY

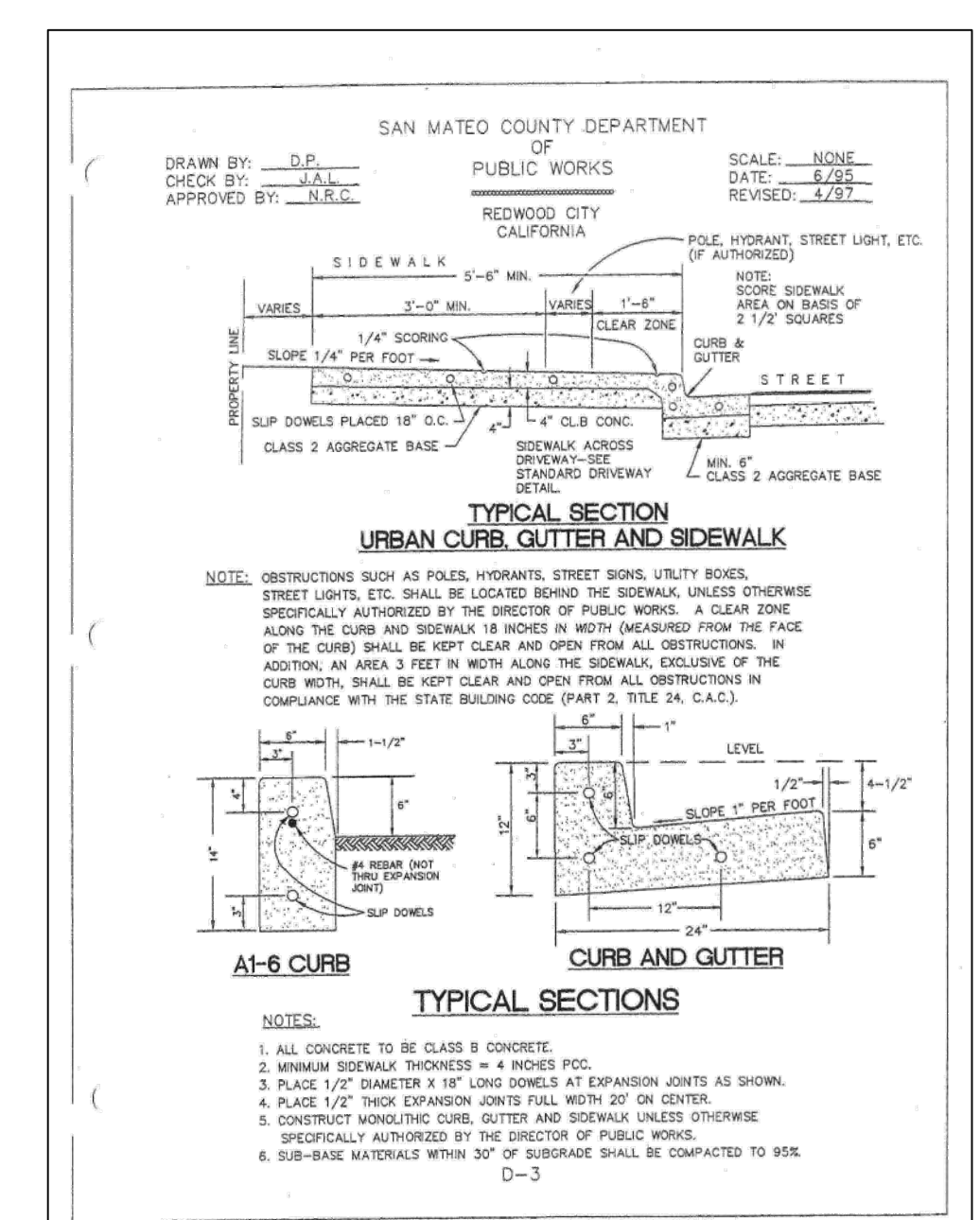
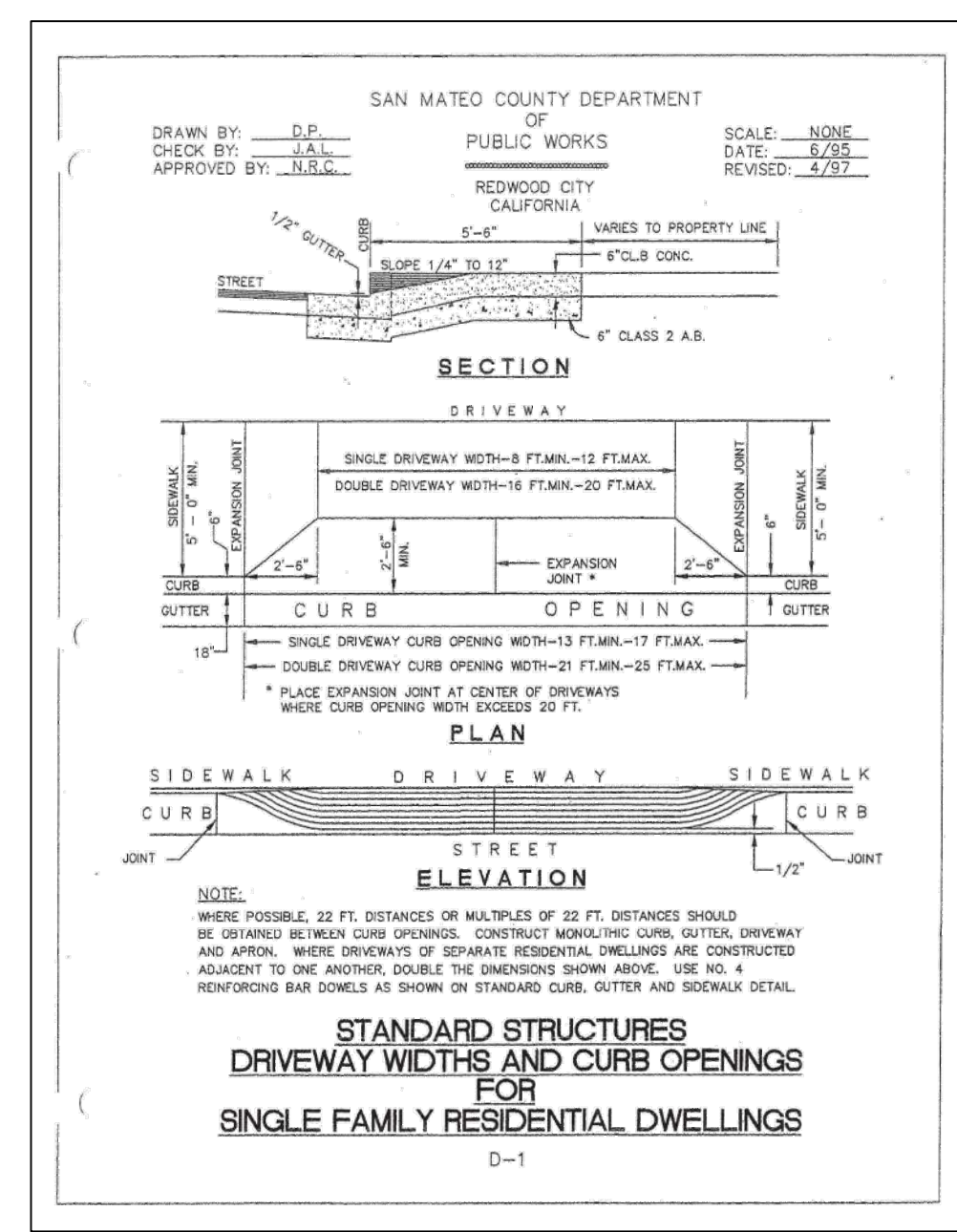
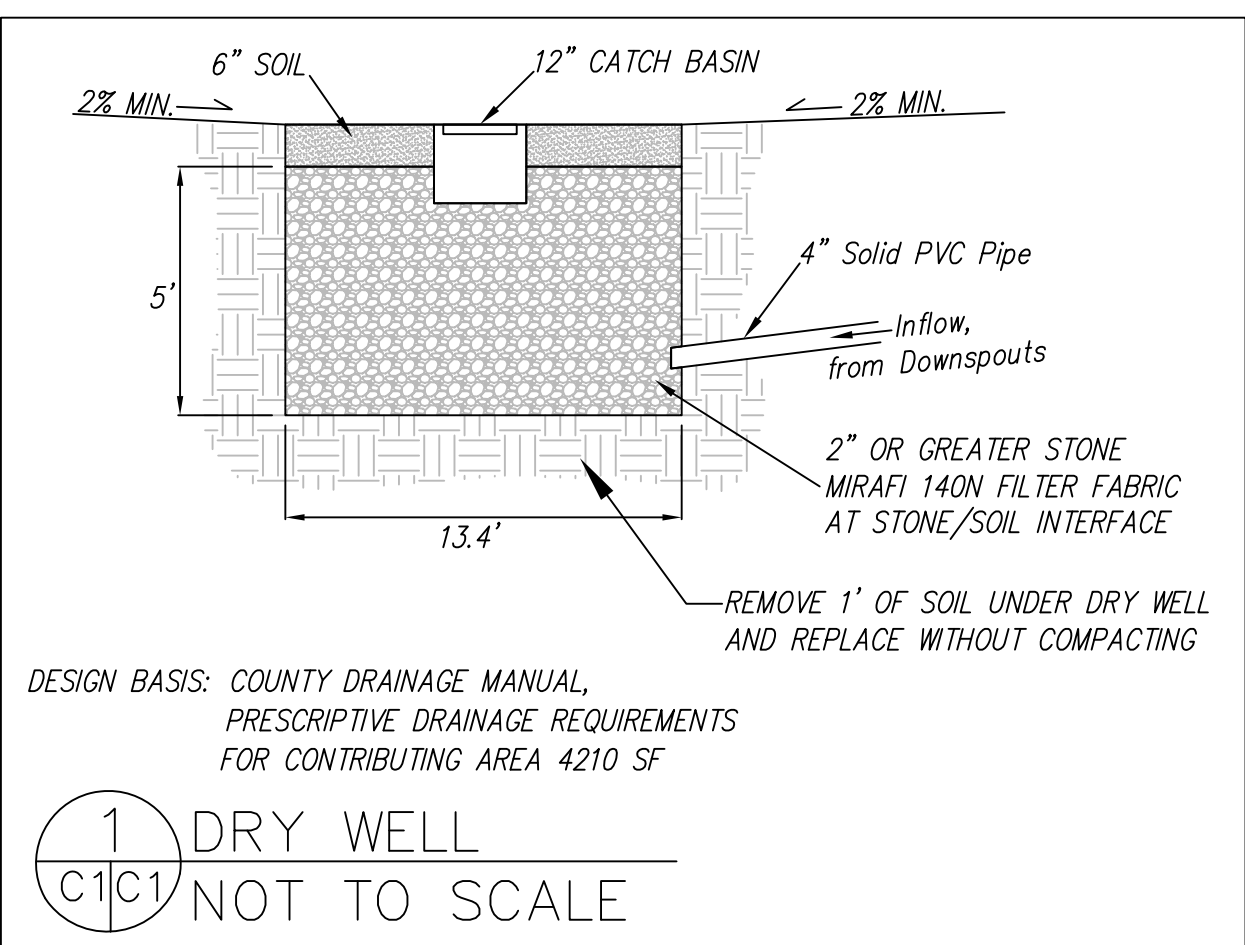
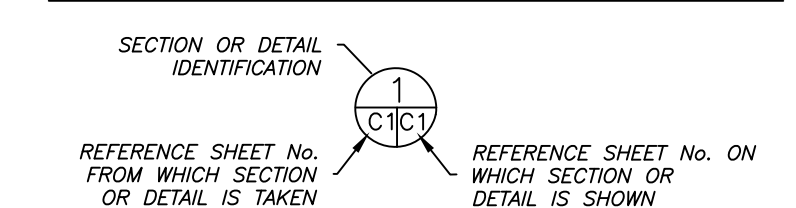
VOLUMES ABOVE ARE APPROXIMATE.

THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.

ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.

ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

SECTION AND DETAIL CONVENTION



GRADING AND DRAINAGE PLAN

DATE: 4-11-24

DRAWN BY: CMK

CHECKED BY: AZG

REV. DATE:

REV. DATE:

REV. DATE:

REV. DATE:

SHEET C-1

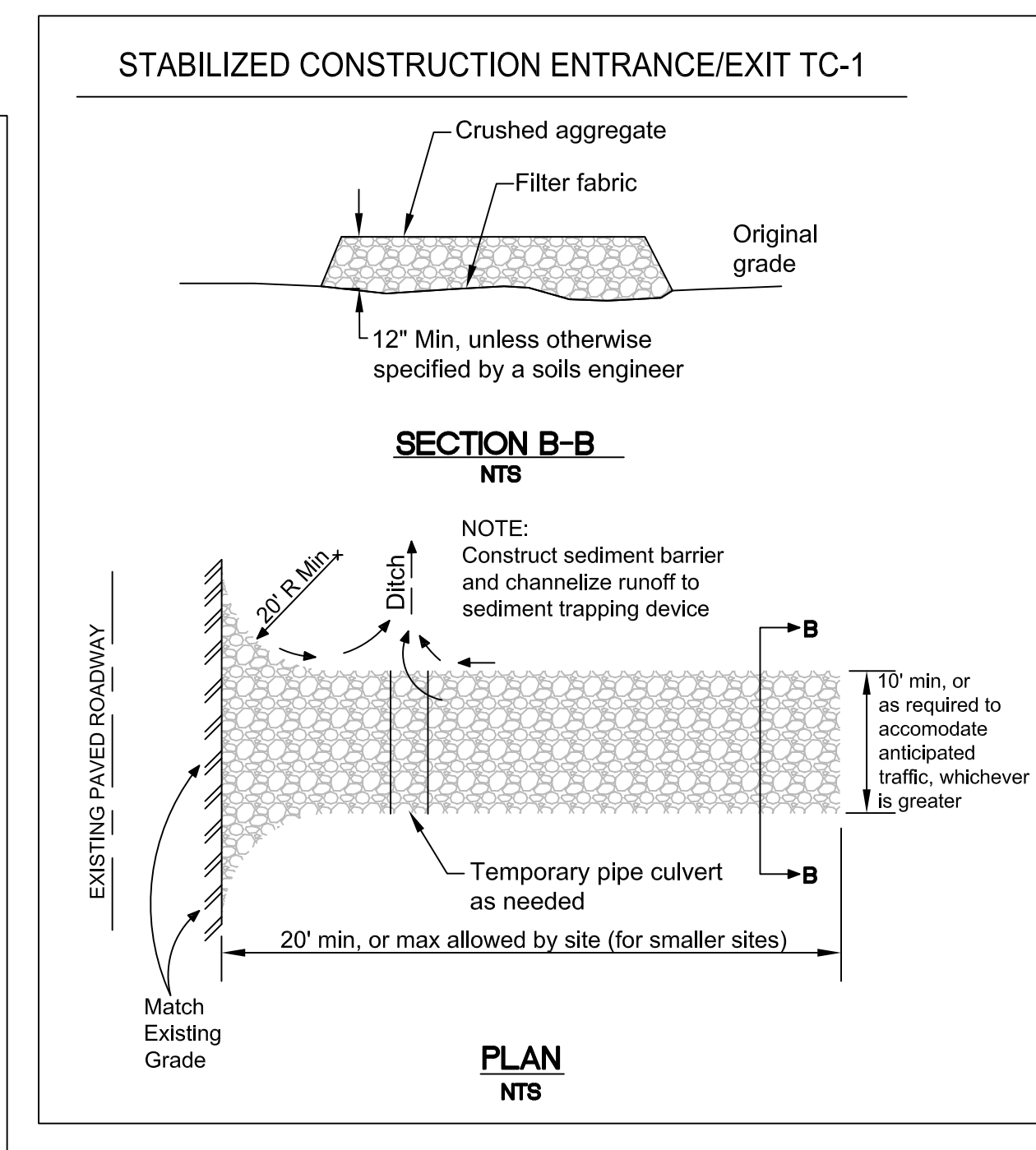
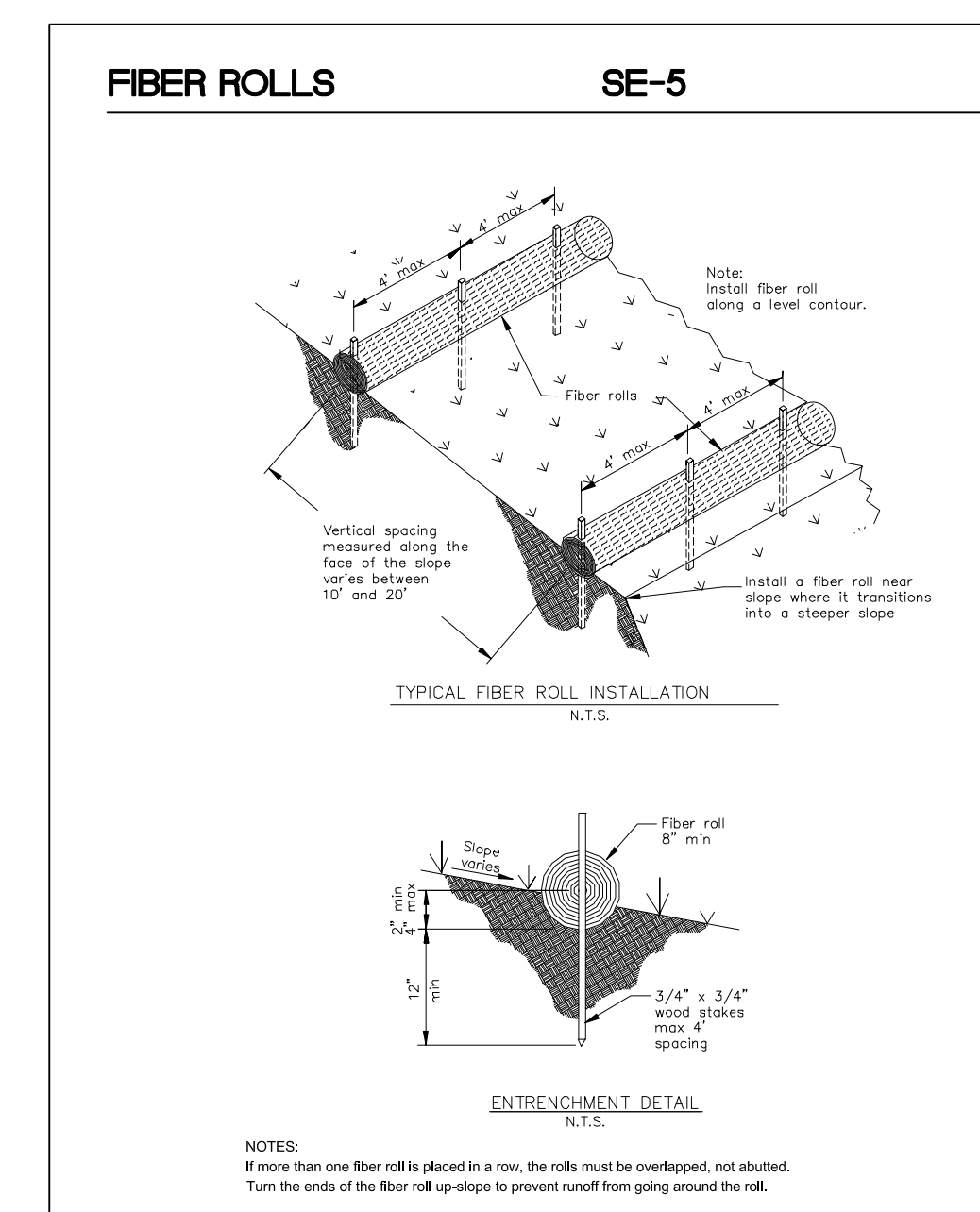
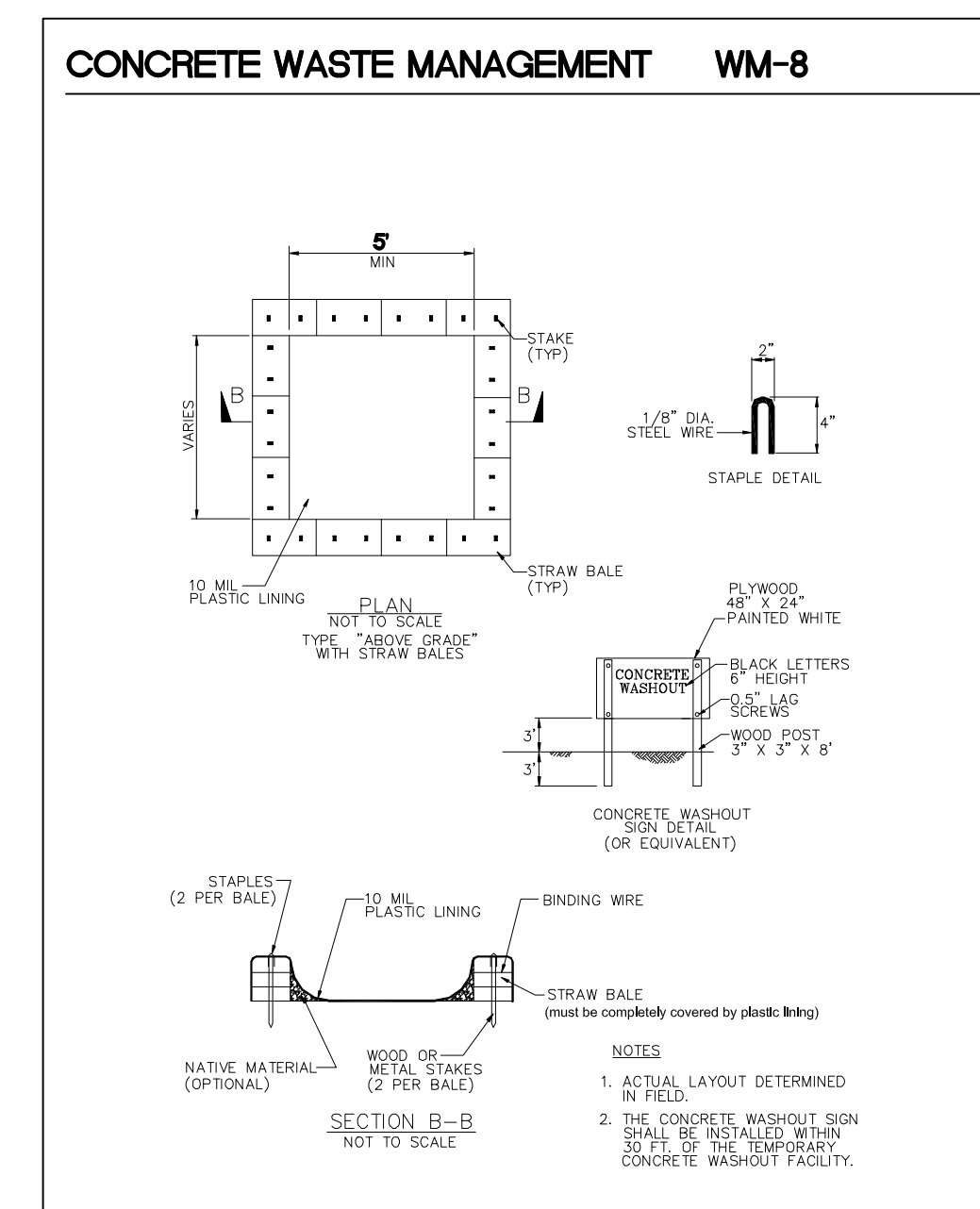
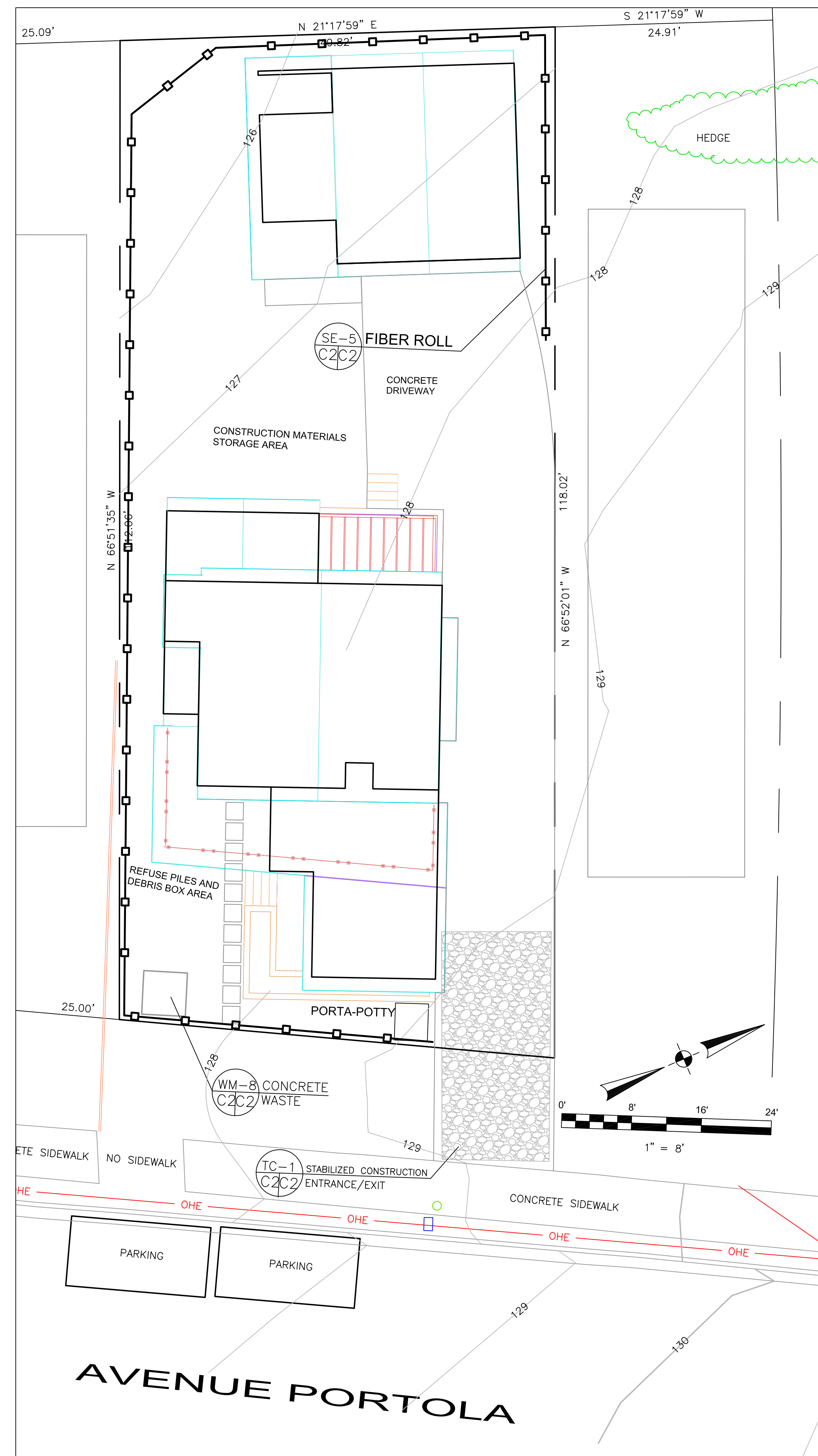
BRADLEY PROPERTY PORTOLA
167 AVENUE PORTOLA
EL GRANADA

Sigma Prime Geosciences, Inc.
SIGMA PRIME GEOSCIENCES, INC.
332 PRINCETON AVENUE
HALF MOON BAY, CA 94019
(650) 728-3590
FAX 728-3593

GENERAL EROSION AND SEDIMENT CONTROL NOTES

FIBER ROLL
INSTALL AT LOCATIONS SHOWN.
AFIX AS SHOWN IN DETAIL SE-5

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.



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FAX 728-3593

DATE: 4-11-24
DRAWN BY: CMK
CHECKED BY: AZG
REV. DATE:
REV. DATE:
REV. DATE:

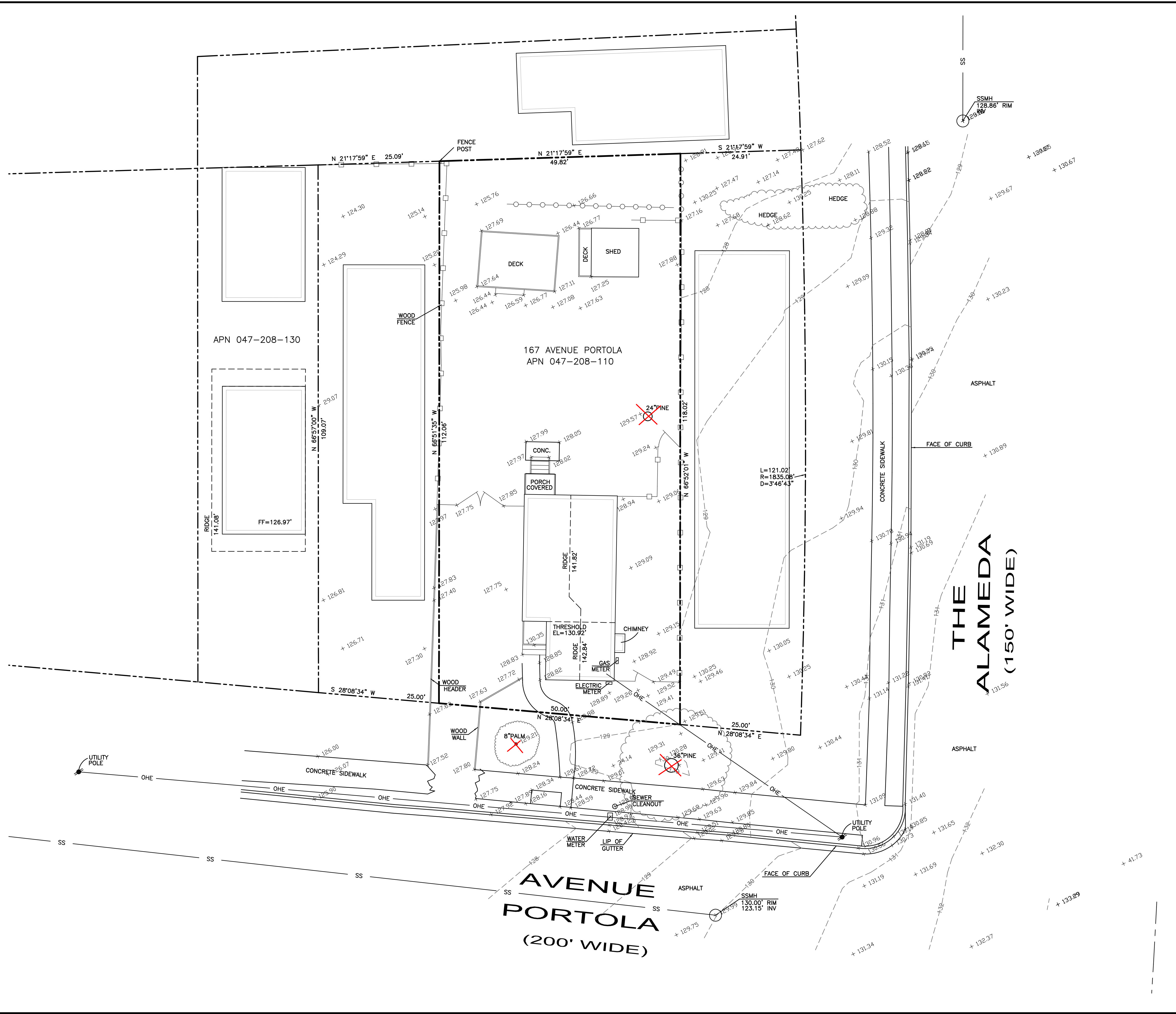
EROSION AND SEDIMENT CONTROL PLAN
BRADLEY PROPERTY
167 AVENUE PORTOLA
EL GRANADA

SHEET C-2

EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: KATIE KOSTIUK
TITLE/QUALIFICATION: ARCHITECT
PHONE: 650-918-7117
PHONE:
E-MAIL: KATIE@FATPENSTUDIOS.COM



BENCHMARK STATEMENT:
THE ELEVATIONS SHOWN ARE ON AN ASSUMED DATUM.

SURVEYOR'S STATEMENT:
THIS TOPOGRAPHIC SURVEY WAS MADE BY ME OR UNDER MY DIRECTION ON THE GROUND AND REPRESENTS MEASUREMENTS MADE MAY 2022. THE BOUNDARY SHOWN IS A RECORD BOUNDARY ONLY. A TITLE REPORT WAS NOT PROVIDED TO THE SURVEYOR BY THE CLIENT. NO EASEMENTS SHOWN. EASEMENTS OF RECORD MAYBE LISTED IN THE TITLE REPORT.


 Saviar P. Micallef
 LAND SURVEYOR, LS 8289
 (805) 708-2423
 DATE: 05-23-22

NOTE: TREES WITH RED X HAVE BEEN REMOVED SINCE SURVEY WAS COMPLETED

SAVIAR P. MICALLEF LAND SURVEYING
 421 WILDWOOD DRIVE
 SOUTH SAN FRANCISCO, CA 94080
 805/708-2423

TOPOGRAPHIC SURVEY OF
 167 AVENUE PORTOLA
 CITY OF EL GRANADA SAN MATEO COUNTY CALIFORNIA

Revisions				
No.				
Date	05-23-22			
Scale	1"=20'			
Design				
Drawn	SPM			
Approved	SPM			
Job No.				
Drawing Number:				



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT E

September 12, 2024

Owner / Applicant: Riley Bradley and Kristin Meader Bradley
File No: PLN2024-00141
Location: 167 Avenue Portola, El Granada
APN: 047-208-110
CDRC Meeting: Meeting [Link](#)

Coastside Design Review Permit

The project has been reviewed for compliance with the Design Review Standards for One-Family and Two-Family Residential Development in the Midcoast, County of San Mateo Zoning Regulations October 2023, Chapter 28.1, Section 6565.20.

CDRC Recommends Approval of Project PLN2024-00141.

Findings that satisfy the Standards:

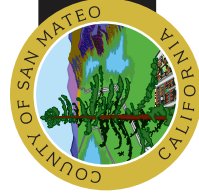
1. Section 6565.20(D)4a & 4c ELEMENTS OF DESIGN Exterior Materials and Colors: Use warm, muted colors and natural appearing materials on the house that blend with the surrounding natural features when viewed from a distance. Encourage the use of 3 or more colors on larger houses to reduce the appearance of bulk by emphasizing architectural features and trim. **The projects is successful in its use of materials and color palette. CDRC does have an additional recommendation for the color of roof and trim below.**
2. Section 6565.20(D)1c(1) ELEMENTS OF DESIGN Second-Story Location: Locating the second story towards the center of the first story and away from property lines results in a more balanced, less boxy appearance and increases light into neighboring properties. **The secondary story, while having a very tall ridge line, is sited towards the center of the first story, resulting in a less boxy appearance at the upper level.**
3. Section 6565.20(D)1e ELEMENTS OF DESIGN Wall Articulation: Building wall gaps that articulate the walls of the house create shadows and contribute to the architectural character of the home. **In addition to the change in exterior material described in item 1, the project also extensively utilizes wall articulation to break up massing significantly and adds to the architectural character of the design.**
4. Section 6565.20(F)4 Lighting: **Project successfully incorporates dark-sky compliant and downward facing lights and minimizes number of exterior lights.**

Additional Requirements for compliance with the Standards:

1. Section 6565.20(C)2b SITE PLANNING AND STRUCTURE PLACEMENT Views: When designing a new home or an addition, an effort should be made to minimize the effect on views from neighboring houses.
Section 6565.20(D)1b ELEMENTS OF DESIGN Neighborhood Scale: New and enlarged homes should respect the scale of the neighborhood through building dimensions, shape and form, facade articulation, or architectural details that appear proportional and complementary to other homes in the neighborhood.
While the committee acknowledges the reduction in massing of the second floor, the maximum building height shall be reduced by a minimum of 2 feet.
2. Section 6565.20(D)2c ELEMENTS OF DESIGN Entries: Front walkways, front doors and windows, and front porches that face the street make for safer neighborhoods by keeping “eyes on the street” and create a human-scaled appearance to a building. **The design shall change the horizontal siding adjacent to front entrance (as shown on A3.2, BEHR FLIPPER PPU25-15) to a wood material to enhance design and prominence of the front entrance. The direction of wood siding can remain horizontal.**

Additional Recommendations:

1. Section 6565.20(D)3a(3) ELEMENTS OF DESIGN Roof Design: Non-reflective roof materials and colors are encouraged. **CDRC recommends the use of a darker color for the roof and roof fascia (proposed Quartz Zinc).**



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT F

From: [Birgitta Bower](#)
To: [Luis Topete](#); katie@fatpenstudios.com; [Kristin Bradley](#)
Cc: [MCC](#); [Planning Commission](#)
Subject: Development Portola/Alameda 2
Date: Monday, August 5, 2024 1:19:49 PM
Attachments: [Development PortolaAlameda 2.pdf](#)

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CONCERNING: PLN2024-00141

Dear Design Review Committee,

The proposed plan does not only concern **167 Portola Avenue**, but also the immediate neighbors: **157 Portola** and **580 The Alameda**. All 3 plan to add 2nd stories according to the proposed project.

580 The Alameda was built in 2023 after going through Design Reviews in 2020. They changed the original design from a 2 story to a single story. Katie Kostiuk was then the architect on the Design Review Committee, now she is the architect for this project. The other committee members have changed, and we think it is important that they know why the neighborhood at the time opposed a second story at **580 The Alameda**, as the bulk of it would change the neighborhood. Lisa Ketcham is still a Planning Board Commissioner and we are sure she remembers it. It is important to see a project in context.

Because of the exceptional scope of this project we have these comments in the attached pdf:

Page 2 is a map for clarity for people who don't know the neighborhood

Pages 3-5 comment on the 3 houses mentioned in the project and how it would impact the neighborhood if all three would have 2 stories.

Pages 6-8 comment on PLN2024-00141

Pages 9-13 comment on how this project is a good example of how the absence of story poles makes it impossible to gauge the impact of a project, and obstructs the original purpose of a design review.

Thank you for reading and hearing our concerns,
Birgitta and Ben Bower, 545 The Alameda, 10-year residents.

Development of 3 properties on the southwest corner of the Portola/ The Alameda intersection

167 Av Portola : PLN2024-00141
157 Avenue Portola
580 The Alameda

Comments prepared by Birgitta and Ben Bower, 545 The Alameda, El Granada for the Design Review Committee meeting on August 8, 2024 reviewing the plans for PLN2024-00141

A proposal for 3 houses adding 2nd stories and changing a neighborhood

This project is worrisome since what is proposed is not just an expansion of a small 1948 cottage on a standard lot, but it also envisions the addition of second stories to the 2 neighboring houses built last year as single stories with variances because of substandard lots. Katie Kostiuik writes:

“Both residences on each side of this project have expressed their intent to add second stories to their single-story homes.”

“Attention has been paid to ensure our window placement and second floor balcony do not impact privacy of the homes located on 157 Avenue Portola and 580 The Alameda. The designs were reviewed by each Owner with the understanding that there are second story additions planned for both homes, and everyone has acted in good faith to collaborate about privacy and views.”

“The proposed Coastal Scandinavian design may seem large in contrast to the adjacent buildings, but in the overall context of the neighborhood and understanding the intent for two-story additions on both sides, we feel confident ...”

We don't know how far along the plans are for the neighboring houses. Our neighbor Jim Kochman chatted with Kristin Bradley who said they feel good about their project and have already had 'a good meeting' with the Design Review. That sounds like a violation of **the Brown Act**, so maybe the Thursday meeting is a mere formality?

167 Portola initially included the two properties that are next to it. The owner didn't get the price they wanted so it was split up into one standard size lot and two substandard lots on the sides.

The small lots were bought up by Robert Moules of Half Moon Bay, and architect Sean Freitas, Rocklin, CA. They drew the plans for what became **157 Portola** and **580 the Alameda**. Originally, they wanted a 23', and a 28' high, 2-story-houses on the substandard lots.

The initial plan for **580 The Alameda** caused a great deal of concern due to the 2-story size on a substandard corner lot at the top of an incline. The owner wanted 3' setbacks instead of 5' on the side and 3' instead of 10' for the side facing The Alameda. We, the neighbors on the opposite side of The Alameda (5 households), as well as the coastal community at large, voiced opposition for the bulkiness. The first design was not recommended by the Design Review, nor the second. The project was then scaled down to a single story which passed without objections from the community.

Construction on **157 Portola** and **580 The Alameda** was finished early 2023. **580 The Alameda** was apparently finally sold last month.

The **167 Portola** house would have been totally dwarfed by the original plans for two-story buildings on either side of it. The new owners of **167 Portola** now want to expand their cottage and add a second floor. They have a full-size lot and it's understandable that they want a bigger house and garage.

What is less understandable is that they appear to have entered into an understanding with their neighbors: they too will be entitled to second stories, even though their projects, with generous variances to make their lots buildable, were approved based on the single story design.

It is nice that nextdoor neighbors can negotiate with each other, but any building involves more than the immediate next door neighbors and here it seems that the community is getting a 3 for 1. **167 Portola** is using **580 The Alameda** and **157 Portola's** 2-story plans to justify what the architect herself calls "*large in contrast to adjacent buildings*"; they are piggy backing on **167 Portola** to get a second story that they couldn't do originally. Meanwhile the neighborhood is getting an oversized corner that isn't balanced by the other 3 corners.

Even with **167 Portola** rebuilt as a 2-story, it would not justify having **580 The Alameda** present a hulking mass fronting The Alameda. Those objections still remain.

PLN 2024-00141

Katie Kostiuik of Fat Pen Studios, Inc. is a talented, local architect and we think her design looks mostly good. She was also a member of The Design Review Committee 4 years ago when the **580 The Alameda** and **157 Portola** were discussed, so she is well aware of how upset the community was. For **167 Portola** she has made sure to check off the design standards so the project conforms to Design Guidelines of which she is an expert.

As noted, Daniel Burnham famously designed El Granda. He envisioned (though he never visited) the slope up the hill making a natural amphitheater with views of the ocean from every 25 feet wide lot with a vacation cottage for weekend San Franciscans arriving by the Ocean Shore Railroad. Portola Avenue is the center spike. Burnham most certainly didn't envision the RS3 designation allowing for 36 feet tall buildings, nor was he responsible for planting blue gum eucalyptus along the boulevards and all over Quarry Park. To use the 'towering Eucalyptus trees', as Kostiuik writes, as an excuse for whatever height of a new building seems a tad disingenuous, it was a very unfortunate choice of tree that the community now has to endure and live in fear of.

The design for the new **167 Portola** house is called “Coastal Scandinavian”.

I’m Swedish and when it comes to houses I think we are most famous for our “små röda stugor”, little red cottages. We have a great archipelago with little villages of old houses with gables and tangerine orange clay tiles.



The only thing in the proposed design that is reminiscent of the Swedish archipelago houses to me is the gable.



We wish that the current design of the roof could be lowered to lessen the impact for us on The Alameda and Palma who will have the view of the ocean replaced with grey roofs. The option of a slightly slanted roof like these newly built houses at the Alameda intersection would harmonize with the neighborhood and reduce bulkiness.



629 The Alameda, sits at kitty corner corner from the project in question



149 Portola, next to 157 Portola.

We feel that **167 Portola** is a full-size lot that can support a 2-story building. Due to the lack of story poles, we don't know what the impact of the current design will have on the massing of the neighborhood or the view for people on The Alameda and Palma. But it seems that the 14'8" second story ceiling height could be lowered 5 feet to reduce the effect it will have.

We live in an amphitheater, and it is neighborly not to wear too big of a hat, so to speak. (We had Monterey cypresses as a privacy wall in our backyard when we moved in. We removed them, planted smaller trees and that gave our uphill neighbors a new view that they appreciated).

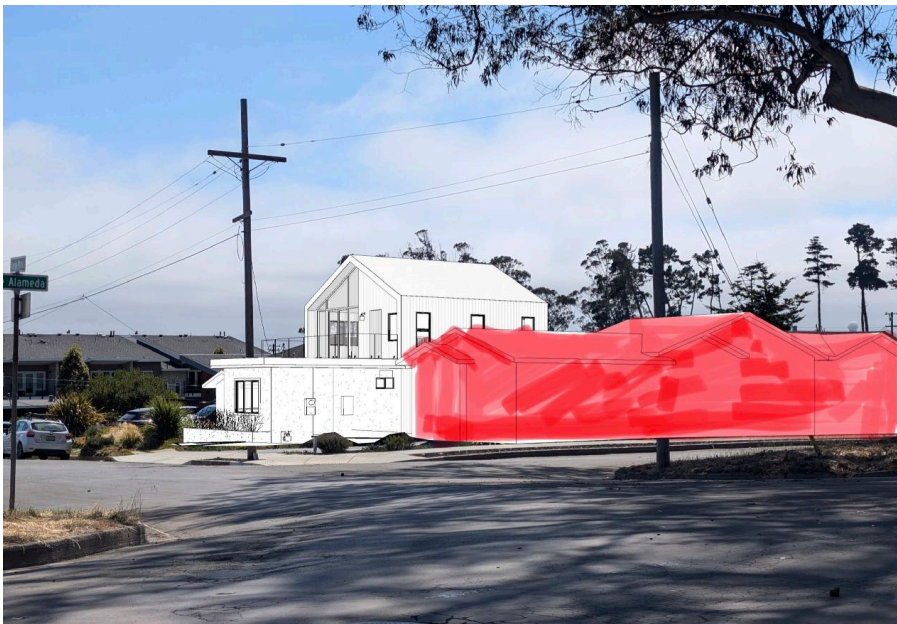
We understand that roof solar panels are now a requirement so it would be helpful if they were included and shown in the plan too. The neighbor at **149 Portola** had their panels lie flat on the roof to make as little impact as possible for the neighbors above them.

We feel that **157 Portola** and **580 The Alameda** are narrow, substandard lots that required variances in order to be built, so they should not be allowed additional second stories.

No Storypoles is a disservice to the community and not in line with the idea of what a Design Review Committee was supposed to protect.

It is extremely regrettable if the DRC and the County have given up on the story poles.

I know that in 2020 the DRC was for them and recognized that story poles are invaluable for the community to recognize the true impact of a proposed project. The current project is a good case in point. This photo is the only view we get. A physical representation with story poles makes it plain for everyone in the neighborhood to appreciate the proposed **28 feet height of the building.**



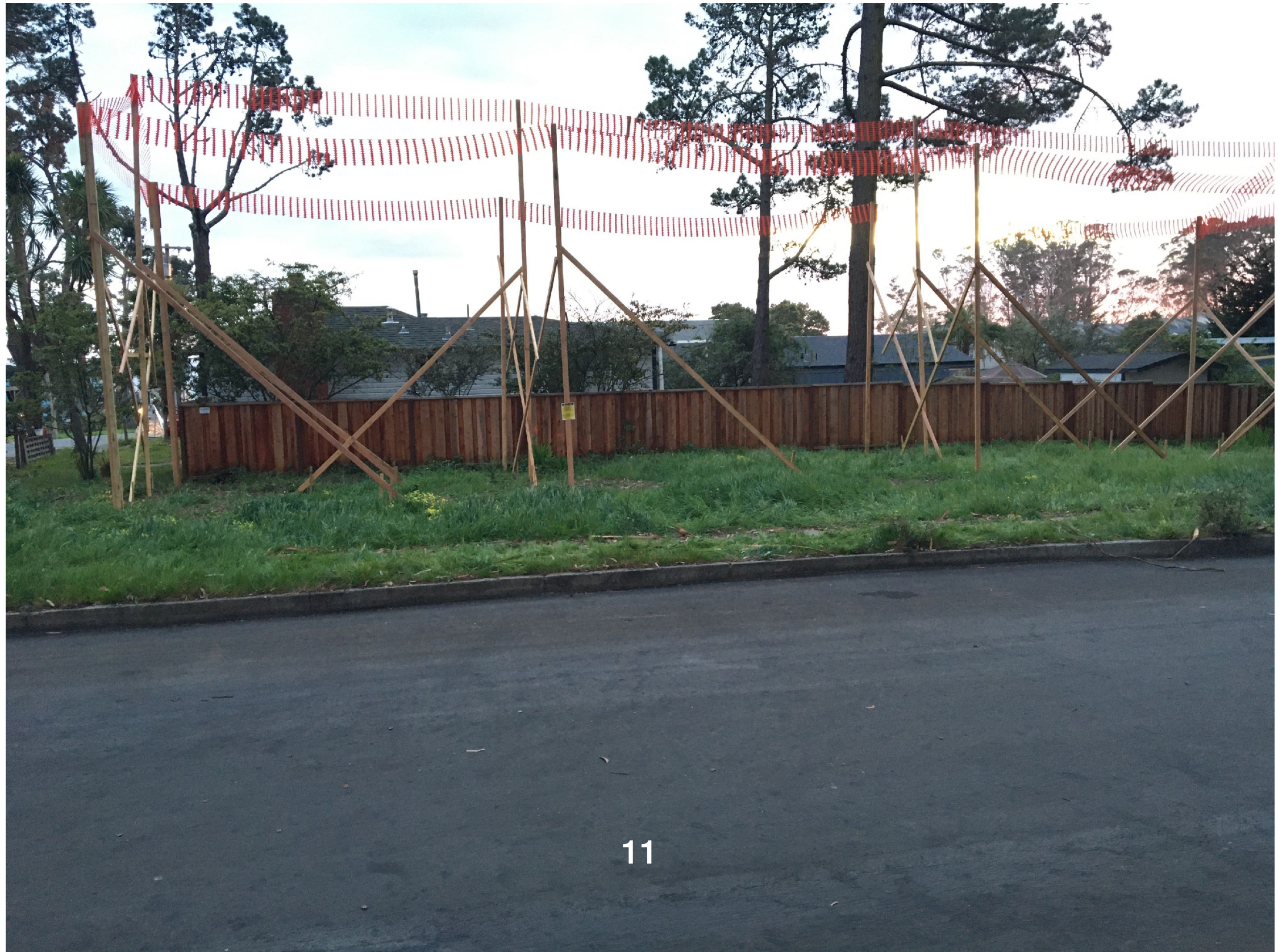
Story poles gives a 360° appreciation. If you live on the Alameda or Palma or further up you don't know what the impact is without story poles.

See the following slides of story poles for 580 The Alameda (colored in red here with current height of **16** feet). It was originally designed as a **23 foot** building. You can see what that would have looked like on the following pages.



This is what the owner and architect of **580 The Alameda** originally proposed. It was protested by the neighbors as well as the community at large for its bulkiness and for not respecting setbacks. It was not recommended by the DRC, and neither was the next two story version. The third proposal was a single story and all neighbors were happy.

See the next slides for how the size was illustrated with the story poles. It's a far superior way to determine impact from all sides and angles. The lack of story poles for the current project makes it hard or impossible to understand where the roofline will end up from the perspective of people living on the other side of the Alameda and all around.







From: [Birgitta Bower](#)
To: [Luis Topete](#)
Cc: [Cissy \(Cecilia\) and Jimi Baloian](#)
Subject: PLN2024-0141
Date: Wednesday, August 7, 2024 2:56:49 PM

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(My neighbor Cissy Baloian asked me to forward this on her behalf)

CRDC: file #PLN2024-0141
Parcel 047-208-110
167 ave portola el granada

My home is next door to the north of the Bower's , 541 the Alameda. I pay taxes for a filtered ocean view. I have already lost my frontal ocean view to the Maverick's apt building because I didn't have Ben & Birgitta's to research it for me ; and now my ocean view to the south is in jeopardy.

Since the property at 167 Portola is on a standard lot, all I can do is pray & ask of the new owners that they be cognizant of their neighbors and design a flatter, lower roofline as the Bower's document suggests.

We also hope that the adjacent neighbors to 167 Portola do not want to add second stories as the properties at 157 Portola and at 580 The Alameda are on substandard lots. Also, the design for a second story on the 580 The Alameda property has already been rejected by the CDRC and it was only accepted as a 1 story structure.

So again, I ask the new neighbors to be considerate of the rest of us and design their roof with the least damage to our view as possible. Not only does this affect the ambience of our daily lives; but it diminishes our property values.

We all know how much new development has occurred in El Granada. What scares me is that that no one is looking out for how this affects the life style of the long term residents, or the natural beauty of the landscape which made El Granada the Jewel of the Coast!

Thank you,
Cecelia Baloian
541 the alameda
El granada

From: [Rebecca Katkin](#)
To: [Luis Topete](#)
Subject: 167 Avenue Portola letter of support
Date: Wednesday, August 7, 2024 5:19:33 PM

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Hello Mr. Topete,

I am an El Granda resident, architect, and former CDRC committee member, writing to express my support for the proposed residential addition at 167 Avenue Portola, being reviewed at the August CDRC hearing. The design is elegant, and bridges the historic and current development trends in our community well; it blends a modern aesthetic with traditional roof forms and scale. The total area is modest; the massing steps in significantly at the second floor; the facades are well articulated, both volumetrically and materially. The siting seems sensitive to the adjacent properties privacy and views.

This project will be a great addition to this central block of Portola Avenue, and I think the demonstration of scale overstates its impact on the skyline there. Understanding there are second story ADUs already in permitting for the adjacent property at 165 Portola, this proposed design should be right in line with their height.

I hope the committee approves the project at today's hearing.

my best regards to the committee members and staff,
Rebecca

--

Principal
KATKIN ARCHITECTURE
c. 415-706-0981

www.katkinarchitecture.com

From: [Birgitta Bower](#)
To: [Luis Topete](#); [MCC](#); [Planning Commission](#)
Subject: Russian Nesting Doll- Design Review
Date: Friday, August 9, 2024 1:53:25 PM
Attachments: [Russian Nesting Doll- Design Review.pdf](#)

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Concerning PLN2024-00141 and the lack of transparency and respect for the Community

This project turned out to be only one part of a complex of 3 houses adding second stories. Two ex Design Review Committee architects were privy to information on how this “*central block of Avenue Portola*” (as one of them writes) was going to be transformed, but apparently that was nothing they would share any details of with the community. The arrogance of this is very insulting.

The function of the Design Review Committee is to keep standards and to allow the community and those within a 300 foot radius to have a say. The community can't form proper opinions and decisions when information is withheld.

This isn't a small project. Story poles should be required even according to the very weak guidelines of the “Demonstration of Scale Policy”. The absence of story poles in this case makes clear that this policy needs to be reviewed asap and strengthened legally. How can there be a policy that says that the County and community prefer story poles, but do whatever you prefer?

How can the County allow PLN2024-00141 to be ready for a Design Review Committee when the project turns out to be a Russian doll, with projects within projects.

The August Design Review meeting yesterday was cancelled when we got there at 2 as stated. The next meeting is in a month. We would like story poles in place and information about the totality of the transformation of the three houses in question (167 Portola and neighbors: 157 Portola and 580 The Alameda).

Local architects Katie Kostiuik (Fat Pen Studios) and architect Rebecca Katlin (Katkin Architecture) were on the Design Review Committee (DRC) in 2020 when my neighbors and I opposed the construction of a 2-story building on a substandard corner lot. We had no objections when it was changed to a one-story (580 The Alameda, El Granada). Kostiuik and Katlin are no longer on the DRC.

Now Katie Kostiuik is the architect for the proposed second story and additions to 167 Portola Avenue, El Granada, PLN2024-00141. In her project she includes information that the neighboring houses (580 The Alameda and 157 Alameda, both substandard lots with houses built last year) “**have second story additions planned**”. There is no further explanation of what those plans look like, but we are told that with “**two-story additions on both sides**”, the proposed two story addition to 167 Portola will fit right in.

Architect Rebecca Katlin submitted a supporting email for the 167 Portola project to the DRC at 4.50 pm (cut-off is at 5 pm) the day before the DRC meeting. She had some additional information: “**Understanding there are second story ADUs [sic] already in permitting for the adjacent property at 165 [sic] Portola, this proposed design should be right in line with their height.**”

There is no 165 Portola, so supposedly 157 Portola is what is referred to. It is also news to us that you can build ADUs as a second story addition on top of an existing house.

Architect Kaitlin has been able to evaluate that the height of 167 Portola and 157 Portola are going to be “**right in line**”, but who else is going to be a judge of that without any information or story poles?

Architect Kaitlin has also been able to appreciate that the one ‘Demonstration of Scale’ provided by architect Kostiuik actually **“overstates the impact on the skyline here”**. Indeed, why are there no story poles? With story poles we would know the real “impact on the skyline”.

The story of story poles is very murky. They existed until May 2020. They vanished when the County discovered they legally couldn’t require story poles. The DRC members knew people wanted storypoles. The County said in 2020 it was a lengthy process to make it a requirement because the Board of Supervisors had to vote on it. The County tried for a bit to say that story poles are ‘standard’, but the Revised **‘Demonstration of Scale’ from July 11, 2024** gives up on even the pretense, it meekly says that **“the County and community prefers story poles as they demonstrate scale and height in a 3-dimensional manner in the subject location, where neighbors can experience the proposed mass from their respective properties”**. But the paragraph starts: **“An applicant may choose their preferred method..”**

It does state: ***For smaller scale projects , such as small homes on ground-floor additions, or less visible projects, alternative methods to demonstrate scale, as discussed in this policy may be used.*** The context suggest that when it is *not* a ‘smaller project’ you *should* use story poles, but for some reason the language is totally vague, and someone has to decide that something isn’t ‘smaller’ and they ought to/should consider/ pretty please have story poles. Really, there is no backbone to this policy! Some would call it ‘fake’.

According to the Design Review website (<https://www.smcgov.org/planning/coastside-design-review-committee>) “The CDRC chair person prepares regular reports describing current matters of CDRC matters”. But the last such update is from July of 2022, when the Story Pole question was left to it’s fate.

**County of San Mateo.
Coastside Design Review Committee.**

**Minutes
7/14/2022.**

DRO:	Glen Jia, Planner*	CDRC SP	Camille Leung
Architect:	Katie Kostiuk *	Architect alt	vacant
Architect:	Rebecca Katkin *		
Montara rep:	Beverly R Garrity *	Montara alt rep	Mark Stegmaier*
ElGranada rep	Doug Machado*	ElGranada alt rep	vacant,
Miramar rep	vacant	Miramar alt rep	Linda Montalto-Patterson*
MossBeach rep	vacant	Moss Beach rep	vacant
Princeton rep	John Steadman	Princeton alt rep	vacant

Attendees.. *

The Coastside Design Review Committee (CDRC) is appointed by the Board of Supervisors to ensure that new development is compatible with the physical setting of the site and the visual character and provide a platform for neighborhood residences to communicate their concerns for the communities of Montara, Moss Beach, El Granada, Miramar and Princeton.

OLD Business July 14 2022

DEMONSTRATION OF SCALE/STORY POLES

SMC long term Planning has shelved the outline for adopting a story pole ordinance as a requirement until further notice. 12may2022 C. Leung.

Continued follow up for new date of adoption request at each meeting.

Demonstration of scale will continue to follow the 5/8/2020 Doc referenced in link below.

<https://www.smcgov.org/planning/policies-demonstration-project-scale-major-minor-modifications-height-adjustments-during>

DESIGN STANDARDS, UPDATE

Planning Commission approved update of Residential Standards by CDRC starting 3/2022 lead by C. Leung*, 1hr time allowance vs 3 or less DR case’s per Hearing.

2hr 7/14/22

CDRC POSITIONS

Recruit and recommendations

Jamison Stegmaier Alt Architect

167 Portola is not a “*small*” project! It’s a second story being added that is going to “***be in line with***” a second story on 157 Portola and a second story on 580 The Alameda! It’s the transformation of “***this central block of Portola Avenue***”, as architect Katlin writes. We want story poles.

We are deeply disappointed in these two former DRC architects who thought this was a proper way to propose this project. We are upset at the deceptive way this project was presented casually mentioning that this actually concerns 3 properties, with one measly depiction of project scale, that even architect Kaitlin says doesn’t do the project justice.

We don’t understand how the County could put on the agenda for a Design Review a project that is predicated on the neighboring properties getting second story ADUs (whatever that even is!). Were the members of the DRC not to know either? Would they have asked for clarification? Would they just make decisions without context?

Luckily, when we and our neighbors got to the location for the Design Review yesterday at 2 pm. it was cancelled (due to the wrong number for zoom) and postponed till September 12.

We feel that the CDRC members as well as the community should have full information, not just insider architects. This has been handled very badly. We would like an explanation and we demand that story poles go up so that we can judge the full impact of this transformation to our neighborhood.

I'm m trying to gather more information. I just got this from the County today. I will follow up on this information next week.

ADU's are ministerial and do not require a hearing only a building permit. If there are ADU's with the building department you may be able to see them in person only. Please reach out to the building department for instructions buildingcounter@smcgov.org.

Kanoa Kelley
San Mateo County Planning & Building Department
455 County Center, 2nd Floor
Redwood City, CA 94063
Email: PlanningProjects@smcgov.org

Re: ADU plans for 157 Portola Avenue and 580 The Alameda?

I just found that 157 has is requesting an exception to our setback requirements. That one is with planning Jonathan Bruns can coordinate getting you some plans. I don't see an ADU on the other property.

Kanoa Kelley
San Mateo County Planning & Building Department
455 County Center, 2nd Floor
Redwood City, CA 94063
Email: PlanningProjects@smcgov.org

From: [Birgitta Bower](#)
To: [Planning Commission](#); [Planning CDRC](#); [Luis Topete](#); [Camille Leung](#); [SMC SupMueller](#); [Steve Monowitz](#)
Cc: [Lisa Ketcham](#)
Subject: Comments reaching the CDRC members and the Planning Commissioners???
Date: Wednesday, August 21, 2024 11:24:38 AM

CAUTION: This email originated from outside of San Mateo County. Unless you recognize the sender's email address and know the content is safe, do not click links, open attachments or reply.

Dear members of CDRC, Planning Commission Commissioners and Planning Department representative Camille Leung and Luis Topete, Community Development Director Steve Monowitz and Supervisor Mueller

8/16/2020, 4 years ago, I wrote and got some answers through Camille Leung concerning the demise of the story poles. The answer was that to be reinstated as a standard, the proposal had to through a process and a vote at the Board of Supervisors.

Judging from the “Revised Demonstration of scale” from 7/11/2024 that didn’t happen. Instead, even though “the County and community prefer the use of story poles”, “An applicant may choose the preferred method”.

On the CDRC website it is stated:

“The CDRC Chairperson prepares regular reports describing current matters of CDRC business.” But when you click on “regular reports” the last report was in 8/11/2022. At that meeting there is a proposal: “Attention to Applicant from Planner. It is highly commended that story poles be installed especially when the mass exceeds the typical mass of the average neighboring homes”. That’s where the CDRC involvement in story poles seems to end. Could the Chair of CDRC and the Planning Department explain why there still are no story pole requirements?

I am writing to ensure that the members of the Coastal Design Review Committee and the commissioners of the Planning Commission have been able to take part of my communications to them. It doesn’t concern just one project, it concerns the County policies for ADUs and how we are losing community input as originally intended when local design reviews and a local representative on the Planning Committee was instituted. If policies are changing, I think our Communities are deserving of a plain language information, reading standards for ADUs is extremely complicated for the average neighbor. At what point does a neighbor get a notice that the next door neighbor is about to construct a second story ADU?

8/5/24: Concerning a development of 3 houses, where 580 The Alameda had 3 design review meetings before the building of a one-story house was recommended. The new members should be aware of this history and context when reviewing the development of 3 neighboring houses constructing second stories, two which are ADUs on top of houses built last year.

8/9/2024: How the lack of story poles is a disservice to the Coastal communities.

8/16/25: How you game the system and build a one-story with setback exemptions, then use the footprint and put up an ADU, no local design review required.

Sincerely,

Birgitta Bower, 545 The Alameda, El Granada

From: sudi@nasturtiumartofliving.com
To: [Luis Topete](#)
Subject: Please provide forward to CDRC
Date: Wednesday, September 11, 2024 5:22:25 PM

CAUTION: This email originated from outside of San Mateo County. Unless you recognize the sender's email address and know the content is safe, do not click links, open attachments or reply.

To CDRC as a long time resident on the coast since 1989 I would like to comment on the two substandard lots up for second floor permits, ADU permits.

157 Ave Portola

580 The Alameda

These parcels both are substandard and had to got lots of benefits from exemptions to build their homes and now they are back again for more, it's dishonest and not right. The least that could be asked of them is to do minimal ceiling height of 8'.

Thank you for considering.

Sudi Taleghani

Palma St. El Granada

[Sent from Yahoo Mail for iPad](#)