

From: [Michael Bugler](#)
To: [Camille Leung](#); [Elizabeth Lacasia](#)
Cc: [Jason Silva](#)
Subject: CDRC
Date: Thursday, February 6, 2025 5:35:45 PM

CAUTION: This email originated from outside of San Mateo County. Unless you recognize the sender's email address and know the content is safe, do not click links, open attachments or reply.

Hi Camille,

As you requested, Please see Hawk Desing and Consulting declaration of our response of the CDRC's decision regarding PLN2021-00248. Please include the following attachments for applicants' materials for our presentation to help address the three main recommendations; The building was "Boxy", to utilize different exterior façade materials and address garages & entry.

These projects give examples of CDRC's acceptable distinction to the terms and conditions of **section 6565.20 (D) 1b Elements of design** "... respect the scale of the neighborhood Architectural details that appear proportional and complimentary to other homes in the neighborhood. These projects also give examples of CDRC's definition of what is acceptable regarding **Section 6565.20 (D) 1 a Elements of Design** "... Relationship to existing topography of the site....in the same direction as the existing grade. We declare our project to be exceeding by all means and even percentage in relationship to existing topography of the site via the CDRC's recent examples of what is acceptable establishing precedence with the given examples.

Furthermore, our project based on the CDRC's approval of recent projects in comparable our project does not fit the definition of "BOXY" by the acceptable terms given as an example. Furthermore, and our Architectural details are far more proportional and complimentary of the neighborhood then the CDRC's continued approvals on the Coast.

Please see the Dropbox link below and I will send the updated plans tomorrow.

<https://www.dropbox.com/scl/fo/e29feqxfqnhdhw0irwb/AKk1-Nwjl6OoOomLBiHeRlg?rlkey=p3vpz5dx2cpoh9c32zn28kmux&st=57usrknj&dl=0>

Thank you for the opportunity to serve,

Michael Bugler
Senior Drafter
P.O. BOX 3535
Half Moon Bay, CA 94019
Office: (650)560 - 8100



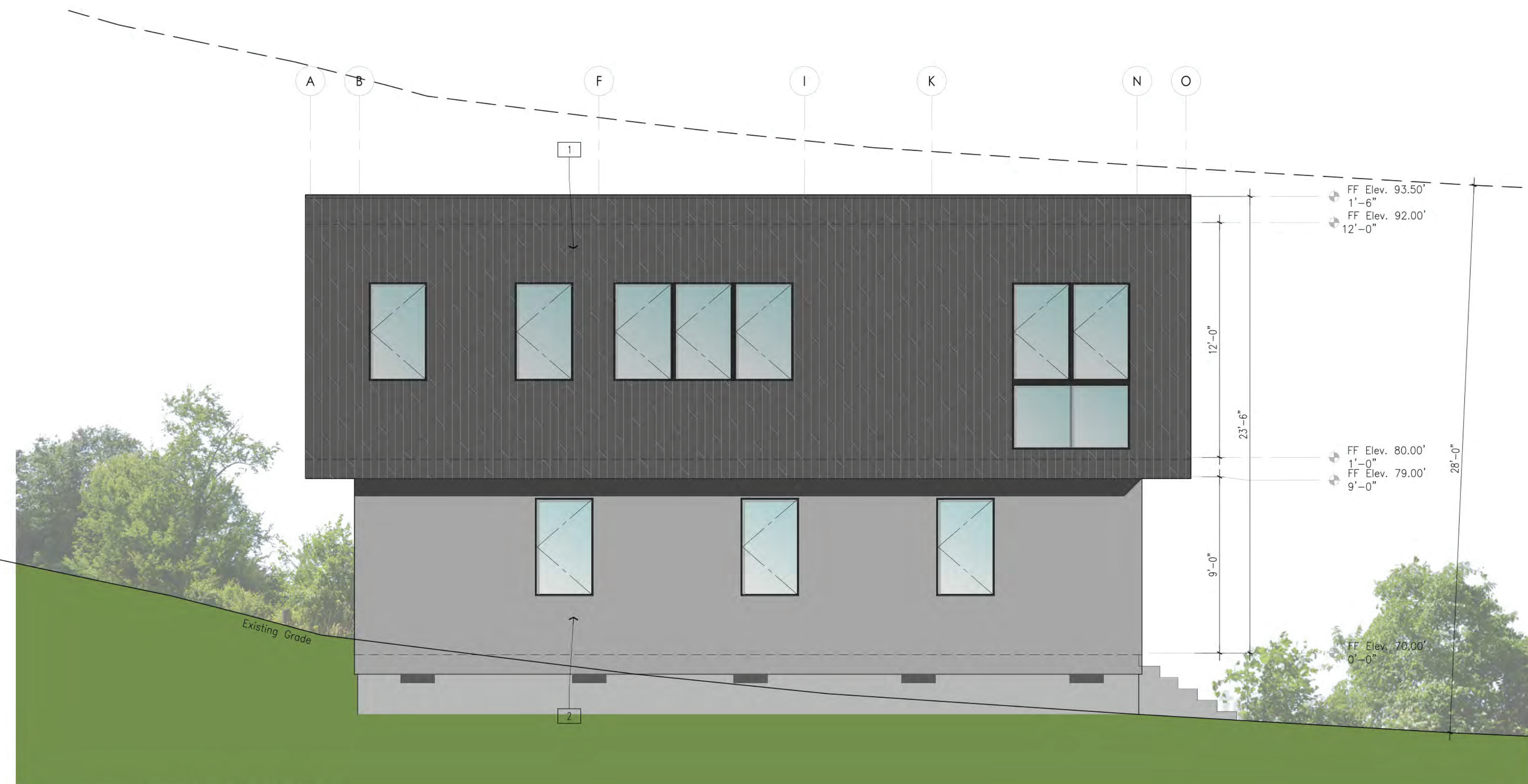






1 West Elevation

1/4" = 1'-0"

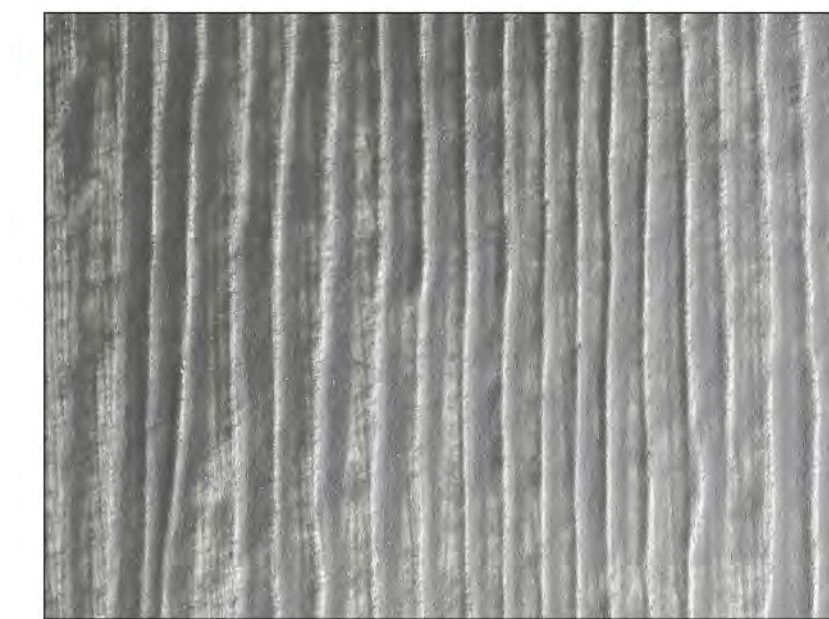


2 North Elevation

1/4" = 1'-0"

Material Selections

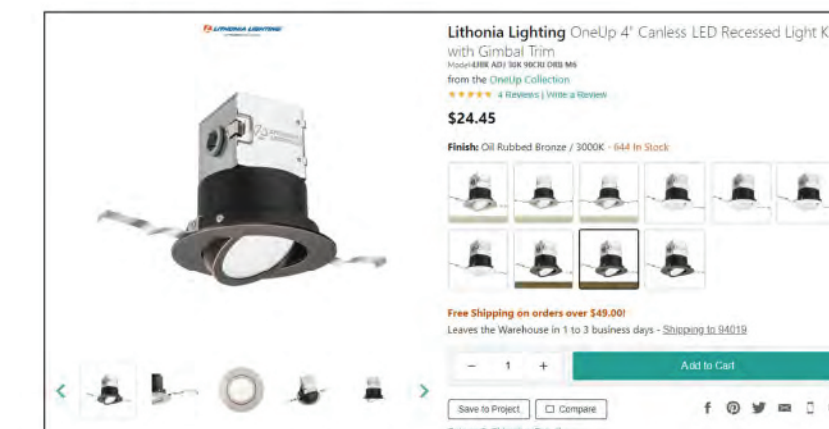
Woodtone Rustic Series
Coastal Gray
Vertical Shiplap Siding



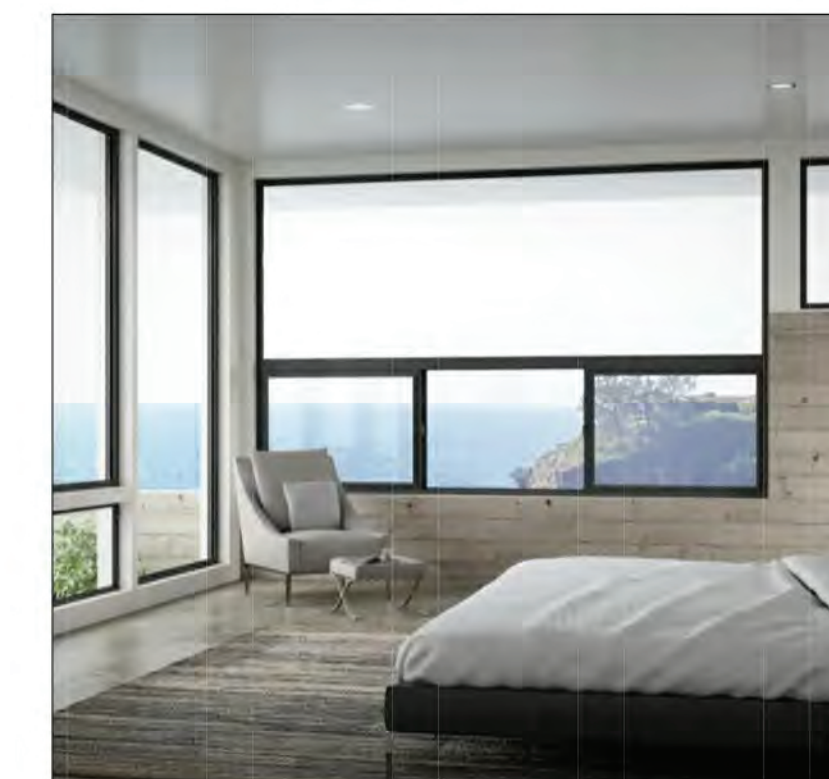
BenMoore -



4" Recessed LED Soffit lights
Oil Rubbed Bronze



Milgard Aluminum Windows - Black



Front Door Glass Blk Aluminum



Elevation Notes

Keynote legend below contains information referenced throughout Documents. Locations flagged in the Documents by means of the following symbol: →

All dimensions given take precedence over scale. Contractor shall not scale drawings to determine dimensions without consulting with the Architect. Incorrect dimensions and resulting construction deficiencies due to scaling of Documents by the Contractor are the Contractor's responsibility and required corrections will be performed at the Contractor's expense.

Critical alignments may occur between items installed by different trades. Contractor to note all such items and notify affected trades. Sub-contractors shall review Documents and identify all such items that affect their work in any way.

Contractor shall review all dimensions shown herein for accuracy prior to construction. Contractor shall review any apparent discrepancies. Dimensions given are to face of finish unless otherwise noted. Variations include:

FOC: Face of Concrete
FOM: Face of Masonry
CL: Centerline

Refer Floor Plan for additional detail references.

Scuppers, flue caps, metal railing caps shall be fully soldered at all joints.

All exterior wood siding and trim shall be fully primed and finished per mfr.'s specifications.

Exterior light fixtures and mechanical penetrations shall be fully caulked.

Exterior finishes shall be cleaned and/or replaced regularly by Owner. Paint shall not be allowed to crack, peel or otherwise fail in any way without immediate replacement.

Landscape irrigation shall not be allowed to spray on any portion of structure.

Downspouts and splash blocks shall be adjusted so that no water splashes onto structure.

Notes

- 1 Shiplap Siding
- 2 Painted Stucco
- 3 Glass Guardrail
- 5 Full Height Glass Doors - Beyond



New House on Vacant Lot

Medio
Residence

APN: 048-044-200
Miramar, CA
94019

28 July 2021 Planning Submittal
29 Nov 2021 Planning Re-Submittal
07 Feb 2022 Planning Re-Submittal

Exterior Elevations



1 East Elevation

1/4" = 1'-0"



2 South Elevation

1/4" = 1'-0"

Material Selections

Woodtone Rustic Series

Coastal Gray

Vertical Shiplap Siding

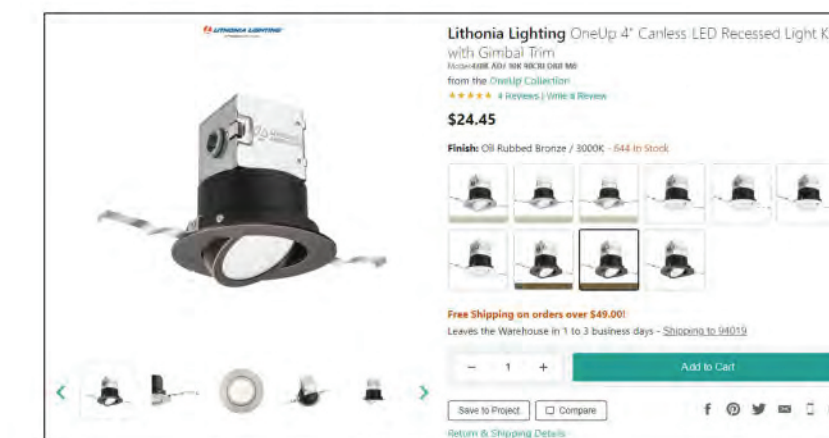


BenMoore -

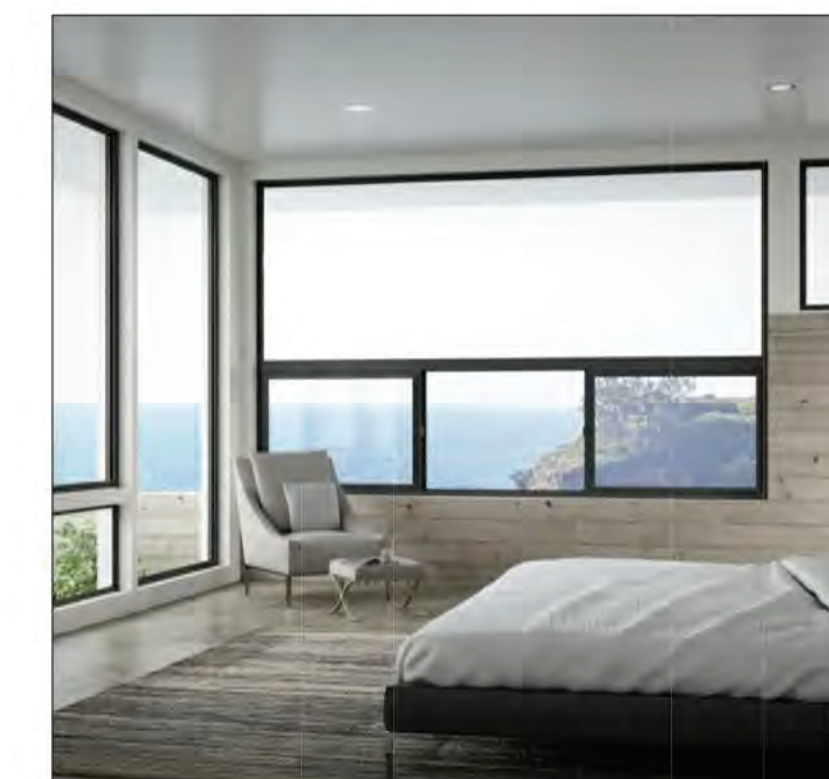


4" Recessed LED Soffit lights

Oil Rubbed Bronze



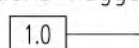
Milgard Aluminum Windows - Black



Front Door Glass Blk Aluminum



Elevation Notes

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Notes

- 1 Shiplap Siding
- 2 Painted Stucco
- 3 Glass Guardrail
- 4 Planter
- 5 Full Height Glass Doors - Beyond



New House on Vacant Lot

Medio Residence

APN: 048-044-200
Miramar, CA
94019

28 July 2021 Planning Submittal
29 Nov 2021 Planning Re-Submittal
07 Feb 2022 Planning Re-Submittal

Exterior Elevations

STUCCO
Silent White , Behr Model # PPU26-13

ROOF FACIA BOARDS
Dark Ash Model # T10F-5 (TC-41)

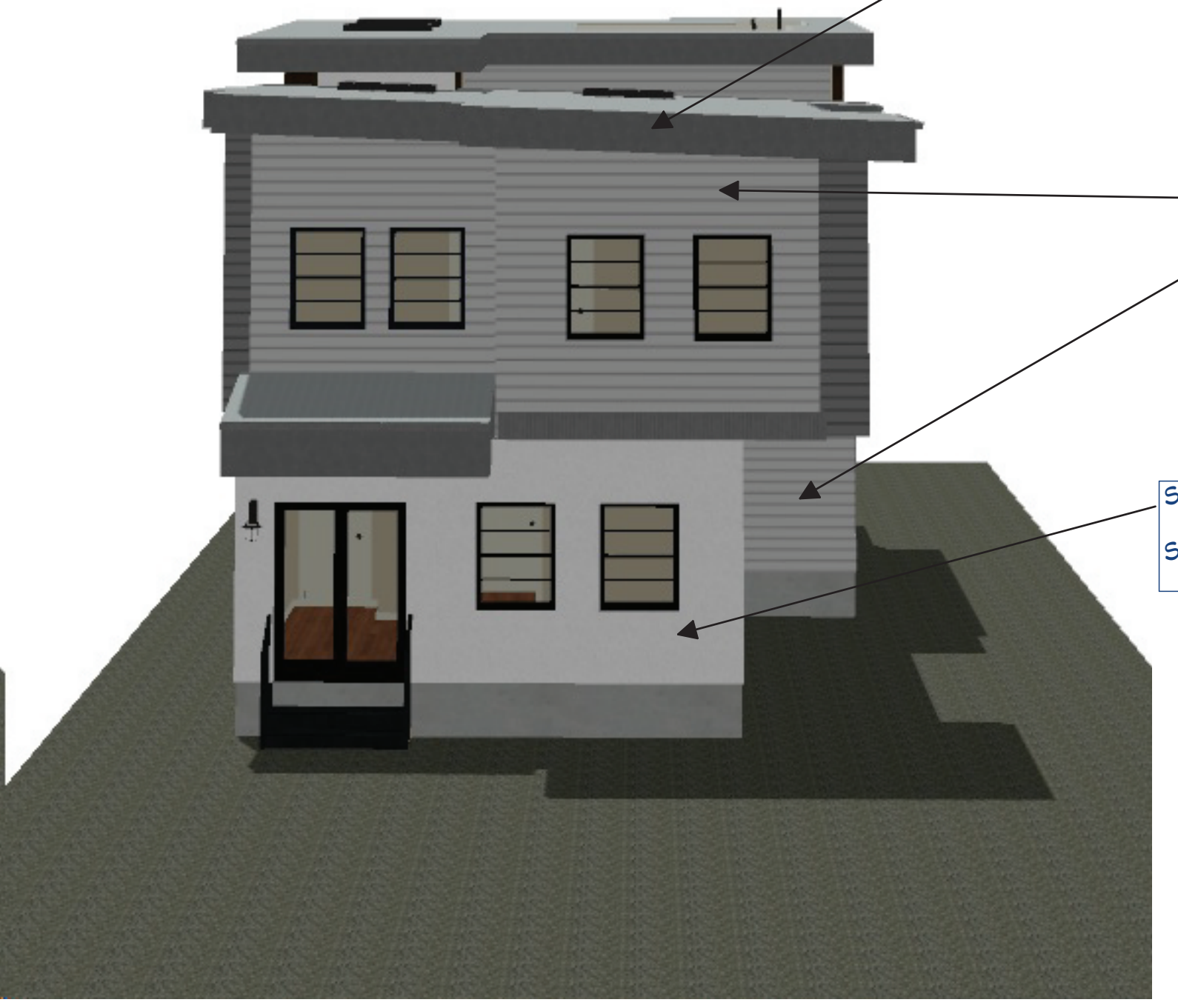
Wood Stain
Varathane Penetrating Stain
Red Oak



FRONT ELEVATION

Wood Stain
Varathane Penetrating Stain
Red Oak

All Windows= Black Aluminium



REAR SIDE ELEVATION

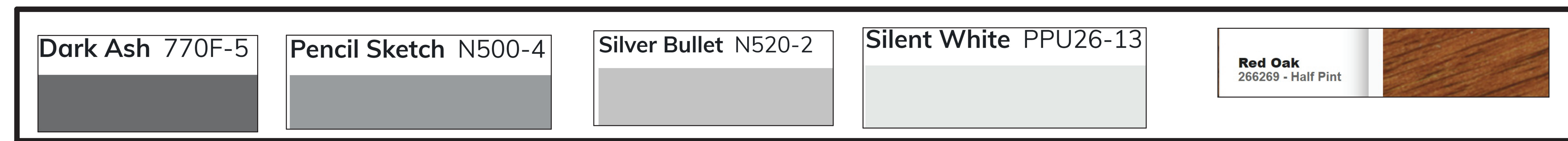
Dark Ash 770F-5

Pencil Sketch N500-4

Silver Bullet N520-2

Silent White PPU26-13

Red Oak
266269 - Half Pint



ROOF FACIA BOARDS
Dark Ash Model # T10F-5 (TC-41)

Cable Railing

Vinyl Siding
Color Bher Silver Bullet N520-2 (tc-34)

All Windows= Black Aluminium

Vinyl Siding
Color Bher Pencil Sketch N500-4 (TC-33)



RIGHT SIDE ELEVATION

Wood Stain
Varathane Penetrating Stain
Red Oak

Cable Railing

ROOF FACIA BOARDS
Dark Ash Model # T10F-5 (TC-41)

Vinyl Siding
Color Bher Pencil Sketch N500-4 (TC-33)

Vinyl Siding
Color Bher Silver Bullet N520-2 (tc-34)

STUCCO
Silent White , Behr Model # PPU26-13



All Windows= Black Aluminium

LEFT SIDE ELEVATION

ELEVATIONS

3D Views are Not to Scale and May Not Reflect The Actual Conditions

Elevations

Owner: **Zafar Irfan & Bina Mojin**

LOT 9 BLOCK 8, SHORE ACRES,
3-RSM-PG095
COUNTY OF SAN MATEO, CA
APN 048-032-070

DATE:

4/26/2019

Rev 3

SHEET:

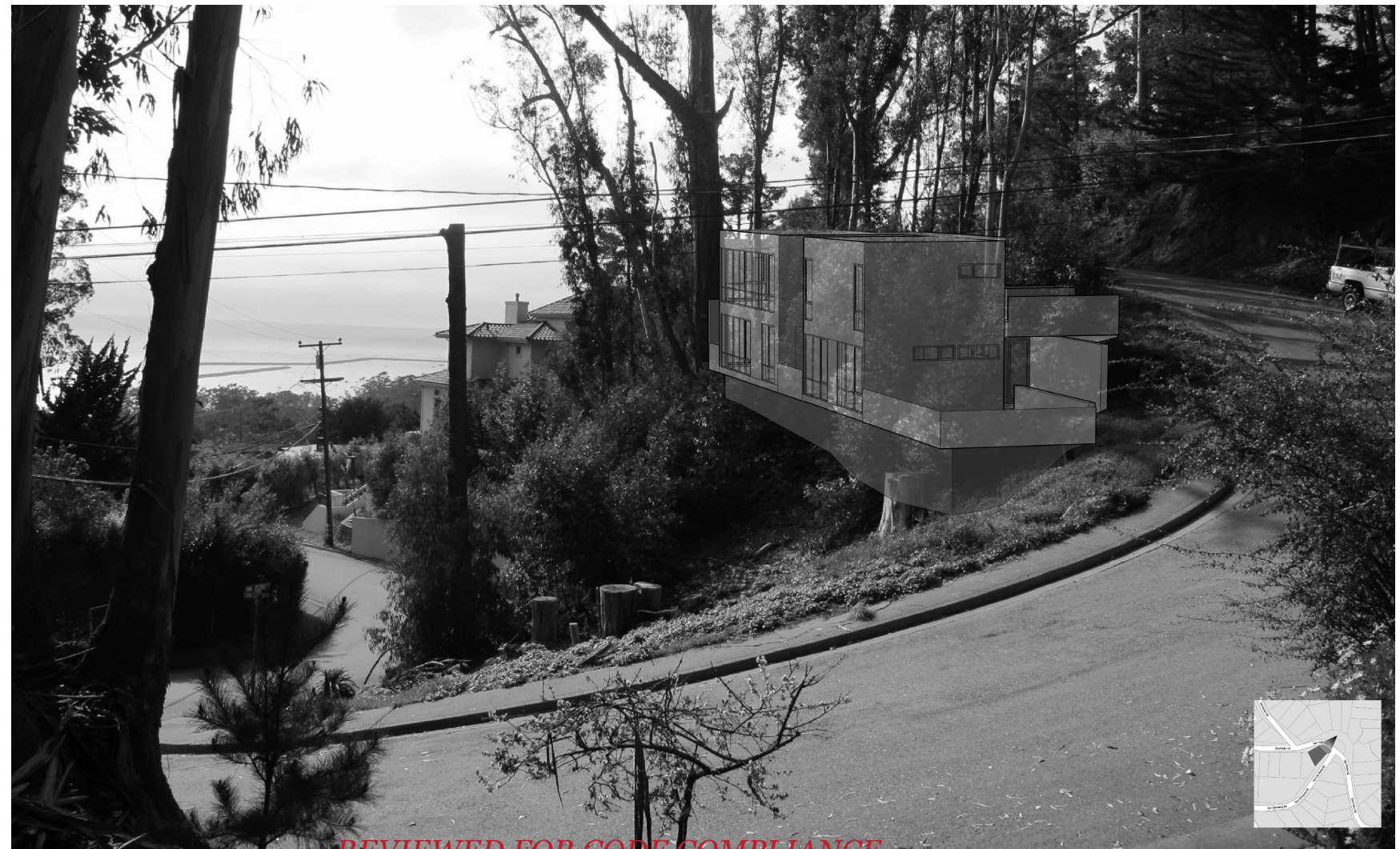
6

REQUIRED	APPROVED	SURVEYED
Front 20'	219'	85' x 11'
Side 10'	20'	85' x 11'
Back 10'	10'	85' x 11'
1st Floor Elev.	329'	85' x 11'
2nd Floor Elev.	318'	85' x 11'
Ridge Elev.	341'	85' x 11'

Required	Not Required
Benchmark Elev. 292.06'	<input type="checkbox"/>
Garage Elev. 329'	<input type="checkbox"/>
1st Floor Elev. 318'	<input type="checkbox"/>
Ridge Elev. 341'	<input type="checkbox"/>

PROVIDER ELEMENT CONTROL REQUIRED:
 Project owner and architect shall ensure that all necessary information is provided to the permittee. If approved, the designer shall make certain plans shall be submitted for approval. The building inspector has the authority to require additional information or any other information not included in the drawings. If any information is found to be deficient, a stop work notice may be issued. The permittee shall be responsible for providing the necessary information to the permittee. The permittee shall be responsible for providing the necessary information to the permittee. The permittee shall be responsible for providing the necessary information to the permittee.

APPROVED PLANNING
 Mar 13, 2023
 By: cleung
 San Mateo County



REVIEWED FOR CODE COMPLIANCE
 This review does not authorize violation of State or County building laws

Apr 18 2023

SAN MATEO CO. BLDG. INSP. DIV.



PERSPECTIVE VIEW FROM THE SOUTHEAST

ABBREVIATIONS	
A.B. ANCHOR BOLT	J.B. JUNCTION BOX
ABV. ABOVE	J.H. JOIST HANGER
A.C. AIR CONDITIONING	J.S. JOIST
ADL. ADJUSTABLE	J.T. JOINT
A.F.F. ABOVE FINISHED FLOOR	K.D. KILN DRIED
ALUM. ALUMINUM	L.A.V. LAVATORY
ASPH. ASPHALT	L.H. LEFT HAND
	L.T. LIGHT
B.D. BOARD	MAX. MAXIMUM
B.L.G. BUILDING	MED. MEDIUM
B.L.K.G. BLOCKING	M.F.R. MANUFACTURER
B.L.W. BELOW	M.N. MINIMUM
B.M. BEAM	M.R. MIRROR
B.O. BOTTOM OF	M.T.D. MOUNTED
B.O. BOTTOM OF WALL	M.T.L. METAL
B.R.Z. BRONZE	(N) NEW
B.T.W. BETWEEN	NIC. NOT IN CONTRACT
B.U.R. BUILT-UP ROOFING	N.T.S. NOT TO SCALE
	O./ OVER
C. CASEMENT	O.C. ON CENTER
C.I. CAST IRON	OPG. OPENING
C.L. CENTER LINE	
C.O. CLOSET	R. RISER
C.M.U. CONCRETE MASONRY UNIT	R.A.D./R. RADIUS
COL. COLUMN	REIN. REINFORCED
CONC. CONCRETE	REQ'D. REQUIRED
CONT. CONTINUOUS	RESIL. RESILIENT
C.S.K. COUNTERSINK	R.H. RIGHT HAND
C.T.R. CENTER	R.M. ROOM
	R.O. ROUGH OPENING
DET. DETAIL	R.W.L. RAIN WATER LEADER
D.H. DOUBLE HUNG	S.A.D. SEE ARCHITECTURAL DRAWINGS
DIA. DIAMETER	S.C.D. SEE CIVIL DRAWINGS
DIM. DIMENSION	S.L.D. SEE LANDSCAPE DRAWINGS
DISP. GARBAGE DISPOSAL	
DN. DOWN	T.TREAD
DR. DOOR	T&G. TONGUE & GROOVE
DWG. DRAWING	T.P.H. TOILET PAPER HOLDER
DWR. DRAWER	
(E) EXISTING	S.C. SOLID CORE
EA. EACH	SH. SHELF
ELEV. ELEVATION	SH. SIMILAR
EQ. EQUAL	SPK. SPEAKER
EXP. EXPOSED	S.S.D. SEE STRUCTURAL DRAWINGS
EXT. EXTERIOR	SST. STAINLESS STEEL
	S.T. STEEL TROWEL
F.D. FLOOR DRAIN	STN. STAIN
FDN. FOUNDATION	STL. STEEL
F.G. FINISHED GRADE / FIXED GLASS	
FIN. FINISH	T.O.C. TOP OF CONCRETE
FLR. FLOOR	T.O.P. TOP OF PLATE
F.O.C. FACE OF CONCRETE	T.O.S. TOP OF STEEL / SLAB
F.O.S. FACE OF STUD	T.O.W. TOP OF WALL
F.P.S.C. FIREPROOF SELF CLOSING	TYP. TYPICAL
F.P. FIREPROOF	
FTG. FOOTING	U.O.N. UNLESS OTHERWISE NOTED
	V.I.F. VERIFY IN FIELD
GL. GLASS	V.P. VENT PIPE
GA. GAUGE	V.T.R. VENT THROUGH ROOF
GSM. GALVANIZED SHEET METAL	
GWB. GYPSUM WALLBOARD	W/ WITH
	W.C. WATER CLOSET
H.B. HOSEBIB	WD. WOOD
H.C. HOLLOW CORE	WDW. WINDOW
HDR. HEADER	W.H. WATER HEATER
HOR. HORIZONTAL	W.O. WHERE OCCURS
HT. HEIGHT	W.P. WATERPROOF
H.R. HEATER	W.S. WEATHER STRIPPING
H.W. HOT WATER	
I.D. INSIDE DIAMETER	
INS. INSULATION	
INT. INTERIOR	

SYMBOLS	
	DIMENSION TO FACE OF FRAMING
	DIMENSION TO FACE OF FINISH
	DIMENSION TO CENTERLINE
	EXTERIOR ELEVATION
	DETAIL REFERENCE
	GRIDLINE
	ELEVATION DATUM
	INTERIOR ELEVATION
	DOOR TAG
	WINDOW TAG

DEFERRED SUBMITTALS
 BUILDING WILL BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM.
 SPRINKLER PLANS TO BE A DEFERRED SUBMITTAL BY SPRINKLER SUBCONTRACTOR.
 SEE PAGE 3 OF 10 ON SHEET A0.2 FOR THE QII LIST AND HERS VERIFICATION LIST

DRAWING INDEX	
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C-2	EROSION AND CONTROL PLAN
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A0.2	TITLE 24 COMPLIANCE
A0.2A	TITLE 24 COMPLIANCE
A0.2B	TITLE 24 COMPLIANCE
A0.3	2019 CALIFORNIA GREEN BUILDING STANDARD CODE
A0.3A	2019 CALIFORNIA GREEN BUILDING STANDARD CODE
A0.4	SURVEY
A0.5	TREE PLAN
A0.6	PLANTING PLAN
A1.1	SITE / UTILITY PLAN
A2.1	LOWER LEVEL PLAN
A2.2	UPPER LEVEL PLAN
A2.3	ROOF PLAN
A3.1	EXTERIOR ELEVATION
A3.2	EXTERIOR ELEVATION
A3.3	EXTERIOR ELEVATION
A3.4	EXTERIOR ELEVATION
A3.5	EXTERIOR ELEVATIONS
A4.1	BUILDING SECTIONS
A4.2	BUILDING SECTIONS
A4.3	BUILDING SECTIONS
A4.4	BUILDING SECTIONS
A5.0	DOOR AND WINDOW SCHEDULE AND INSULATION SPECIFICATION
A6.0	PROJECT NOTES AND SPECIFICATIONS
A7.0	PROJECT NOTES AND SPECIFICATIONS
A8.0	QUALITY INSULATION INSTALLATION
A9.0	CONDITIONS OF APPROVAL
A9.1	CONDITIONS OF APPROVAL
B.M.	CONSTRUCTION BEST MANAGEMENT PRACTICE
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S-2	LOWER LEVEL FOUNDATION & UPPER LEVEL FRAMING PLAN
S-3	ROOF FRAMING PLAN
S-4	DETAILS
S-5	DETAILS & NOTES
S-6	DETAILS
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E2	UPPER LEVEL ELECTRICAL PLAN
MECHANICAL DRAWINGS	
M0.1	EQUIPMENT SCHEDULE
M1.0	LOWER FLOOR MECHANICAL PLAN
M2.0	UPPER FLOOR MECHANICAL PLAN
PLUMBING DRAWINGS	
P1	SEWER PLAN
P2	WATER PLAN
SURVEY:	
SU-1	BOUNDARY AND TOPOGRAPHIC SURVEY
STRUCTURAL INFORMATION	
FLOOR LIVE LOAD (CBC 1603.1.1):	40 PSF
ROOF LIVE LOADS (CBC 1603.1.2):	20 PSF
5:12 SLOPE:	
WIND DESIGN DATA (CBC 1603.1.4):	
BASIC WIND SPEED:	85 MPH
WIND IMPORTANCE FACTOR:	1.0
OCCUPANCY CATEGORY:	II
WIND EXPOSURE:	'C'
APPLICABLE INTERNAL PRESSURE COEFFICIENT:	N/A
COMPONENTS & CLADDING:	NONE
SEISMIC IMPORTANCE FACTOR (I):	1.0
OCCUPANCY CATEGORY:	II
SEISMIC DESIGN CATEGORY:	"D"
BASIC SEISMIC-FORCE-RESIST SYSTEM:	BEARING WALL SYSTEM/ LIGHT-FRAMED WALLS WITH WOOD STRUCTURAL PANELS RATED FOR SHEAR RESISTANCE OR STEEL SHEETS (ASCE 7-05 TABLE 12.2-1)
PROJECT LATITUDE:	38.29 DEGREES NORTH
PROJECT LONGITUDE:	122.46 DEGREES WEST
FLOOD DESIGN DATA (CBC 1603.1.6):	NOT LOCATED IN FLOOD HAZARD AREA NO SPECIAL LOADS
SPECIAL LOADS (CBC 1603.1.7):	PLACEMENT OF ANCHOR BOLTS & OTHER MATERIALS PLACED IN EPOXY-BASED ANCHORING
SPECIAL INSPECTION (CBC 1603.1.8):	STRUCTURAL WELDS
DEFERRED SUBMITTALS (CBC 1603.4.2):	NONE

RESUBMITTAL
 03/07/2023
 SAN MATEO COUNTY
 BUILDING INSPECTION

DIRECTORY	
PROPERTY OWNER	JASON SILVA & CHAD OLSON
CONTRACTOR	
CIVIL/GEOTECH. ENGINEER	SIGMA PRIME GEOSCIENCES, INC. CHARLIE KISSICK 332 PRINCETONE AVENUE HALF MOON BAY, CA 94019 TEL: (650) 728-3590 FAX: (650) 728-3593
STRUCTURAL ENGINEER	NY ENGINEERING
TITLE 24 ENGINEER	ENERGY CALC COMPANY 45 MITCHELL BLVD. SUITE #16 SAN RAFAEL, CA 94903 TEL: (415) 457-0990 FAX: (415) 457-1986
SCOPE OF WORK	
NEW SINGLE FAMILY RESIDENCE ON PREVIOUSLY UNDEVELOPED PARCEL	
SOLAR PV AND FIRE SPRINKLERS TO BE UNDER SEPERATE PERMITS 2.81 kWdc SOLAR TO BE UNDER A SEPERATE PERMIT	
PROJECT INFORMATION	
ADDRESS:	148 SAN PEDRO RD EL GRANADA CA 94019
APN #:	047-173-150
ZONING:	R-1/S-17/DR/CD
PARCEL AREA:	9,545 SF
BUILDING FLOOR AREA:	ALLOWED: LOT SIZE: 5,000-11,698 SF = .53 X PARCEL AREA 9,545 SF X .53 = 5,058 SF
PROPOSED:	LIVING AREA: 2,670 SF GARAGE AREA: 465 SF TOTAL FLOOR AREA: 3,118 SF
PARCEL COVERAGE:	ALLOWED: STRUCTURES >16FT. = PARCEL AREA X 35% 9,545 X 35% = 3,340SF
PROPOSED:	2,300SF
MAXIMUM BUILDING HEIGHT:	ALLOWED: 28', (OR 33' BY DESIGN REVIEW COMMITTEE) PROPOSED: 25'-10" - 32'7"
VICINITY MAP	



HAWK
 DESIGN | CONSULTING

P.O. BOX 3535 HALF MOON BAY, CA 94019
 650.560.8100
 www.hawkdesignandconsulting.com

PROJECT:
 SILVA / OLSON RESIDENCE

OWNER:
 JASON SILVA
 CHAD OLSON

PROJECT ADDRESS:
 148 SAN PEDRO RD
 EL GRANADA, CA 94019

CONTACT INFORMATION
 EMAIL: jason.silva@me.com
 PHONE: 1(650)743-8743

APPROVAL

OWNER/AGENT

GENERAL CONTRACTOR

SUBCONTRACTOR

NO.	REVISION/DESCRIPTION	DATE
1	BUILDING SUBMITTAL	08/16/21
2	BUILDING REVISION 1	10/12/21
3	BUILDING REVISION 2	04/05/22
4	BUILDING REVISION 3	09/07/22
5	BUILDING REVISION 4	09/24/22
6	BUILDING REVISION 5	12/07/22
7	BUILDING REVISION 6	03/07/23

SHEET TITLE:
 COVER SHEET

DRAWN BY: [Signature] Author
 CAD FILE:

A0.0 ARCHITECTURAL

SCALE: 12" = 1'-0"

PLEASE VERIFY ALL DIMENSIONS AND REVIEW DETAILS AND NOTES FOR, BUT NOT LIMITED TO, CABINETS, PLUMBING, STRUCTURAL, AND ELECTRICAL COMPONENTS.
 DESIGNER IS NOT RESPONSIBLE FOR INCORRECT MEASUREMENTS. ANY AND ALL DIMENSIONAL DISPUTES SHALL BE BROUGHT TO THE DESIGNER'S AND/OR CONTRACTOR'S ATTENTION.

JOB COPY
 TO REMAIN ON
 SITE AT ALL TIMES

PROJECT:
SILVA / OLSON RESIDENCE

OWNER:
JASON SILVA
CHAD OLSON

PROJECT ADDRESS:
148 SAN PEDRO RD
EL GRANADA, CA 94019

CONTACT INFORMATION
EMAIL: jason.silva@me.com
PHONE: 1(650)743-8743

APPROVAL

OWNER/AGENT

GENERAL CONTRACTOR

SUBCONTRACTOR

NO.	REVISION/DESCRIPTION	DATE
1	BUILDING SUBMITTAL	08/16/21
2	BUILDING REVISION 1	10/12/21
3	BUILDING REVISION 2	04/05/22

SHEET TITLE:
EXTERIOR ELEVATION

DRAWN BY:  Author
CAD FILE:

A3.3

ARCHITECTURAL

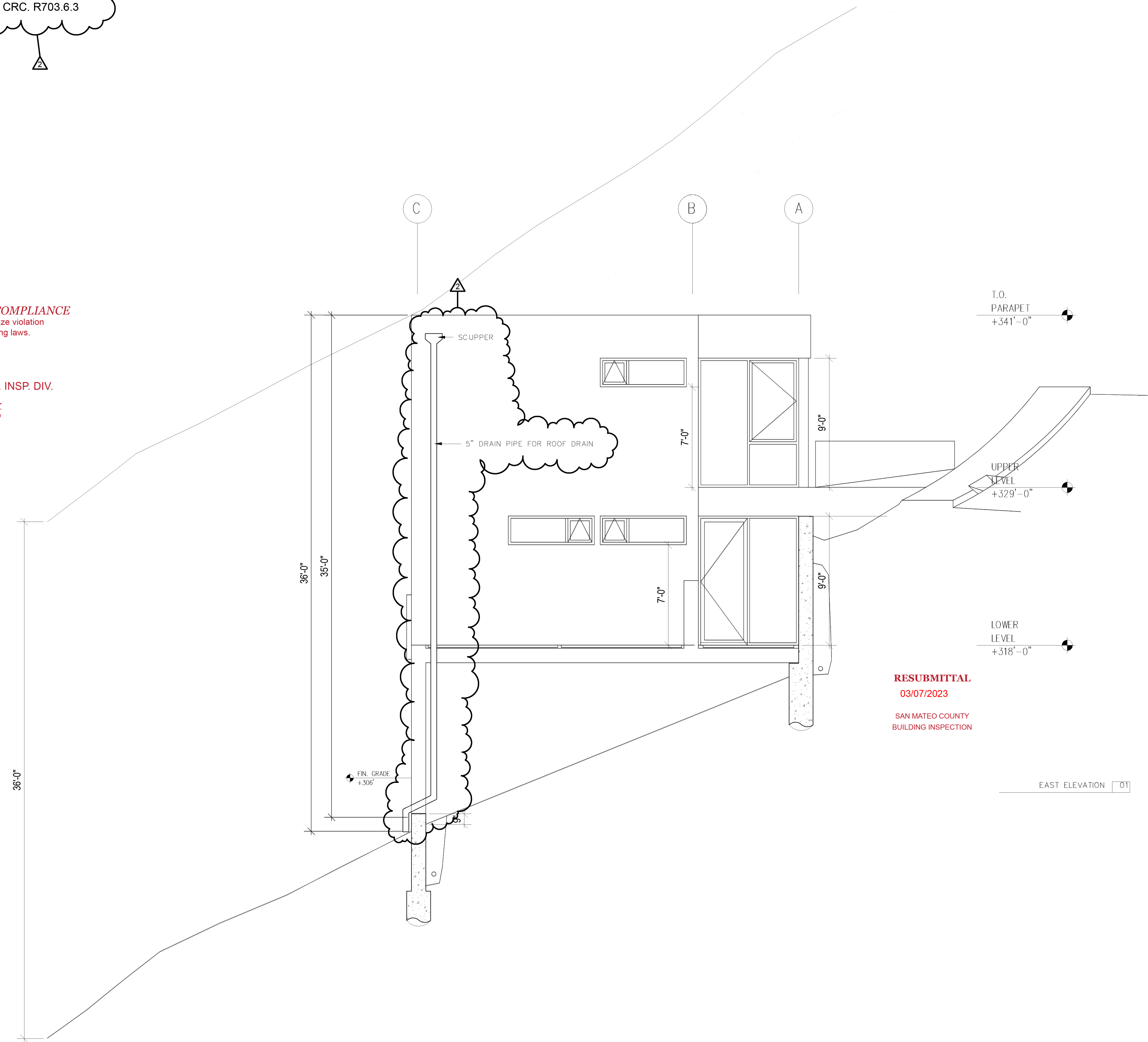
SCALE: 1/4" = 1'-0"

PLEASE VERIFY ALL DIMENSIONS AND REVIEW DETAILS AND NOTES FOR, BUT NOT LIMITED TO, CABINETS, PLUMBING, STRUCTURAL, AND ELECTRICAL COMPONENTS.
DESIGNER IS NOT RESPONSIBLE FOR INCORRECT MEASUREMENTS. ANY AND ALL DIMENSIONAL DISPUTES SHALL BE BROUGHT TO THE DESIGNER'S AND/OR CONTRACTOR'S ATTENTION.

STUCCO NOTE:
STUCCO IS 3-COAT, 7/8-INCH MINIMUM THICK. CRC R703.6.2
PROVIDE 26 GAGE GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4 INCHES ABOVE GRADE (OR 2 INCHES ABOVE CONCRETE OR PAVING.) CRC R703.6.2.1
SPECIFY TWO LAYERS OF GRADE D PAPER UNDER STUCCO WHERE OCCURS OVER PLYWOOD SHEATHING. CRC. R703.6.3

**JOB COPY
TO REMAIN ON
SITE AT ALL TIMES**

REVIEWED FOR CODE COMPLIANCE
This review does not authorize violation
of State or County building laws.
Apr 18 2023
SAN MATEO CO. BLDG. INSP. DIV.

RESUBMITTAL
03/07/2023
SAN MATEO COUNTY
BUILDING INSPECTION

EAST ELEVATION 01

