

0.07 0 0.04 0.07 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

1:2,256 

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Planning and Building Department

County Government Center ■ 455 County Center ■ Redwood City CA 94063
Mail Drop PLN 122 ■ 650 • 363 • 4161 ■ FAX 650 • 363 • 4849

Application for
Design Review by the
County Coastside Design
Review Committee

Permit #: PLN 2015-00153

Other Permit #: (PRE2015-00006)

1. Basic Information

Applicant:

Name: THERESA McLAUGHLIN

Address: 1907 SOUTH SPRINGER RD.

MOUNTAIN VIEW, CA Zip: 94040

Phone, W: 6507259719 H: 6508232693

Email: THERESAMCL@CS.COM

Owner (if different from Applicant):

Name: _____

Address: _____

Zip: _____

Phone, W: _____ H: _____

Email: _____

Architect or Designer (if different from Applicant):

Name: JOEY PASQUINELLI

Address: 3950 6TH AVE. NW, SEATTLE, WA Zip: 98107

Phone, W: 2065470565 H: _____

Email: JOEY@STILLWATERZDWEELLINGS.COM

2. Project Site Information

Project location:

APN: 037-092-060

Address: 0000 STETSON ST.

MOSS BEACH, CA Zip: 94038

Zoning: R-1/S-17/DR/CD

Parcel/lot size: 6,301 sq. ft.

Site Description:

- Vacant Parcel
- Existing Development (Please describe):

(parcel legal: PLN2014-00266)

3. Project Description

Project:

New Single Family Residence: 2,115 sq. ft.

Addition to Residence: _____ sq. ft.

Other: _____

Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit (CDX)
- Fence Height Exception (not permitted on coast)
- Grading Permit of Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

Describe Project:

CONSTRUCTION OF NEW SINGLE FAMILY RESIDENCE ON VACANT PARCEL

4. Materials and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish <small>(If different from existing, attach sample)</small>	Check if matches existing
a. Exterior walls	<u>CEMENT PANEL</u>	<u>PAINTED, SILVER LAKE</u>	<input type="checkbox"/>
b. Trim	<u>WOOD</u>	<u>PAINTED, STEEL WOOL</u>	<input type="checkbox"/>
c. Windows	<u>ALUMINUM CLAD WOOD</u>	<u>DARK BRONZE</u>	<input type="checkbox"/>
d. Doors	<u>WOOD</u>	<u>PAINTED, STEEL WOOL</u>	<input type="checkbox"/>
e. Roof	<u>SINGLE PLY MEMBRANE</u>	<u>WHITE</u>	<input type="checkbox"/>
f. Chimneys	<u>N/A</u>	<u>—</u>	<input type="checkbox"/>
g. Decks & railings	<u>WOOD & METAL / CABLE RAIL</u>	<u>NATURAL FINISH / BLACK</u>	<input type="checkbox"/>
h. Stairs	<u>WOOD</u>	<u>NATURAL FINISH</u>	<input type="checkbox"/>
i. Retaining walls	<u>CONCRETE</u>	<u>NATURAL FINISH</u>	<input type="checkbox"/>
j. Fences	<u>—</u>	<u>—</u>	<input type="checkbox"/>
k. Accessory buildings	<u>—</u>	<u>—</u>	<input type="checkbox"/>
l. Garage/Carport	<u>—</u>	<u>—</u>	<input type="checkbox"/>

5. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

- (optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

6. Signatures

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Theresa McLay

Owner:

Applicant:

April 15, 2015

Date:

Date:

Planning and Building Department

455 County Center, 2nd Floor • Redwood City, CA • 94063
 Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849

**Certificate of Exemption
 or Exclusion from a Coastal
 Development Permit**

Permit #: PLN 2015-00153
 Permit #: BLD _____

Permanent Record
 Microfilming Required

1. Basic Information

Owner
 Name: Theresa McLaughlin
 Address: 1907 S. Springer Rd

Mountain View Zip: 94040
 Phone, W: 650 823 2693 H: 650 823 2693
 Email Address: theresamcl@cs.com

Applicant
 Name: same
 Address: _____

 Zip: _____
 Phone, W: _____ H: _____
 Email Address: _____

2. Project Information

Project Description:
single family home

Assessor's Parcel Number(s):
037 - 092 - 060

Existing water source:
 Utility connection _____
 Well _____
Proposed water source:
 Utility connection _____
 Well _____
Staking of well location and property lines are required.
 Provide site plan depicting location and all trees.
 Will this require any grading or vegetation/tree removal? Yes No
 If Yes, additional permits may be required. Such as: Tree Removal Permit, Grading Permit, Land Clearing Permit, Coastal Development Permit.

3. Signatures

We have reviewed this form as completed above and the basis for this exemption or exclusion. The information herein and the basis for exemption or exclusion are true and correct to the best of our knowledge and we hereby agree to carry out this project in accordance with the terms of the exemption/exclusion category selected on reverse. We also understand and agree that any exemption or exclusion issued for a water well and/or storage tank in the single family exclusion area will be invalidated in the event the future house, the well, and/or storage tank requires a variance.

Theresa McLaughlin 2015 Apr 15

 Owner Date Applicant Date

(Both Owner and Applicant must sign unless this Application for Exemption or Exclusion accompanies a Building Permit Application for which the Applicant is an agent for the Owner acceptable to the Building Inspection Section.)

Staff Use Only

4. Basis of Exemption or Exclusion

Use attached review sheet to determine basis of exemption and whether project qualifies. Review basis of exemption with applicant/owner and initial appropriate category below:

Initial

- A. Improvements to Existing Single Family Residence. [PRC 30610(a), CCAG 13250, ZR 6328.5(a)]
- B. Improvements to Existing Structure Other Than Single Family Residence or Public Works Facility. [PRC 30610(b), CCAG 13253, ZR 6328.5(b)]
- C. Existing Navigation Channel. [PRC 30610(c), ZR 6328.5(c)]
- D. Repair or Maintenance Activity. [PRC 30610(d), CCAG 13252, ZR 6328.5(d)]
- E. Single Family Residence Categorical Exclusion Area. [PRC 30610(e), CCAG 13240, AB 643, ZR 6328.5(e)]
- F. Agriculturally-Related Development Categorical Exclusion Area. [PRC 30610(e), CCAG 13240, ORDERS E-79-7 and E-81-1, ZR 6328.5(e)]
- G. Utility Connections. [PRC 30610(f), ZR 6328.5(f)]
- H. Replacement of Structures Following Disasters. [PRC 30610(g), ZR 6328.5(g)]
- I. Emergency Activities. [PRC 30611, ZR 6328.5(h)]
- J. Lot Line Adjustment. [ZR 6328.5(i)]
- K. Land Division for Public Recreation Purposes. [ZR 6328.5(l)]

5. Well Inspection - All Coastal Zone Areas

- Required Not Required

Inspection made by: _____ Date of Inspection: _____

Yes	No	Approval of Permit is subject to the following: (check if applicable)	
<input type="checkbox"/>	<input type="checkbox"/> Removal of trees?	<input type="checkbox"/>	Submittal and Approval of a Tree Removal Permit
<input type="checkbox"/>	<input type="checkbox"/> If Yes, is tree removal permit included?	<input type="checkbox"/>	Submittal and Approval of a Grading Permit
<input type="checkbox"/>	<input type="checkbox"/> Trimming of trees?	<input type="checkbox"/>	Submittal and Approval of an Erosion Control Plan
<input type="checkbox"/>	<input type="checkbox"/> Excessive removal of vegetation?	<input type="checkbox"/>	Submittal and Approval of a Coastal Dev. Permit
<input type="checkbox"/>	<input type="checkbox"/> Excessive grading? (If Yes, CDP is required)		
<input type="checkbox"/>	<input type="checkbox"/> Erosion control plan required?		

6. Approval

I have reviewed the above-described project and have determined that it meets all criteria for the exemption/exclusion checked above.
Exemption/Exclusion is approved.

Planning Department _____ Date _____

Project is subject to the following condition(s) of approval: _____

7. Processing

- Fee collected
- Original Certificate of Exemption to Building Inspection file.
- Copies of Certificate of Exemption to:
 1. Applicant/Owner.
 2. Planning Department Exemption Binder.
- 3. Any relevant Planning or Building Inspection files.
- 4. California Coastal Commission, 45 Fremont Street, Suite 2000, San Francisco, CA 94105
- Update Permit*Plan Case Screen and Activities

Environmental Information Disclosure Form

Planning and Building Department

PLN 2015-00153

BLD _____

Project Address: 444 STETSON STREET
MOSS BEACH, CA 94038

Name of Owner: THERESA McLAUGHLIN
Address: 1907 S. SPRINGER RD.
MTN. VIEW, CA Phone: 650 823 2693

Assessor's Parcel No.: 037-092-060

Name of Applicant: THERESA McLAUGHLIN
Address: 1907 S. SPRINGER RD.
MTN. VIEW, CA Phone: 650 823 2693

Zoning District: R-1/S-17/DR/CD

Existing Site Conditions

Parcel size: 6,301 S.F.

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation).

CONSTRUCTION OF NEW SINGLE FAMILY RESIDENCE ON A VACANT PARCEL. PARCEL HAS COASTAL VIEWS AND A MODERATE SLOPE.

Environmental Review Checklist

1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Removal of mature tree(s) (≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : <u>515</u> c.y. Fill: <u>10</u> c.y.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

GRADING REQUIRED FOR THE CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE ON A VACANT PARCEL WITH NO EXISTING TREES.

Signature required on reverse →

2. National Marine Fisheries Rule 4(d) Review

Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Construction outside of the footprint of an existing, legal structure?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Exterior construction within 100-feet of a stream?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Land-use within a riparian area?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	e. Timber harvesting, mining, grazing or grading?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Any work inside of a stream, riparian corridor, or shoreline?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Release or capture of fish or commerce dealing with fish?

Please explain any "Yes" answers:

3. National Pollutant Discharge Elimination System (NPDES) Review

Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>a. A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</p> <p>If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>b. Land disturbance of 1 acre or more of area?</p> <p>If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) prior to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.</p>

Certification

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed: *Therese*

Date: *2015 apr 15*

(Applicant may sign)



April 15, 2015

County of San Mateo
Planning & Building Department

Design Review Statement

McLaughlin Residence
ØØØ Stetson St Moss Beach, CA 94038

The semi-rural nature of the area is represented by the small floor plan area of only 1350 habitable sf. This is just two thirds of the total allowable FAR. The home sits well under the height limit and well under the daylight plane. The home's design is well below the size bulk and height of what is allowable on the site.

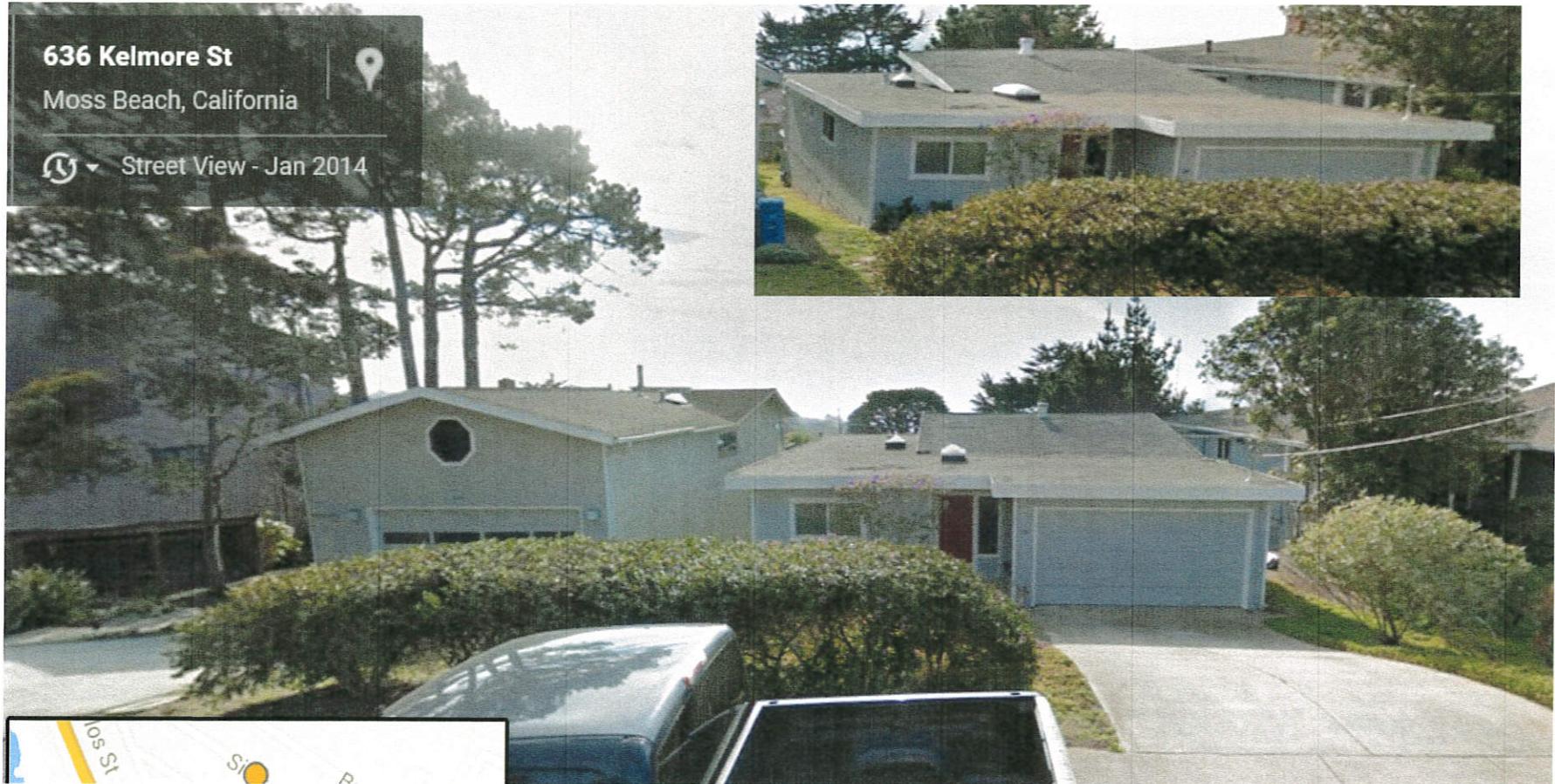
To conform to the existing topography roof lines have been orientated to be parallel with the contours not perpendicular and counter to the contours.

The more contemporary nature of the design has a lot of references to traditional building languages, as for example the use of generous building overhangs and windows with classic clerestories detailed with traditional generously sized wood trims and sills. A modern box with no roof overhangs, no window trims and loud colors have been deliberately avoided. Please see the attachment for examples of comparative local contemporary low pitched roof designs that are in the neighborhood. Windows have been typically located on corners allowing the use of "landscape walls" to be the backdrop to a well-integrated coastal landscape scheme that serves further to nestle and integrate the home into this landscape. The wall colors selected are two neutral sandy colors and are intended to give the home a more modest, unassuming quality.

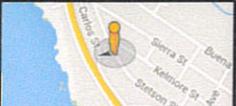
The coastal beach community setting is honored in the use of low maintenance materials and predominately muted beige colors for the walls. The scaling down of the mass of the building into smaller elements articulated by the "spine" in the middle of the home between the living room wing and the bedroom wing breaks up the massing. The smaller units give a more human scale and sizing to the massing composition. In reference to the coastal and semi-rural roots the entry has not been over scaled and populated with unnecessary columns and portico's etc. And, finally referencing the coastal community, the great ocean view has been honored with the typical, local response with the extensive use of water facing windows.

Best regards,
Matthew Stannard

~636 Kelmore Street, Moss Beach, CA



546 Stetson St
Moss Beach, California
Street View - Jan 2014



Google



~610 Kelmore Street, Moss Beach, CA



618 Kelmore Street, Moss Beach, California, United States
Address is approximate

Kelr



Outdoor > Square > P5643-31

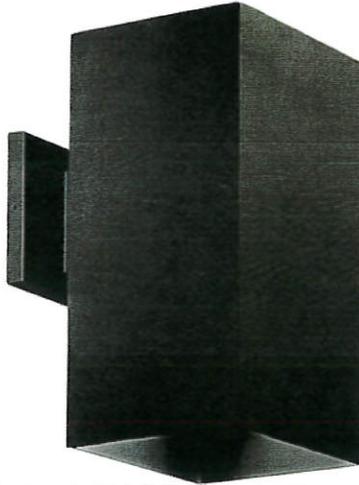
Current Search Criteria:

- Category
- Finish
- Family
- Style
- Room
- Lights

- › New Products
- › Delta Bath Match
- › Progress LED
- › Energy Star Products

- › Bar Lighting
- › Bathroom Lighting
- › Bedroom Lighting
- › Dining Room Lighting
- › Great Room Lighting
- › Hall & Foyer Lighting
- › Kitchen Lighting
- › Outdoor Lighting
- › Sitting Room Lighting

- › Accessories
- › Bath & Vanity
- › Bath Fans
- › Ceiling Fans
- › Chandeliers
- › Close-to-Ceiling
- › Commercial Outdoor
- › Directionals
- › Exit Signs
- › Flex Track System
- › Hall & Foyer
- › Landscape
- › Modular Fluorescent
- › Outdoor
- › Pendants
- › Pendants Mini-Pendants
- › Recessed-Accessory
- › Recessed-Housing
- › Recessed-Trim
- › Sconces
- › Step Lights
- › Track
- › Undercabinet
- › Wall Bracket



P5643-31

Category: Outdoor
 Room Type: Outdoor Lighting
 Finish: Black
 Style: Contemporary/Modern
 Family: Square

Description: 6" square with heavy duty aluminum construction and die cast wall bracket. Powder coated finish.

\$225.28

[Buy Online](#)

[Buy Local](#)

Technical Details

Width/Diameter: 6"
 Height: 12"
 Lamp Quantity: one
 Lamp Type: BR-40
 Lamp Wattage (Max): 150
 Notes: May also use 250w PAR-38 lamp

Additional Support

- [How to Install](#)
- [Product Specifications](#)

You Might Also Be Interested In :



P5643-20



P5643-30



P5643-31



P5644-20

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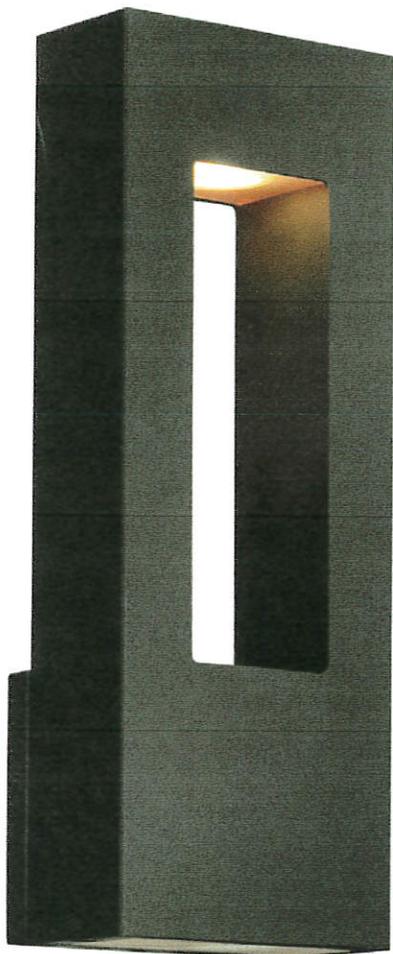
Style Finish Family



PLN 201500153

HINKLEY & R.

HINKLEY LIGHTING, INC.
33000 PIN OAK PARKWAY | AVON LAKE, OHIO 44012
[PH] 440.653.5500 [F] 440.653.5555
HINKLEYLIGHTING.COM | FREDRICKRAMOND.COM



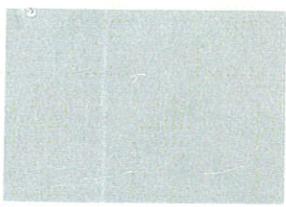
ATLANTIS 1648SK	
SATIN BLACK	

WIDTH:	6.0"
HEIGHT:	16.0"
WEIGHT:	4.0 LBS
MATERIAL:	EXTRUDED ALUMINUM
GLASS:	ETCHED GLASS LENS
BACKPLATE WIDTH:	4.5"
BACKPLATE HEIGHT:	4.5"
SOCKET:	2-20W MR-16 *INCLUDED
DARK SKY:	YES
EXTENSION:	3.5"
TTO:	13.8"
CERTIFICATION:	C-US WET RATED
VOLTAGE:	120V
UPC:	640665164855

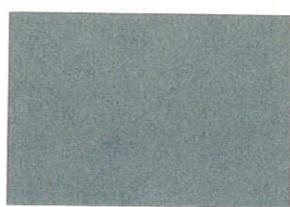
AT HINKLEY, WE EMBRACE THE DESIGN PHILOSOPHY THAT YOU CAN MERGE TOGETHER THE LIGHTING, FURNITURE, ART, COLORS AND ACCESSORIES YOU LOVE INTO A BEAUTIFUL ENVIRONMENT THAT DEFINES YOUR OWN PERSONAL STYLE. WE HOPE YOU WILL BE INSPIRED BY OUR COMMITMENT TO KEEP YOUR 'LIFE AGLOW.'

*life*AGLOW®

* OUTDOOR SCULPTURE AT ENTRY



Exterior Walls: Painted Cement Panel, Benjamin Moore Silver Lake 1598



Exterior Trim: Painted Wood, Benjamin Moore Steel Wool 2121-20



Soffit Beams: Clear Stained Glulam, Sikkens Dark Oak 009



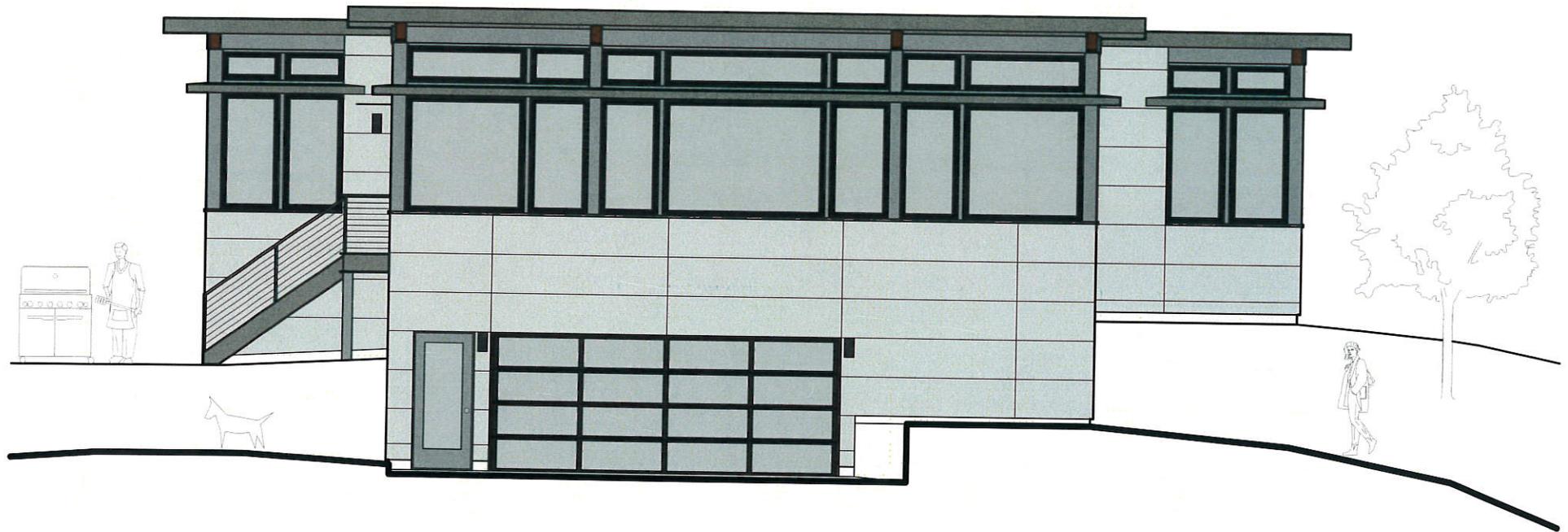
Exterior Soffit: Painted MDO, Benjamin Moore HC-166 Kendall Charcoal

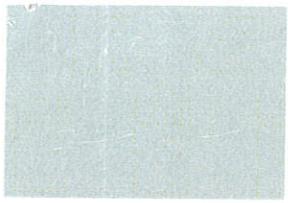


Windows: Aluminum Clad Wood, Dark Bronze



Roof Fascia & Visor: Full Depth Sheet Metal Fascia, "Weathered Zinc" (metallic)





Exterior Walls: Painted Cement Panel, Benjamin Moore Silver Lake 1598



Exterior Trim: Painted Wood Benjamin Moore Steel Wool 2121-20



Soffit Beams: Clear Stained Glulam, Sikkens Dark Oak 009



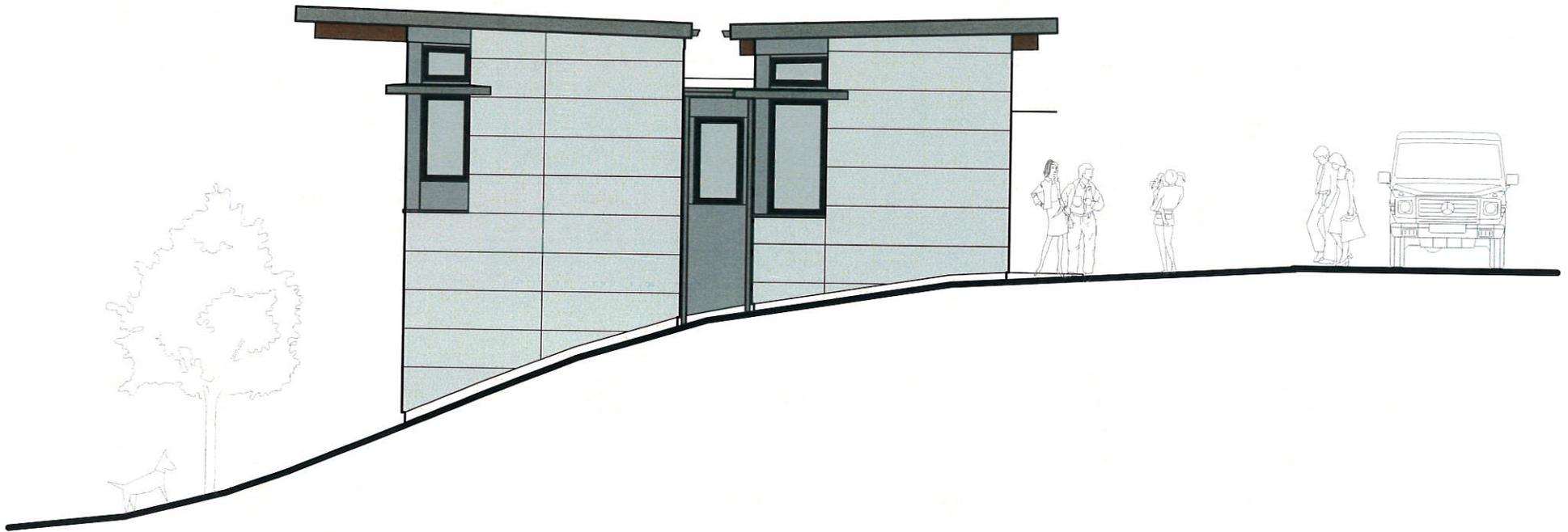
Exterior Soffit: Painted MDO, Benjamin Moore HC-166 Kendall Charcoal



Windows: Aluminum Clad Wood, Dark Bronze



Roof Fascia & Visor: Full Depth Sheet Metal Fascia, "Weathered Zinc" (metallic)



ABBREVIATIONS

⊙	AT	F.O.M. FACE OF MASONRY	PLYWD. PLYWOOD
⊥	CENTERLINE	F.O.S. FACE OF STUDS	PNL. PANEL
⊓	PROPERTY LINE	F.O.F. FACE OF FINISH	PR. PAIR
∅	DIAMETER	FR. FRAME	PRCST. PRE-CAST
#	POUND OR NUMBER	FRPF. FIREPROOF	PT. POINT
(E)	EXISTING	FRPL. FIREPLACE	PTN. PARTITION
(N)	NEW	FT. FOOT OR FEET	R. RISER
ABV.	ABOVE	FURR. FURRING	R.A. RETURN AIR
ACC.	ACCESS	FUT. FUTURE	RAD. RADIUS
ACOUS.	ACOUSTICAL	F.W. FULL WIDTH	R.B. RUBBER BASE
AD.	AREA DRAIN		R.D. ROOF DRAIN
ADJ.	ADJUSTABLE	GA. GAUGE	REF. REFERENCE
A.F.F.	ABOVE FINISHED FLOOR	GALV. GALVANIZED	REFR. REFRIGERATOR
A.I.B.	AIR INFILTRATION BARRIER	G.C. GENERAL CONTRACTOR	REINF. REINFORCED
ALT.	ALTERNATE	GL. GLASS	REM. REMAINDER
ALUM.	ALUMINUM	GLAM. GLUE-LAMINATED	REQ. REQUIRED
APPROX.	APPROXIMATE	GR. GRADE	RESIL. RESILIENT
ARCH.	ARCHITECTURAL	G.W.B. GYPSUM WALL BOARD	REV. REVISION; REVISIONS; REVISED
BLKG.	BLOCKING	H.B. HOSE BIBB	RGR. REGISTER
BD.	BOARD	H.C. HOLLOW CORE	R.H. RIGHT HAND
BM.	BEAM	H.D.D. HIGH DENSITY OVERLAY	RM. ROOM
B.O.	BOTTOM OF...	HDR. HEADER	R.O. ROUGH OPENING
BOT.	BOTTOM	HDWD. HARDWOOD	R.W.L. RAIN WATER LEADER
CAB.	CABINET	HOWE. HARDWARE	S. SOUTH
C.B.	CATCH BASIN	HEM. HEMLOCK	S.A.F. SELF-ADHERED FLASHING
CEM.	CEMENT	H.M. HOLLOW METAL	S.A.M. SELF-ADHERED MEMBRANE
CER.	CERAMIC	HORIZ. HORIZONTAL	S.C. SOLID CORE
C.I.P.	CAST-IN-PLACE	H.P. HIGH POINT	S.D. SMOKE DETECTOR
C.J.	CONTROL JOINT	H.R. HOT ROLLED	SCHED. SCHEDULE
CLG.	CEILING	HR. HOUR	SECT. SECTION
CLKG.	CAULKING	HT. HEIGHT	S.G. SAFETY GLASS
CLO.	CLOSET	H.T.F. HAMMER TO FIT	SH. SHELF
CLR.	CLEAR	HVAC HEATING/VENTILATING/ AIR CONDITIONING	SHR. SHOWER
C.M.U.	CONCRETE MASONRY UNIT	H.W. HOT WATER	SHT. SHEET
CNTR.	COUNTER	I.D. INSIDE DIAMETER	SHT. SHEET METAL
CONN.	CONNECTION	IN. INCH	SHTG. SHEATHING
CONT.	CONTINUOUS	INSUL. INSULATION	SIM. SIMILAR
COL.	COLUMN	INT. INTERIOR	S.O.G. SLAB ON GRADE
CONC.	CONCRETE	J.B. JUNCTION BOX	SPEC. SPECIFICATION
CORR.	CORRIDOR	J.F. JOINT FILLER	SQ.FT. SQUARE FOOT (FEET)
C.T.	CERAMIC TILE	JT. JOINT	SQ.IN. SQUARE INCH(ES)
CPT.	CARPET; CARPETED	LAM. LAMINATE, LAMINATED	SS. STAINLESS STEEL
CTR.	CENTER	LAV. LAVATORY	STA. STATION
DBL.	DOUBLE	L.F. LINEAL FEET	STD. STANDARD
DEMO.	DEMOLITION	LOC. LOCATION	STL. STEEL
DET.	DETAIL	L.P. LOW POINT	STOR. STORAGE
DIA.	DIAMETER	LT. LIGHT	STRL. STRUCTURAL
DIM.	DIMENSION	MAS. MASONRY	SUSP. SUSPENDED
DN.	DOWN	MAX. MAXIMUM	SYM. SYMMETRICAL
D.O.	DOOR OPENING	M.B. MACHINE BOLT	T. TREAD
DR.	DOOR	M.C. MEDICINE CABINET	T.B. TOWEL BAR
DW.	DISHWASHER	MDL. MEDIUM DENSITY OVERLAY	T.C. TOP OF CURB
DWG.	DRAWING	MECH. MECHANICAL	TEL. TELEPHONE
E.	EAST	MEMB. MEMBRANE	TER. TERRAZZO
EA.	EACH	MTL. METAL	T&G TONGUE AND GROOVE
EL.	ELEVATION	MFR. MANUFACTURER	T.G. TEMPERED GLASS
EF.	EXHAUST FAN	MIN. MINIMUM	THK. THICK
ELEC.	ELECTRICAL	MIR. MIRROR	T.O. TOP OF...
ELEV.	ELEVATOR	MISC. MISCELLANEOUS	T.O.P. TOP OF PAVEMENT
ENCL.	ENCLOSURE	MTL. MATERIAL	T.O.S. TOP OF SLAB; TOP OF STEEL
EQ.	EQUAL	MTD. MOUNTED	T.P.H. TOILET PAPER HOLDER
EQUIP.	EQUIPMENT	MUL. MULLION	TYP. TYPICAL
EST.	ESTIMATE	N. NORTH	U.N.O. UNLESS NOTED OTHERWISE
EXIST.	EXISTING	N/A NOT APPLICABLE	V.B. VINYL BASE
EXP.	EXPANDED; EXPANSION	N.I.C. NOT IN CONTRACT	VCT. VINYL COMPOSITION TILE
EXPO.	EXPOSED	NO. NUMBER	VEN. VENEER
EXT.	EXTERIOR	NOM. NOMINAL	VERT. VERTICAL
F.D.	FLOOR DRAIN	N.R. NOISE REDUCTION	VEST. VESTIBULE
F.E.	FIRE EXTINGUISHER	N.T.S. NOT TO SCALE	V.I.F. VERIFY IN FIELD
F.F.	FINISH FLOOR	O.A. OVERALL	V.T. VINYL TILE
F.I.P.	FAMOUS IDAHO POTATOES	O.C. ON CENTER	W.C. WATER CLOSET
F/F	FINISH TO FINISH	O.D. OVERFLOW DRAIN	WD. WOOD
FIN.	FINISH	OFF. OFFICE	W.F. WIDE FLANGE
FLASH.	FLASHING	OH. OVERHEAD	W.G. WIRE GLASS
FLR.	FLOOR; FLOORING	OPNG. OPENING	W.H. WATER HEATER
FLUOR.	FLUORESCENT	OPP. OPPOSITE	W.L. WATER LINE
F.O.C.	FACE OF CONCRETE	PERF. PERFORATED	W/O WITHOUT
F.O.F.	FACE OF FINISH	PERP. PERPENDICULAR	WIN. WINDOW
F.O.I.C.	FURNISHED BY OWNER - INSTALLED BY CONTRACTOR	PL. PLATE	WP. WATERPROOF
		PLAM. PLASTIC LAMINATE	WR. WATER RESISTANT
		PLAS. PLASTER	W.S.G. WIRE SAFETY GLASS
			WT. WEIGHT

SYMBOLS LEGEND

1. GRID LINE	
2. ROOM REFERENCE	
3. DOOR REFERENCE	
4. WINDOW/SKYLIGHT REFERENCE	
5. BUILDING SECTION	
6. WALL SECTION	
7. DETAIL REFERENCE	
8. ELEVATION / DATUM REFERENCE	
9. DETAIL REFERENCE	
10. INTERIOR ELEVATION REFERENCE	
11. REVISION REFERENCE	
12. NORTH SYMBOL	
13. SMOKE ALARM	
14. CARBON MONOXIDE ALARM	
15. EXHAUST FAN	
16. DRAIN	

PROJECT INFORMATION

PROJECT TEAM:

OWNER: THERESA MCLAUGHLIN & ROHAN THAKUR
1907 SOUTH SPRINGER ROAD
MOUNTAIN VIEW, CA 94040

DEALER: STILLWATER DWELLINGS
3950 6TH AVE NW
SEATTLE, WA 98107
206 547 0565

DESIGNER: STANNARD CONWAY ARCHITECTS PLLC
3950 6TH AVE NW
SEATTLE, WA 98107
CONTACT: MATTHEW STANNARD
VOX: (206) 547-1812
FAX: (206) 547-0563

GENERAL INFORMATION:

PROPERTY ADDRESS: STETSON STREET
MOSS BEACH, CA 94038

ASSESSOR'S PARCEL NO.: 037 092 060

JURISDICTION: COUNTY OF SAN MATED

PARCEL ID.: 216812

APPLICABLE CODES: COUNTY OF SAN MATED MUNICIPAL CODE

2013 CALIFORNIA RESIDENTIAL CODE
2013 CALIFORNIA PLUMBING CODE
2013 CALIFORNIA ELECTRIC CODE
2013 CALIFORNIA MECHANICAL CODE
2013 CALIFORNIA ENERGY CODE

RELATED PERMITS: N/A

LOT SIZE: 6,301 SF

AREAS:

PARCEL COVERAGE
(roof eaves + decks >18")
HOUSE: 1955 S.F.
STAIR & DECK: 28 S.F.
TOTAL COVERAGE: 1983 S.F.

PROPOSED RESIDENCE
GARAGE: 700 S.F.
MECHANICAL-UPPER FLOOR: 65 S.F.
1350 S.F.
TOTAL HEATED: 1350 S.F.

TOTAL RESIDENCE AREA: 2115 S.F.

COVERED STAIR & DECK: 28 S.F.
COVERED FRONT PORCH: 33 S.F.
TOTAL F.A.R.: 2176 S.F.

ZONING CODE INFORMATION:

ZONE: R-1/S-17/DR/CD

HEIGHT LIMIT: 28'

BUILDING FLOOR AREA: MAX. 0.53 LOT AREA = 3,339.5 SF
PROPOSED = 2176 SF

PARCEL COVERAGE: MAX. 35% LOT AREA = 2205 SF
PROPOSED = 1983 SF

IMPERVIOUS SURFACE AREA: MAX. 10% LOT AREA = 630 SF
PROPOSED = 362 SF

YARD REQUIREMENTS: 20' FRONT SETBACK
10' SIDE SETBACK
20' REAR SETBACK

PARKING: 2 SPACES

BUILDING CODE INFORMATION:

USE GROUP: R3 (SINGLE FAMILY)
U (PRIVATE GARAGE)

CONSTRUCTION TYPE: RESIDENTIAL - VB

FIRE SPRINKLER SYSTEM: NFPA 13D

ENERGY CODE INFORMATION:

PERFORMANCE REQ.: FOLLOWING CALIFORNIA ENERGY CODE TITLE 24 2013

VERTICAL GLAZING	U = 0.30
OVERHEAD GLAZING	U = 0.50
DOOR U VALUE	U = 0.20
CEILING/ROOF	R = 38
VAULTED CEILING	R = 38
WALLS ABOVE GRADE	R = 21
WALLS BELOW GRADE, INT INSUL.	R = 21
WALLS BELOW GRADE, EXT INSUL.	R = 10
EXTERIOR FLOORS	R = 30
SLAB ON GRADE, PERIMETER INSUL.	R = 10 2'

ENERGY NOTES:

- ALL HEADERS IN EXTERIOR WALLS TO HAVE MINIMUM R-10 INSULATION.
- ALL DUCTS ARE REQUIRED TO BE WRAPPED WITH R-8 INSULATION.
- A MINIMUM OF 50% OF ALL INTERIOR LUMINAIRES AND ALL EXTERIOR LUMINAIRES ARE REQUIRED TO BE HIGH EFFICACY.

DRAWING LIST

ARCHITECTURAL

A0.00 GENERAL INFORMATION - LAND USE NOTES

SURVEY (NOT NUMBERED)

A1.00 SITE PLAN

A2.00 LOWER LEVEL FLOOR PLAN
A2.01 UPPER LEVEL FLOOR PLAN
A2.02 ROOF PLAN
A2.03 LOWER LEVEL RCP
A2.04 UPPER LEVEL RCP

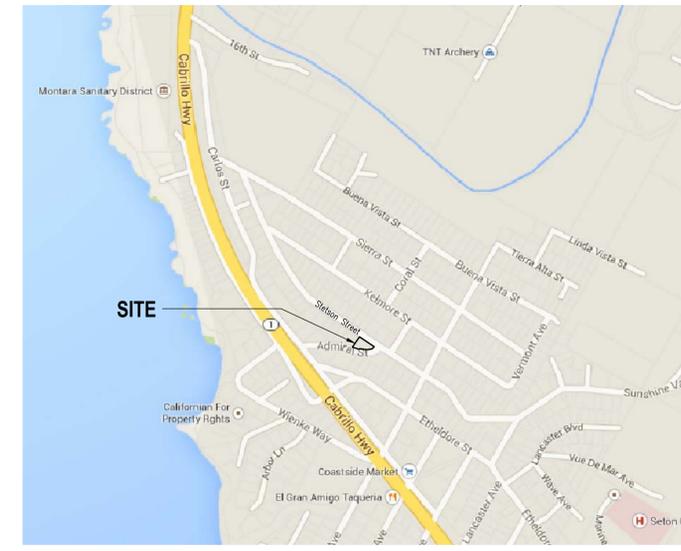
A3.00 ELEVATIONS
A3.01 ELEVATIONS

A4.00 BUILDING SECTION
A4.01 BUILDING SECTION
A4.02 BUILDING SECTION
A4.03 BUILDING SECTION

CIVIL

C1-0 GRADING
C2-0 DETAILS

VICINITY MAP



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ARCHITECT OF RECORD

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ARCHITECTS PLLC

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STETSON STREET
MOSS BEACH, CA 94038
TAX PARCEL #: 037092060

MCLAUGHLIN / THAKUR RESIDENCE
DESIGN REVIEW DRAWINGS

DOCUMENT RELEASES:

DATE	DESCRIPTION
04/15/15	DESIGN REVIEW
07/23/15	DESIGN REVIEW

DRAWN JEP
SHEET

GENERAL INFORMATION

A0.00

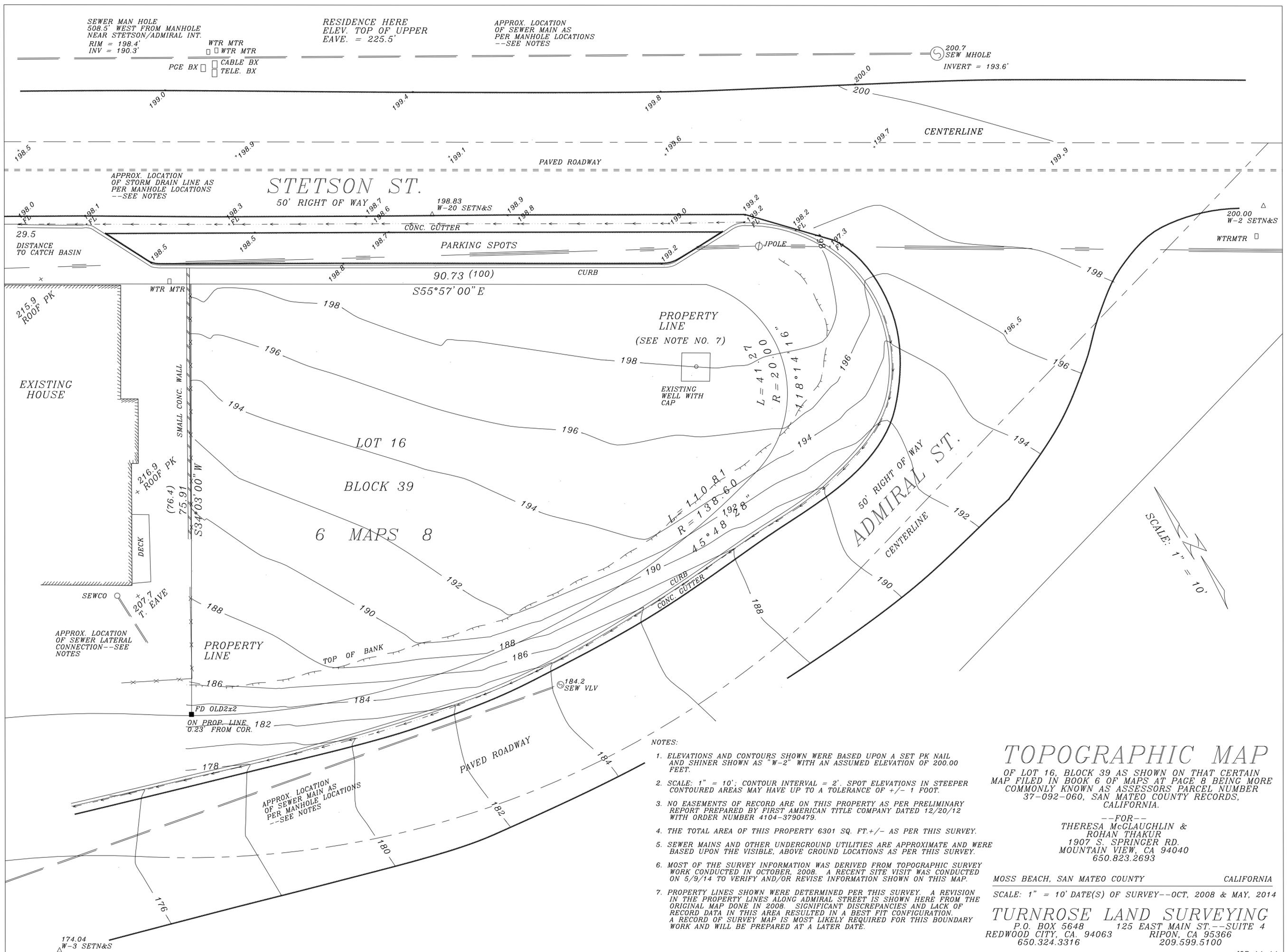
SEWER MAN HOLE
508.5' WEST FROM MANHOLE
NEAR STETSON/ADMIRAL INT.
RIM = 198.4'
INV = 190.3'

WTR MTR
□ WTR MTR
CABLE BX
□ CABLE BX
TELE. BX
□ TELE. BX

RESIDENCE HERE
ELEV. TOP OF UPPER
EAVE. = 225.5'

APPROX. LOCATION
OF SEWER MAIN AS
PER MANHOLE LOCATIONS
--SEE NOTES

200.7
SEW M HOLE
INVERT = 193.6'



- NOTES:
- ELEVATIONS AND CONTOURS SHOWN WERE BASED UPON A SET PK NAIL AND SHINER SHOWN AS "W-2" WITH AN ASSUMED ELEVATION OF 200.00 FEET.
 - SCALE: 1" = 10'; CONTOUR INTERVAL = 2'. SPOT ELEVATIONS IN STEEPER CONTOURED AREAS MAY HAVE UP TO A TOLERANCE OF +/- 1 FOOT.
 - NO EASEMENTS OF RECORD ARE ON THIS PROPERTY AS PER PRELIMINARY REPORT PREPARED BY FIRST AMERICAN TITLE COMPANY DATED 12/20/12 WITH ORDER NUMBER 4104-3790479.
 - THE TOTAL AREA OF THIS PROPERTY 6301 SQ. FT. +/- AS PER THIS SURVEY.
 - SEWER MAINS AND OTHER UNDERGROUND UTILITIES ARE APPROXIMATE AND WERE BASED UPON THE VISIBLE, ABOVE GROUND LOCATIONS AS PER THIS SURVEY.
 - MOST OF THE SURVEY INFORMATION WAS DERIVED FROM TOPOGRAPHIC SURVEY WORK CONDUCTED IN OCTOBER, 2008. A RECENT SITE VISIT WAS CONDUCTED ON 5/9/14 TO VERIFY AND/OR REVISE INFORMATION SHOWN ON THIS MAP.
 - PROPERTY LINES SHOWN WERE DETERMINED PER THIS SURVEY. A REVISION IN THE PROPERTY LINES ALONG ADMIRAL STREET IS SHOWN HERE FROM THE ORIGINAL MAP DONE IN 2008. SIGNIFICANT DISCREPANCIES AND LACK OF RECORD DATA IN THIS AREA RESULTED IN A BEST FIT CONFIGURATION. A RECORD OF SURVEY MAP IS MOST LIKELY REQUIRED FOR THIS BOUNDARY WORK AND WILL BE PREPARED AT A LATER DATE.

TOPOGRAPHIC MAP
OF LOT 16, BLOCK 39 AS SHOWN ON THAT CERTAIN
MAP FILED IN BOOK 6 OF MAPS AT PAGE 8 BEING MORE
COMMONLY KNOWN AS ASSESSORS PARCEL NUMBER
37-092-060, SAN MATEO COUNTY RECORDS,
CALIFORNIA.

--FOR--
THERESA McGLAUCHLIN &
ROHAN THAKUR
1907 S. SPRINGER RD.
MOUNTAIN VIEW, CA 94040
650.823.2693

MOSS BEACH, SAN MATEO COUNTY CALIFORNIA
SCALE: 1" = 10' DATE(S) OF SURVEY--OCT, 2008 & MAY, 2014
TURNROSE LAND SURVEYING
P.O. BOX 5648 125 EAST MAIN ST.--SUITE 4
REDWOOD CITY, CA. 94063 RIPON, CA 95366
650.324.3316 209.599.5100

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DRAWN JEP

SHEET

SITE PLAN

A1.00

EROSION CONTROL NOTES

1. THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/ESC SUPERVISOR UNTIL ALL CONSTRUCTION IS APPROVED.
2. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED BY A CONTINUOUS LENGTH OF SURVEY TAPE (OR FENCING, IF REQUIRED) PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE CLEARING LIMITS SHALL BE PERMITTED. THE CLEARING LIMITS SHALL BE MAINTAINED BY THE APPLICANT/ESC SUPERVISOR FOR THE DURATION OF CONSTRUCTION.
3. THE ESC FACILITIES MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING SO AS TO ENSURE THAT THE TRANSPORT OF SEDIMENT TO SURFACE WATERS, DRAINAGE SYSTEMS, AND ADJACENT PROPERTIES IS MINIMIZED.
4. THE ESC FACILITIES ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND MODIFIED TO ACCOUNT FOR CHANGING SITE CONDITIONS.
5. THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/ESC SUPERVISOR AND MAINTAINED TO ENSURE CONTINUED PROPER FUNCTIONING.
6. ANY AREAS OF EXPOSED SOILS, INCLUDING ROADWAY EMBANKMENTS, THAT WILL NOT BE DISTURBED FOR TWO DAYS DURING THE WET SEASON OR SEVEN DAYS DURING THE DRY SEASON SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC METHODS.
7. ANY AREA NEEDING ESC MEASURES THAT DO NOT REQUIRE IMMEDIATE ATTENTION SHALL BE ADDRESSED WITHIN FIFTEEN DAYS.
8. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN FORTY EIGHT HOURS FOLLOWING A STORM EVENT.
9. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.
10. STABILIZED CONSTRUCTION ENTRANCES AND ROADS SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT.
11. WHERE STRAW MULCH FOR TEMPORARY EROSION CONTROL IS REQUIRED, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF 2 TO 3 INCHES.

GENERAL SITE NOTES:

1. NOT USED
2. ALL ROOF AND FOOTING DRAIN LINES TO EXIT DOWNHILL FROM THE HOME. SITE CONTRACTOR TO COORDINATE / VERIFY.
3. PLACE QUARRY SPALLS AT CONSTRUCTION ENTRANCE WHEN POSSIBLE
4. OVERHEAD CLEARANCE OF 15' REQUIRED AT DRIVEWAY
5. MAINTAIN CLEAR 10' TRAVEL LANE AND 2' GRADED SHOULDER AT DRIVEWAY
6. NOT USED.

WRITTEN DIMENSIONS

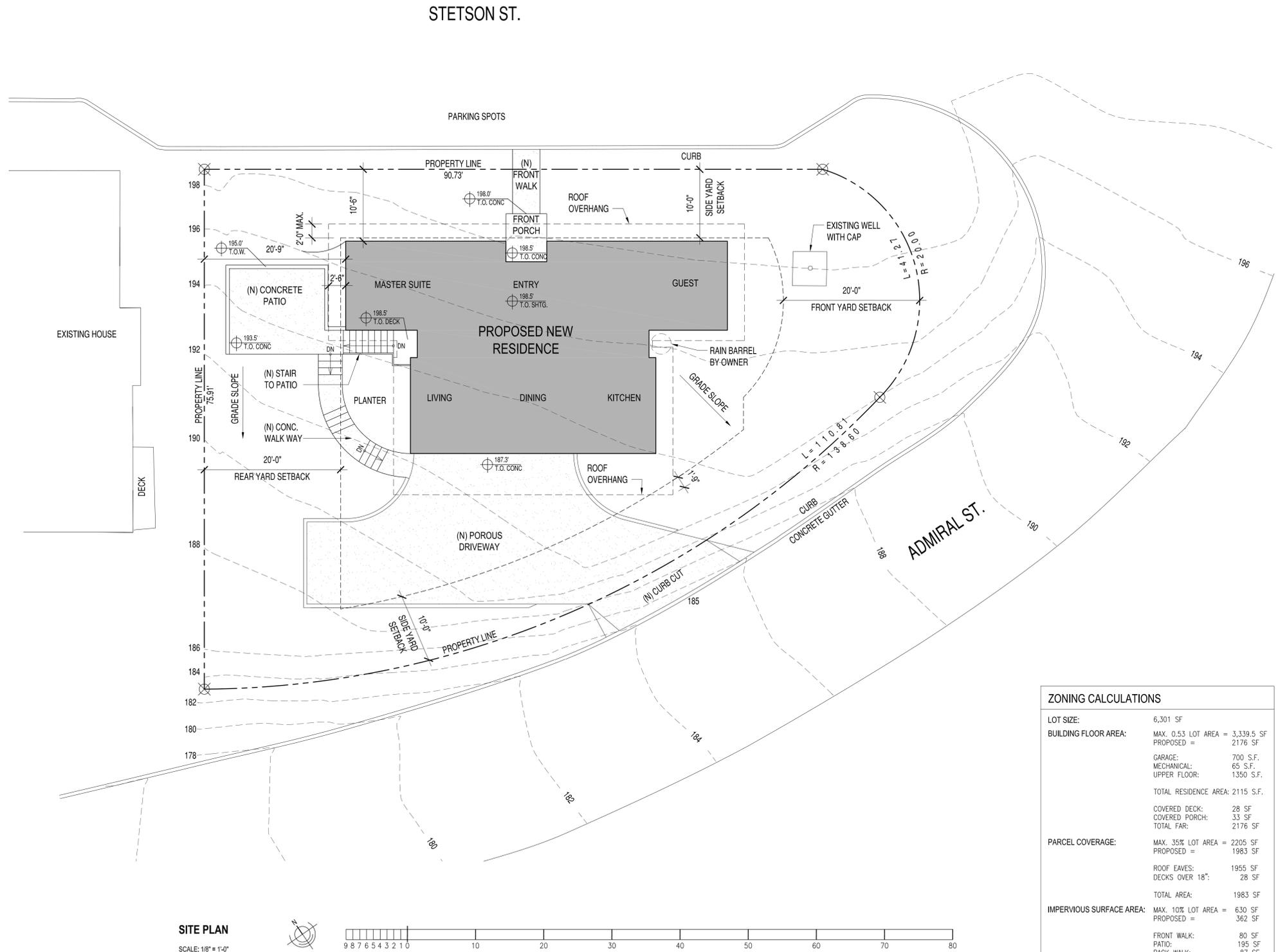
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2. DIMENSIONS ARE TO FACE OF FRAMING OR FACE OF CONCRETE U.N.O.
3. VERIFY HARD DIMENSIONS FOR BUILT-IN ONE PIECE TUBS AND SHOWERS

SOILS NOTES

1. SOILS REPORT GUIDELINES TAKE PRECEDENCE OVER ALL NOTES ON PLANS. REFER TO SOILS REPORT FOR GRADING, EXCAVATION, ETC.
2. SOIL SUBGRADES WILL BE PREPARED AS NEEDED TO ACHIEVE A FIRM, UNYIELDING STATE BEFORE ANY CONCRETE, PAVEMENT, OR FILL SOIL IS PLACED, SEE SOILS REPORT
3. LOOSE GRANULAR SOILS WILL BE COMPACTED TO A DENSITY COMMENSURATE WITH THE SURROUNDING SOILS. SEE SOILS REPORT
4. ORGANIC OR SOFT COHESIVE SOILS WILL BE OVEREXCAVATED AND REPLACED WITH A GRANULAR STRUCTURAL FILL MATERIAL.
5. FILL MATERIAL TO BE PLACED IN HORIZONTAL LIFTS AND COMPACTED TO A UNIFORM DENSITY OF AT LEAST 95 PERCENT OF THE STANDARD PROCTOR OR AT LEAST 90 PERCENT OF THE MODIFIED PROCTOR MDD.
6. TEMPORARY CUT SLOPES ARE LIMITED 1H:1V 4' HEIGHT.
7. INSTALL APPROPRIATE TEMPORARY DRAINAGE MEASURES TO MANAGE WATER IN CONSTRUCTION AREAS.

LEGEND

- CONC. WALL
- WALL
- PROPERTY LINE
- WALL/CLG ABOVE
- WALL HIDDEN BELOW
- ELECTRIC LINE
- CABLE LINE
- TELEPHONE LINE
- STORMWATER LINE
- SAN SEWER LINE
- WATER LINE
- GAS LINE
- FIRE SPRINKLER LINE
- GAS METER
- WATER METER
- ELEC METER MAIN
- ELEC METER
- FENCELINE
- GRADE ELEVATION
- TREE
- SILT FENCE
- SETBACK LINE



SITE PLAN

SCALE: 1/8" = 1'-0"



ZONING CALCULATIONS	
LOT SIZE:	6,301 SF
BUILDING FLOOR AREA:	MAX. 0.53 LOT AREA = 3,339.5 SF PROPOSED = 2176 SF
	CARAGE: 700 S.F. MECHANICAL: 65 S.F. UPPER FLOOR: 1350 S.F.
	TOTAL RESIDENCE AREA: 2115 S.F.
	COVERED DECK: 28 SF COVERED PORCH: 33 SF TOTAL FAR: 2176 SF
PARCEL COVERAGE:	MAX. 35% LOT AREA = 2205 SF PROPOSED = 1983 SF
	ROOF EAVES: 1955 SF DECKS OVER 18": 28 SF
	TOTAL AREA: 1983 SF
IMPERVIOUS SURFACE AREA:	MAX. 10% LOT AREA = 630 SF PROPOSED = 362 SF
	FRONT WALK: 80 SF PATIO: 195 SF BACK WALK: 87 SF PERVIOUS DRIVEWAY: N.A.
	TOTAL AREA: 362 SF

GENERAL NOTES

- ALL NEW EXTERIOR WARM WALLS TO BE 2x6 STUDS 16" O.C. TYPICAL, WITH R-25 INSULATION. SEE ENERGY CALCULATIONS.
- PROVIDE SOLID BLOCKING UNDER ALL BEARING WALLS.
- WHEN APPLICABLE, GUARDRAILS SHALL BE INSTALLED PER MANUFACTURERS' SPECIFICATIONS, SUPPORTS CAPABLE OF RESISTING A SINGLE CONCENTRATED LOAD OF 200 POUNDS, APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP OF THE RAIL.
- WHEN APPLICABLE, GUARDRAILS TO BE +42" ABOVE ADJACENT WALKING SURFACE, MAXIMUM OPENING TO BE < 4".
- ONE WINDOW PER BEDROOM SHALL MEET EGRESS CODE.
- EXHAUST FANS LARGER THAN 50CFM MAY BE CONNECTED TO 4" DIAMETER SMOOTH WALL VENT PIPE IF RUNS DO NOT EXCEED 20' IN LENGTH. THE MINIMUM SIZE OF FLEX DUCT IS 5" DIAMETER WITH A MAXIMUM RUN OF 15'.
- ALL BATHROOM FANS, KITCHEN HOOD, AND DRYER DUCTS SHALL BE EXHAUSTED THRU THE ATTIC TO THE ROOF OR THRU THE FLOOR SYSTEM TO AN OUTSIDE WALL. ALL WALL DUCTS SHALL TERMINATE AT LEAST 36" FROM A WINDOW OPENING.
- COMBUSTION AIR REQUIRED FOR ALL FUEL BURNING APPLIANCES
- FURR OUT HEADERS TO MATCH 2x6 WALLS.
- TUB/SHOWER UNITS SHALL HAVE FIRE BLOCKING BETWEEN WALL STUDS AND WATERPROOF SURROUNDS TO +72" FROM DRAIN. GLAZING INCLUDING WINDOWS WITHIN +72" OF DRAIN, SHALL BE SAFETY GLASS. SHOWER FLOW IS LIMITED TO 1.75 GAL/MIN. WOOD FRAMING TO BE PROTECTED FROM WATER SPLASH AND MOISTURE.
- WHOLE HOUSE INDOOR VENTILATION SYSTEM WITH 24 HOUR PROGRAMMABLE TIMER, RETURN AIR TO BE SUPPLIED BY HEATING SYSTEM. VERIFY WITH OWNER.
- HOLES IN THE FLOOR TO THE CRAWL SPACE FOR THE BATHTUBS AND SHOWER PANS SHALL HAVE METAL SCREEN INSTALLED WITH OPENINGS NO LARGER THAN 1/2".
- ALL SMOKE ALARMS TO BE HARD WIRED WITH BATTERY BACKUP.
- PROVIDE SMOKE ALARMS IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING.
- PROVIDE A CARBON MONOXIDE ALARM OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL FIRED APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES.
- PROVIDE 1-1/2" Ø CONTINUOUS HANDRAIL AT ALL STAIRS, 2" SPACE AT WALL, 36" ABOVE NOSING OF TREAD

FOUNDATION NOTES

- SLOPE ALL CONCRETE STOOPS AND/OR PATIOS 1/4" PER FOOT AWAY FROM DOORWAYS.
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED OR CEDAR.
- PROVIDE SOLID BLOCKING UNDER BEARING WALLS
- PROVIDE 6 MIL VISQUEEN VAPOR BARRIER WITH 12" OVERLAP AT SEAMS.
- FASTENERS INTO OR IN CONTACT WITH PRESSURE-TREATED OR FIRE-RETARDANT WOOD SHALL BE OF HOT-DIPPED GALVANIZED STEEL, STAINLESS STEEL, SILICON, BRONZE, OR COPPER. EXCEPTION 1/2" DIAMETER OR GREATER STEEL BOLTS.
- FILTER FABRIC TO BE 6 OUNCE PER SQUARE YARD MINIMUM WEIGHT, NON-WOVEN, GEO-TEXTILE FABRIC SPECIFICALLY DESIGNED FOR THE PURPOSE OF ALLOWING WATER PASSAGE WHILE RETAINING SOILS. SHOULD HAVE AN APPARENT OPENING SIZE EQUAL TO A #70 (OR FINER) US SIEVE
- PERFORATED FOOTING DRAIN TO BE PVC SCHEDULE 40 OR SDR 35
- MIN. FOOTING DEPTH TO BE 18" BELOW LOWEST ADJACENT SOIL GRADE

SOILS NOTES

- SOIL SUBGRADES WILL BE PREPARED AS NEEDED TO ACHIEVE A FIRM, UNYIELDING STATE BEFORE ANY CONCRETE, PAVEMENT, OR FILL SOIL IS PLACED, SEE STRUCTURAL NOTES.
- LOOSE GRANULAR SOILS WILL BE COMPACTED TO A DENSITY COMMENSURATE WITH THE SURROUNDING SOILS. SEE STRUCTURAL NOTES.
- ORGANIC OR SOFT COHESIVE SOILS WILL BE OVEREXCAVATED AND REPLACED WITH A GRANULAR STRUCTURAL FILL MATERIAL.
- FILL MATERIAL TO BE PLACED IN HORIZONTAL LIFTS AND COMPACTED IN CONFORMANCE WITH STRUCTURAL ENGINEERING NOTES.
- TEMPORARY CUT SLOPES ARE LIMITED 1H:1V 5' HEIGHT.
- INSTALL APPROPRIATE TEMPORARY DRAINAGE MEASURES TO MANAGE WATER IN CONSTRUCTION AREAS. SEE CIVIL DRAWINGS.

WRITTEN DIMENSIONS

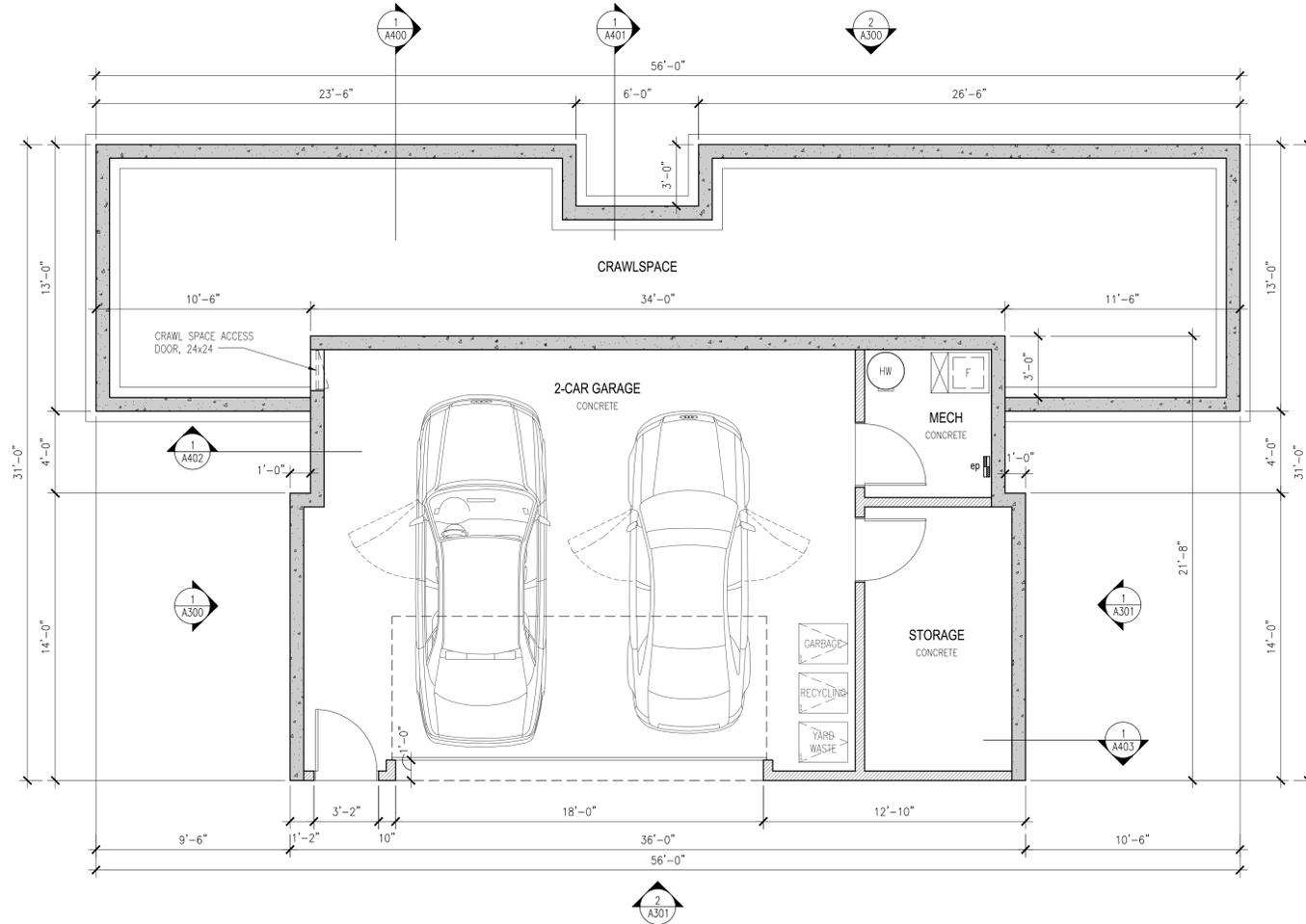
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CRAWL SPACE VENTILATION
POWER VENTED CRAWLSPACE

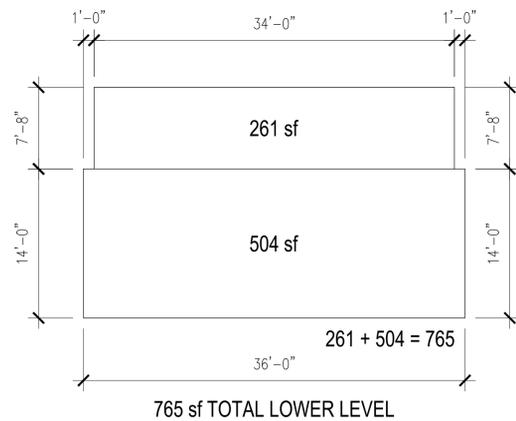
- DESIGN BUILT BY MECHANICAL CONTRACTOR
- MEET IRC R408.3 REQUIREMENTS - EXPOSED EARTH MUST BE COVERED WITH A CONTINUOUS CLASS 1 VAPOR RETARDER.

LEGEND

- CONC. WALL
- CONC. FOOTING
- WALL
- PONY WALL
- WALL/CLG ABOVE
- WALL HIDDEN BELOW
- FLOOR DRAIN
- FLOOR ELEVATION
- DOWNSPOUT
- ELECTRIC METER MAIN
- ELECTRIC METER
- CABLE/PHONE INTERFACE
- CRAWL SPACE VENT
- CRAWL SPACE ACCESS DOOR
- WATER STUB OUT
- PHONE/DATA/CABLE STUB OUT
- SANITARY SEWER STUB OUT
- ELECTRICAL STUB OUT
- GAS STUB OUT
- FIRE SPRINKLER STUB OUT
- STORM WATER STUB OUT
- GAS METER
- UFER GROUND CONNECTED TO FOUNDATION REBAR



BUILDING FLOOR AREA DIAGRAM



LOWER LEVEL PLAN
SCALE: 1/4" = 1'-0" 765 SF UNHEATED



ARCHITECT OF RECORD

STANNARD
ARCHITECTS PLLC

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LOWER LEVEL AND FOUNDATION PLAN

GENERAL NOTES

- ALL NEW EXTERIOR WARM WALLS TO BE 2x6 STUDS 16" O.C. TYPICAL, WITH R-21 INSULATION.
- PROVIDE SOLID BLOCKING UNDER ALL BEARING WALLS.
- WHEN APPLICABLE, GUARDRAILS SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS, SUPPORTS CAPABLE OF RESISTING A SINGLE CONCENTRATED LOAD OF 200 POUNDS, APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP OF THE RAIL.
- WHEN APPLICABLE, GUARDRAILS TO BE +36" ABOVE ADJACENT WALKING SURFACE, MAXIMUM OPENING TO BE < 4".
- ONE WINDOW PER BEDROOM SHALL MEET EGRESS CODE.
- EXHAUST FANS LARGER THAN 50CFM MAY BE CONNECTED TO 4" DIAMETER SMOOTH WALL VENT PIPE IF RUNS DO NOT EXCEED 20' IN LENGTH. THE MINIMUM SIZE OF FLEX DUCT IS 5" DIAMETER WITH A MAXIMUM RUN OF 15'.
- ALL BATHROOM FANS, KITCHEN HOOD, AND DRYER DUCTS SHALL BE EXHAUSTED THRU THE ATTIC TO THE ROOF OR THRU THE FLOOR SYSTEM TO AN OUTSIDE WALL. ALL WALL DUCTS SHALL TERMINATE AT LEAST 36" FROM A WINDOW OPENING.
- COMBUSTION AIR REQUIRED FOR ALL FUEL BURNING APPLIANCES
- FURR OUT HEADERS TO MATCH 2x6 WALLS & INSULATE.
- TUB/SHOWER UNITS SHALL HAVE FIRE BLOCKING BETWEEN WALL STUDS AND WATERPROOF SURROUNDS TO +72" FROM DRAIN. GLAZING INCLUDING WINDOWS WITHIN +72" OF DRAIN, SHALL BE SAFETY GLASS. SHOWER FLOW IS LIMITED TO 1.75 GAL/MIN. WOOD FRAMING TO BE PROTECTED FROM WATER SPLASH AND MOISTURE.
- WHOLE HOUSE INDOOR VENTILATION SYSTEM WITH 24 HOUR PROGRAMMABLE TIMER, RETURN AIR TO BE SUPPLIED BY HEATING SYSTEM. VERIFY WITH OWNER
- HOLES IN THE FLOOR TO THE CRAWL SPACE FOR THE BATHTUBS AND SHOWER PANS SHALL HAVE METAL SCREEN INSTALLED WITH OPENINGS NO LARGER THAN 1/2".
- ALL SMOKE ALARMS TO BE HARD WIRED WITH BATTERY BACKUP.
- PROVIDE SMOKE ALARMS IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING.
- PROVIDE A CARBON MONOXIDE ALARM OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL FIRED APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES.
- WHEN APPLICABLE, PROVIDE 1-1/2" Ø CONTINUOUS HANDRAIL AT ALL STAIRS, 2" SPACE AT WALL, 36" ABOVE NOSING OF TREAD

ENERGY CREDITS

PER TABLE 406.2 OF 2012 WASHINGTON STATE ENERGY CODE:
MEDIUM DWELLING UNIT: 1.5 POINTS REQUIRED

OPTION S6 EFFICIENT WATER HEATING

- GAS FIRED WATER HEATER - 82% EF (MIN) 1.5 CREDITS

HEATING NOTES

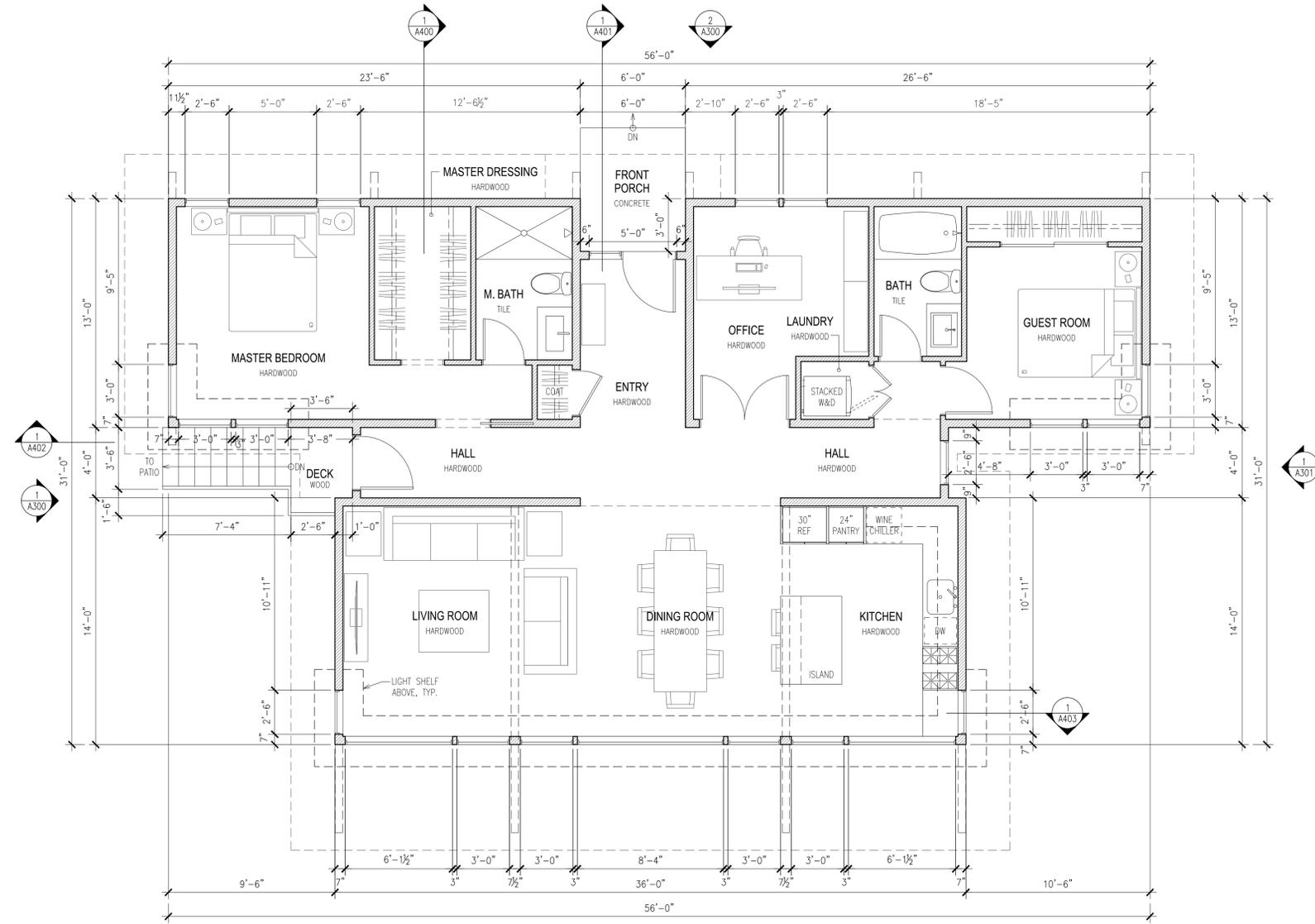
- INSTALLATION PER ASHRAE 90A-88.
- ALL DUCTING TO BE INSULATED AND SHEET METAL U.N.O.
- ALL PILOTS, BURNERS, AND SWITCHES TO BE MINIMUM +18" ABOVE SLAB.
- PROVIDE +18" PLATFORM OF 2 LAYERS 3/4" PLYWOOD.
- WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION. STRAPPING SHALL BE AT POINTS WITHIN THE UPPER 1/3 AND LOWER 1/3 OF THE WATER HEATER.
- PROVIDE PRESSURE RELIEF VALVE DRAIN TO EXTERIOR.
- MAXIMUM HOT WATER TEMP DISCHARGING INTO A BATHTUB OR WHIRLPOOL BATH SHALL BE LIMITED TO 120°F. THE WATER HEATER SHALL NOT BE CONSIDERED A CONTROL FOR MEETING THIS PROVISION.
- PROVIDE OUTSIDE COMBUSTION AIR FOR NON-DIRECT VENT APPLIANCES.
- DUCTING TO BE SEALED AT ALL JOINTS

WRITTEN DIMENSIONS

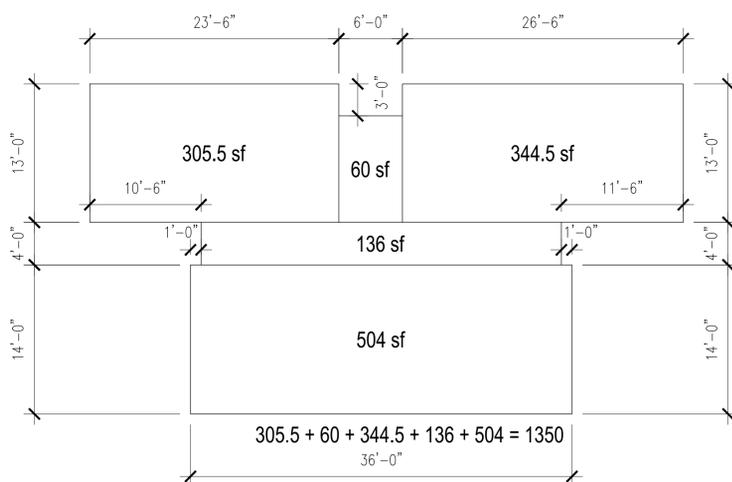
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- DIMENSIONS ARE TO FACE OF FRAMING OR FACE OF CONCRETE U.N.O.
- VERIFY HARD DIMENSIONS FOR BUILT-IN ONE PIECE TUBS AND SHOWERS

LEGEND

- CONC. WALL
- WALL
- WALL/CLG ABOVE
- WALL HIDDEN BELOW
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- FAN
- FLOOR DRAIN
- SHOWER HEAD
- TOILET PAPER HOLDER
- TOWEL RING
- TOWEL BAR
- FLOOR ELEVATION
- HANGING ROD AND SHELF
- WINDOW DESIGNATION
- DOWNSPOUT
- ELECTRICAL PANEL
- ELECTRICAL SUB PANEL
- ELECTRIC METER MAIN
- ELECTRIC METER
- STRUCTURED DATA BOX W/OUTLET
- RECESSED WASHER BOX
- RECESSED DRYER BOX
- WATER SHUT OFF VALVE
- FROST FREE HOSE BIB
- GAS BIB
- CABLE/PHONE INTERFACE
- GAS METER
- CRAWL SPACE ACCESS
- SHOWER CURTAIN
- WATER FILTER



BUILDING FLOOR AREA DIAGRAM



UPPER LEVEL PLAN
SCALE: 1/4" = 1'-0" 1,350 SF HEATED



DOCUMENT RELEASES:

DATE	DESCRIPTION
04/15/15	DESIGN REVIEW
07/23/15	DESIGN REVIEW

GENERAL NOTES

1. ALL NEW EXTERIOR WARM WALLS TO BE 2x6 STUDS 16" O.C. TYPICAL, WITH R-21 INSULATION.
2. PROVIDE SOLID BLOCKING UNDER ALL BEARING WALLS.

BIDDER DESIGNED

1. ALL WATERPROOFING IS SHOWN FOR DESIGN INTENT ONLY. ALL WATERPROOFING PRODUCTS AND INSTALLATION METHODS ARE BIDDER DESIGNED.

ROOF VENTILATION

1. UNVENTED ROOF ASSEMBLY PROPOSED. 3" OF CLOSED CELL SPRAY FOAM INSULATION TO BE USED WITH R-38 BATT INSULATION TO ATTAIN R-50. SPRAY FOAM INSULATION PROVIDES AIR, VAPOR, AND MOISTURE SEAL. PRODUCT TO BE USED IS JM CORBOND III.

ROOF PENETRATIONS

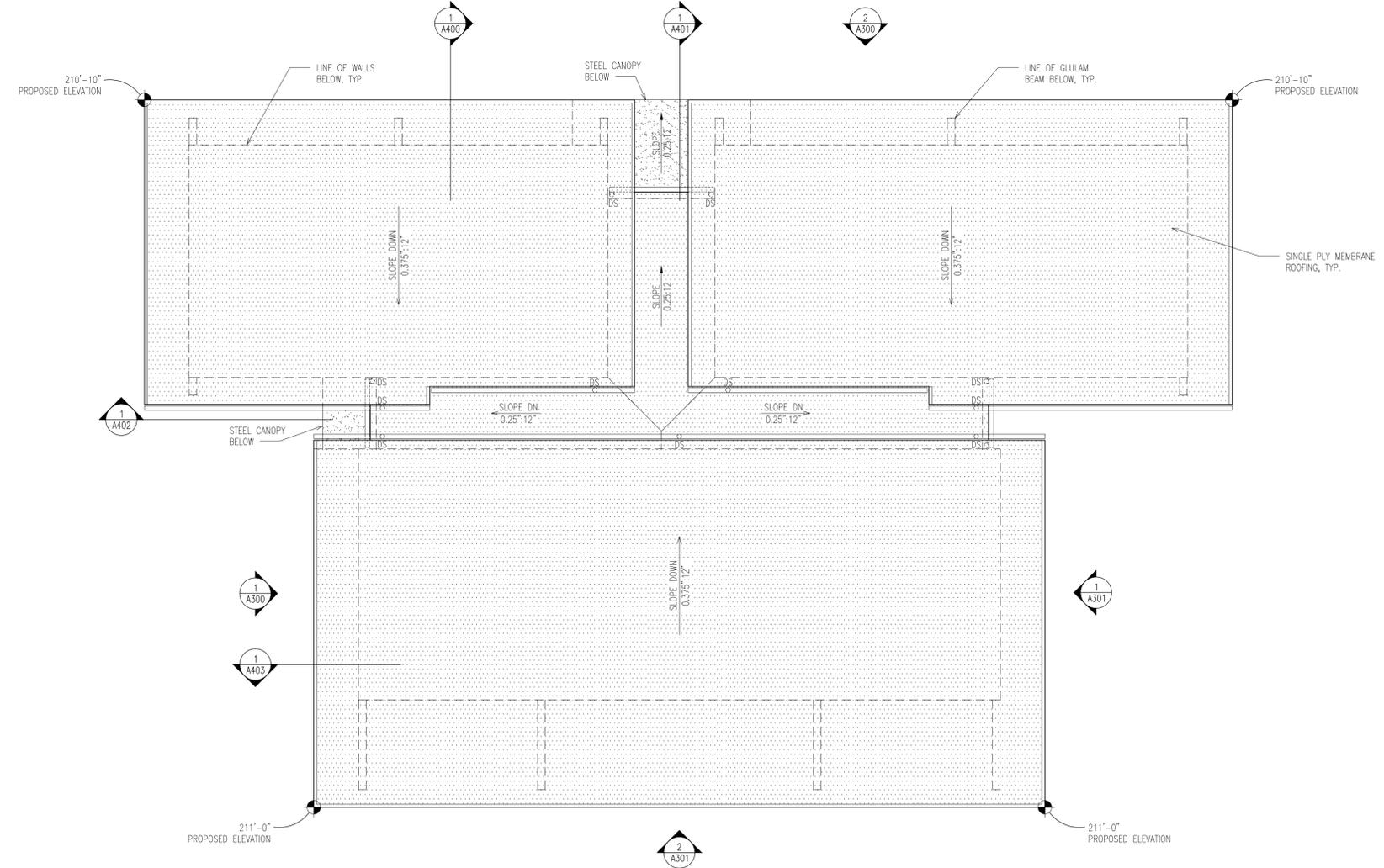
1. ALL ROOF PENETRATIONS, SUCH AS VENT STACKS, ETC., TO BE GROUPED TOGETHER AND LOCATED AS FAR AWAY FROM THE ROOF EDGE AS POSSIBLE

WRITTEN DIMENSIONS

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LEGEND

-  STANDING SEAM METAL ROOFING
-  SINGLE PLY MEMBRANE ROOFING
-  STEEL CANOPY
-  DOWNSPOUT
-  AREA DRAIN
-  CRICKET
-  GUTTER
-  ROOF PITCH
-  LINE OF WALL BELOW
-  CHIMNEY FLUE TERMINAL



ROOF PLAN
SCALE: 1/2" = 1'-0"



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- 2) INTELLECTUAL PROPERTY OF STILLWATER DWELLINGS. THESE DRAWINGS MAY ONLY BE USED FOR THE CONSTRUCTION OF THE HOUSE TO BE INSTALLED AT THE PROJECT ADDRESS LISTED ON THESE DRAWINGS.
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STETSON STREET
MOSS BEACH, CA 94038
TAX PARCEL #: 037092060

McLAUGHLIN / THAKUR RESIDENCE
DESIGN REVIEW DRAWINGS

DOCUMENT RELEASES:	
DATE	DESCRIPTION
04/15/15	DESIGN REVIEW
07/23/15	DESIGN REVIEW

DRAWN JEP

SHEET

ROOF PLAN

GENERAL NOTES

1. THIS PLAN IS A PRE-SCHEMATIC PLAN ONLY. INSTALLATION, LAYOUT, AND CONSTRUCTION METHODS ARE BIDDER DESIGNED BY THE ELECTRICAL CONTRACTOR.
2. ALL SMOKE ALARMS TO BE HARD WIRED WITH BATTERY BACKUP.
3. PROVIDE SMOKE ALARMS IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING.
4. PROVIDE A CARBON MONOXIDE ALARM OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL FIRED APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES.
5. PROVIDE AFCI PROTECTION AT BEDROOMS
6. PROVIDE GFCI PROTECTION AT KITCHEN AND BATH
7. ALL 15 AND 20 AMP OUTLETS TO BE TAMPER PROOF
8. PROVIDE ADDITIONAL OUTLETS NOT SHOWN ON PLAN TO MEET CODE SPACING REQUIREMENTS

BIDDER DESIGNED

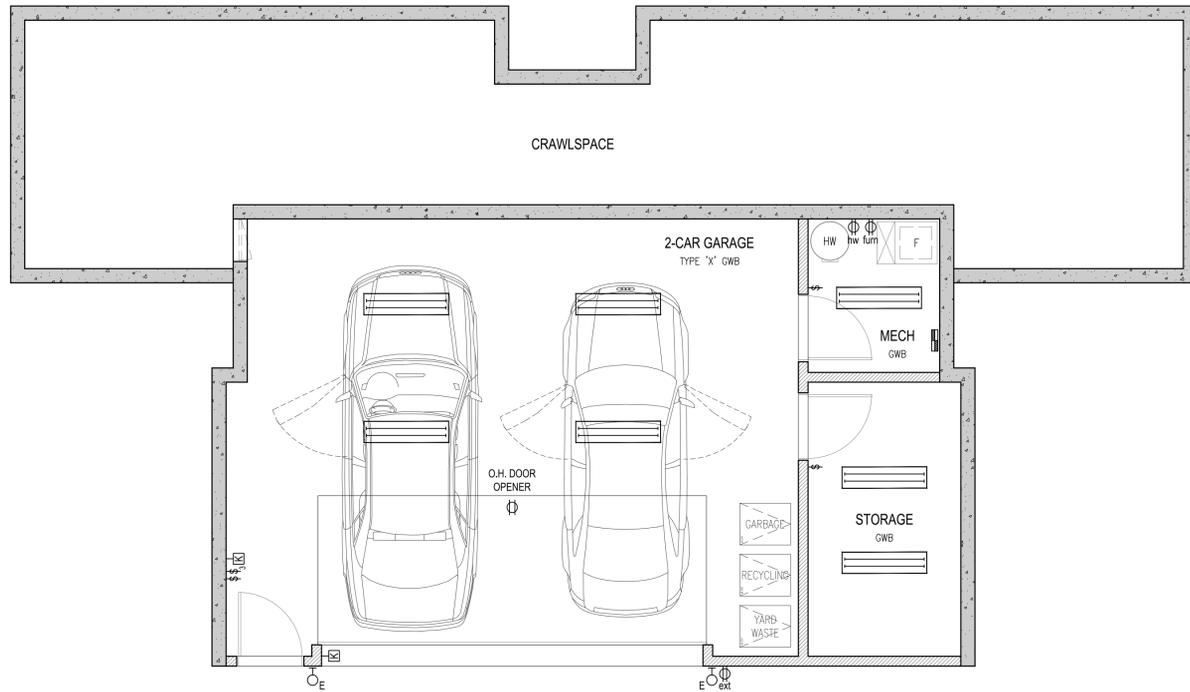
1. ELEC SYSTEM AND FIRE SPRINKLER SYSTEM ARE BIDDER DESIGNED.
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LIGHTING/SWITCHING LEGEND

- RECESSED LIGHTING - DOWNLIGHT
- RECESSED LIGHTING - VAPORTIGHT DOWNLIGHT
- RECESSED LIGHTING - ACCENT LIGHT
- PENDANT FIXTURE
- MONOPOINT FIXTURE W/ADJUSTABLE TRACK HEAD
- WALL MOUNTED SCONCE
- EXTERIOR WALL MOUNTED SCONCE
- EXTERIOR WALL MOUNTED SCONCE, VAPOR PROOF
- EXTERIOR WALL MOUNTED SCONCE ON ARM
- LANDSCAPE LIGHT
- SURFACE MOUNTED FIXTURE
- CEILING FAN - PENSI FAN BY THE MODERN FAN CO. WITH REMOTE AND THERMOSTAT
- TRACK LIGHT, 4' AND 8' LENGTHS STANDARD
- FLUORESCENT FIXTURE
2' - 1 LIGHT FLUORESCENT TUBE - TB
- FLUORESCENT FIXTURE
4' - 2 LIGHT FLUORESCENT TUBE - TB
- UNDERSHELF STRIP LIGHT
- POWER STRIP
- EXHAUST FAN - 80 OR 110 CFM
400 CFM FAN @ KITCHEN
- ROPE LIGHT
LED 1" O.C. WARM WHITE
- STANDARD SWITCH
- 3-WAY SWITCH
- 4-WAY SWITCH
- DIMMER SWITCH
- TIMER SWITCH
- JAMB SWITCH
- DUPLEX OUTLET
ONLY ATYPICAL OUTLETS SHOWN
OUTLETS REQUIRED BY CODE AND FOR EQUIP.
LOCATED BY INSTALLER
- 220 V OUTLET
- UNDERCOUNTER OUTLET
- HARDWIRE JUNCTION BOX HORIZONTALLY MOUNTED,
SEE INTERIOR ELEVATIONS FOR MOUNTING HEIGHT
- EXTERIOR OUTLET
- FLOOR MOUNTED OUTLET, REQUIRED BY CODE
- CABLE OUTLET
- PHONE/DATA OUTLET
- CABLE INTERFACE
- PHONE INTERFACE
- SPEAKER
- THERMOSTAT
- DOORBELL
- DOORBELL CHIME
- SMOKE DETECTOR - HARD WIRED W/ BATTERY
BACKUP
- CARBON MONOXIDE DETECTOR
- HOT TUB BREAKER
- GENERATOR PLUG IN OUTLET
- CONDUIT FOR SOLAR ARRAY
- ELECTRIC PANEL
- ELECTRIC SUB PANEL
- ELECTRIC METER MAIN
- ELECTRIC METER
- STRUCTURED DATA BOX W/OUTLET
- EUFER GROUND (CONNECTED TO REBAR IN
FOUNDATION, BY SITEWORK CONTRACTOR)
- HATCHED AREA INDICATES FLAT CEILING
- RECESSED FIRE SPRINKLER HEAD
- EXTERIOR SOFFIT



LOWER LEVEL RCP
SCALE: 1/2" = 1'-0"



STETSON STREET
MOSS BEACH, CA 94038
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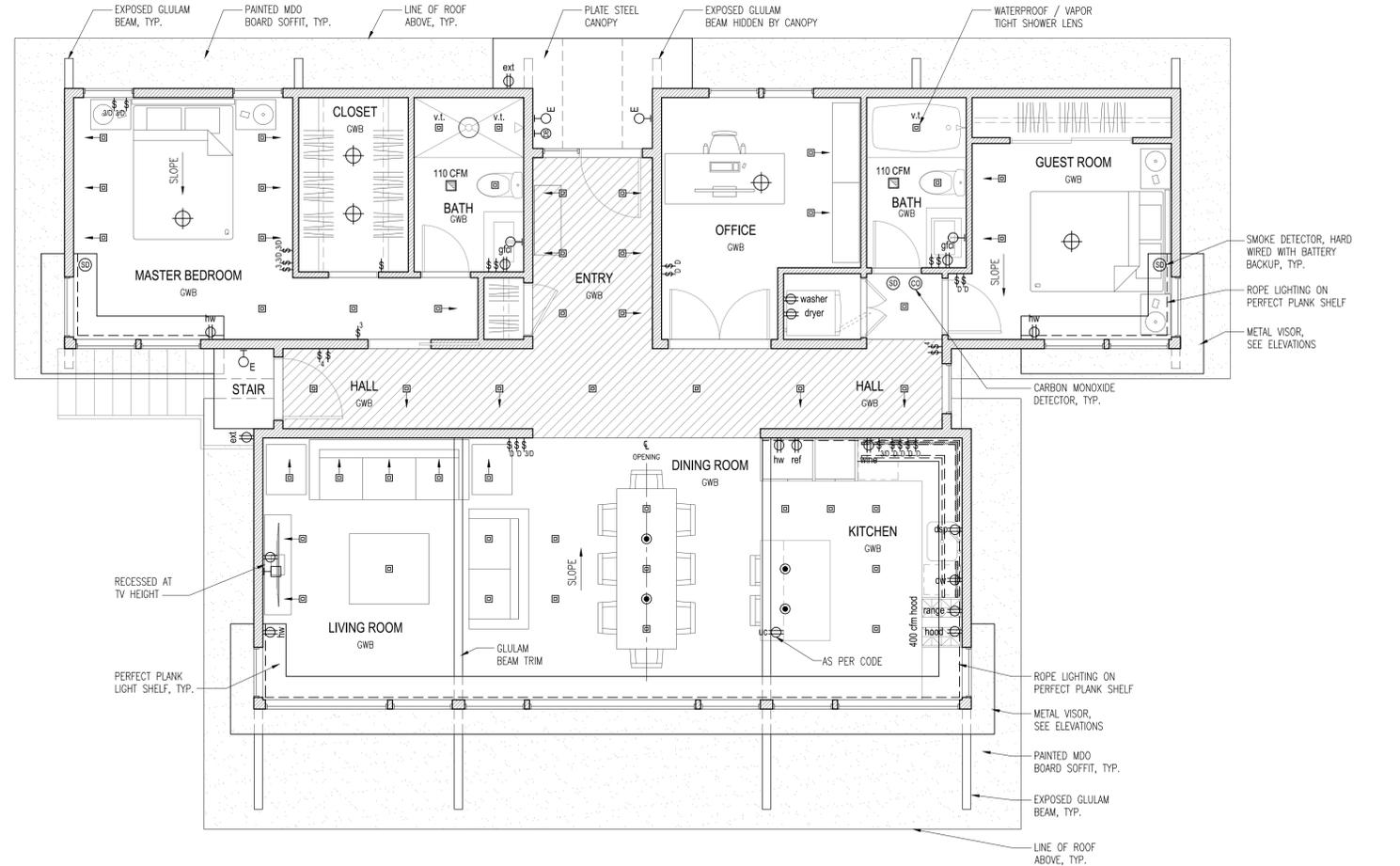
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UPPER LEVEL RCP
SCALE: 1/2" = 1'-0"



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STETSON STREET
MOSS BEACH, CA 94038
TAX PARCEL #: 037092060

McLAUGHLIN / THAKUR RESIDENCE
DESIGN REVIEW DRAWINGS

DOCUMENT RELEASES:

DATE	DESCRIPTION
04/15/15	DESIGN REVIEW
07/23/15	DESIGN REVIEW

DRAWN JEP

SHEET

REFLECTED
CEILING PLAN

GENERAL NOTES

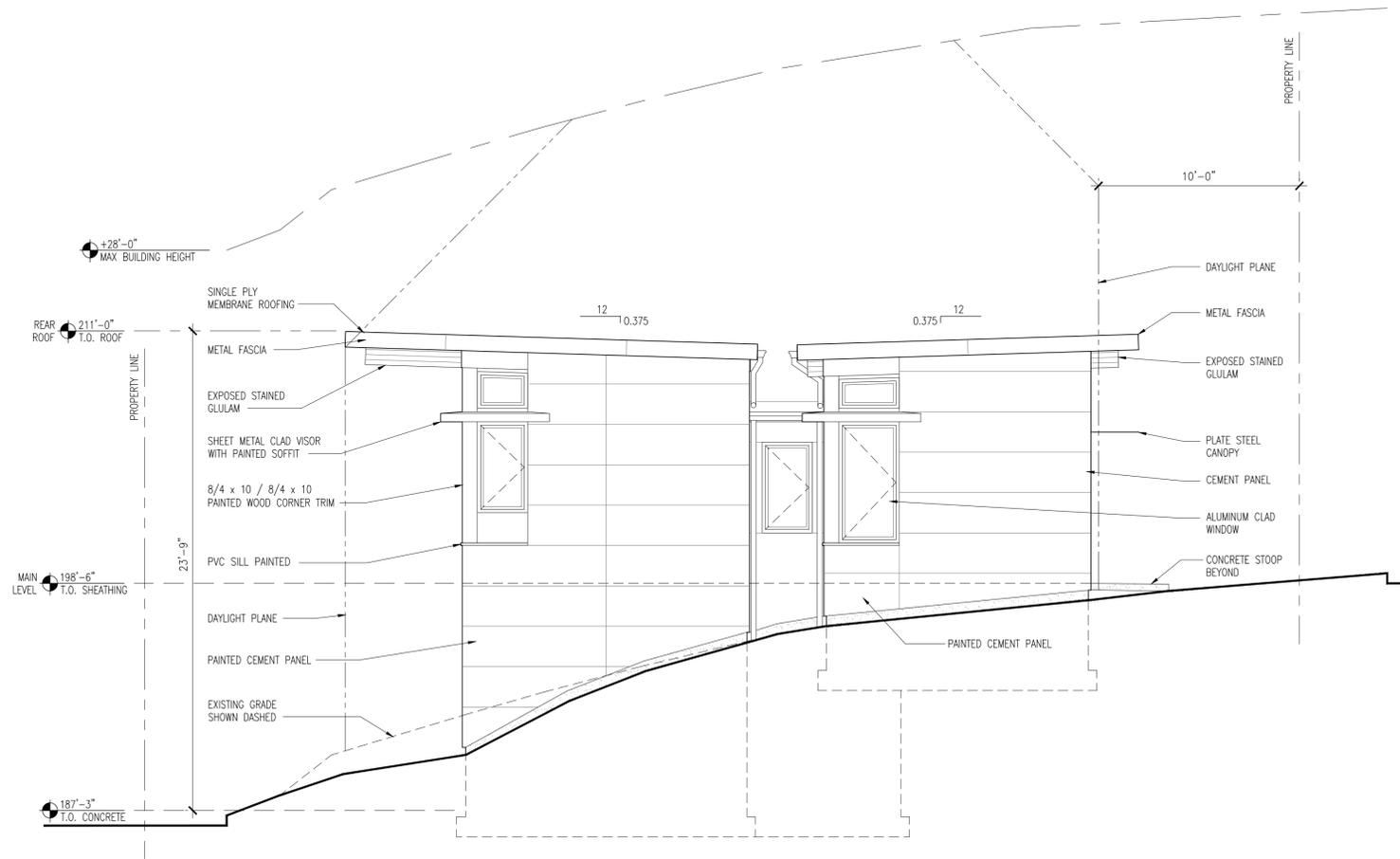
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2. ALL GUARDRAILS TO BE +36" ABOVE ADJACENT WALKING SURFACE, MAXIMUM OPENING TO BE < 4".
3. ONE WINDOW PER BEDROOM SHALL MEET EGRESS CODE.
4. HANDRAIL REQUIRED IF 4 RISERS OR MORE USED. PROVIDE 1-1/2" Ø CONTINUOUS HANDRAIL AT ALL STAIRS, 2" SPACE AT WALL, 36" ABOVE NOSING OF TREAD
5. SLOPE GRADE AWAY FROM THE BUILDING 5% FOR 5' MIN.

WRITTEN DIMENSIONS

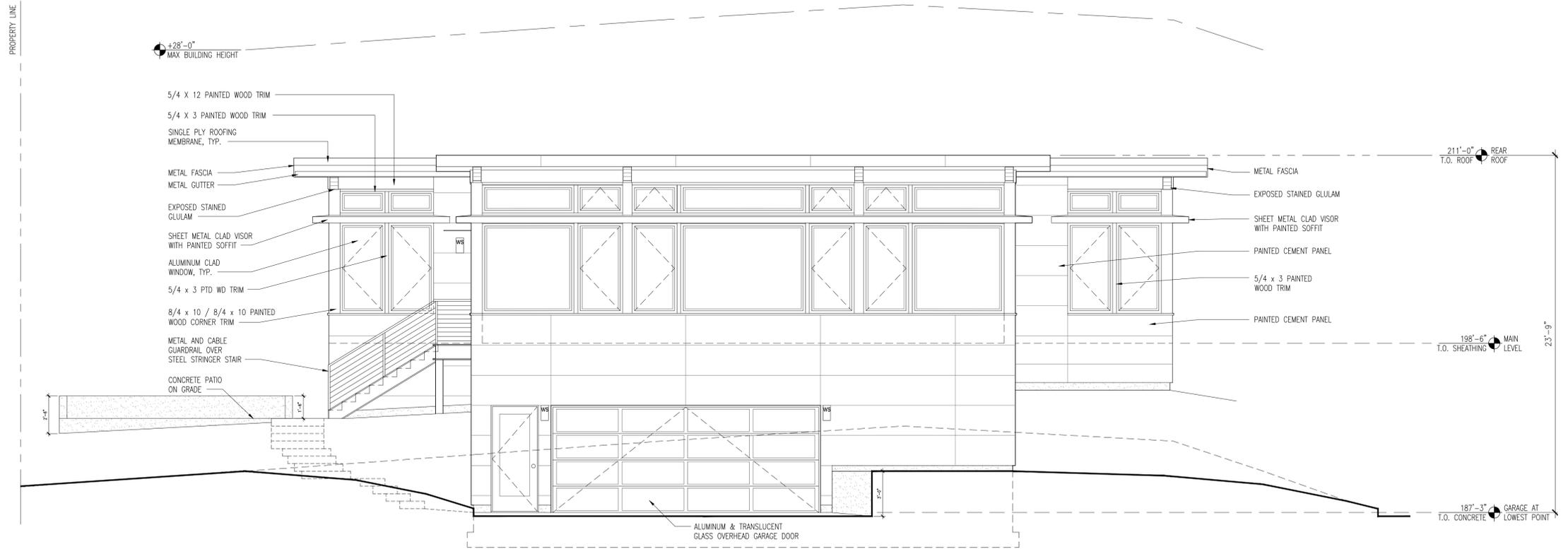
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LEGEND

- CONCRETE
- NEW GRADE/ EX'G GRADE UNCHANGED
- CUT LINE
- EXISTING GRADE, CHANGED
- HEIGHT LIMIT LINE
- FLOOR LINE (T.O. SHEATHING)
- WALL SCONCE



1- SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 - WEST ELEVATION
SCALE: 1/4" = 1'-0"



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MOSS BEACH, CA
94038 TAX PARCEL #:
037092060

McLAUGHLIN / THAKUR
RESIDENCE

DOCUMENT RELEASES:

DATE	DESCRIPTION
02/26/15	DESIGN REVIEW

DRAWN JEP

SHEET

ELEVATIONS

DATE	DESCRIPTION
04/15/15	DESIGN REVIEW
07/23/15	DESIGN REVIEW

GENERAL NOTES:

1. TIGHTLINE ALL RAIN LEADERS TO CURB EXIT.
2. PROVIDE DRAIN AT LOW POINT OF CRAWL SPACE

FOUNDATION NOTES

1. SLOPE ALL CONCRETE STOOPS AND/OR PATIOS 1/4" PER FOOT AWAY FROM DOORWAYS.
2. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED OR CEDAR.
3. PROVIDE SOLID BLOCKING UNDER BEARING WALLS
4. PROVIDE 6 MIL VISQUEEN VAPOR BARRIER WITH 12" OVERLAP AT SEAMS.
5. FASTENERS INTO OR IN CONTACT WITH PRESSURE-TREATED OR FIRE-RETARDANT WOOD SHALL BE OF HOT-DIPPED GALVANIZED STEEL, STAINLESS STEEL, SILICON, BRONZE, OR COPPER. EXCEPTION 1/2" DIAMETER OR GREATER STEEL BOLTS.

SOILS NOTES

1. SOIL SUBGRADES WILL BE PREPARED AS NEEDED TO ACHIEVE A FIRM, UNYIELDING STATE BEFORE ANY CONCRETE, PAVEMENT, OR FILL SOIL IS PLACED, SEE SOILS REPORT IF AVAILABLE.
2. LOOSE GRANULAR SOILS WILL BE COMPACTED TO A DENSITY COMMENSURATE WITH THE SURROUNDING SOILS. SEE SOILS REPORT IF AVAILABLE.
3. ORGANIC OR SOFT COHESIVE SOILS WILL BE OVEREXCAVATED AND REPLACED WITH A GRANULAR STRUCTURAL FILL MATERIAL.
4. FILL MATERIAL TO BE PLACED IN HORIZONTAL LIFTS AND COMPACTED TO A UNIFORM DENSITY OF AT LEAST 95 PERCENT OF THE STANDARD PROCTOR OR AT LEAST 90 PERCENT OF THE MODIFIED PROCTOR MDD.
5. TEMPORARY CUT SLOPES ARE LIMITED 1H:1V 5' HEIGHT.
6. INSTALL APPROPRIATE TEMPORARY DRAINAGE MEASURES TO MANAGE WATER IN CONSTRUCTION AREAS.

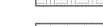
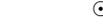
BLOWER DOOR TEST

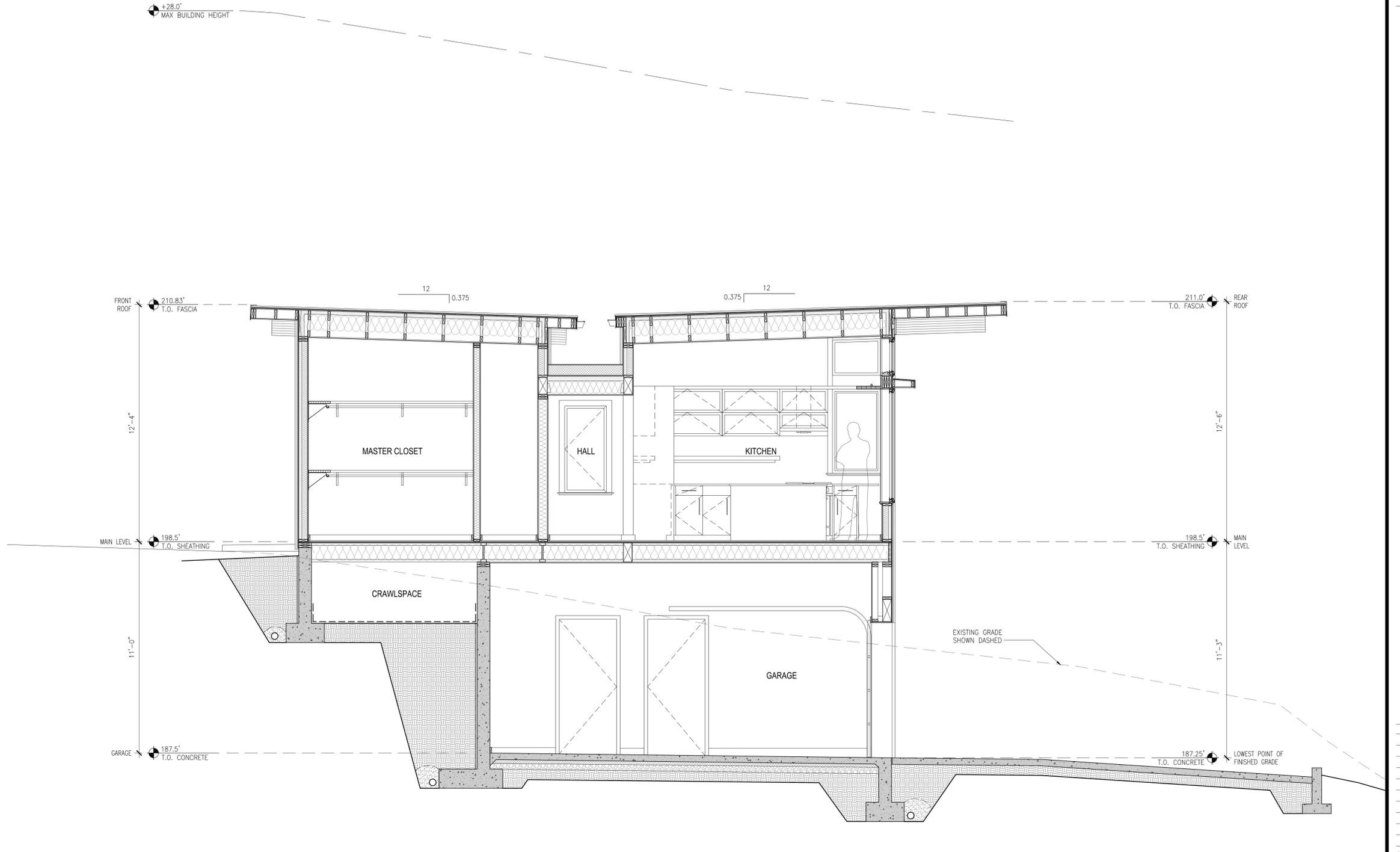
BUILDING MUST PASS BLOWER DOOR TEST AS REQUIRED BY LOCAL ENERGY CODE. PROVIDE BUILDING TECHNIQUES TO ENSURE AIR TIGHTNESS

WRITTEN DIMENSIONS

1. WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS, ETC. PERTAINING TO THE WORK BEFORE PROCEEDING. THE OWNER MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND/OR CONDITIONS SHOWN ON THESE DRAWINGS. ANY SUCH VARIATIONS SHALL BE RESOLVED BY THE OWNER PRIOR TO PROCEEDING WITH THE WORK, OR THE CONTRACTOR SHALL ACCEPT FULL RESPONSIBILITY FOR THE COST TO RECTIFY SAME.
2. DIMENSIONS ARE TO FACE OF FRAMING OR FACE OF CONCRETE U.N.O.
3. VERIFY HARD DIMENSIONS FOR BUILT-IN ONE PIECE TUBS AND SHOWERS

LEGEND

-  BATT INSULATION
-  RIGID INSULATION
-  SPRAY FOAM INSULATION
-  CONCRETE
-  EARTH
-  FREE DRAINING FILL
-  4" Ø PVC PERFORATED DRAIN
-  RAIN LEADER TIGHT LINE
-  NEW GRADE AND EX'G GRADE UNCHANGED
-  CUT LINE
-  EXISTING GRADE (CHANGED)
-  HEIGHT LIMIT LINE
-  FLOOR LINE (T.O. SHEATHING)
-  MAX. HEIGHT
-  VAPOR BARRIER



1 - BUILDING SECTION

SCALE: 3/8" = 1'-0"



GENERAL NOTES:

1. TIGHTLINE ALL RAIN LEADERS TO CURB EXIT.
2. PROVIDE DRAIN AT LOW POINT OF CRAWL SPACE

FOUNDATION NOTES

1. SLOPE ALL CONCRETE STOOPS AND/OR PATIOS 1/4" PER FOOT AWAY FROM DOORWAYS.
2. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED OR CEDAR.
3. PROVIDE SOLID BLOCKING UNDER BEARING WALLS
4. PROVIDE 6 MIL VISQUEEN VAPOR BARRIER WITH 12" OVERLAP AT SEAMS.
5. FASTENERS INTO OR IN CONTACT WITH PRESSURE-TREATED OR FIRE-RETARDANT WOOD SHALL BE OF HOT-DIPPED GALVANIZED STEEL, STAINLESS STEEL, SILICON, BRONZE, OR COPPER. EXCEPTION 1/2" DIAMETER OR GREATER STEEL BOLTS.

SOILS NOTES

1. SOIL SUBGRADES WILL BE PREPARED AS NEEDED TO ACHIEVE A FIRM, UNYIELDING STATE BEFORE ANY CONCRETE, PAVEMENT, OR FILL SOIL IS PLACED, SEE SOILS REPORT IF AVAILABLE.
2. LOOSE GRANULAR SOILS WILL BE COMPACTED TO A DENSITY COMMENSURATE WITH THE SURROUNDING SOILS. SEE SOILS REPORT IF AVAILABLE.
3. ORGANIC OR SOFT COHESIVE SOILS WILL BE OVEREXCAVATED AND REPLACED WITH A GRANULAR STRUCTURAL FILL MATERIAL.
4. FILL MATERIAL TO BE PLACED IN HORIZONTAL LIFTS AND COMPACTED TO A UNIFORM DENSITY OF AT LEAST 95 PERCENT OF THE STANDARD PROCTOR OR AT LEAST 90 PERCENT OF THE MODIFIED PROCTOR MDD.
5. TEMPORARY CUT SLOPES ARE LIMITED 1H:1V 5' HEIGHT.
6. INSTALL APPROPRIATE TEMPORARY DRAINAGE MEASURES TO MANAGE WATER IN CONSTRUCTION AREAS.

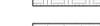
BLOWER DOOR TEST

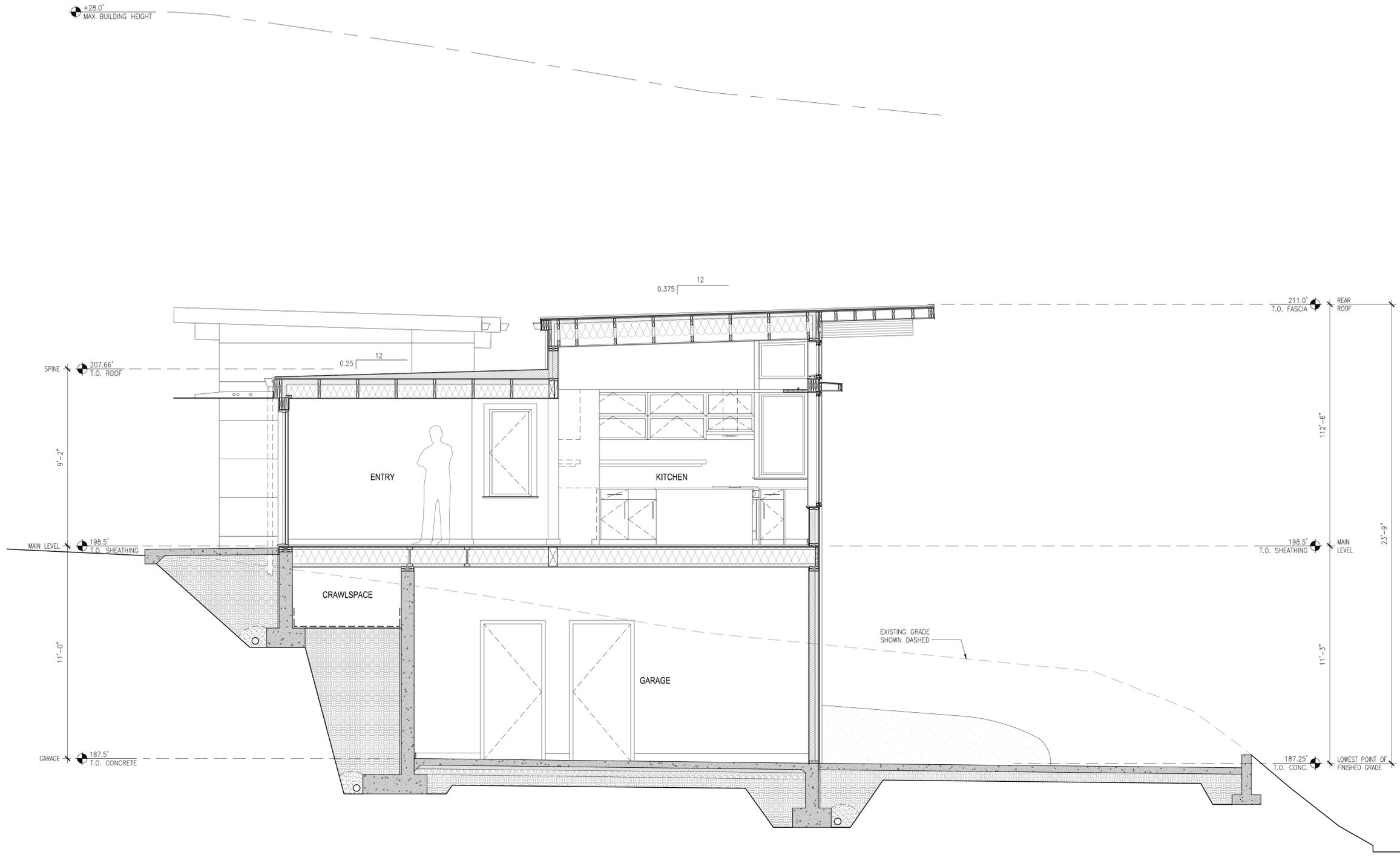
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STETSON STREET
MOSS BEACH, CA 94038
TAX PARCEL #: 037092060

McLAUGHLIN / THAKUR RESIDENCE
DESIGN REVIEW DRAWINGS

DOCUMENT RELEASES:

DATE	DESCRIPTION
04/15/15	DESIGN REVIEW
07/23/15	DESIGN REVIEW

DRAWN JEP

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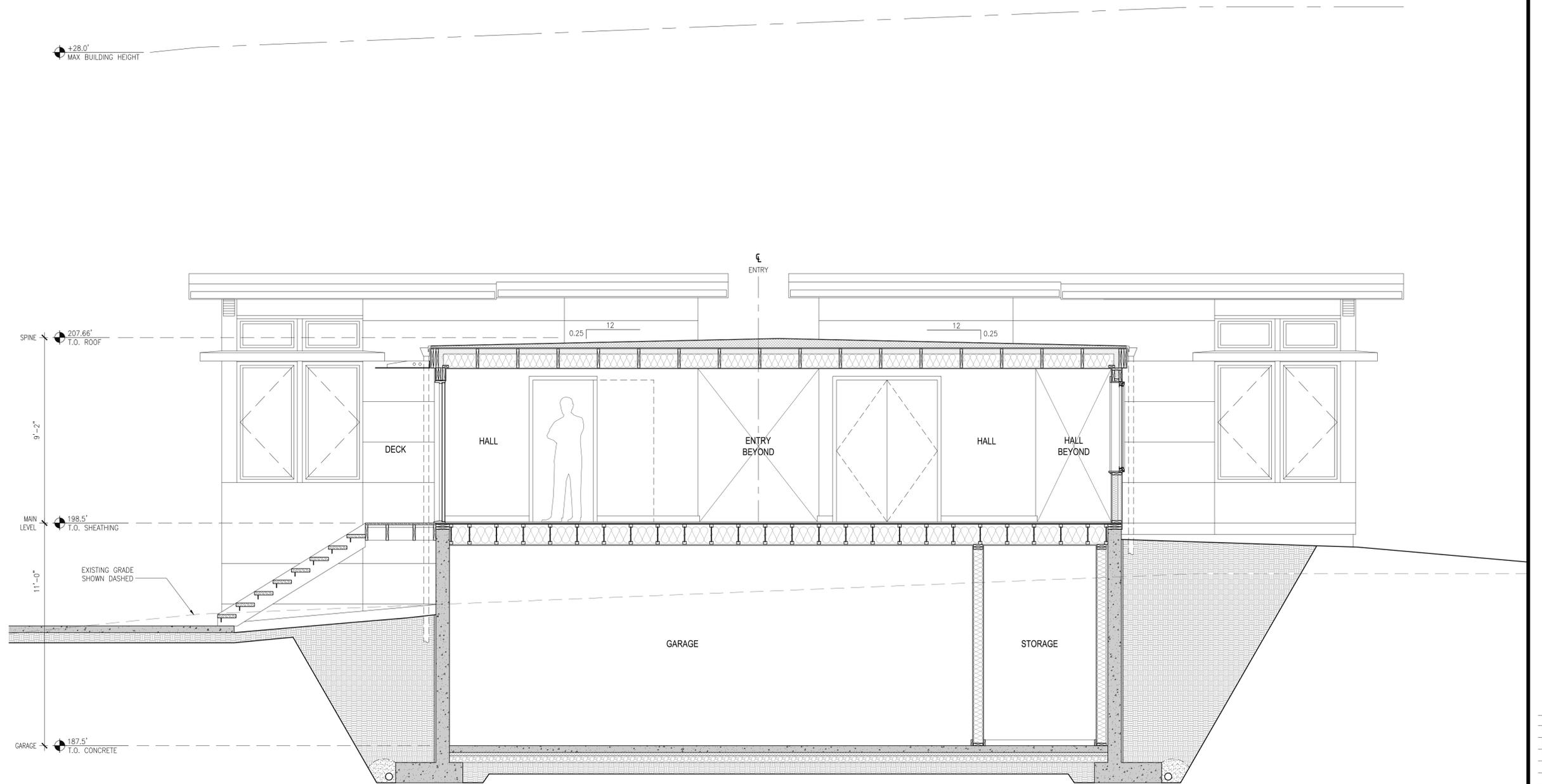
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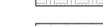
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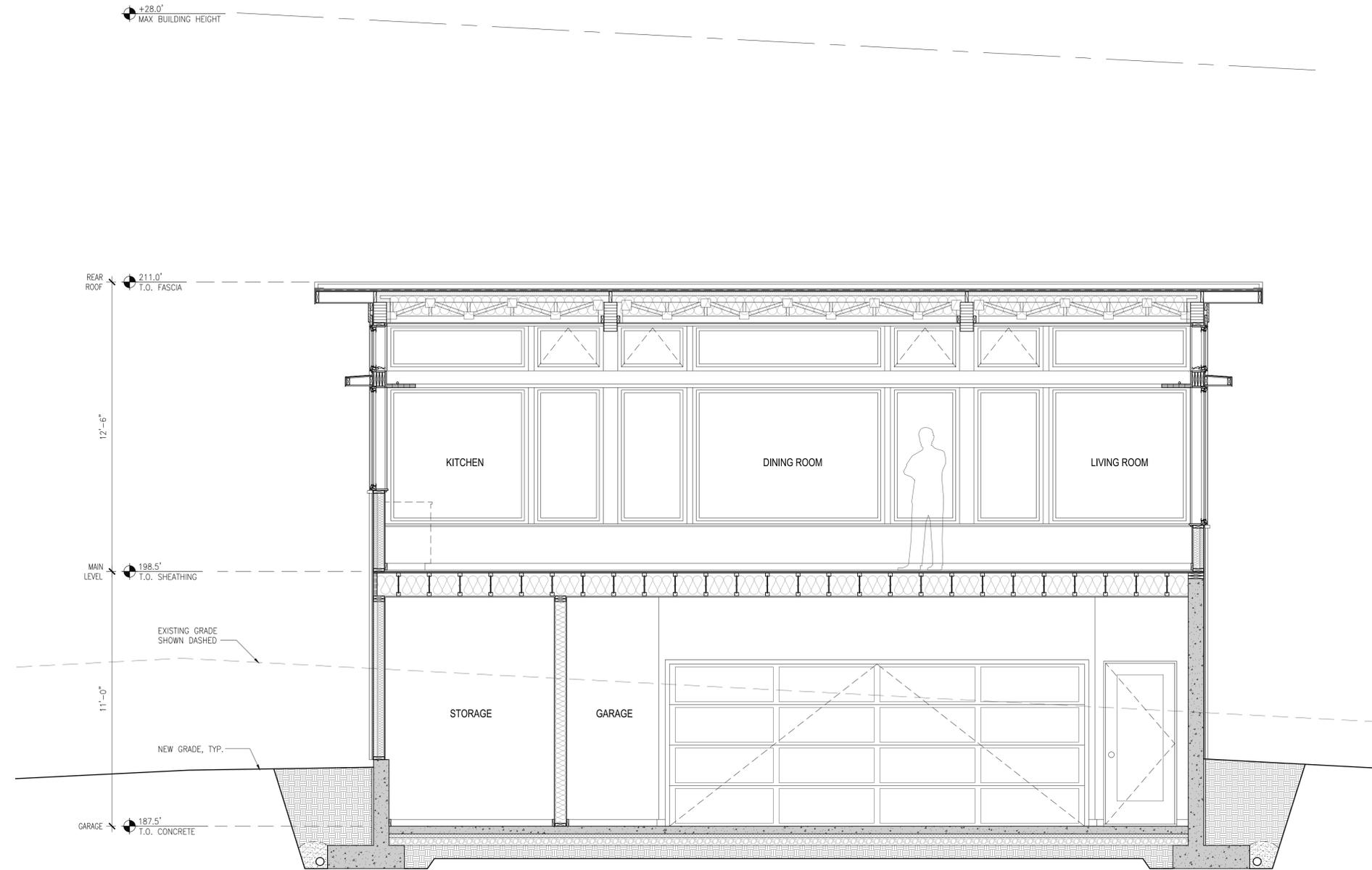
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