



# Planning Permit Application Form

455 County Center, 2nd Floor • Redwood City CA 94063  
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849  
www.co.sanmateo.ca.us/planning

PLN: 2015 - 00287

BLD:

### Applicant/Owner Information

Applicant: JUSTIN YONKER  
Mailing Address: 420 UNION ST  
SAN FRANCISCO, CA Zip: 94133  
Phone, W: 415-806-4676 H:  
E-mail Address: justin@masterbuilderssf.com FAX: 415-567-8886

Name of Owner (1): <u>KYLE VOGT</u>	Name of Owner (2):
Mailing Address: <u>548 MARKET ST # 40873</u>	Mailing Address:
<u>S.F., CA</u>	
Zip: <u>94104</u>	Zip:
Phone, W: <u>415-567-8886</u>	Phone, W:
H:	H:
E-mail Address:	E-mail Address:

### Project Information

Project Location (address): 193 REEF POINT RD Assessor's Parcel Numbers: 037-123-300  
MOSS BEACH, CA  
94038  
Zoning: R1-517-DR Parcel/lot size: 14,671 SF (Square Feet)

List all elements of proposed project: (e.g. access, size and location, primary and accessory structures, well, septic, tank)  
FIRST FLOOR ADDITION TO WEST SIDE WITHIN AND UNDER EXISTING  
SECOND FLOOR FOOTPRINT, ~ 670 S.F.; ADD ~ 75 SF TO SECOND FLOOR  
WITHIN EXISTING ROOF LINE; INTERIOR REMODEL

Describe Existing Site Conditions/Features (e.g. topography, water bodies, vegetation):  
LOT GENTLY SLOPES DOWN TOWARD WATER'S EDGE/ LOW BLUFF AT  
COAST (OCEAN FRONT PROPERTY) FROM HIGH POINT AT ENTRY FROM  
REEF POINT RD. <sup>10' HIGH</sup>

Describe Existing Structures and/or Development:  
EXISTING 2-STORY SINGLE-FAMILY  
HOME WITH ENCLOSED/ ATTACHED GARAGE AND DECK AT 2<sup>ND</sup> STORY.

### Signatures

We hereby certify that the information stated above and on forms, plans and other materials submitted herewith in support of the application is true and correct to the best of our knowledge. It is our responsibility to inform the County of San Mateo through our assigned project planner of any changes to information represented in these submittals.

Owner's signature: [Signature] 7/15/15

Owner's signature: \_\_\_\_\_

Applicant's signature: [Signature] 7/14/15

## Planning and Building Department

# Application for Design Review by the County Coastside Design Review Committee

County Government Center ■ 455 County Center ■ Redwood City CA 94063  
Mail Drop PLN 122 ■ 650 • 363 • 4161 ■ FAX 650 • 363 • 4849

Permit #: PLN 2015 - 00287

Other Permit #: \_\_\_\_\_

## 1. Basic Information

### Applicant:

Name: JUSTIN YONKER

Address: 420 UNION ST.

Zip: 94133

Phone, W: 415-806-4676 H: \_\_\_\_\_

Email: justin@masterbuilderssf.com

### Architect or Designer (if different from Applicant):

Name: JEANN LIEM

Address: 3 STARK ST

Phone, W: 415-567-8886 H: \_\_\_\_\_

### Owner (if different from Applicant):

Name: KYLE VOLT

Address: 548 MARKET ST #40873

SF., CA Zip: 94104

Phone, W: 415-567-8886 H: \_\_\_\_\_

Email: \_\_\_\_\_

Email: jeanneliem@gmail.com

## 2. Project Site Information

### Project location:

APN: 037-123-300

Address: 193 REEF POINT RD.

MOSS BEACH, CA Zip: 94038

Zoning: R1-S17-DR

Parcel/lot size: 14,671 sq. ft.

### Site Description:

- Vacant Parcel  
 Existing Development (Please describe):

EXISTING 2-STORY SINGLE-FAMILY  
HOME WITH ENCLOSED GARAGE AND  
DECK AT 2ND STORY

## 3. Project Description

### Project:

- New Single Family Residence: \_\_\_\_\_ sq. ft.  
 Addition to Residence: +746 sq. ft.  
 Other: \_\_\_\_\_

### Describe Project:

EXPAND 1<sup>ST</sup> FLOOR WITHIN THE  
EXISTING 2<sup>ND</sup> FLOOR FOOT PRINT.  
INTERIOR REMODEL

### Additional Permits Required:

- Certificate of Compliance Type A or Type B  
 Coastal Development Permit  
 Fence Height Exception (not permitted on coast)  
 Grading Permit or Exemption  
 Home Improvement Exception  
 Non-Conforming Use Permit  
 Off-Street Parking Exception  
 Variance

Planning and Building Department

455 County Center, 2nd Floor • Redwood City, CA 94063  
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# Application for a Coastal Development Permit

## Companion Page

Applicant's Name: JUSTIN YONKER

Primary Permit #: PLN 2015 - 00287

### 1. Instructions

Please fill out the general Planning Permit Application Form and this form when applying for a Coastal Development Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form.

### 2. Basic Information

Does the owner or applicant own any adjacent property not listed?

Yes  No

If yes, list Assessor's Parcel Number(s):

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Have you or anyone else previously applied to either the County of San Mateo or the California Coastal Commission for a Coastal Development Permit for this or a similar project at this location?

Yes  No

If yes, explain (include date and application file numbers).

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

### 3. Materials and Finish of Proposed Buildings or Structures

Note: By completing this section you do not need to file a separate application for Design Review Approval.

Fill in Blanks:	Material	Color/Finish	Check if matches existing
a. Exterior Walls	<u>STUCCO</u>	<u>GREY</u>	<input checked="" type="checkbox"/>
b. Trim	<u>PAINTED WOOD</u>	<u>GREY</u>	<input checked="" type="checkbox"/>
c. Roof	_____	_____	<input checked="" type="checkbox"/>
d. Chimneys	_____	_____	<input checked="" type="checkbox"/>
e. Accessory Buildings	_____	_____	<input type="checkbox"/>
f. Decks/Stairs	_____	_____	<input type="checkbox"/>
g. Retaining Walls	_____	_____	<input type="checkbox"/>
h. Fences	_____	_____	<input type="checkbox"/>
i. Storage Tanks	_____	_____	<input type="checkbox"/>

# Environmental Information Disclosure Form

PLN 2015 - 00287  
 BLD \_\_\_\_\_

Project Address: 193 REEF POINT RD.  
MOSS BEACH, CA  
94038  
 Assessor's Parcel No.: 037 - 123 - 300  
 \_\_\_\_\_  
 Zoning District: R1 - S17 - DR

Name of Owner: KYLE VOGT  
 Address: 548 MARKET ST. # 40873  
S.F., CA 94104 Phone: 415-567-8886  
 Name of Applicant: JUSTIN YONKER  
 Address: 420 UNION ST  
SF., CA 94133 Phone: 415-806-4676

## Existing Site Conditions

Parcel size: 14,671 SF

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation). EXISTING 2-STORY SINGLE-FAMILY HOME WITH ENCLOSED/ ATTACHED GARAGE AND DECK AT 2ND STORY. LEVEL LOT GENTLY SLOPES TO RETAINING LANDSCAPING AT BEACH/ COAST.

## Environmental Review Checklist

### 1. California Environmental Quality Act (CEQA) Review

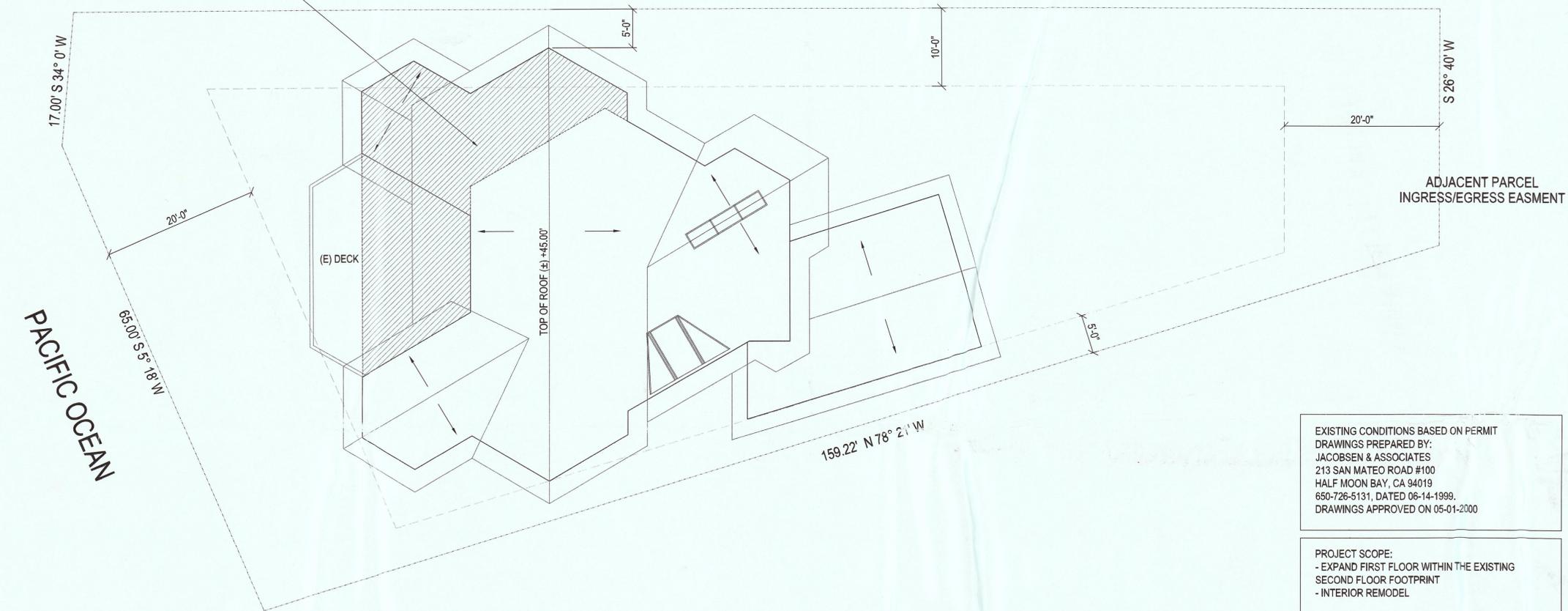
Yes	No	Will this project involve:
	<input checked="" type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
	<input checked="" type="checkbox"/>	d. Removal of mature tree(s) ( ≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? _____
	<input checked="" type="checkbox"/>	e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : _____ c.y. Fill: _____ c.y.
	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
	<input checked="" type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Signature required on reverse →

ADDITION ON FIRST FLOOR ONLY  
(WITHIN THE EXISTING SECOND FLOOR FOOTPRINT)



EXISTING CONDITIONS BASED ON PERMIT  
DRAWINGS PREPARED BY:  
JACOBSEN & ASSOCIATES  
213 SAN MATEO ROAD #100  
HALF MOON BAY, CA 94019  
650-726-5131, DATED 06-14-1999.  
DRAWINGS APPROVED ON 05-01-2000

PROJECT SCOPE:  
- EXPAND FIRST FLOOR WITHIN THE EXISTING  
SECOND FLOOR FOOTPRINT  
- INTERIOR REMODEL

APPLICABLE CODES & REGULATIONS:  
2013 CALIFORNIA BUILDING, ELECTRICAL, ENERGY,  
MECHANICAL, AND PLUMBING CODES AND SAN  
MATEO COUNTY MUNICIPAL CODE

NOTE:  
FIELD VERIFY EXISTING CONDITIONS

**LEGEND**

	PROPERTY LINE
	SET BACK
	CENTER LINE OF STREET
	FENCING
	TREE WITH DRIPLINE
	EXISTING STRUCTURE
	NEW STRUCTURE



PROPOSED SITE PLAN

**BUILDING & SITE DATA**

**GENERAL INFORMATION**

ASSESSOR'S PARCEL NUMBER -OR- BLOCK-LOT: 037-123-300  
ZONING: R1 - S-17 - DR  
OCCUPANCY TYPE: R-2 (SINGLE FAMILY HOUSE)  
CONSTRUCTION TYPE: V (WOOD)  
SLOPE:  
STORIES: EXISTING 2; PROPOSED 2

LOT AREA	0.34 ACRES
GROSS AREA	0.34 ACRES
EASEMENT	
NET AREA	0.34 ACRES

**IMPERVIOUS COVERAGE**

EXISTING	N/A
PROPOSED	N/A
ALLOWED	N/A

**LOT COVERAGE**

EXISTING	2,962 S.F.
PROPOSED	2,962 S.F.
ALLOWED	5,163 S.F. (35% FOR STRUCTURE >16' HIGH)

**BUILDING AREAS**

	EXISTING	ADDITION	PROPOSED
FIRST FLOOR	1,801 S.F.	(+) 671 S.F.	2,272 S.F.
SECOND FLOOR	1,523 S.F.	75 S.F.	1,598 S.F.
GARAGE	523 S.F.	0 S.F.	523 S.F.

FLOOR AREA: 3,870 S.F. (LIVING AREA), 523 S.F. (GARAGE)  
MAX. ALLOWED: 7,850 S.F. (53%)

**WALL PERIMETER**

EXISTING	N/A
EXISTING TO REMAIN	N/A

**CONTACT INFORMATION**

NAME	JUSTIN YONKER
ADDRESS	3 STARK ST., SAN FRANCISCO, CA 94133
PHONE:	(415) 806-4676

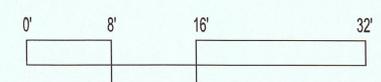
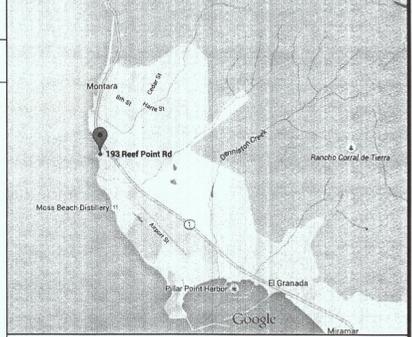
**SHEET INDEX**

- A-1 PROPOSED SITE PLAN; BUILDING & SITE DATA; SHEET INDEX
- A-2 EXISTING FIRST FLOOR PLAN
- A-3 EXISTING SECOND FLOOR PLAN
- A-4 PROPOSED FIRST FLOOR PLAN
- A-5 PROPOSED SECOND FLOOR PLAN
- A-6 EXISTING ROOF PLAN
- A-7 EXISTING ELEVATIONS
- A-8 EXISTING ELEVATIONS
- A-9 PROPOSED ELEVATIONS
- A-10 PROPOSED ELEVATIONS & SECTIONS

**RECEIVED**

JUL 15 2015  
San Mateo County  
Planning and Building Department

**LOCATION MAP**



REVISIONS BY

PROPOSED  
SITE PLAN;  
BUILDING &  
SITE DATA

REMODEL & ADDITION  
**193 REEF POINT ROAD**  
MOSS BEACH, CA 94038

Master Builders



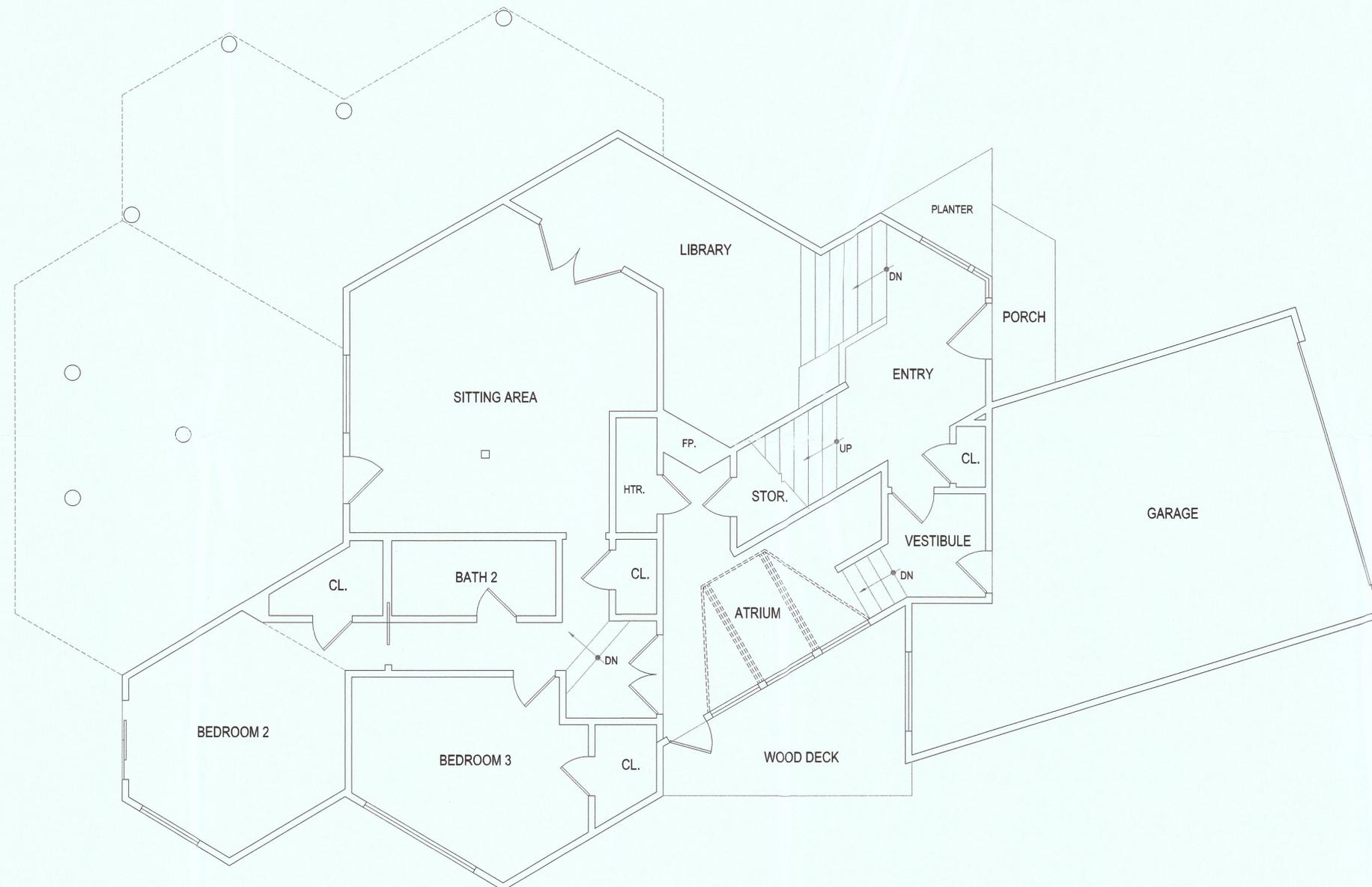
3 Stark Street  
San Francisco, CA 94133  
(415) 567-8886  
www.MasterBuildersSF.com

DATE: 07-10-15  
SCALE: 1/8"=1'-0"  
DRAWN: J.Y.  
JOB: REEFPOINT  
SHEET:

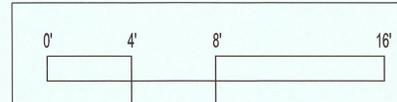
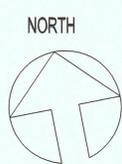
**A-1**

OF SHEETS

PUN2015-00287



EXISTING FIRST FLOOR



REVISIONS BY

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EXISTING FIRST FLOOR

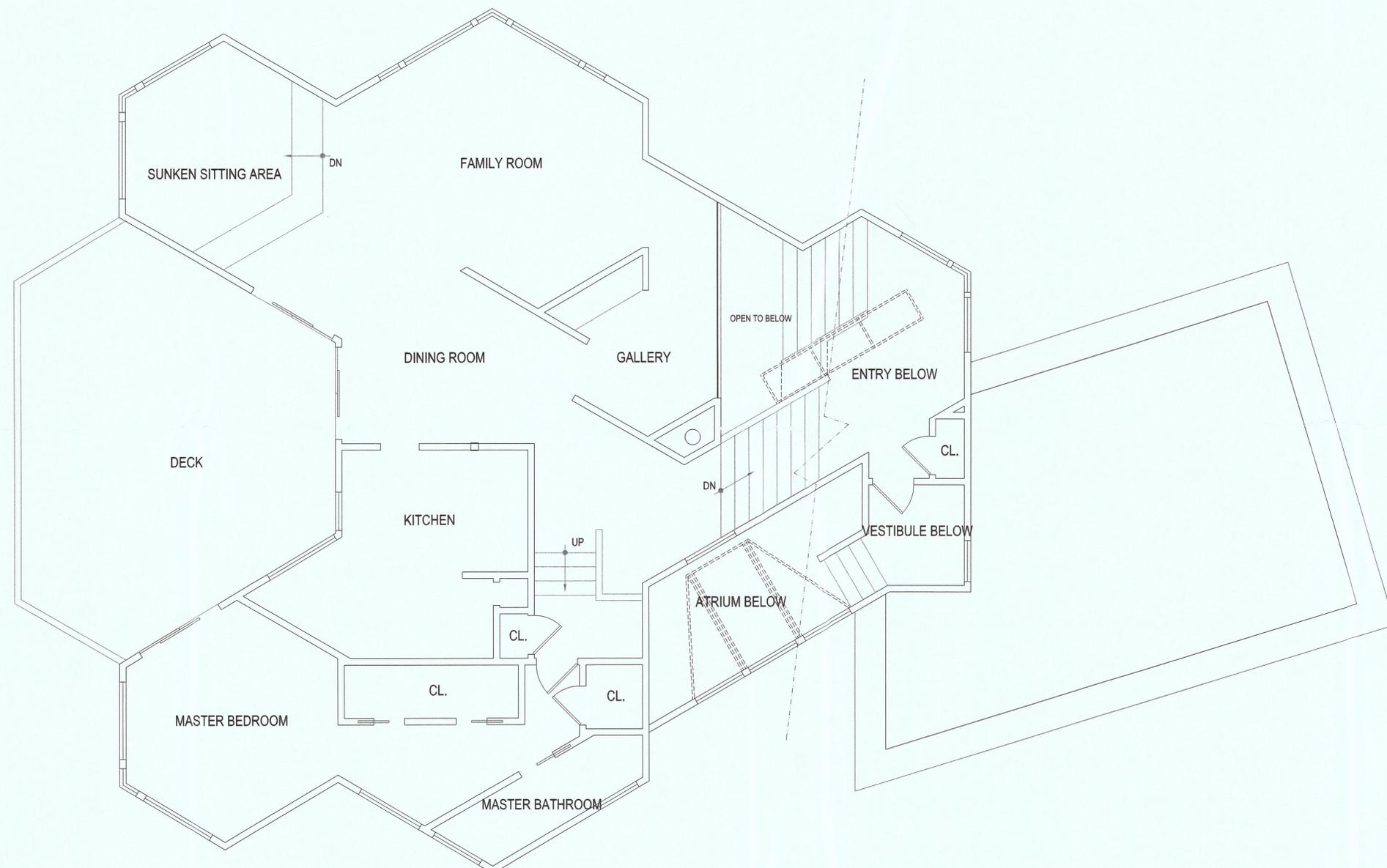
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REMODEL & ADDITION  
**193 REEF POINT ROAD**  
 MOSS BEACH, CA 94038

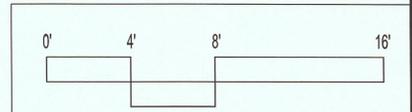
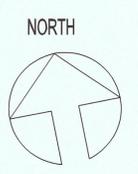
Master Builders  
 LICENSED ARCHITECT  
 JEANNE H. LIEM  
 No. C-31834  
 10-2015  
 RENEWAL DATE  
 STATE OF CALIFORNIA  
 3 Stark Street  
 San Francisco, CA 94133  
 (415) 567-8886  
 www.MasterBuildersSF.com

DATE: 07-10-15  
 SCALE: 1/4"=1'-0"  
 DRAWN: J.Y.  
 JOB: REEFPOINT  
 SHEET:  
**A-2**  
 OF . SHEETS

PUN 2015-00287



EXISTING SECOND FLOOR



REVISIONS BY

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EXISTING  
SECOND FLOOR

---

REMODEL & ADDITION  
**193 REEF POINT ROAD**  
MOSS BEACH, CA 94038

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 San Francisco, CA 94133  
 (415) 567-8886  
 www.MasterBuildersSF.com

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 SCALE: 1/4"=1'-0"  
 DRAWN: J.Y.  
 JOB: REEFPOINT  
 SHEET:

**A-3**  
 OF . SHEETS

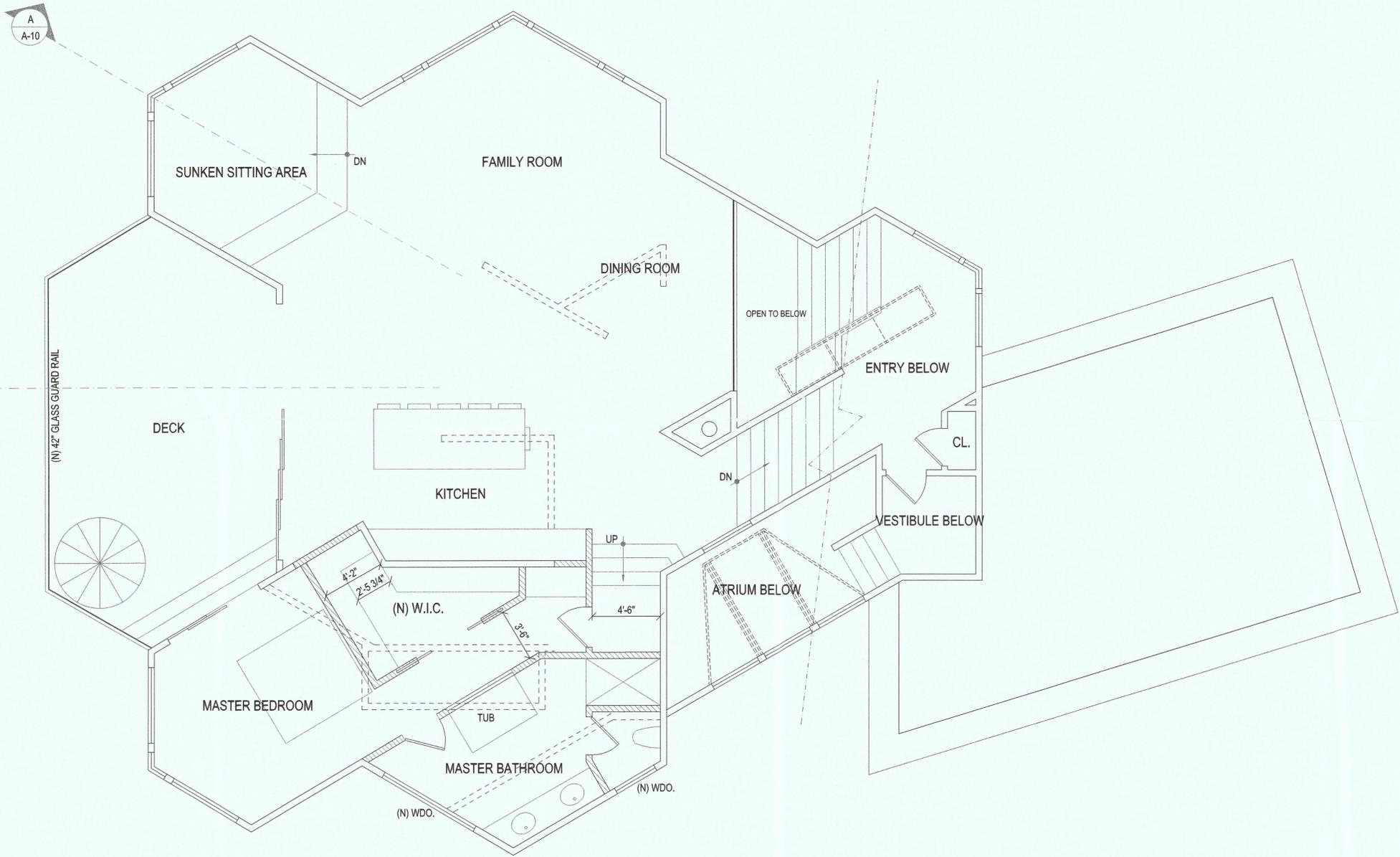
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DATE: 07-10-15  
SCALE: 1/4"=1'-0"  
DRAWN: J.Y.  
JOB: REEFPOINT  
SHEET:

**A-5**  
OF . SHEETS

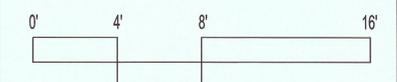


**PROPOSED SECOND FLOOR**  
VERIFY POSTS & BEAMS LOCATIONS



**LEGEND**

- (E) WALL
- - - - (E) WALL/DOOR/WINDOW TO BE REMOVED
- (N) WALL
- (N) SEPARATION WALL (1-HOUR FIRE RATED)
- ⬡ 1 DOOR SYMBOL (SEE DOORS/ WINDOWS SCHEDULES)
- ⬡ 1 WINDOW SYMBOL (SEE DOORS/ WINDOWS SCHEDULES)



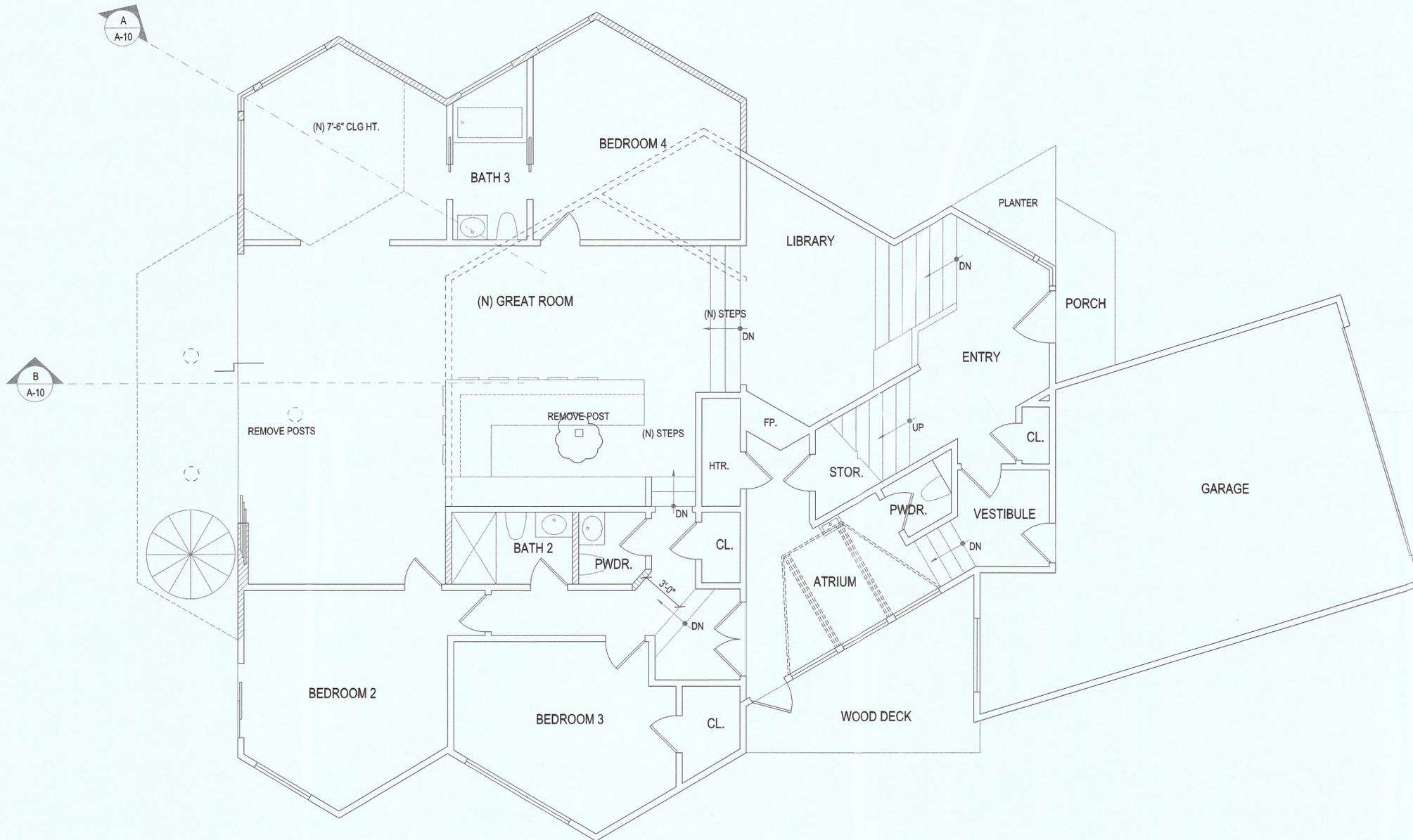
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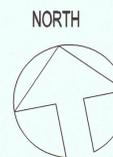
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DATE: 07-10-15  
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DRAWN: J.Y.  
JOB: REEFPOINT  
SHEET:

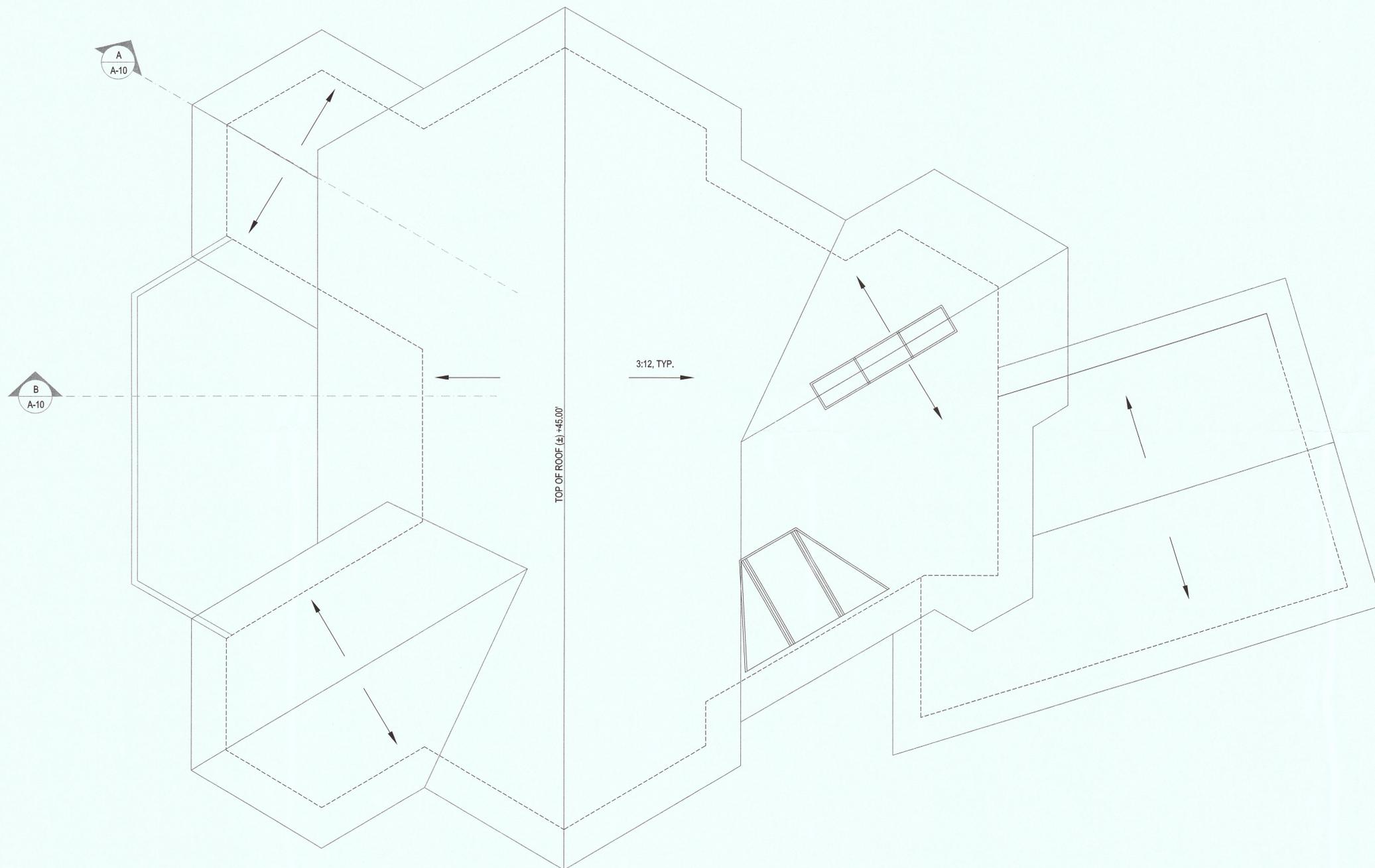
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OF . SHEETS



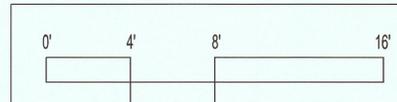
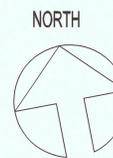
**PROPOSED FIRST FLOOR**  
VERIFY POSTS & BEAMS LOCATIONS



LEGEND	
	(E) WALL
	(E) WALL/DOOR/WINDOW TO BE REMOVED
	(N) WALL
	(N) SEPARATION WALL (1-HOUR FIRE RATED)
	DOOR SYMBOL (SEE DOORS/ WINDOWS SCHEDULES)
	WINDOW SYMBOL (SEE DOORS/ WINDOWS SCHEDULES)



EXISTING ROOF PLAN (NO MODIFICATION)



REVISIONS BY

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EXISTING ROOF PLAN

---

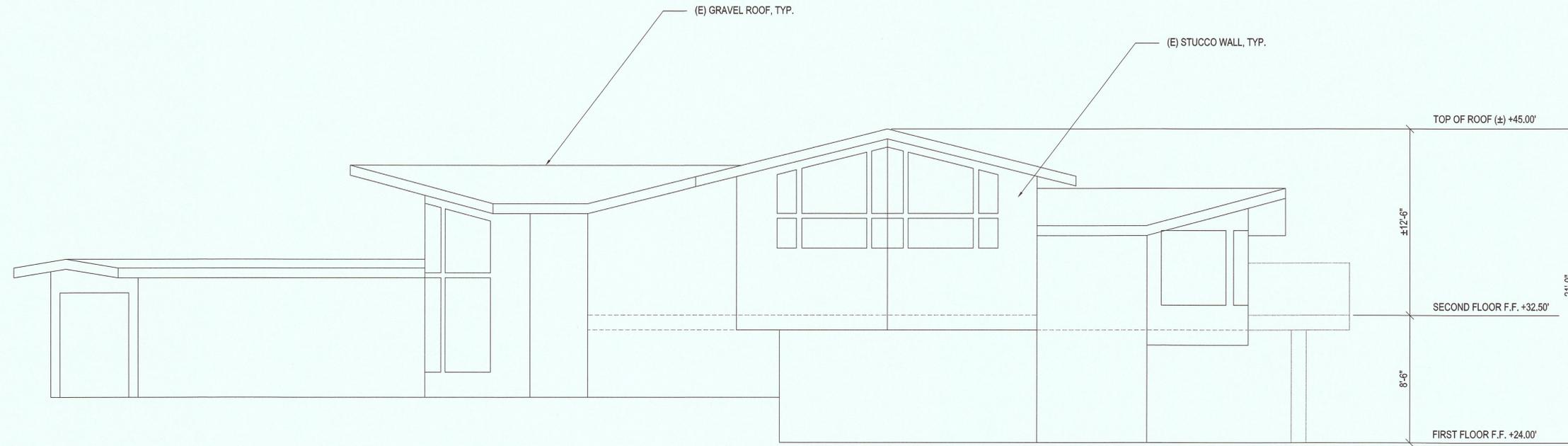
REMODEL & ADDITION  
**193 REEF POINT ROAD**  
 MOSS BEACH, CA 94038

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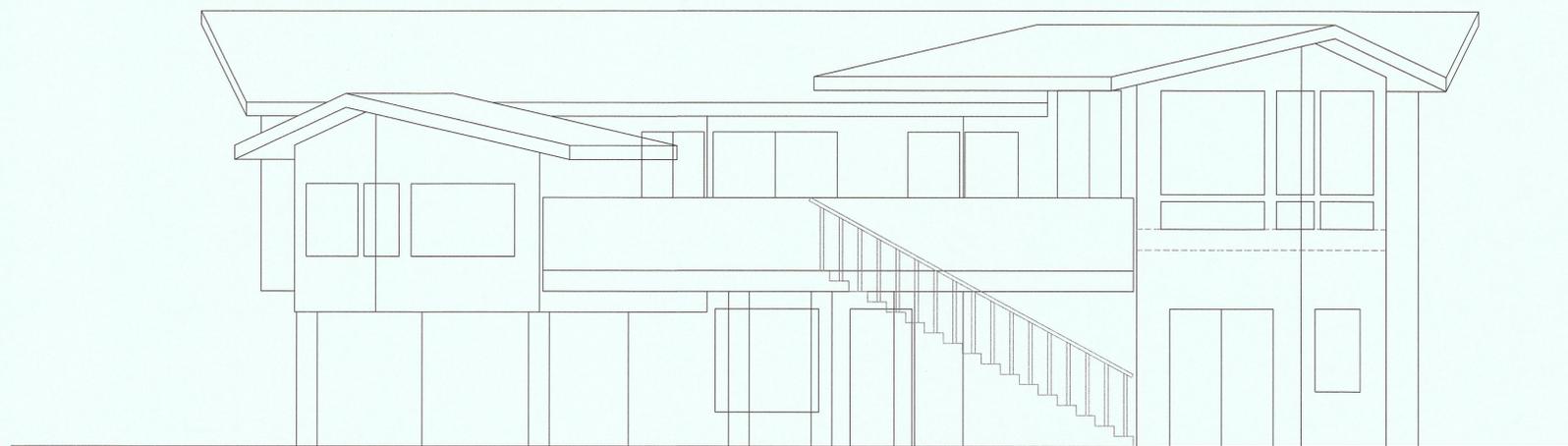
3 Stark Street  
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DATE: 07-10-15  
 SCALE: 1/4"=1'-0"  
 DRAWN: J.Y.  
 JOB: REEFPOINT  
 SHEET:

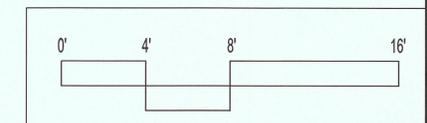
**A-6**  
 OF SHEETS



EXISTING RIGHT ELEVATION (NORTH)



EXISTING REAR ELEVATION (WEST)



REMODEL & ADDITION  
**193 REEF POINT ROAD**  
 MOSS BEACH, CA 94038

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 DRAWN: J.Y.  
 JOB: REEFPOINT  
 SHEET:

**A-7**

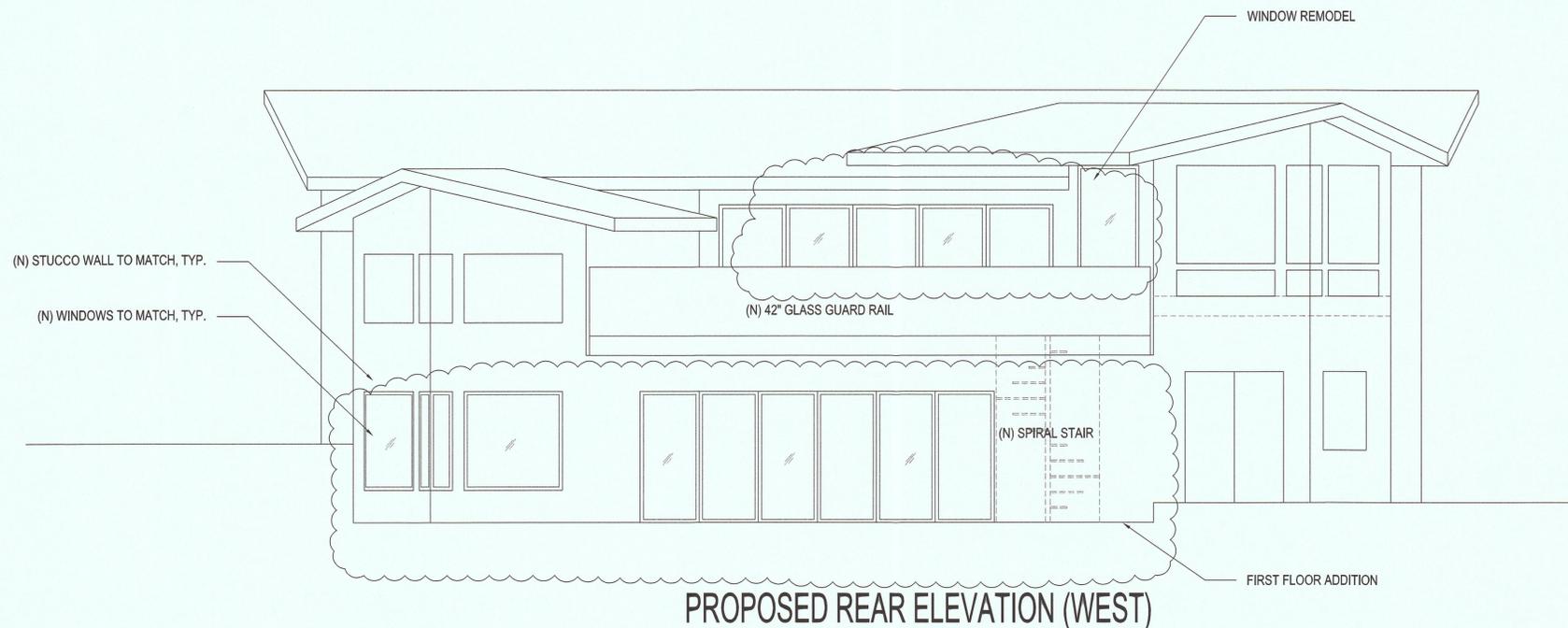
OF . SHEETS

PROPOSED ELEVATIONS

REMODEL & ADDITION  
**193 REEF POINT ROAD**  
 MOSS BEACH, CA 94038



PROPOSED RIGHT ELEVATION (NORTH)



PROPOSED REAR ELEVATION (WEST)

**LEGEND**

- (E) WALL
- (E) WALL/DOOR/WINDOW TO BE REMOVED
- (N) WALL
- (N) SEPARATION WALL (1-HOUR FIRE RATED)
- DOOR SYMBOL (SEE DOORS/ WINDOWS SCHEDULES)
- WINDOW SYMBOL (SEE DOORS/ WINDOWS SCHEDULES)

0' 4' 8' 16'

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DATE: 07-10-15  
 SCALE: 1/4"=1'-0"  
 DRAWN: J.Y.  
 JOB: REEFPOINT  
 SHEET:

**A-9**

OF SHEETS

REVISIONS BY

EXISTING  
ELEVATIONS

REMODEL & ADDITION  
**193 REEF POINT ROAD**  
MOSS BEACH, CA 94038

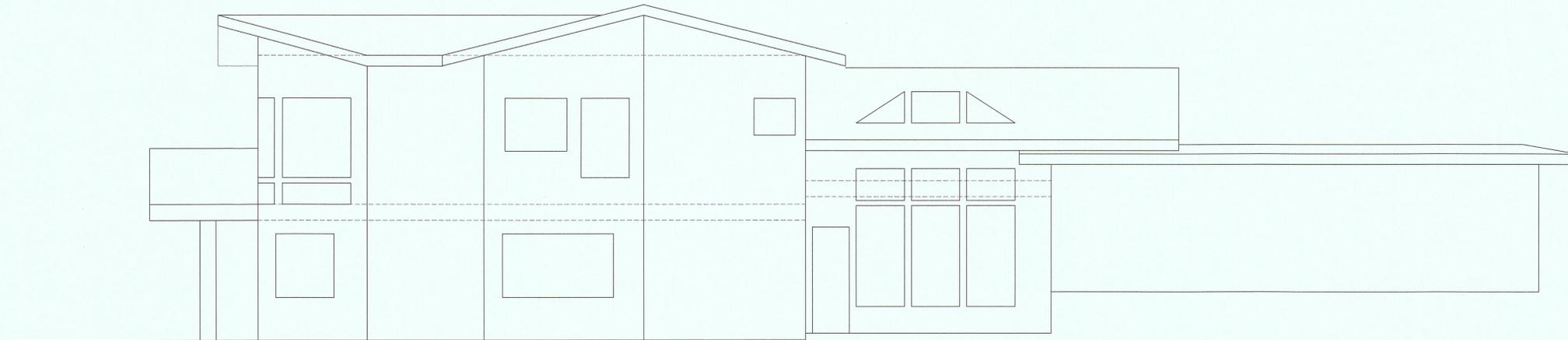
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JOB: REEFPOINT  
SHEET:

**A-8**  
OF SHEETS



EXISTING LEFT ELEVATION (SOUTH)

