

# NEW RESIDENCE

## 1060 DATE STREET MONTARA, CALIF. 94037

### DESIGN DATA

2013 CALIFORNIA ADMINISTRATIVE CODE  
 2013 CALIFORNIA BUILDING CODE  
 2013 CALIFORNIA PLUMBING CODE  
 2013 CALIFORNIA MECHANICAL CODE  
 2013 CALIFORNIA ELECTRIC CODE  
 2013 CALIFORNIA RESIDENTIAL CODE  
 2013 CALIFORNIA ENERGY CODE  
 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE  
 2013 CALIFORNIA FIRE CODE  
 2013 CALIFORNIA EXISTING BUILDING CODE  
 2013 CALIFORNIA REFERENCED STANDARDS CODE  
 ALONG WITH ALL OTHER LOCAL AND STATE LAWS AND REGULATIONS.  
 ADOPTION OF THE 2013 EDITION OF THE CALIFORNIA STATE BUILDING CODES, TITLE 24,  
 CALIFORNIA CODE OF REGULATIONS IS MANDATED BY PART 25 OF DIVISION 13 OF THE  
 CALIFORNIA HEALTH & SAFETY CODE (SECTION 18901 ET SEQ.) THE FOLLOWING LOCAL  
 AMENDMENTS TO THE CALIFORNIA STATE BUILDING CODES WERE FILED WITH THE BUILDING  
 STANDARDS COMMISSION.

#### GENERAL NOTES:

1. ALL DETAILS, MATERIALS, FINISHES AND ASSEMBLIES ARE NOT NECESSARILY SHOWN. THESE FINAL FINISH DETAILS INCLUDING CASEWORK AND MATERIAL SELECTIONS WILL BE COORDINATED BY THE OWNER.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE, APPLICABLE EDITION, AND ALL OTHER PERTINENT CODES, LAWS AND REQUIREMENTS OF THE LOCAL BUILDING OFFICIALS, WHETHER OR NOT SPECIFICALLY SHOWN ON THESE DOCUMENTS. THESE DOCUMENTS ARE NOT INTENDED TO SHOW EVERY DETAIL OR CONDITION. MANY DETAILS IN RESIDENTIAL CONSTRUCTION ARE BUILT ACCORDING TO PROFESSIONAL CONSTRUCTION PRACTICES, AND ARE THEREFORE NOT DETAILED IN THESE DOCUMENTS. CONTACT CHU DESIGN AND ASSOCIATES INC. IF CONDITIONS OR OTHER CIRCUMSTANCES REQUIRE CHANGES IN THE WORK SHOWN, OR REQUIRE CLARIFICATION. ALL WORK SHALL BE DONE IN A HIGH QUALITY MANNER, ACCORDING TO THE PREVAILING STANDARDS OF THE INDUSTRY FOR EACH TRADE.
3. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, SUPERVISION AND CLEAN-UP TO ACCOMPLISH ALL OF THE WORK SHOWN, INCLUDING ALL WARRANTIES AND INSTRUCTIONS, TO PROVIDE A COMPLETE WORKING INSTALLATION, AND TO LEAVE THE OWNER WITH AN APPROVED PRODUCT.
4. CONTRACTOR SHALL ASSUME COMPLETE AND SOLE RESPONSIBILITY FOR MEANS AND METHODS OF CONSTRUCTION, AND FOR ALL SAFETY MEASURES TO PROTECT ALL PROPERTY, PERSONNEL AND THIRD PARTIES FROM DAMAGE OR INJURY. THIS RESPONSIBILITY SHALL BE CONTINUOUS AND NOT SOLELY DURING WORKING HOURS. CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS CHU DESIGN ASSOCIATES INC. AND RELATED ENGINEERS FROM ANY CLAIMS OF LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF HIS WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF CHU DESIGN ASSOCIATES, INC. AND RELATED ENGINEERS.
5. THESE DOCUMENTS DO NOT CONTAIN PROVISIONS FOR THE HANDLING OR REMOVAL OF ANY HAZARDOUS MATERIALS. SHOULD ANY SUCH MATERIALS BE SUSPECTED OR ENCOUNTERED, SPECIALISTS SHALL BE CALLED IN TO MAKE RECOMMENDATIONS.
6. PROVIDE ALL MANDATORY FEATURES REQUIRED BY THE T-24 ENERGY CODE, INCLUDING WEATHER-STRIPPING, BUILDING INSULATION, FIFE INSULATION, LIGHTING AND APPLIANCE MEASURES, AND OTHER FEATURES REQUIRED BY TITLE 24 OR OTHER STATE, FEDERAL OR LOCAL CODES.
7. NO PERSON SHALL ERECT (INCLUDING EXCAVATION AND GRADING), DEMOLISH, ALTER OR REPAIR ANY BUILDING OR STRUCTURE OTHER THAN BETWEEN THE HOURS PERMITTED BY THE LOCAL JURISDICTION.

### PROJECT DATA

1. LOT LOCATION: 1060 DATE STREET  
MONTARA, CA 94037  
036-151-440

2. APN: 036-151-440

3. OCCUPANCY GROUP: R-3 DWELLING/ U GARAGE

4. CONSTRUCTION TYPE: TYPE V-B

5. ZONING DISTRICT: R-1-S-11-DR

6. LOT SIZE: IRREGULAR LOT (SEE BOUNDARY SURVEY)

7. SITE AREA (BASED ON THE COUNTY RECORD): 4,938.0 SF

8. MAXIMUM LOT COVERAGE RATIO: 35 % OR 1,743.30 SQ. FT.

9. BUILDING DATA:

GARAGE AREA: 440.00 SF  
 FIRST FLOOR AREA: 867.25 SF  
 SECOND FLOOR AREA: 762.85 SF  
 TOTAL CONDITIONED FLOOR AREA: 1,630.10 SF  
 TOTAL FLOOR AREA: 2,070.10 SF  
 TOTAL FOOT-PRINT AREA: 1,321.25 SF  
 PERVIOUS CONCRETE DRIVEWAY AREA: 863.48 SF  
 STONE PAVED PATIO AREA: 387.95 SF  
 LANDSCAPE AREA: 2,419.32 SF

- STRUCTURAL OBSERVATION/ SPECIAL INSPECTION IS REQUIRED FOR
1. SHEAR WALLS WITH DESIGN LOAD OF 300 PLF OR GREATER
  2. INSTALLATION OF EPOXY INSTALLED ANCHOR BOLTS
  3. ALL UTILITY TRENCHES, BUILDING PAD SHALL BE PROPERLY BACK-FILLED AND COMPACTED.
  4. THE FOUNDATION EXCAVATION, HOLDOWN
  5. INSTALLATION OF SIMPSON STRONG WALL

#### ILLUMINATED STREET ADDRESS

ADDRESS NUMBERS ASSIGNED BY THE PLANNING AND BUILDING DIVISION SHALL BE POSTED ON ALL DWELLING UNITS.  
 Provide an illuminated street address at the entry door per City ordinance. Approved numbers or addresses shall be placed in such a position as to be plainly visible and legible from the street or road fronting the property. Said numbers shall contrast with their background, and shall be a minimum of 1/2 inch stroke by 4 inches high, shall be either internally or externally illuminated. The power of such illumination shall not be normally switchable.  
 ADDRESS NUMBER AND DIRECTIONAL SIGNS MAY BE REQUIRED AT THE ENTRANCE TO THE DRIVEWAY/ ACCESS ROAD, ROAD FORKS, AND INTERSECTIONS. WHEN LOCATED ON THE STREET THE NUMBERS SHALL BE VISIBLE FROM EACH DIRECTION OF TRAVEL.

NOTE:  
 1. AN AUTOMATIC SPRINKLER SYSTEM (13D) IS REQUIRED THROUGHOUT THE ENTIRE STRUCTURE UNDER A SEPARATE PERMIT.  
 2. THE REQUIRED SPRINKLER SYSTEM SHALL BE A DEFERRED SUBMITTAL FOR APPROVAL FROM THE FIRE MARSHALL OF THE CITY OF SAN MATEO PRIOR TO INSTALLATION.

FIRE SPRINKLER NOTE:  
 1. FIRE SPRINKLER SYSTEM SHALL BE INSTALLED THROUGHOUT THE ENTIRE STRUCTURE UNDER A SEPARATE PERMIT.

2. CONTRACTOR SHALL FURNISH THE DESIGN AND CONSTRUCTION AND INSTALLATION OF AN APPROVED FIRE SPRINKLER SYSTEM. THE DESIGN SHALL BE PROVIDED BY AN APPROVED FIRE SPRINKLER CONTRACTOR THAT IS LICENSED TO WORK IN THE STATE. ALL LABOR MATERIALS, VALVES, EQUIPMENT AND SERVICES NECESSARY TO COMPLETE THE PROJECT SHALL BE INCLUDED. LAYOUT DRAWINGS, DESIGN AND EQUIPMENT LISTS MUST BE REVIEWED AND APPROVED BY THE FIRE MARSHALL AND THE BUILDING DEPARTMENT PRIOR TO INSTALLATION. DRAWINGS SHALL SHOW THE BUILDING TO BE COMPLETELY SPRINKLERED THROUGHOUT, ALL CONCEALED AREAS INCLUDING ATTIC AND GARAGES. A FOUR HEAD CALCULATION WILL ALSO BE REQUIRED TO ENGINEER THE SYSTEM.

### SHEET INDEX

#### ARCHITECTURAL

- A0 COVER SHEET
- A1 SITE/ ROOF PLAN
- A2 FIRST & SECOND FLOOR PLAN
- A3 ELEVATION PLAN
- A4 ARCHITECTURAL DETAILS, NOTES AND TABLES
- AC1 EXISTING AREA CALCULATION
- BMP PROPOSED AREA CALCULATION

#### CIVIL

- C0 BOUNDARY SURVEY
- C1 GRADING & DRAINAGE PLAN
- C2 EROSION CONTROL PLAN

#### LANDSCAPE

- L1 LANDSCAPE PLAN

### PROJECT DIRECTORY

#### PROPERTY OWNER:

MR. & MRS. LUISITO & ELIZABETH FEJTEJO  
 1201 S. MAIN STREET APT. #459  
 MILPITAS, CA 95035  
 TEL: 408-887-2443  
 E-MAIL: elizite25@yahoo.com

#### BUILDING DESIGN:

CHU DESIGN ASSOCIATES INC.  
 55 W. 43RD AVE.  
 SAN MATEO, CA 94403  
 TEL: (650) 345-9286, EXT. 102  
 E-MAIL: jack@chudesign.com

#### STRUCTURAL:

CHU DESIGN ASSOCIATES INC.  
 55 W. 43RD AVE.  
 SAN MATEO, CA 94403  
 TEL: (650) 345-9286, EXT. 102  
 E-MAIL: jane@chudesign.com

#### TITLE 24:

RICK'S ENERGY SOLUTIONS.  
 BABETTE "BARBIE" BEAUDETTE  
 TEL: (707) 518-5300  
 CELL: (707) 529-1006  
 E-MAIL: Rick@rc-networks.com

#### SPECIAL INSPECTION:

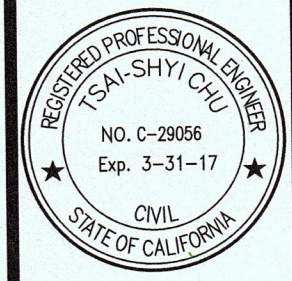
CAPEX ENGINEERING INC.  
 P.O. BOX 14198  
 FREMONT, CA 94539  
 TEL: (510) 668-1815  
 FAX: (510) 490-8630

#### FIRE SPRINKLER DESIGN:

FIRE GUARD  
 1431 PARKWOOD AVE.  
 SAN MATEO, CA 94403  
 TEL: (650) 773-0108

- AUTOMATIC FIRE SPRINKLER SYSTEM NOTES:
1. THE BUILDING WILL BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM.
  2. ALL FIRE CONDITIONS AND REQUIREMENTS MUST BE INCORPORATED INTO YOUR BUILDING PLANS, PRIOR TO BUILDING PERMIT ISSUANCE. IT IS CLIENT/ OWNER'S RESPONSIBILITY TO NOTIFY THE GENERAL CONTRACTOR, ARCHITECT AND ENGINEER OF THESE REQUIREMENTS.
  3. AS PER SAN MATEO COUNTY BUILDING STANDARDS AND COAST-SIDE FIRE DISTRICT ORDINANCE NUMBER 2013-03, THE APPLICANT IS REQUIRED TO INSTALL AN AUTOMATIC FIRE SPRINKLER SYSTEM THROUGHOUT THE PROPOSED OR IMPROVED DWELLING AND GARAGE. ALL ATTIC ACCESS LOCATIONS WILL BE PROVIDED WITH A PILOT HEAD ON A METAL UPRIGHT. ALL AREAS THAT ARE ACCESSIBLE FOR STORAGE PURPOSES SHALL BE EQUIPPED WITH FIRE SPRINKLER INCLUDING CLOSETS AND BATHROOMS. THE ONLY EXCEPTION IS SMALL LINEN CLOSETS LESS THAN 24 SQUARE FEET WITH FULL DEPTH SHELVING.
  4. THE PLANS FOR THIS SYSTEM MUST BE SUBMITTED TO THE SAN MATEO COUNTY PLANNING AND BUILDING DIVISION OR THE CITY OF HALF MOON BAY. A BUILDING PERMIT WILL NOT BE ISSUED UNTIL PLANS ARE RECEIVED, REVIEWED AND APPROVED. UPON SUBMISSION OF PLANS, THE COUNTY OR CITY WILL FORWARD A COMPLETE SET TO THE COAST-SIDE FIRE DISTRICT FOR REVIEW. THE FEE SCHEDULE FOR AUTOMATIC FIRE SPRINKLER SYSTEMS SHALL BE IN ACCORDANCE WITH HALF MOON BAY ORDINANCE NO. 2006-01 FEES SHALL BE PAID PRIOR TO PLAN REVIEW.
  5. INSTALLATION OF UNDERGROUND SPRINKLER PIPE SHALL BE FLUSHED AND VISUALLY INSPECTED BY FIRE DISTRICT PRIOR TO HOOK-UP TO RISER. ANY SOLDERED FITTINGS MUST BE PRESSURE TESTED WITH TRENCH OPEN.
  6. EXTERIOR BELL AND INTERIOR HORN/ STROBE ARE REQUIRED TO BE WIRED INTO THE REQUIRED FLOW SWITCH ON FIRE SPRINKLER SYSTEM. THE BELL, HORN/ STROBE AND FLOW SWITCH, ALONG WITH THE GARAGE DOOR OPENER ARE TO BE WIRED INTO SEPARATE CIRCUIT BREAKER AT THE MAIN ELECTRICAL PANEL AND LABELED.

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**NEW RESIDENCE**  
 Owner: Mr. & Mrs. Luisito & Elizabeth Fejstejo  
 1060 Date Street Montara, Calif. 94037  
 Tel.: 408-506-7381, 408-887-2443

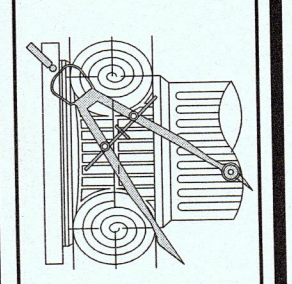
DATE: Mar. 1, 2016  
 SCALE: AS NOTED  
 DRAWN: JC  
 FOR: Fejstejo  
 SHEET NO.

**A.0**

OF SHEETS

REVISIONS	BY

CHU DESIGN ASSOCIATES INC.  
 55 W. 43RD AVENUE  
 SAN MATEO, CALIFORNIA 94403  
 TEL: (650) 345-9286  
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PLN2016-00160



2. ADOPTION OF THE 2013 BUILDING ENERGY EFFICIENCY STANDARDS FOR RESIDENTIAL + NON-RESIDENTIAL BUILDINGS: <http://www.energy.ca.gov/title24/2008standards/index.html>  
 AT LEAST 50% OF THE LIGHTING INSTALLED IN THIS PROJECT MUST BE ENERGY-EFFICIENT.

- ALL THE HARDWIRED LIGHTS IN ROOMS (i.e. BEDROOMS, HALLWAYS, STAIRS, DINING ROOMS, ETC.):
- A. ALL LIGHTS MUST BE HIGH EFFICACY, OR PROVIDE A MANUAL-ON MOTION SENSOR, OR PROVIDE DIMMER SWITCH. THE MANUAL-ON MOTION SENSOR MUST TURN OFF AUTOMATICALLY WHEN ONE IS PRESENT, AND MUST BE TURNED ON MANUALLY WITH A SWITCH.
  - B. CLOSETS LESS THAN 10 SF ARE EXEMPT FROM LIGHTING REQUIREMENTS.

- OUTDOOR LIGHTING ATTACHED TO THE BUILDING:
- A. ALL LIGHTS MUST BE HIGH EFFICACY, OR CONTROLLED BY BOTH A MOTION SENSOR AND PHOTOCONTROL.
  - B. LIGHTING NOT ATTACHED TO THE BUILDING (I.E. LANDSCAPE LIGHTING) IS EXEMPT.

1. GENERAL LIGHTING FIXTURES INSTALLED IN THE KITCHEN AND BATHROOMS SHALL BE FLUORESCENT OR APPROVED EQUAL.
2. A DEDICATED 20 AMP CIRCUIT IS REQUIRED TO SERVE THE REQUIRED BATHROOM RECEPTACLES. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC. PER NEC ARTICLE 210-52, THE 2004 CALIFORNIA ELECTRICAL CODE THAT INCORPORATES THE ADOPTION 2002 NATIONAL ELECTRICAL CODE IS EFFECTIVE AS OF AUGUST 1, 2005.
3. ELECTRICAL OUTLET MUST BE NO LESS THAN 1" ON CENTER APART AND ON WALLS MORE THAN 2'-0" WIDE AT LEAST ONE OUTLET IS REQUIRED.
4. INSTALL GFCI PROTECTED OUTLETS IN THE FOLLOWING LOCATIONS:  
 ALL GARAGE LOCATIONS;  
 ALL UNFINISHED BASEMENT, CRAWL SPACES AND STORAGE AREAS;  
 WITHIN 6' OF A BASIN OR SINK;  
 ALL EXTERIOR (WATERPROOF) LOCATIONS;  
 ALL OUTLETS IN KITCHEN.

5. CLOTHES DRYER TO HAVE DEDICATED CIRCUIT OF 30 AMPS.
6. APPLIANCES FASTENED IN PLACE (DISHWASHERS, GARBAGE DISPOSERS, TRASH COMPACTORS, MICROWAVE ETC.) SHALL BE SUPPLIED BY A SEPARATE BRANCH CIRCUIT RATED FOR THE APPLIANCE LOAD.
7. SMOKE DETECTORS ARE TO BE 120V AND POWERED WITH A BATTERY BACKUP. SMOKE DETECTORS ARE TO BE INNER CONNECTED FOR ALARM.
8. SEPARATE 20AMP BRANCH CIRCUIT SERVICE LAUNDRY ROOM OUTLETS PER NEC ARTICLE 210-52 (F)
9. BATHROOM SHALL HAVE SEPARATE 20AMP BRANCH CIRCUIT (S) SERVING BATHROOM OUTLETS.
10. KITCHEN SHALL HAVE TWO SEPARATE 20AMP SMALL APPLIANCE BRANCH CIRCUITS, LIMITED TO SUPPLYING WALL AND COUNTER SPACE OUTLETS (THEY CAN NOTE SERVE THE DINING ROOM, OUTSIDE PLUGS, RANGE HOOD DISPOSALS, DISHWASHERS OR MICROWAVES - ONLY THE REQUIRED COUNTERTOP / WALL OUTLETS INCLUDING THE REFRIGERATOR.
11. LIGHTING REQUIREMENTS IN KITCHEN AND BATHROOMS: 40 LUMENS PER WATT.
12. OPENING MADE ON A SHEAR WALL BY THE INSTALLATION OF THE MAIN ELECTRICAL PANEL SHALL HAVE A STRUCTURAL DETAIL PREPARED BY THE ENGINEER-OF-RECORD AND SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL.

13. NON-REMOVABLE BACKFLOW PREVENTION DEVICES ON ALL EXTERIOR HOSE BIBS, UPC603.
14. PROVIDE PRESSURE ABSORBING DEVICES, EITHER AN AIR CHAMBER OR APPROVED MECHANICAL DEVICES THAT WILL ABSORB HIGH PRESSURES RESULTING FROM THE QUICK CLOSING OF QUICK-ACTING VALVES.
15. PROVIDE CONDUCTOR WIRES WITH AN INSULATED NEUTRAL AND A FOUR-PRONG OUTLET ARE REQUIRED FOR DRYERS AND COOKING UNITS.
16. HOME SECURITY SYSTEM TO BE PROVIDED BY OWNER/OTHERS.
17. PROVIDE AFCI PROTECTION FOR ALL BRANCH CIRCUITS THAT SUPPLY 120 VOLT, 15 & 20 AMPERE OUTLETS FOR RECEPTACLES, LIGHT & SMOKE ALARMS INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTERS (AFCI).
18. PROVIDE AT LEAST 12" CLEARANCE BETWEEN THE LIGHT FIXTURE AND THE NEAREST POINT OF STORAGE SPACE PER CEC SECTION 4102.412.2.
19. PROVIDE ARC-FAULT CIRCUIT INTERRUPTER (AFCI) TO PROTECT ALL RECEPTACLES IN THE BEDROOMS, LIVING, DINING, FAMILY ROOM, HALLWAY, ETC. WITH BRANCH CIRCUITS THAT SUPPLY 120 VOLT, SINGLE-PHASE, 15 AND 20 AMPERE RECEPTACLE OUTLETS. THE DEVICE IS REQUIRED AT THE SOURCE OF THE BRANCH CIRCUIT TO PROVIDE PROTECTION FOR THE BRANCH-CIRCUIT CONDUCTORS AS WELL AS FLEXIBLE CORDS AND EQUIPMENT CONNECTED TO THE BRANCH CIRCUIT. NEWLY INSTALLED OUTLETS SHALL BE TEMPER RESISTANT FOR AFCI TYPE PER CEC SEC.406.11.

20. ALL RECESSED LIGHTS IN INSULATED CEILING MUST BE IC RATED, ELECTRONIC BALLAST AND AIR-TIGHT. PER UL1598 AND NATIONAL ELECTRICAL CODE SECTION 410-66
  - A. A RECESSED FIXTURE THAT IS IDENTIFIED FOR CONTACT WITH INSULATION, TYPE-IC, SHALL BE PERMITTED TO BE IN CONTACT WITH COMBUSTIBLE MATERIALS (INCLUDING WOOD, THERMAL INSULATION, CEILING TILES AND VAPOR BARRIERS) AT RECESSED PARTS, POINTS OF SUPPORT AND PORTIONS PASSING THROUGH OR FINISHING OFF THE OPENING IN THE BUILDING STRUCTURE.
  - B. THERMAL INSULATION SHALL NOT BE INSTALLED ABOVE A RECESSED FIXTURE OR WITHIN 3" OF THE RECESSED FIXTURE ENCLOSURE, WIRING COMPARTMENT, OR BALLAST, UNLESS IT IS IDENTIFIED FOR CONTACT WITH INSULATION, TYPE IC.
21. THE WIDTH OF THE WORKING SPACE IN FRONT OF THE MAIN PANEL SHALL BE 30" (8") ON BOTH SIDES OF CENTERLINE.
22. SERVICE GROUNDING / BONDING SHALL INCLUDE COLD WATER, CONNECTED ON THE EXTERIOR WITHIN 5'-0" OF ENTRANCE TO BUILDING, AND A CONCRETE ENCASED "UFER" ELECTRODE.
23. ALL RECESSED LUMINAIRES IN INSULATED CEILING - IC RATED, ELECTRONIC BALLAST AND AIR-TIGHT (AT).
24. ALL EXTERIOR OR INTERIOR STAIRWAYS SHALL HAVE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOTE LESS THAN 1 FT-CANDLE AS PER CEC SECTION 1205.4
25. PROHIBIT PENDANT, TRACK LIGHTS OR CEILING SUSPENDED PADDLE FAN LESS THAN 8 FT. ABOVE THE TOP OF TUB OR SHOWER WATER DRAIN OR WITHIN 3 FT. OF THE EDGE OF THE TUB OR SHOWER. CEC ARTICLES 410.4.11 & 410.10(C)(3).

THE APPLICANT MUST HAVE A MAINTAINED ASPHALT SURFACE ROAD FOR INGRESS AND EGRESS OF FIRE APPARATUS. THE SAN MATEO COUNTY DEPARTMENT OF PUBLIC WORKS, THE COAST-SIDE FIRE DISTRICT ORDINANCE 2013-03, AND THE CALIFORNIA FIRE CODE SHALL SET ROAD STANDARDS. AS PER THE 2013 CFC, DEAD-END ROADS EXCEEDING 150 FEET SHALL BE PROVIDED WITH TURNAROUND IN ACCORDANCE WITH HALF MOON BAY FIRE DISTRICT SPECIFICATIONS. AS PER THE 2007 CFC SECTION APPENDIX D, ROAD WIDTH SHALL BE LESS THAN 20 FEET. FIRE ACCESS ROADS SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO COMBUSTIBLES BEING PLACED ON THE PROJECT SITE AND MAINTAINED DURING CONSTRUCTION. APPROVED SIGNS AND PAINTED CURBS OR LINES SHALL BE PROVIDED AND MAINTAINED TO IDENTIFY FIRE ACCESS ROADS AND STATE THE PROHIBITION OF THEIR OBSTRUCTION. IF THE ROAD WIDTH DOES NOT ALLOW PARKING ON THE STREET (20 FEET ROAD) AND ON-STREET PARKING IS DESIRED, AN ADDITIONAL IMPROVED AREA SHALL BE DEVELOPED FOR THAT USE.

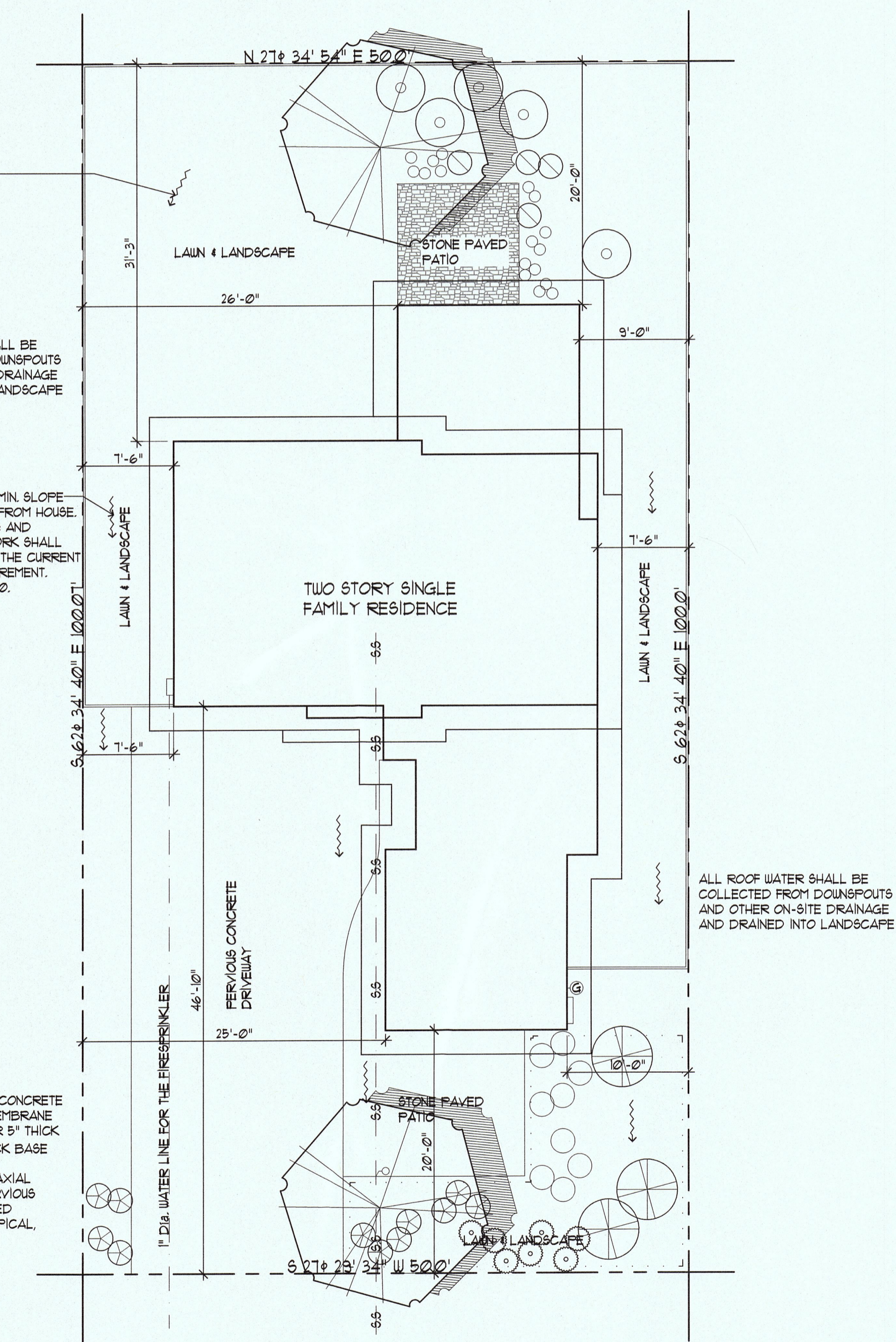
THE COAST-SIDE FIRE DISTRICT ORDINANCE 2013-03, THE 2013 CALIFORNIA FIRE CODE AND PUBLIC RESOURCES CODE 4091:

1. A FUEL BREAK OF DEFENSIBLE SPACE IS REQUIRED AROUND THE PERIMETER OF ALL STRUCTURES TO A DISTANCE OF NOT LESS THAN 30 FEET AND MAY BE REQUIRED TO A DISTANCE OF 100 FEET OR TO THE PROPERTY LINE, IN 584 (STATE RESPONSIBLE AREA). THE FUEL BREAK IS 100 FEET OR TO THE PROPERTY LINE.
2. TREE LOCATED WITHIN THE DEFENSIBLE SPACE SHALL BE PRUNED TO REMOVE DEAD AND DYING PORTIONS, AND LIMBED UP TO 6 TO 10 FEET ABOVE THE GROUND. NEW TREE PLANTED IN THE DEFENSIBLE SPACE SHALL BE LOCATED NO CLOSER THAN 10 FEET TO ADJACENT TREES WHEN FULLY GROWN OR AT MATURITY.
3. REMOVE THAT PORTION OF ANY EXISTING TREE, WHICH EXTENDS WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVEPIPE OR IS WITHIN 5 FEET OF ANY STRUCTURE. MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING BUILDING FREE OF DEAD OR DYING WOOD.

2013 CAL-GREEN BUILDING CODE:

1. A PLAN HAS BEEN DEVELOPED AND WILL BE IMPLEMENTED TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION PER CGC 4106.2 & 4106.3.
2. AUTOMATIC IRRIGATION SYSTEM CONTROLLER FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH CGC 4304.
3. A MINIMUM OF 50% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE GENERATED AT THE SITE SHALL BE DIVERTED TO AN OFF-SITE RECYCLE, DIVERSION, OR SALVAGE FACILITY PER CGC 4408.

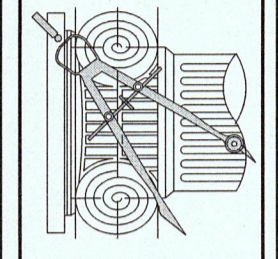
(N) 5" THICK PERVIOUS CONCRETE OVER WATER PROOF MEMBRANE (10 MIL VISQUEEN) OVER 5" THICK 3/4" CRUSHED DRAIN ROCK BASE (TYPICAL UNO).  
 (N) TENSAR BX-1100 BIAXIAL GEOGRID BETWEEN PERVIOUS CONCRETE AND CRUSHED DRAIN ROCK BASE (TYPICAL UNO).



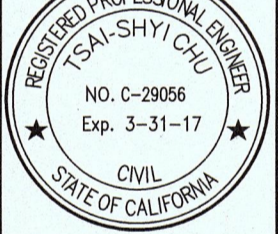
**SITE/ ROOF PLAN**  
 SCALE: 1/8"=1'-0"

REVISIONS	BY

**CHU DESIGN ASSOCIATES INC.**  
 55 W 43rd AVENUE  
 SAN MATEO, CALIFORNIA 94403  
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**NEW RESIDENCE**  
 Owner : Mr. & Mrs. Luisito & Elizabeth Festejo  
 1060 Date Street Montara, Calif. 94037  
 Tel. : 408-506-7381, 408-887-2443

DATE: Mar. 1, 2016  
 SCALE: AS NOTED  
 DRAWN: JC  
 FOR: Festejo  
 SHEET NO:

**A.1**



AS PER CALIFORNIA BUILDING CODE, STATE FIRE MARSHAL REGULATIONS, THE COASTSIDE FIRE DISTRICT ORDINANCE 2013-03, THE APPLICANT IS REQUIRED TO INSTALL STATE FIRE MARSHAL APPROVED AND LISTED SMOKE DETECTORS WHICH ARE HARD WIRED, INTERCONNECTED, AND HAVE BATTERY BACKUP. THESE DETECTORS ARE REQUIRED TO BE PLACED IN EACH NEW AND RECONDITION SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA. IN EXISTING SLEEPING ROOMS, AREAS THAT HAVE BATTERY POWERED SMOKE ALARMS, A MINIMUM OF ONE DETECTOR SHALL BE PLACED ON EACH FLOOR. SMOKE DETECTORS SHALL BE TESTED AND APPROVED PRIOR TO THE BUILDING FINAL.

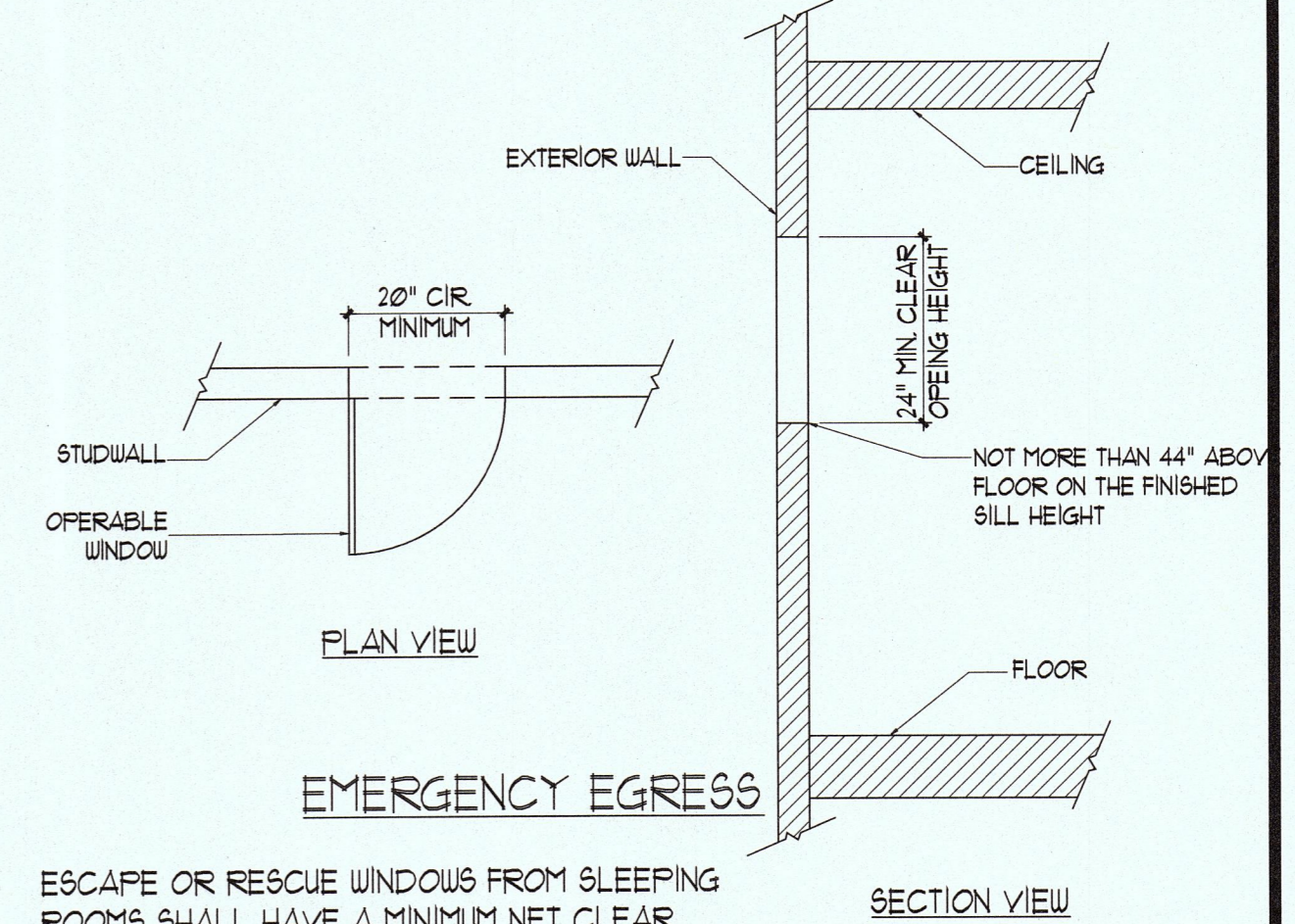
**CalGreen KEYNOTES:**

- 1 VELUX SKYLIGHT
- 2 NEW HORIZONTAL FURNACE IN THE ATTIC - RHEEM CLASSIC 90 PLUS. MODEL NO. : RSTC-06E1A68 OR EQ. RATED INPUT : 80,000 BTUH. HEATING OUTPUT : 15,000 BTUH. AFUE : 95.0 %. PROVIDE A "TEMPER PROOF" RECEPTACLES AND LIGHTING AT LOWER FURNACE.
- 3 DRYER  
1. PROVIDE A SMOOTH METAL DUCT FOR DRYER EXHAUST EXTENDING TO OUTSIDE W/ BACK DRAFT DAMPER (36" MIN. AWAY FROM OPENING).  
2. MAX. VENT DUCT LENGTH OF 14'. SEE HVAC & PLUMBING NOTES.
- 4 PROVIDE ALL SHOWER HEAD TO HAVE A MAX. FLOW OF 2.0 GPM @ 80 PSI AND LAVATORY FAUCETS TO HAVE A MAX. 1.5 GPM @ 60 PSI PER CalGreen SEC. 4.3023.
- 5 30" x 30" ATTIC ACCESS.
- 6 PROVIDE 1/2" TYPE-X GYPSUM WALLBOARD FROM FOUNDATION ROOF SHEATHING AT SEPARATION WALL BETWEEN GARAGE AND RESIDENCE. (TYPICAL, UNO.) PER CRC R3023/ R3026.
- 7 NEW TANKLESS WATER HEATER : RHEEM RTGH-95XN OR EQ. GAS INPUT : 11,000-199,000 BTU/HR. ENERGY FACTOR : 0.94.
- 8 PROVIDE MINIMUM 1-3/8" SOLID CORE W/ SELF-CLOSING & SELF LATCHING DOORW/ FIRE RESISTANCE RATING OF NOT LESS THAN 20 MIN. WHEN TESTED ACCORDING TO ASTM E 2014.
- 9 MINIMUM 36" DEEP LANDING AT ALL EXTERIOR DOORS.
- 10 NEW GRAVITY HOOD ABOVE THE STOVE TOP, WILL BE INSTALLED AND VENTED TO THE OUTSIDE ATMOSPHERE.
- 11 PROVIDE KITCHEN FAUCETS TO HAVE A MAX. FLOW OF 1.8 GPM @ 60 PSI PER CalGreen SEC. 4.3023.
- 12 PROVIDE ALL TOILETS SHALL HAVE MAX. 120 GALLONS PER FLUSH.
- 13 WALL COVERING SHALL BE CEMENT PLASTER, TILE OR APPROVED MATERIAL EQUAL TO 12" ABOVE DRAIN AT SHOWERS OR TUB WITH SHOWERS. MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT.
- 14 SHOWERS AND TUB-SHOOWER COMBINATIONS IN BUILDINGS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/ THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION. THESE VALVES SHALL CONFORM TO ASSE 1016 OR ASME A112.18.1/CSA INSTRUCTIONS TO DELIVER A MAXIMUM MIXED WATER SETTING OF 120 DEGREES. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A SUITABLE CONTROL FOR MEETING THIS PROVISION.
- 15 24" x 30" CRAWL SPACE ACCESS

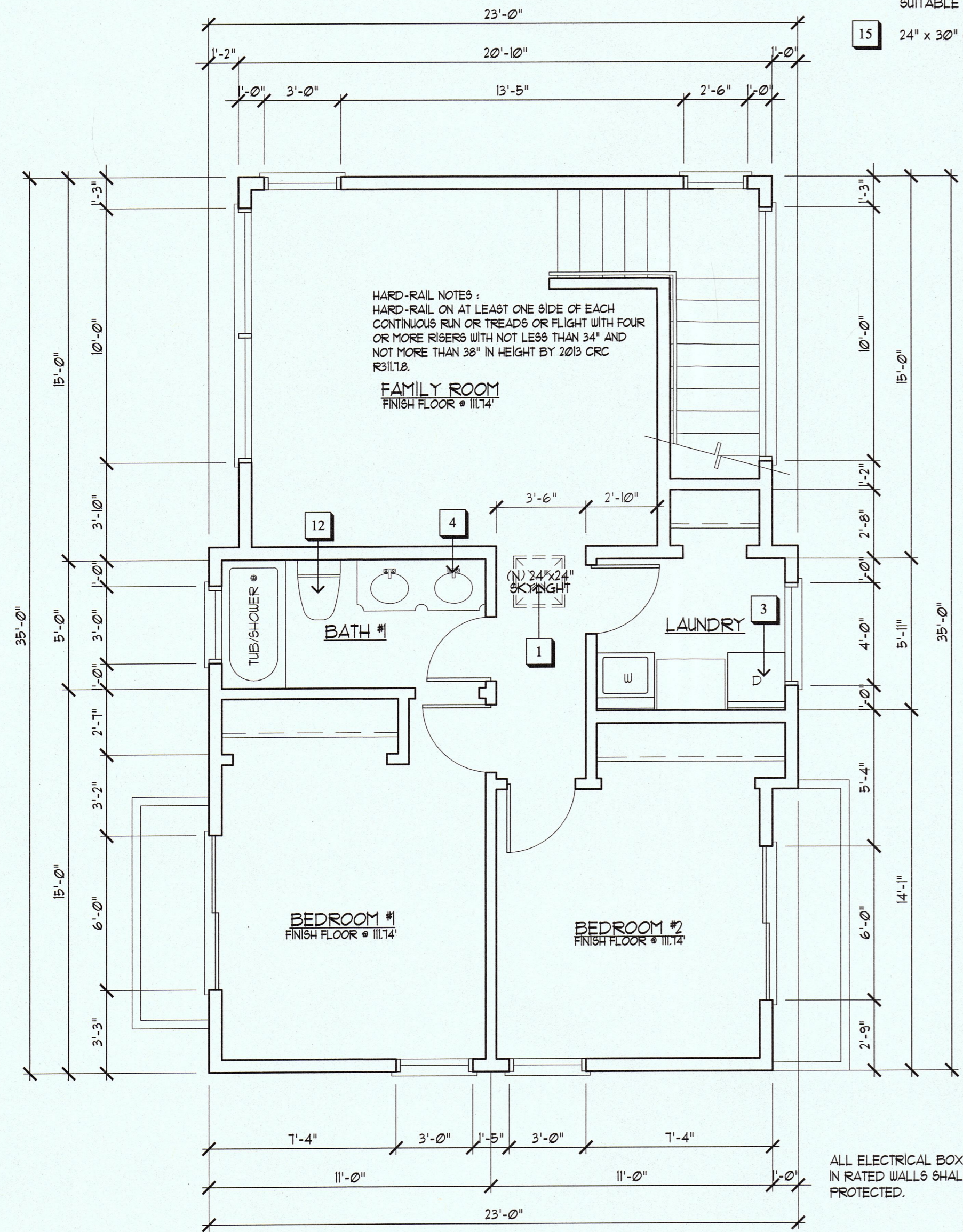
NEW RESIDENTIAL BUILDINGS SHALL HAVE INTERNALLY ILLUMINATED ADDRESS NUMBERS CONTRASTING WITH THE BACKGROUND SO AS TO BE SEEN FROM THE PUBLIC WAY FRONTING THE BUILDING. RESIDENTIAL ADDRESS NUMBERS SHALL BE AT LEAST SIX FEET ABOVE THE FINISHED SURFACE OF THE DRIVEWAY. WHERE BUILDINGS ARE LOCATED REMOTELY TO THE PUBLIC ROADWAY, ADDITIONAL SIGNAGE AT THE DRIVEWAY/ ROADWAY ENTRANCE LEADING TO THE BUILDING AND/ OR ON EACH INDIVIDUAL BUILDING SHALL BE REQUIRED BY THE COAST-SIDE FIRE DISTRICT. THIS REMOTE SIGNAGE SHALL CONSIST OF A 6 INCHES BY 10 INCHES GREEN REFLECTIVE METAL SIGN WITH 3 INCHES REFLECTIVE NUMBER/ LETTERS SIMILAR TO HY-KO 911 OR EQUIVALENT.

**2013 CALIFORNIA GREEN BUILDING CODE :**

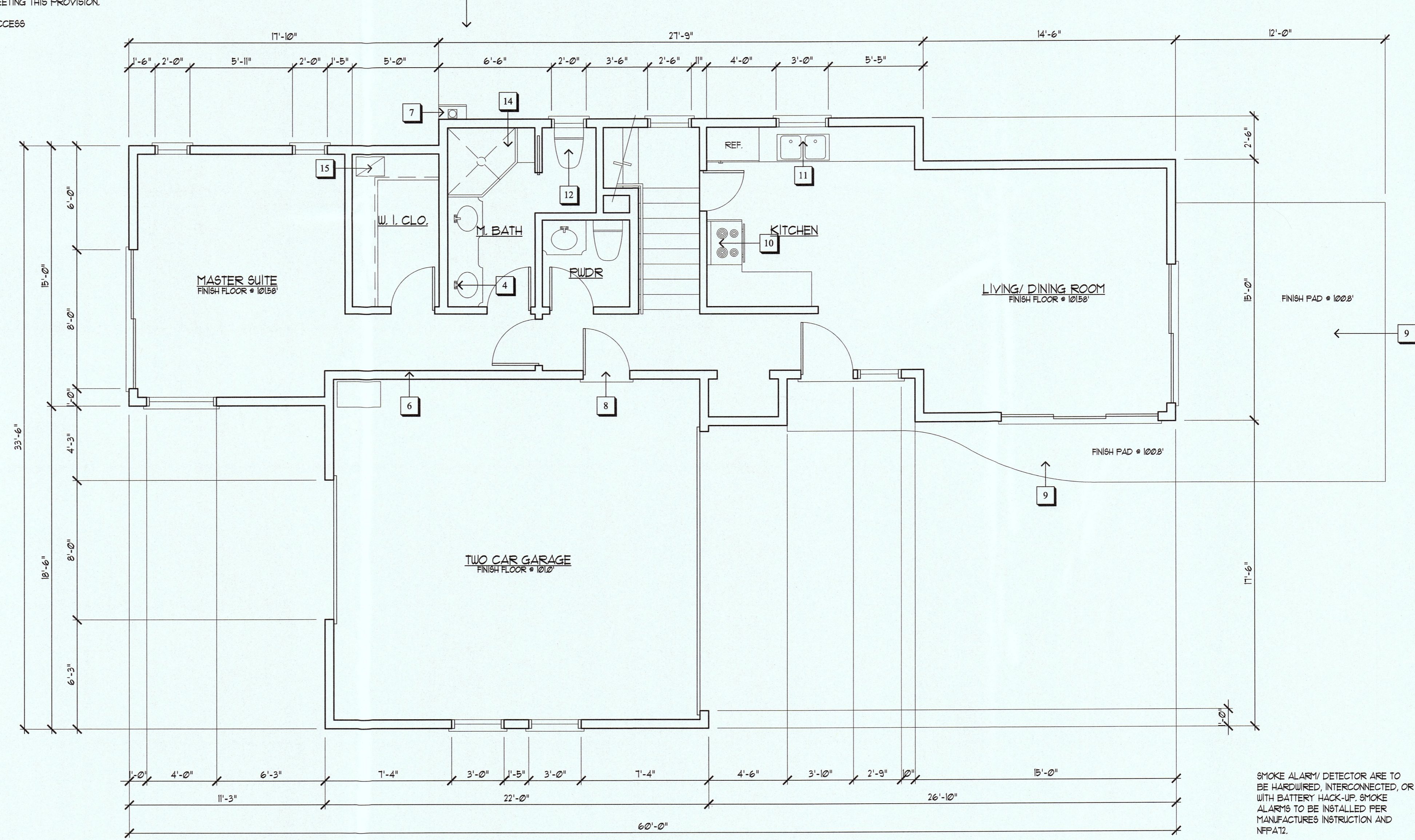
1. AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENTS OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METALS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER, DUST OR DEBRIS, WHICH MAY ENTER THE SYSTEM PER CGC45041.
2. PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS PER CGC45042.2.
3. AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED NIR LIMITS FOR VOC AND OTHER REQUIREMENTS PER CGC45042.3.
4. DOCUMENTATION WILL BE PROVIDED, AT THE REQUEST OF THE BUILDING DIVISION, TO VERIFY COMPLIANCE WITH VOC FINISH MATERIALS PER CGC 45042.4.
5. CARPET SYSTEM INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENT PER CGC45043.
6. HARDWOOD FLOORING, PARTICLE BOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR AND EXTERIOR OF THE BUILDING SHALL COMPLY WITH THE LOW FORMALDEHYDE EMISSION STANDARDS PER CGC 45045.
7. A CAPILLARY BREAK SHALL BE INSTALLED IF A SLAB ON GRADE FOUNDATION SYSTEM IS USED. THE USE OF A 4" THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE UNDER A 6 MIL VAPOR BARRIER WITH JOINT LAPPED NOT LESS THAN 6" WILL BE PROVIDED PER CGC 45023.2 AND CRC R506.23.
8. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. MOISTURE CONTENT SHALL BE CHECKED PRIOR TO FINISH MATERIAL BEING APPLIED PER CGC 4509.3.
9. EXHAUST FANS WHICH ARE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING, SHALL BE PROVIDED EVERY BATHROOM PER CGC 4506.1.
10. HEATING AND AIR-CONDITIONING SYSTEM SHALL BE SIZED, DESIGNED AND HAVE THEIR EQUIPMENT SELECTED USING THE FOLLOWING METHODS :  
A. HEAT LOSS/ HEAT GAIN VALUES IN ACCORDANCE WITH ANSI/ ACCA 2 MANUAL J-2004 OR EQUIVALENT.  
B. DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ ACCA 1 MANUAL D-2009 OR EQUIVALENT.  
C. SELECT HEATING AND COOLING EQUIPMENT IN ACCORDANCE WITH ANSI/ ACCA 3, MANUAL S-2004 OR EQUIVALENT.
11. HVAC SYSTEM INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS AND EQUIPMENT BY A RECOGNIZED TRAINING OR CERTIFICATION PROGRAM PER CGC 102.1.



ESCAPE OR RESCUE WINDOWS FROM SLEEPING ROOMS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. EVERY SLEEPING ROOM BELOW THE FOURTH STORY SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY ESCAPE OR RESCUE. THE UNITS SHALL BE OPERABLE FROM THE INSIDE TO PROVIDE A CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS.



**SECOND FLOOR PLAN**  
SCALE: 1/4"=1'-0"



**FIRST FLOOR PLAN**  
SCALE: 1/4"=1'-0"

REVISIONS	BY

**CHU DESIGN ASSOCIATES INC.**  
55 W. 43RD AVENUE  
SAN MATEO, CALIFORNIA 94403  
TEL: (650) 345-9286  
FAX: (650) 345-9287

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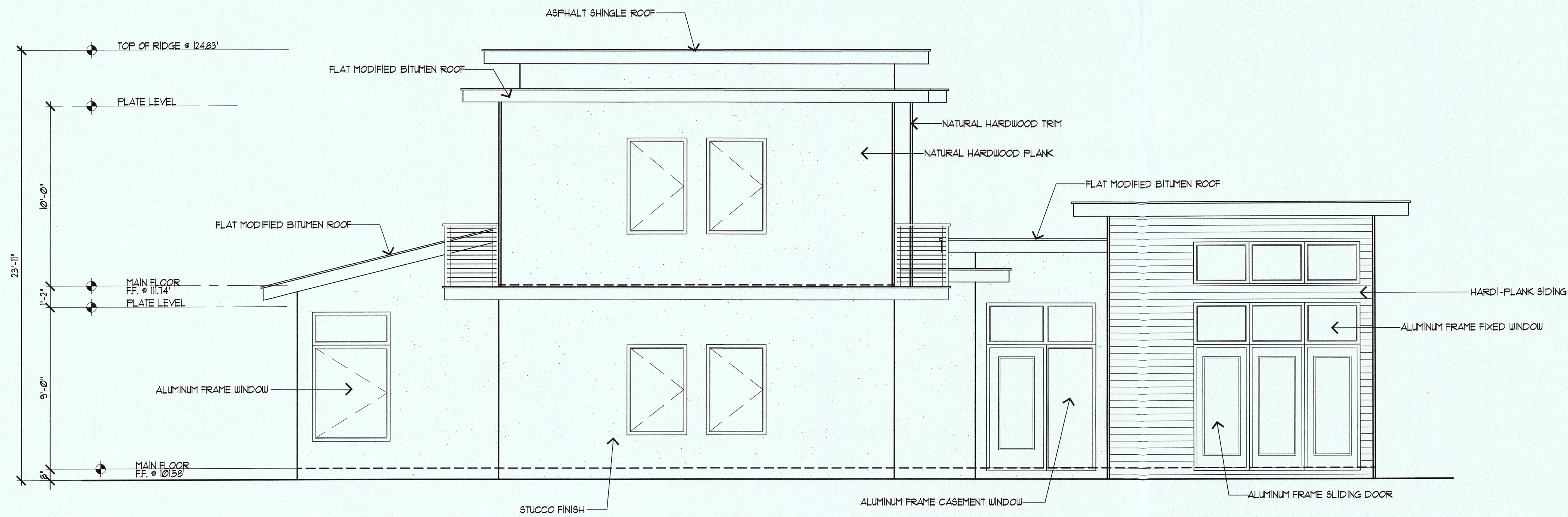
**NEW RESIDENCE**  
Owner : Mr. & Mrs. Luisito & Elizabeth Festejo  
1060 Date Street Montara, Calif. 94037  
Tel. : 408-506-7381, 408-887-2443

DATE: Mar. 1, 2016  
SCALE: AS NOTED  
DRAWN: JC  
FOR: Festejo

SHEET NO. **A.2**  
OF SHEETS

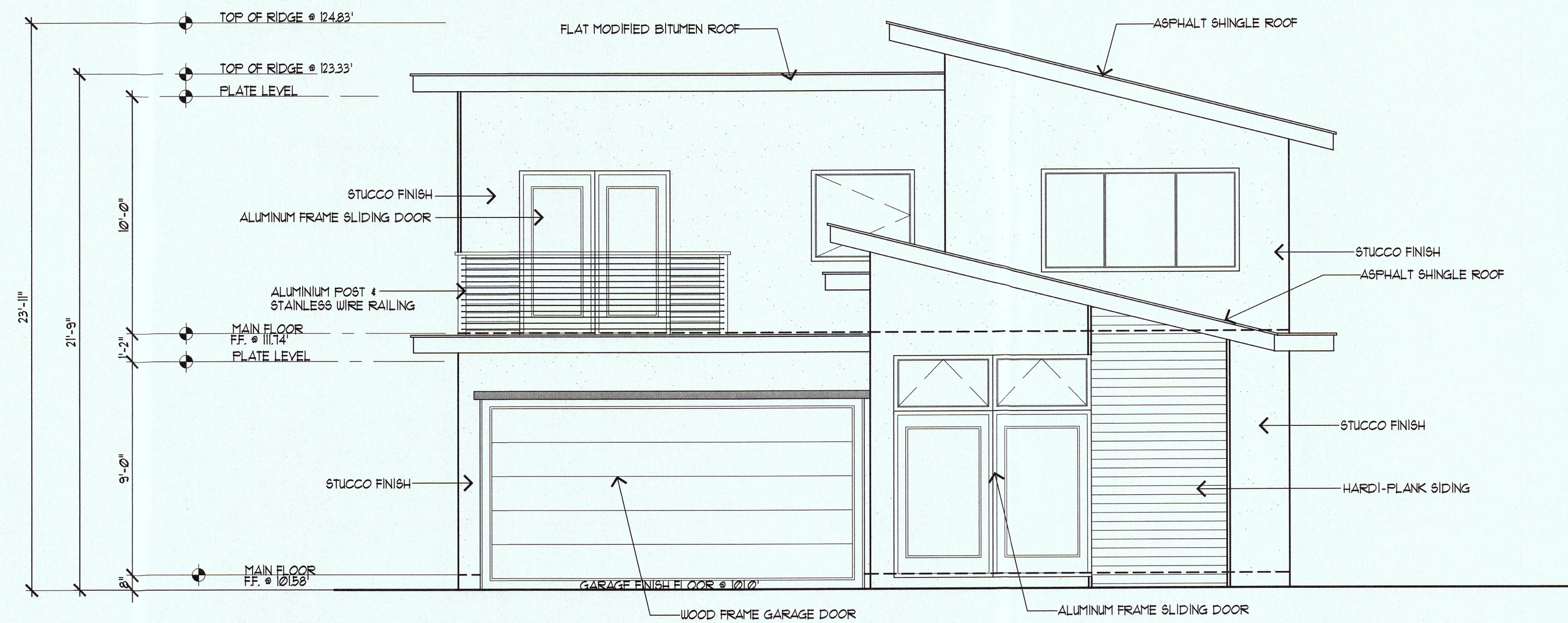


THE INSTALLATION OF AN APPROVED SPARK ARRESTER IS REQUIRED ON ALL CHIMNEYS. EXISTING AND NEW SPARK ARRESTERS SHALL BE CONSTRUCTED OF WOVEN OR WELDED WIRE SCREENING OF 12-GAUGE USA STANDARD WIRE HAVING OPENINGS NOT EXCEED 1/8" INCH.



**LEFT SIDE (NORTH-WEST) ELEVATION**  
SCALE: 1/4"=1'-0"

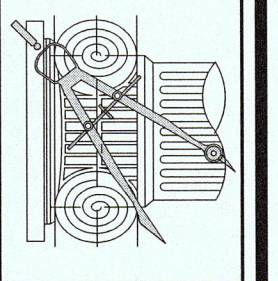
AS PER COAST-SIDE FIRE DISTRICT ORDINANCE 2013-03, THE ROOF COVERING OF EVERY NEW BUILDING OR STRUCTURE AND MATERIALS APPLIED AS PART OF A ROOF COVERING ASSEMBLY, SHALL HAVE A MINIMUM FIRE RATING OF "CLASS B" OR HIGHER AS DEFINED IN THE CURRENT EDITION OF THE CALIFORNIA BUILDING CODE.



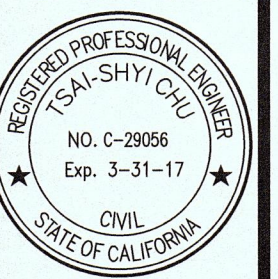
**FRONT (SOUTH-WEST) ELEVATION**  
SCALE: 1/4"=1'-0"

REVISIONS	BY

**CHU DESIGN ASSOCIATES INC.**  
55 W. 43rd AVENUE  
SAN MATEO, CALIFORNIA 94403  
TEL: (650) 345-9286  
FAX: (650) 345-9287



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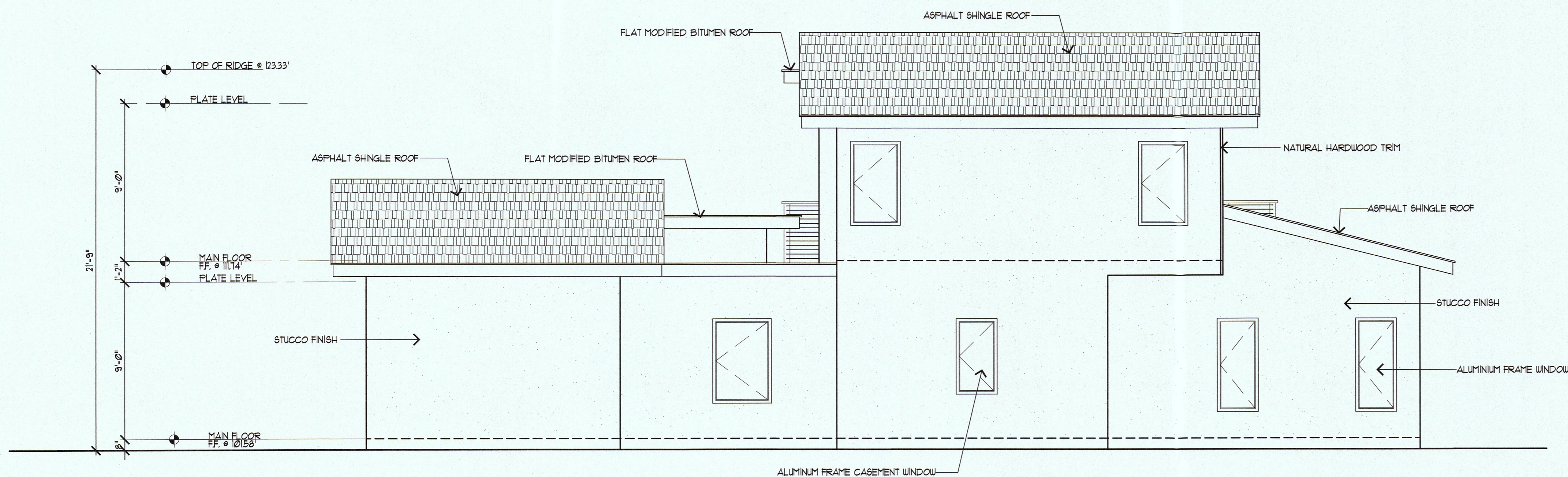
**NEW RESIDENCE**  
Owner: Mr. & Mrs. Luisito & Elizabeth Festejo  
1060 Date Street Montara, Calif. 94037  
Tel.: 408-506-7381, 408-887-2443

DATE: Mar. 1, 2016  
SCALE: AS NOTED  
DRAWN: JC  
JOB: Festejo  
SHEET NO.

**A.3**  
OF SHEETS

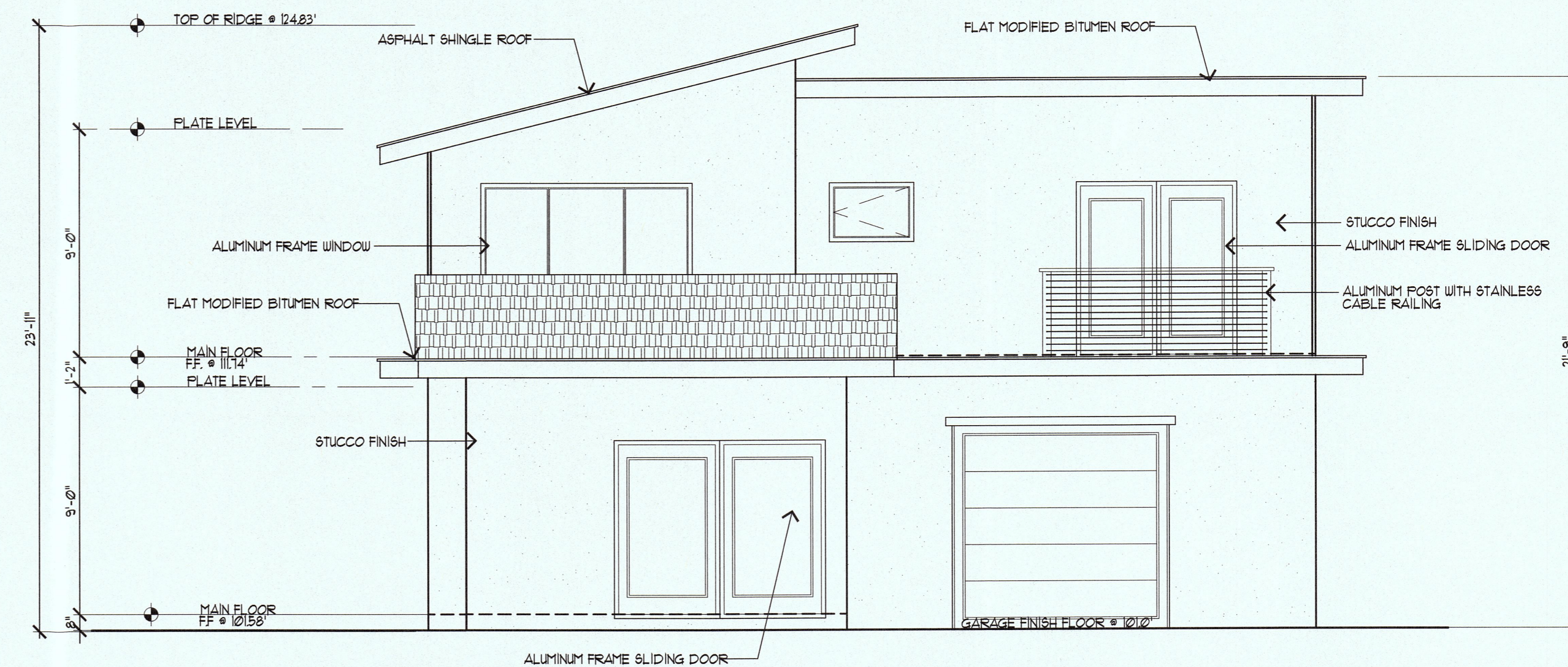


THE INSTALLATION OF AN APPROVED SPARK ARRESTER IS REQUIRED ON ALL CHIMNEYS. EXISTING AND NEW SPARK ARRESTERS SHALL BE CONSTRUCTED OF WOVEN OR WELDED WIRE SCREENING OF 12-GAUGE USA STANDARD WIRE HAVING OPENINGS NOT EXCEED 1/2 INCH.



**RIGHT SIDE (SOUTH-EAST) ELEVATION**  
SCALE: 1/4"=1'-0"

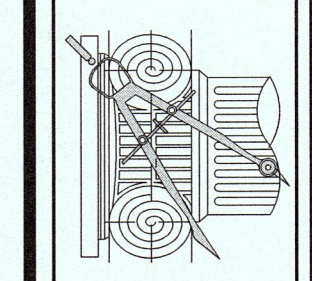
AS PER COAST-SIDE FIRE DISTRICT ORDINANCE 2013-03, THE ROOF COVERING OF EVERY NEW BUILDING OR STRUCTURE AND MATERIALS APPLIED AS PART OF A ROOF COVERING ASSEMBLY SHALL HAVE A MINIMUM FIRE RATING OF "CLASS B" OR HIGHER AS DEFINED IN THE CURRENT EDITION OF THE CALIFORNIA BUILDING CODE.



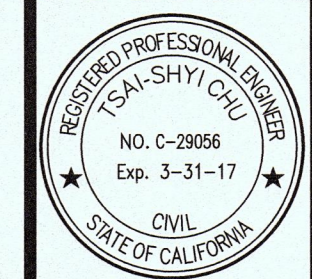
**REAR (NORTH-EAST) ELEVATION**  
SCALE: 1/4"=1'-0"

REVISIONS	BY

**CHU DESIGN ASSOCIATES INC.**  
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**NEW RESIDENCE**  
Owner : Mr. & Mrs. Luisito & Elizabeth Festejo  
1060 Date Street Montara, Calif. 94037  
Tel : 408-506-7381, 408-887-2443

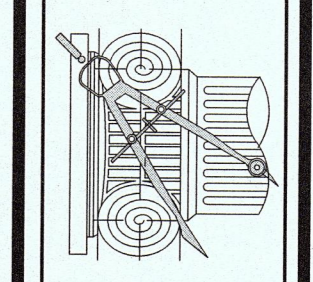
DATE: Mar. 1, 2016  
SCALE: AS NOTED  
DRAWN: JC  
FOR: Festejo  
SHEET NO.

**A.4**  
OF SHEETS

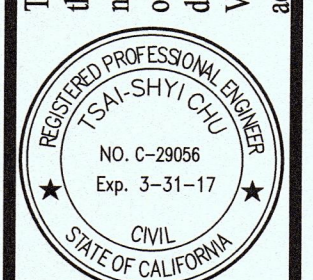


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CHU DESIGN ASSOCIATES INC.  
 55 W. 43rd AVENUE  
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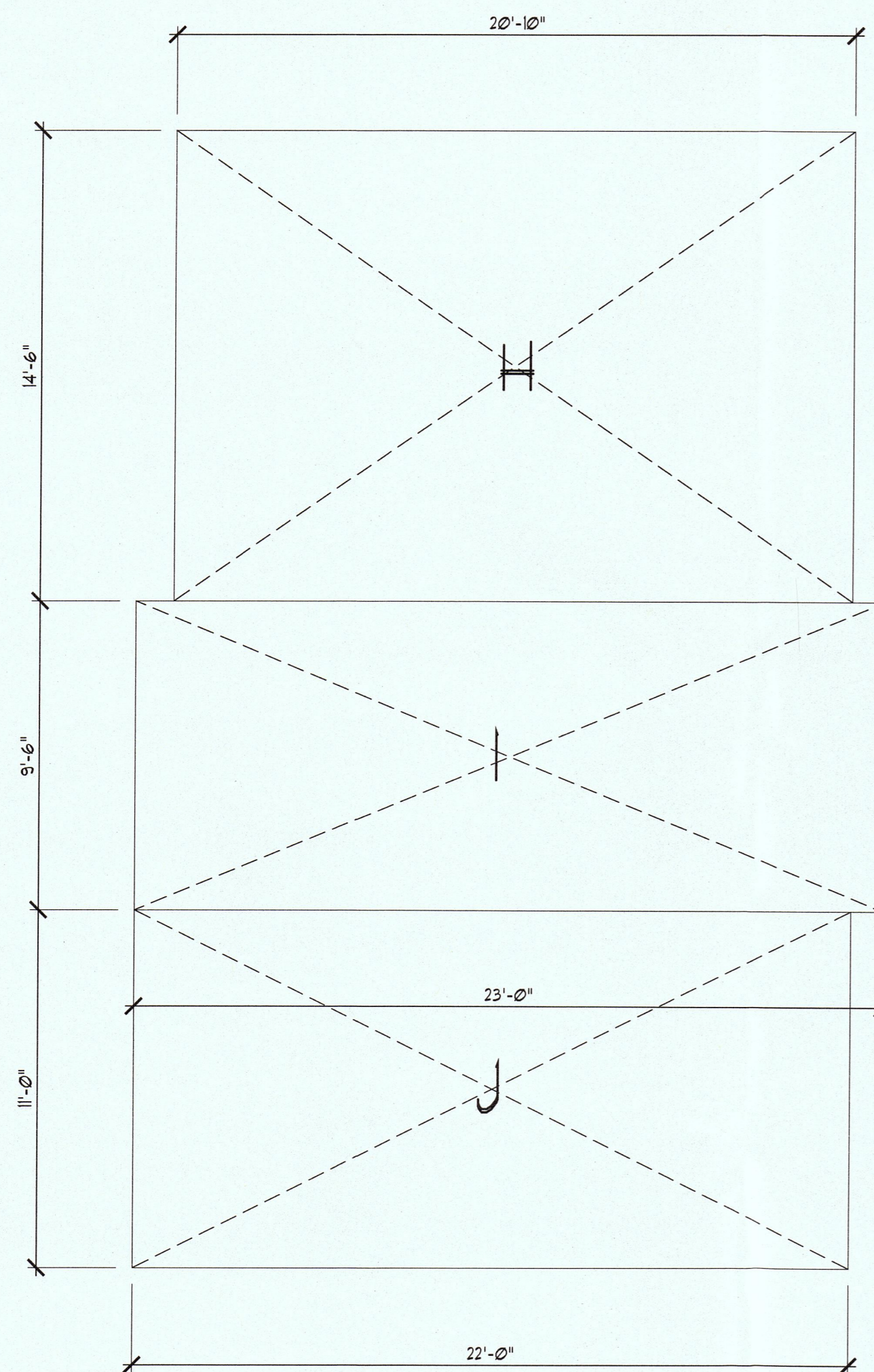
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 Tel. : 408-506-7381, 408-887-2443

DATE: Mar. 1, 2016  
 SCALE: AS NOTED  
 DRAWN: JC  
 FOR: Festejo  
 SHEET NO.

AC.1  
 OF SHEETS

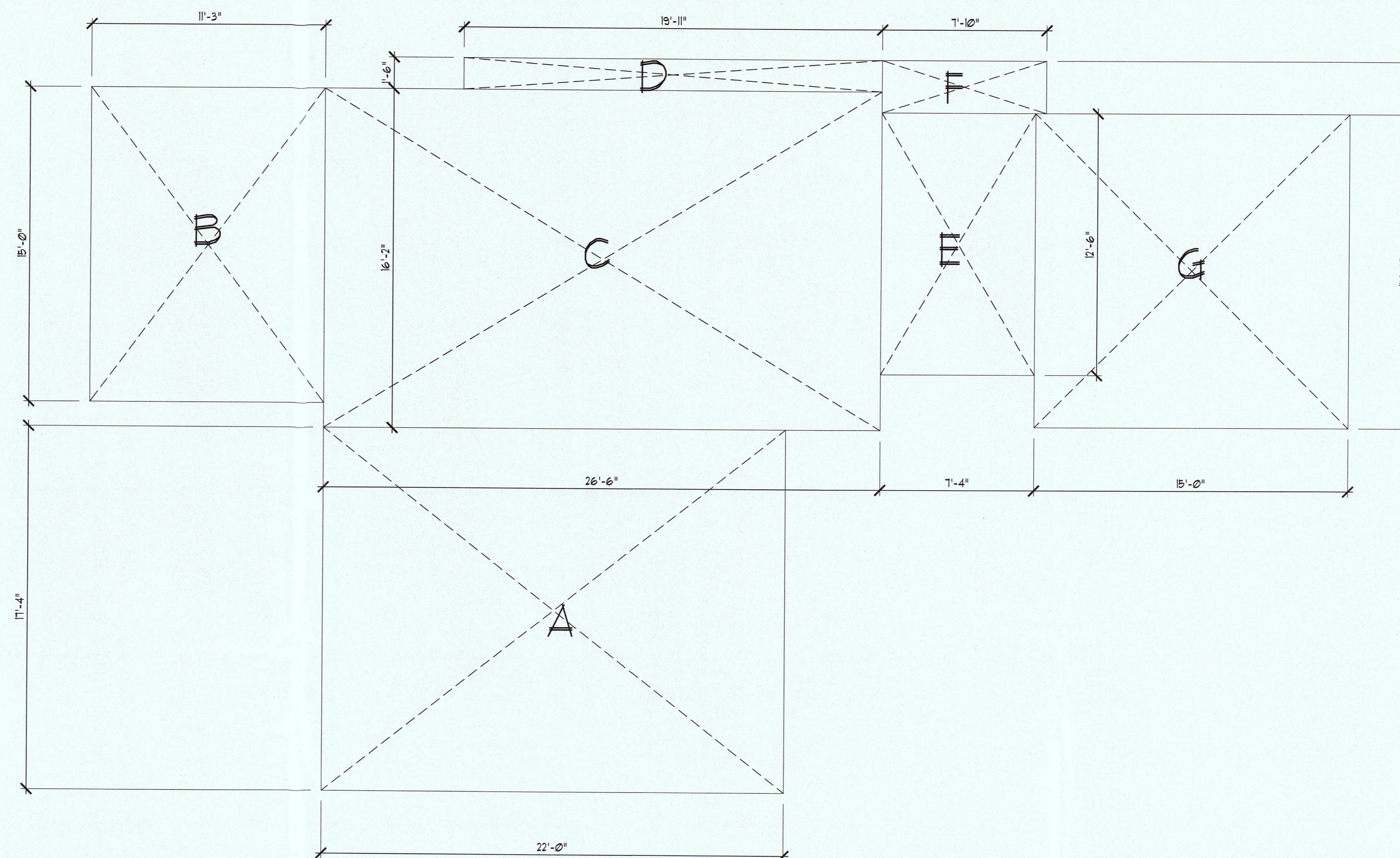


PROPOSED SECOND FLOOR AREA:

- H 20'-10" x 14'-6" = 302.08 SF
- I 23'-0" x 9'-6" = 218.50 SF
- J 22'-0" x 11'-0" = 242.00 SF

TOTAL SECOND FLOOR AREA : 762.58 SF

**SECOND FLOOR AREA CALCULATION**  
 SCALE: 1/4"=1'-0"



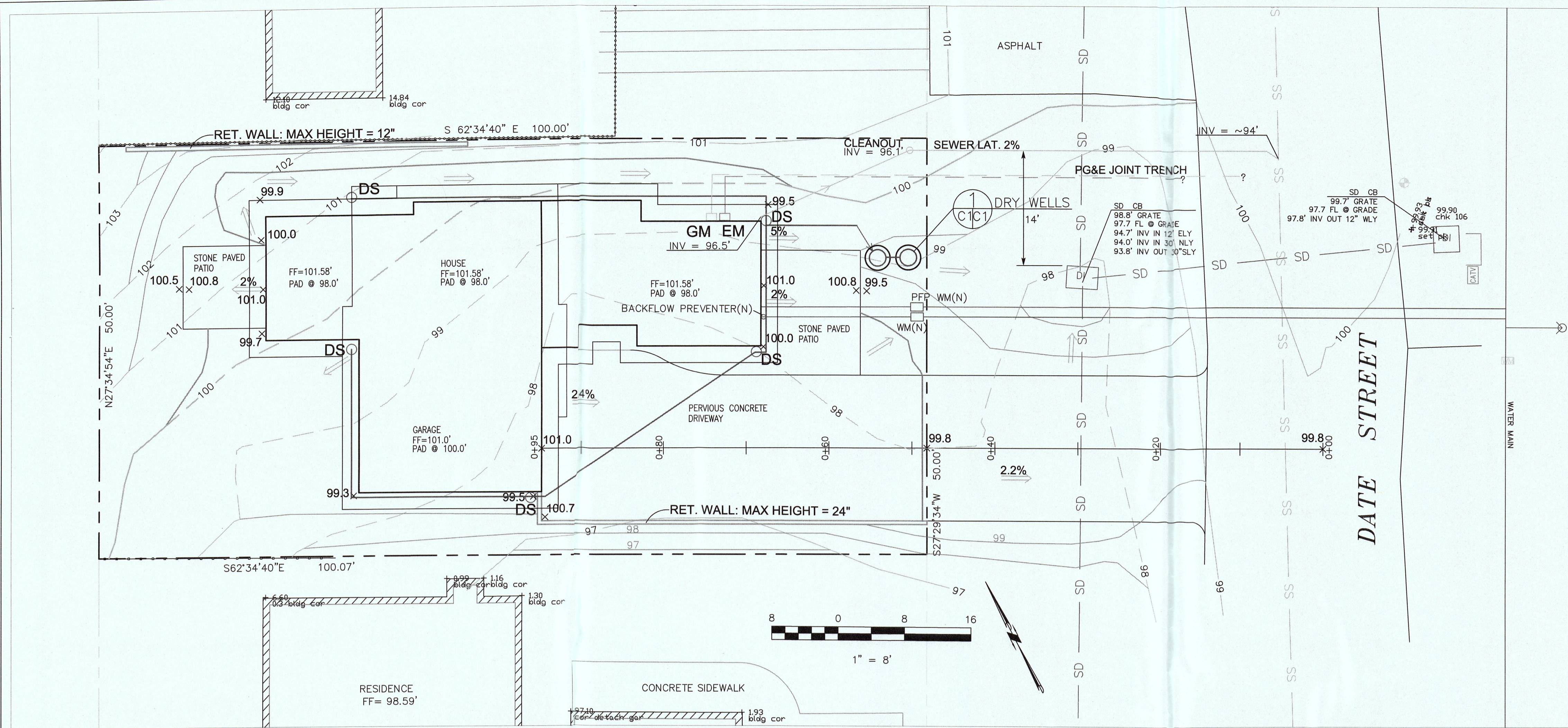
PROPOSED FIRST FLOOR AREA:

- A 22'-0" x 17'-4" = 381.33 SF
- B 11'-3" x 15'-0" = 168.13 SF
- C 26'-6" x 16'-2" = 428.42 SF
- D 19'-11" x 1'-6" = 29.87 SF
- E 7'-4" x 12'-6" = 91.67 SF
- F 7'-10" x 2'-6" = 19.58 SF
- G 15'-0" x 15'-0" = 225.00 SF

TOTAL FIRST FLOOR AREA: 1,344.00 SF

**FIRST FLOOR AREA CALCULATION**  
 SCALE: 1/4"=1'-0"





**LEGEND**

- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED SPOT ELEVATION
- DOWNSPOUT
- DIRECTION OF SURFACE DRAINAGE
- 3" SOLID PLASTIC DRAIN PIPE, SDR 35 @ 1% MINIMUM SLOPE.

**GENERAL NOTES**

1. PLANS PREPARED AT THE REQUEST OF: ELIZABETH FESTEJO, OWNER
2. SURVEY AND TOPOGRAPHY BY S. MICALLEF, SURVEYED IN FEBRUARY, 2016.
3. ELEVATION DATUM ASSUMED.
4. THIS IS NOT A BOUNDARY SURVEY.

**GRADING NOTES**

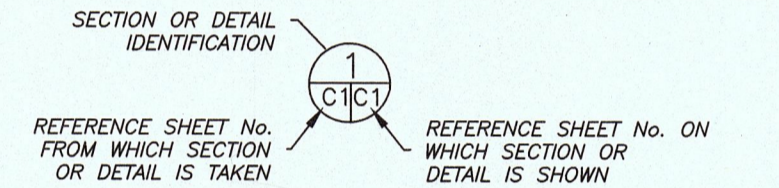
CUT VOLUME : 95 CY  
 FILL VOLUME : 145 CY  
 TOTAL : 240 CY CUT/FILL

1. ABOVE VOLUMES ARE APPROXIMATE.
2. MAXIMUM GRADIENT OF ANY MODIFIED SLOPES SHALL BE 2:1 (H:V).
3. ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
4. ALL TRENCHES IN PROPOSED LANDSCAPE AREAS SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

**DRAINAGE NOTES**

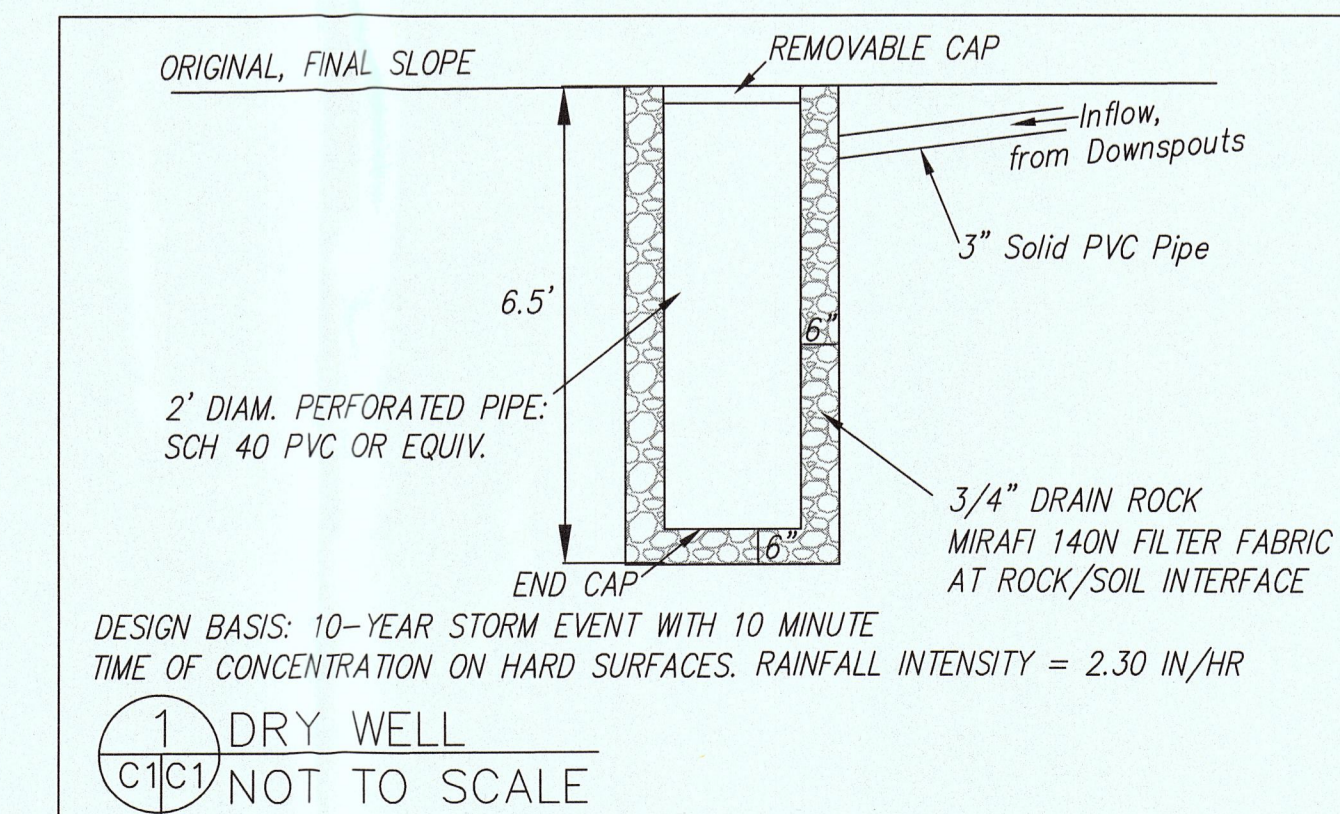
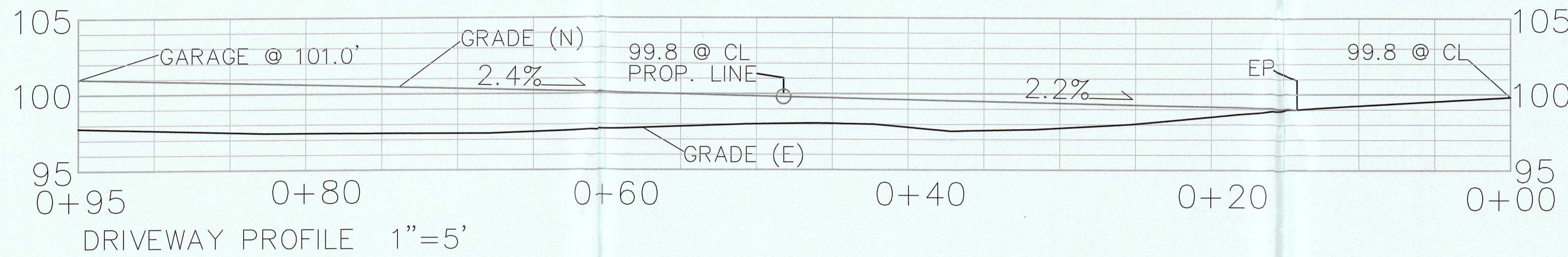
1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS.
2. ALL ROOF DRAIN LINES SHALL LEAD TO DRY WELLS SHOWN.
3. ALL DRAINAGE PIPES SHALL BE MINIMUM 3" DIAMETER SOLID PIPE, SLOPED AT 1% MINIMUM.
4. IT IS THE RESPONSIBILITY OF THE OWNER TO MAINTAIN THE DRAINAGE SYSTEM. THE DRAINS PIPES AND DRY WELLS SHALL BE CHECKED EVERY FALL AND CLEARED OF DEBRIS.

**SECTION AND DETAIL CONVENTION**



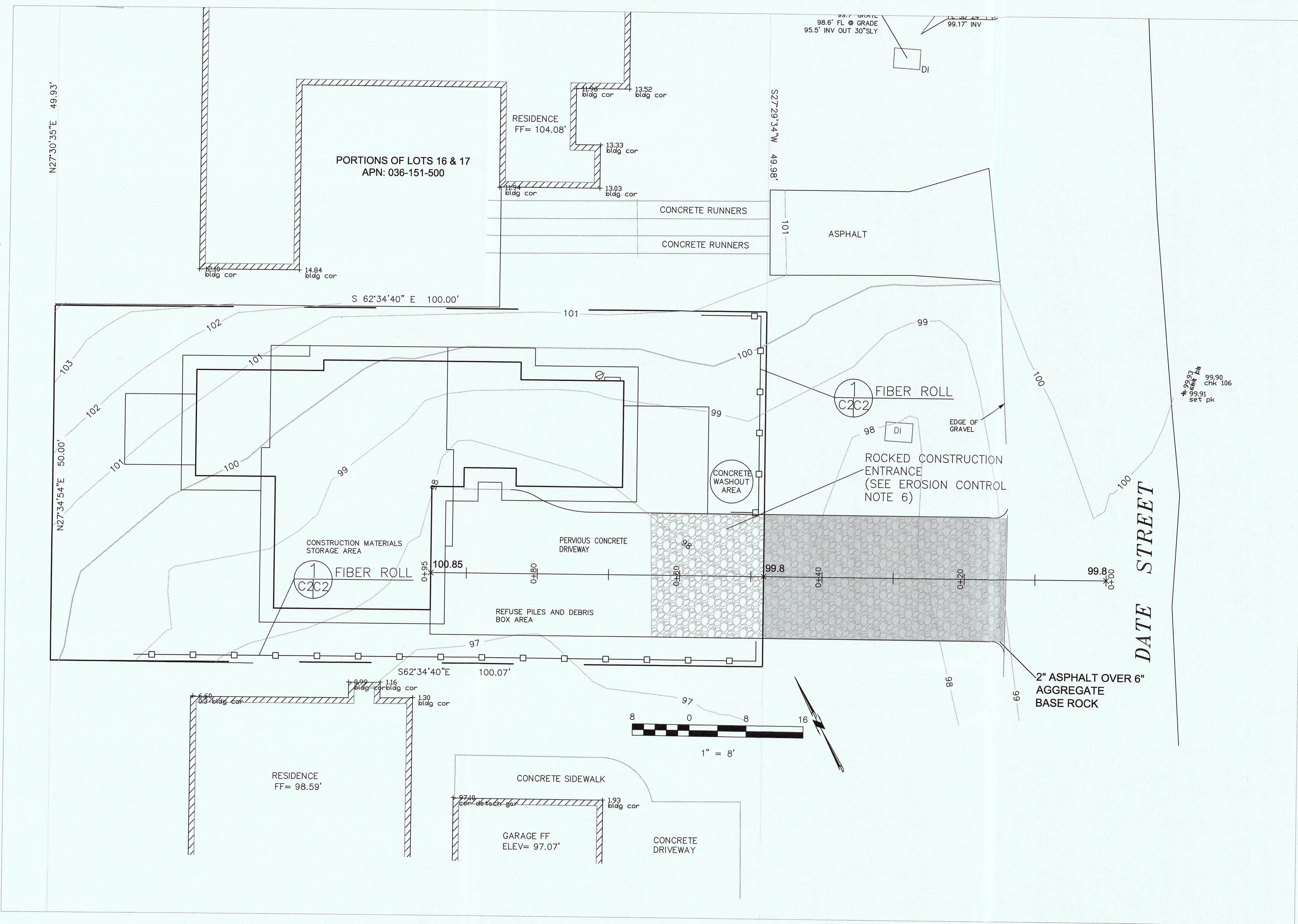
**TRAFFIC CONTROL NOTES**

1. CONTRACTOR AND WORKERS SHALL PARK ALONG DATE STREET.
2. WHEN TRUCKS PARK IN STREET FOR DELIVERY OF SUPPLIES AND CONCRETE, EVERY EFFORT SHALL BE MADE TO PROVIDE ROOM FOR VEHICLES TO PASS. WORKERS SHALL PROVIDE TRAFFIC CONTROL AT ALL TIMES WHEN ROAD IS PARTIALLY BLOCKED.
3. IF ROAD IS BLOCKED, WORKERS SHALL PROVIDE WRITTEN DIRECTIONS FOR A DETOUR, IF REQUESTED BY A MOTORIST.



DATE: 7-18-16	DRAWN BY: CMK	SIGNED AND SEALED SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE HALF MOON BAY, CA 94019 (650) 726-3560 FAX 726-3593
	CHECKED BY: AZG	
	REV. DATE:	GRADING AND DRAINAGE PLAN
	REV. DATE:	
	REV. DATE:	FESTEJO PROPERTY
	REV. DATE:	1060 DATE STREET, MONTARA
	REV. DATE:	APN 036-151-440
		SHEET
		C-1

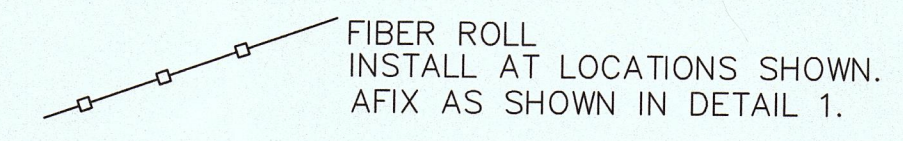




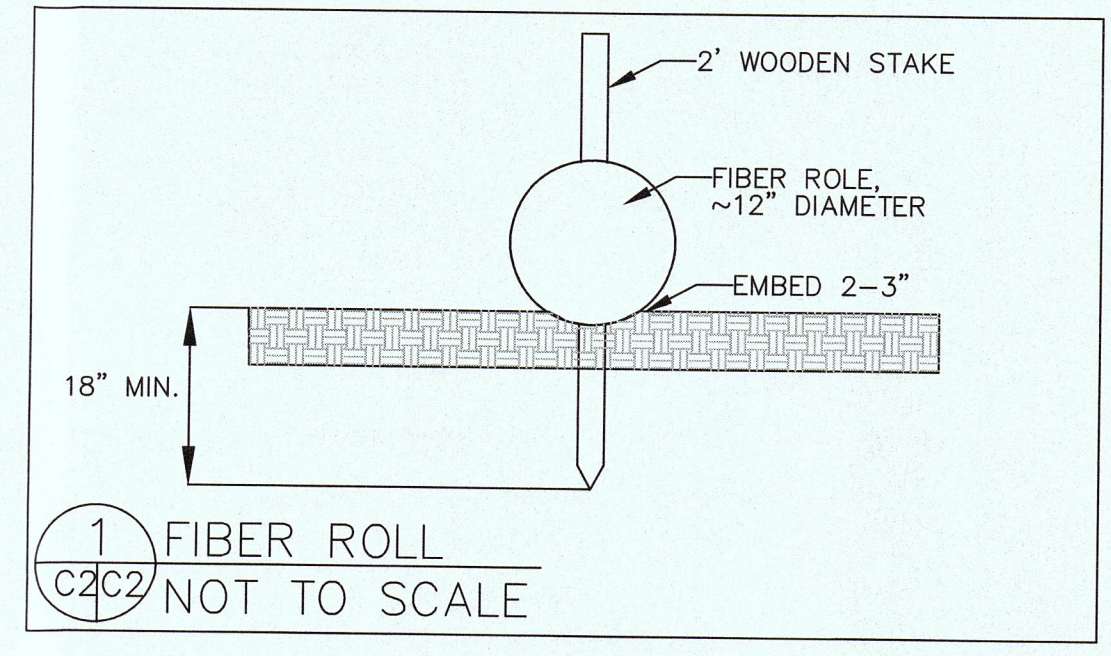
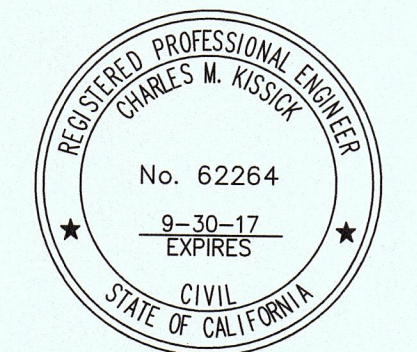
**GENERAL EROSION AND SEDIMENT CONTROL NOTES**

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Use sediment controls or filtration to remove sediment when dewatering site and obtain Regional Water Quality Control Board (RWQCB) permit(s) as necessary.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site
- Use of plastic sheeting between October 1st and April 30th is not acceptable, unless for use on stockpiles where the stockpile is also protected with fiber rolls containing the base of the stockpile.
- The tree protection shall be in place before any grading, excavating or grubbing is started.

**EROSION CONTROL NOTES**



1. GRADING MAY TAKE PLACE DURING WET WEATHER AFTER OCTOBER 1 PROVIDED THE FOLLOWING PROVISIONS ARE FOLLOWED.
2. NO GRADING SHALL TAKE PLACE DURING RAINY WEATHER OR FOR A PERIOD OF AT LEAST 24 HOURS FOLLOWING RAIN.
3. ALL EXPOSED SOIL SHALL BE TEMPORARILY PROTECTED FROM EROSION WITH JUTE NETTING.
4. ALL STOCKPILED SOIL SHALL BE COVERED AT ALL TIMES AND REMOVED FROM SITE AS SOON AS POSSIBLE, IF SCHEDULED FOR OFF-HAUL.
5. ALL EXPOSED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION WITH SEEDING AND/OR LANDSCAPING. SEED MIX SHALL BE 75 LB PER ACRE ANNUAL RYGRASS OR APPROVED SUBSTITUTE. SEED SHALL BE COVERED WITH STRAW MULCH AT A RATE OF 2 TONS/ACRE.
6. ROCKED CONSTRUCTION ENTRANCE SHALL BE 50 FEET LONG BY 17 FEET WIDE AND CONFORM TO THE FOLLOWING:
  - A. THE MATERIAL FOR THE PAD SHALL BE 2 TO 3 INCH STONE.
  - B. PAD SHALL BE NOT LESS THAN 8" THICK.
  - C. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
  - D. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA THAT DRAINS TO THE CONCRETE WASHOUT AREA.
7. CONCRETE WASHOUT AREA SHALL BE SURROUNDED BY A SINGLE LAYER OF SAND BAGS TO CONTAIN FLUIDS. CHANNEL INTO AREA SHALL BE CLEARED TO ALLOW TIRE DEBRIS (SEE NOTE 6.D. ABOVE)



**EROSION CONTROL POINT OF CONTACT**

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: ELIZABETH FESTEJO  
 TITLE/QUALIFICATION: OWNER  
 PHONE: 408-887-2443  
 PHONE:  
 E-MAIL: elizzie25@yahoo.com

- USE OF PLASTIC SHEETING BETWEEN OCTOBER 1st AND APRIL 30th IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.
- THE TREE PROTECTION SHALL BE IN PLACE BEFORE ANY GRADING, EXCAVATING, OR GRUBBING IS STARTED.

DATE: 7-18-16 DRAWN BY: CMK CHECKED BY: AZG REV. DATE: REV. DATE: REV. DATE:	Sigma Prime Geosciences, Inc. SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE HALF MOON BAY, CA 94019 (650) 726-5580 FAX: 726-5585
	EROSION CONTROL PLAN FESTEJO PROPERTY 1060 DATE STREET, MONTARA APN 036-151-440
SHEET C-2	

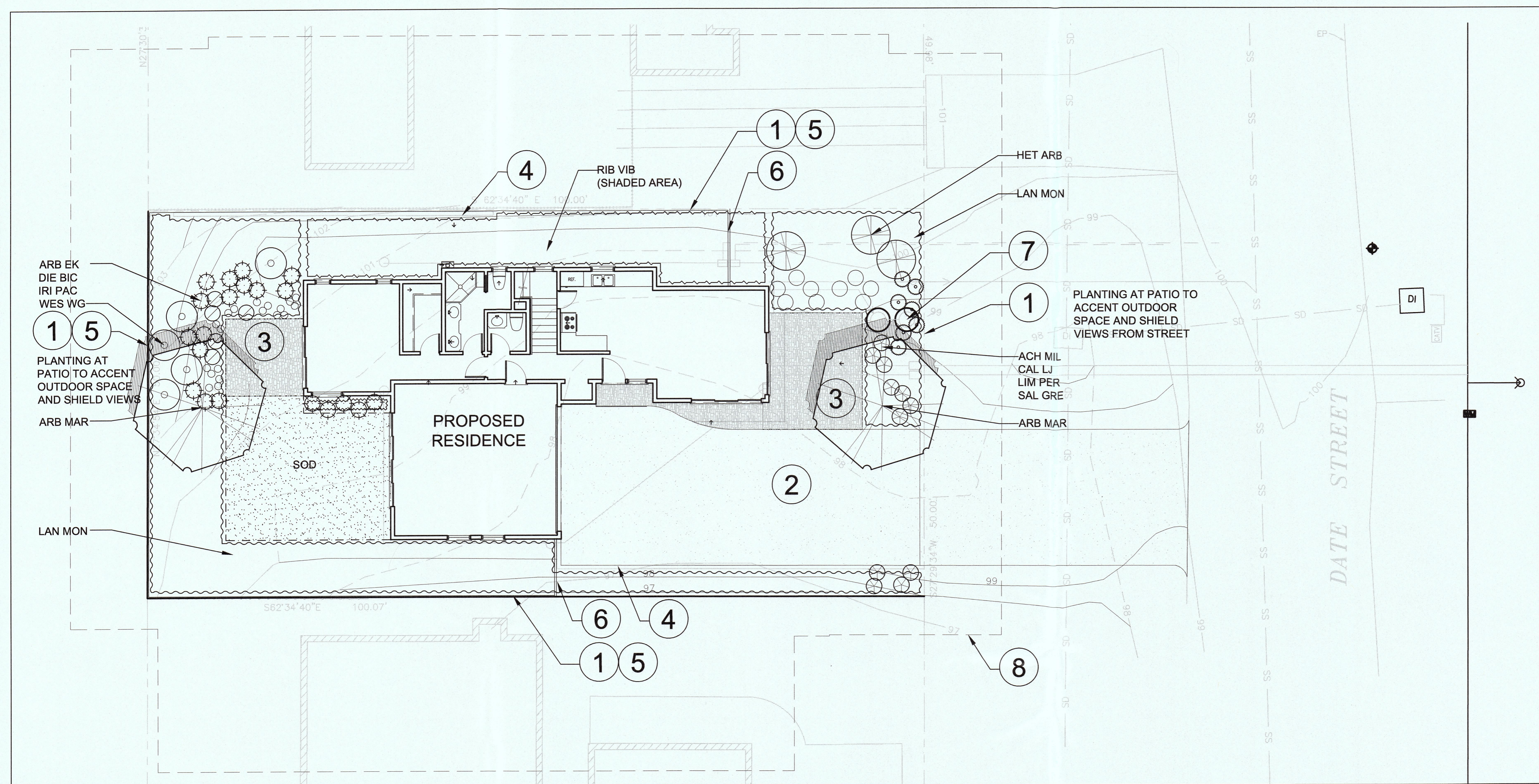


**FESTEJO RESIDENCE**

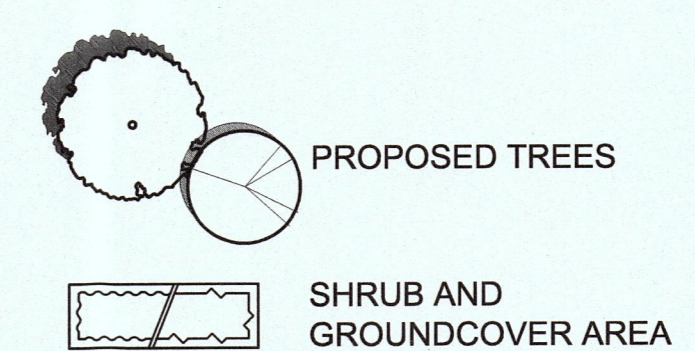
1060 Date Street  
Montara, CA  
94037

**Taniguchi Landscape Architecture**

1013 South Claremont St., Ste 1  
San Mateo, CA 94402  
v 650.638.9985 | f 650.638.9986  
CLA #2942



**LEGEND**



PLANT MATERIAL SPECIES ARE DROUGHT TOLERANT NATIVE OR NON-INVASIVE PLANT SPECIES (AS DEFINED BY THE CALIFORNIA INVASIVE PLANT COUNCIL). DROUGHT TOLERANCE IS AS DEFINED IN "PLANTS AND LANDSCAPES FOR SUMMER-DRY CLIMATES OF THE SAN FRANCISCO BAY REGION" BY THE EAST BAY MUNICIPAL UTILITY DISTRICT.

SOD IS SELECTED FROM A REDUCED IRRIGATION NEED SEED MIX.

**KEY NOTES**

- ① PROPERTY LINE
- ② PERVIOUS CONCRETE DRIVEWAY--SEE CIVIL DWGS
- ③ PATIO STONE PAVING
- ④ RETAINING WALL--SEE CIVIL DWGS
- ⑤ 6 FT HIGH FENCE AT PROPERTY LINE--SEE ARCHITECTURAL DWGS
- ⑥ FENCE RETURN (TO BLDG)
- ⑦ DRY WELLS--SEE CIVIL DWGS
- ⑧ 30 FOOT DEFENSIBLE SPACE- (FUEL BREAK) FOR THIS PROJECT WOULD EXTEND BEYOND THE PROPERTY LINES.

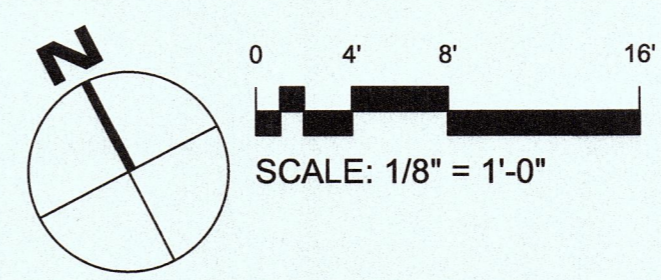
PROPOSED TREES WILL NOT OVERHANG OR TOUCH THE PROPOSED RESIDENCE.

ALL PROPOSED PLANTING TO BE IRRIGATED. PROPOSED PLANT SPECIES NOT HIGHLY COMBUSTIBLE.

PROPOSED MATERIALS DIRECTLY ADJACENT TO THE PROPOSED RESIDENCE ARE IRRIGATED TURF, IRRIGATED GROUND COVER, IRRIGATED SHRUBS, OR PAVING MATERIALS.

**NOTES:**

1. REFER TO CIVIL DWGS FOR GRADING, DRAINAGE AND STORMWATER.
2. REFER TO CIVIL DWGS FOR UTILITIES.



**COASTSIDE FIRE PROTECTION DISTRICT NOTES:**

1. A FUEL BREAK OF DEFENSIBLE SPACE IS REQUIRED AROUND THE PERIMETER OF ALL STRUCTURES, EXISTING AND NEW, TO A DISTANCE OF NOT LESS THAN 30 FEET AND MAY BE REQUIRED TO A DISTANCE OF 100 FEET OR TO THE PROPERTY LINE. THIS IS NEITHER A REQUIREMENT NOR AN AUTHORIZATION FOR THE REMOVAL OF LIVING TREES.
2. TREES LOCATED WITHIN THE DEFENSIBLE SPACE SHALL BE PRUNED TO REMOVE DEAD AND DYING PORTIONS, AND LIMBED UP 6 FEET ABOVE THE GROUND. NEW TREES PLANTED IN THE DEFENSIBLE SPACE SHALL BE LOCATED NO CLOSER THAN 10 FEET TO ADJACENT TREES WHEN FULLY GROWN OR AT MATURITY.
3. REMOVE THAT PORTION OF ANY EXISTING TREES, WHICH EXTENDS WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVEPIPE OR IS WITHIN 5 FEET OF ANY STRUCTURE. REMOVE THAT PORTION OF ANY EXISTING TREES, WHICH EXTENDS WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVEPIPE OR IS WITHIN 5 FEET OF ANY STRUCTURE. MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD OR DYING WOOD.

ABBREV.	BOTANICAL NAME	COMMON NAME	SIZE	MISC. NOTES & REQUIREMENTS
<b>TREES</b>				
ARB MAR	<i>Arbutus 'Marina'</i>	Strawberry Tree	15 G.C.	Mult. St.
<b>SHRUBS</b>				
ARB EK	<i>Arbutus unedo 'Elin King'</i>	Strawberry Tree	1 G.C.	Mult. St./Stem up.
CAL LJ	<i>Callitriche viminalis 'Little John'</i>	Dr. Weeping Bottlebrush	1 G.C.	F. & B/Br. Gr.
HET ARB	<i>Halepelta arborea</i>	Toyon	1 G.C.	
SAL GRE	<i>Salvia greggii</i>	Autumn Sage	1 G.C.	
WES WG	<i>Westringia fruticosa 'Wynabbie Gem'</i>	Coast Rosemary	1 G.C.	
<b>PERENNIALS/BULBS/ANNUALS</b>				
ACH ML	<i>Achillea filipendula 'Moonlight'</i>	Fern Leaf Yarrow	1 G.C.	
DIE BIC	<i>Dietes bicolor</i>	Partnight Lily	1 G.C.	
ERI PAC	<i>Eriogonum fasciculatum 'Pacifica'</i>	Firebush	1 G.C.	
RI PAC	<i>Rhus Pacific Coast Hybrid</i>	Pacific Coast Rus	1 G.C.	
LIM PER	<i>Limonium peretzii</i>	Sea Lavender	1 G.C.	
<b>GROUNDCOVERS</b>				
LAN MON	<i>Lantana montevidensis</i>	Trailing Lantana	1 G.C.	Plant at 2'-4" o.c.
RIB VIB	<i>Ribes viburnifolium</i>	Evergreen Currant	1 G.C.	Plant at 4'-6" o.c.
<b>LAWN (SOD)</b>				
SOD	Sodded lawn shall be "Flow-Free", available through Delta Bluegrass. (209) 466-7979, or equal			

1. See specifications for planting/timing for seasonal bulb and tuber installation.

**PLANT LIST ABBREVIATIONS:**  
Note: This list together with the plant list prepared by Taniguchi Landscape Architecture must accompany the contractor's nursery order(s).

Sl.	Single main, straight, dominant, leader
Hl. Br.	High branched—lowest limbs held above nootball 5' min. for 15 gallon can 6' min. for 24" box trees
No Top	No toping or pruning of upper branches
Br. Gr.	Branched to ground
F & B	Full dense, bushy, vigorous plants, with young growth closely spaced on branches, no old woody plants.
N.V.S.-30 deg.	Narrow upright vase shape 30 degrees or less spread in branch/trunk structure
N.V.S.-45 deg.	Narrow upright vase shape 45 degrees or less spread in branch/trunk structure
No. Whol. Br.	No closely spaced whorled branches. Select even symmetrical branch distribution
Match	Matched size, form, caliper, branching and outline. Select from one lot, one grower, for guaranteed consistency through life of plants. In general plants within a group or area are to be matched, unless noted otherwise.
T.F.	Tree Form
S.F.	Shrub Form
N.F.	Narrow upright Form
B.R.	Bare Root
B & B	Balled and Burlap
Multi. St.	Multi-stemmed
Plant	Rooted cuttings from flats at center distance specified in list. See groundcover/shrub o.c. planting detail for layout.
Cal.	Caliper
EV	Evergreen
G.C.	Gallon Can
N.C.N.	No Common Name
Trail F	Select trailing Forms for prostrate growth
Veg. Gr.	Vegetative Grown
Hed. F.	Hedge Form (clipped)
Stem up.	Stem up to expose trunk and lower branch pattern
O.C.	On center
N. Dip. Br.	No long heavy drooping branches

ISSUE	DESCRIPTION	DATE
1	SCHEMATIC DESIGN	04/07/18
2	FIRE PROTECTION REVISE	05/24/18
3	RESPONSE TO REVIEW	07/19/18

SCALE: As Noted  
PROJECT NUMBER: TLAR: 16007.000

**SHEET TITLE**  
**SCHEMATIC LANDSCAPE PLAN**

SHEET NO.

PRELIMINARY - NOT FOR CONSTRUCTION

L-1