

0.08 0 0.04 0.08 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
© Latitude Geographics Group Ltd.

1: 2,647



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

# Application for Design Review by the County Coastside Design Review Committee

County Government Center • 455 County Center • Redwood City CA 94063  
Mail Drop PLN 122 • 650 • 363 • 4161 • FAX 650 • 363 • 4849

Permit #: PLN PLN2017 - 00154

Other Permit #: \_\_\_\_\_

### Applicant:

Name: Michael Uniacke  
Address: P.O.Box 370886  
Montara, CA Zip: 94037-0886  
Phone,W: H: (415)-666-6111  
Email: michaeluniacke@gmail.com

### Owner (if different from Applicant):

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Zip: \_\_\_\_\_  
Phone,W: H: \_\_\_\_\_  
Email: \_\_\_\_\_

### Architect or Designer (if different from Applicant):

Name: Henri Mannik  
Address: 5429 Telegraph Ave., Oakland, CA Zip: 94609  
Phone,W: 510-652-1511 H: \_\_\_\_\_ Email: h.mannik@hm-ae.com

### Project location:

APN: 36-101-340  
Address: Corner of Birch St. and George St.  
Zip: 94037-0886  
Zoning: R1, S17, DR, CD  
Parcel/lot size: 6,249 sq. ft.

### Site Description:

- Vacant Parcel
- Existing Development (Please describe): \_\_\_\_\_

### Project:

- New Single Family Residence: \_\_\_\_\_ sq. ft
- Addition to Residence: \_\_\_\_\_ sq. ft
- Other: \_\_\_\_\_

### Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

### Describe Project:

The project is a new single family residence. The house is two stories toward the front, and the rear of the building is one story. The building is constructed of standard wood framing. The exterior finishes consist of horizontal wood siding, stone veneer, and a standing seam metal roof.

**Check if matches existing**

**Fill in Blanks:**

**Material**

**Color/Finish**


(If different from existing, attach sample)


a. Exterior walls	horizontal wood siding	green and brown	<input type="checkbox"/>
b. Trim	wood	brown	<input type="checkbox"/>
c. Windows	wood windows	dark brown / bronze	<input type="checkbox"/>
d. Doors	wood doors	brown	<input type="checkbox"/>
e. Roof	metal	grey	<input type="checkbox"/>
f. Chimneys	stone veneer		<input type="checkbox"/>
g. Decks & railings	N.A.		<input type="checkbox"/>
h. Stairs	stone or stone veneer		<input type="checkbox"/>
i. Retaining walls	N.A.		<input type="checkbox"/>
j. Fences	wood	stained	<input type="checkbox"/>
k. Accessory buildings	N.A.		<input type="checkbox"/>
l. Garage/Carport	N.A. (attached)		<input type="checkbox"/>

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

(optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

  
Owner:

  
Applicant:

4/18/17  
Date:

Date:

# Certificate of Exemption or Exclusion from a Coastal Development Permit

Permit #: PLN 2017-00054  
Permit #: BLD \_\_\_\_\_

Permanent Record  
Microfilming Required

## 1. Basic Information

**Owner**  
Name: Michael Unsache  
Address: PO Box 370886  
Montara, CA  
Zip: 94038  
Phone, W: \_\_\_\_\_ H: 415-666-6111  
Email Address: michael.unsache@gmail.com

**Applicant**  
Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Zip: \_\_\_\_\_  
Phone, W: \_\_\_\_\_ H: \_\_\_\_\_  
Email Address: \_\_\_\_\_

## 2. Project Information

**Project Description:**  
Construction of a new single family home  
\_\_\_\_\_  
\_\_\_\_\_  
**Assessor's Parcel Number(s):**  
036 - 101 - 340  
\_\_\_\_\_  
\_\_\_\_\_

**Existing water source:**  
 Utility connection \_\_\_\_\_  
 Well \_\_\_\_\_  
**Proposed water source:**  
 Utility connection \_\_\_\_\_  
 Well \_\_\_\_\_  
**Staking of well location and property lines are required.**  
 Provide site plan depicting location and all trees.  
 Will this require any grading or vegetation/tree removal? Yes  No   
If Yes, additional permits may be required. Such as: Tree Removal Permit, Grading Permit, Land Clearing Permit, Coastal Development Permit.

## 3. Signatures

We have reviewed this form as completed above and the basis for this exemption or exclusion. The information herein and the basis for exemption or exclusion are true and correct to the best of our knowledge and we hereby agree to carry out this project in accordance with the terms of the exemption/exclusion category selected on reverse. We also understand and agree that any exemption or exclusion issued for a water well and/or storage tank in the single family exclusion area will be invalidated in the event the future house, the well, and/or storage tank requires a variance.

[Signature] 4/20/17  
-----  
Owner Date Applicant Date

(Both Owner and Applicant must sign unless this Application for Exemption or Exclusion accompanies a Building Permit Application for which the Applicant is an agent for the Owner acceptable to the Building Inspection Section.)



# Environmental Information Disclosure Form

PLN 2017-00054  
 BLD \_\_\_\_\_

Project Address: Montara, CA 94037

Name of Owner: Michael Uniacke

Assessor's Parcel No.: 36 — 101 — 340

Address: P.O. Box 370886, Montara, CA 94037-0886 Phone: (415)-666-6111

Zoning District: R1, S17, DR, CD

Name of Applicant: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

## Existing Site Conditions

Parcel size: 6,249 sq.ft.

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation).

The parcel is a relatively flat lot in a developed neighborhood. The land is undeveloped except for fences on the property line and a power pole.

## Environmental Review Checklist

### 1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
	<input checked="" type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
	<input checked="" type="checkbox"/>	d. Removal of mature tree(s) ( ≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? _____
<input checked="" type="checkbox"/>		e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : <u>710</u> c.y. Fill: <u>10</u> c.y.
	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
	<input checked="" type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

The new construction will require site clearing and grading for the new foundations and slab-on-grade for the residence.

Signature required on reverse →

**2. National Marine Fisheries Rule 4(d) Review**

Yes	No	Will the project involve:
	X	a. Construction outside of the footprint of an existing, legal structure?
	X	b. Exterior construction within 100-feet of a stream?
	X	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
	X	d. Land-use within a riparian area?
	X	e. Timber harvesting, mining, grazing or grading?
	X	f. Any work inside of a stream, riparian corridor, or shoreline?
	X	g. Release or capture of fish or commerce dealing with fish?

Please explain any "Yes" answers:

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**3. National Pollutant Discharge Elimination System (NPDES) Review**

Yes	No	Will the project involve:
	X	a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u> If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
	X	b. <u>Land disturbance of 1 acre or more of area?</u> If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) <u>prior</u> to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to Inform the County.**

Signed:  Date: 4/18/17

(Applicant may sign)

Design Review Application  
Uniacke Residence



HM,a+e

Birch St. and George St., Montara, CA 94037 (A.P.N. 036-310-340)

**RECEIVED**

APR 20 2017

San Mateo County  
Planning and Building Department

April 20, 2017

Henri Mannik, architecture + engineering  
5429 Telegraph Avenue, Oakland, CA 94609  
P (510) 652-1511

## I N D E X

Description of the project

Application for Design Review form

Material Checklist

Environmental Information Disclosure form

Exterior Lighting Schedule

Exterior Lighting Brochures. (See sheet A1.2 for locations)

Exterior Finish info



## PROJECT DESCRIPTION

For the architectural design, an Arts and Crafts inspired aesthetic was sought. The overall massing is separated into smaller masses with bridging elements. The back of the building is a single story structure. The center portion is slightly reduced, and the staircase on the West side has a lowered roof to reduce the building height on the West side.

The ground level is visually anchored to the ground with a stone veneer. The upper level has horizontal wood siding the vertical siding as an accent and contrast.

Parking faces George Street to allow for a backyard and to reduce the height at the back of the building.

The project consists of one building. There are no ancillary buildings or structures.

The house has 4 bedrooms and three bath rooms. A two car garage faces George Street, and the entry is from Birch Street.

The lot has no trees and a few shrubs to the South. The lot has no creeks, ponds, or vernal pools. The rain water drains toward Montara Beach to the West. The storm water does not drain to the Fitzgerald Marine Preserve.

East Elevation along Birch Street





San Mateo County

## Application for Design Review by the County Coastside Design Review Committee

County Government Center • 455 County Center • Redwood City CA 94063  
Mail Drop PLN 122 • 650 • 363 • 4161 • FAX 650 • 363 • 4849

Permit # PLN \_\_\_\_\_

Other Permit # \_\_\_\_\_

### Applicant:

Name: **Michael Uniacke**  
Address: **P.O.Box 370886**  
**Montara, CA** Zip: **94037-0886**  
Phone: W \_\_\_\_\_ H: **(415)-666-6111**  
Email: **michaeluniacke@gmail.com**

### Owner (if different from Applicant):

Name \_\_\_\_\_  
Address \_\_\_\_\_  
Zip \_\_\_\_\_  
Phone: W \_\_\_\_\_ H \_\_\_\_\_  
Email \_\_\_\_\_

### Architect or Designer (if different from Applicant):

Name: **Henri Mannik**  
Address: **5429 Telegraph Ave., Oakland, CA** Zip: **94609**  
Phone: W **510-652-1511** H \_\_\_\_\_ Email: **h.mannik@hm-ae.com**

### Project location:

APN: **36-101-340**  
Address: **Corner of Birch St. and George St.**  
Zip: **94037-0886**  
Zoning: **R1, S17, DR, CD**  
Parcel/Lot size: **6,249** sq. ft.

### Site Description:

- Vacant Parcel  
 Existing Development (Please describe): \_\_\_\_\_

### Project:

- New Single Family Residence \_\_\_\_\_ sq. ft.  
 Addition to Residence \_\_\_\_\_ sq. ft.  
 Other \_\_\_\_\_

### Additional Permits Required:

- Certificate of Compliance Type A or Type B  
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 Variance

### Describe Project:

The project is a new single family residence. The house is two stories toward the front, and the rear of the building is one story. The building is constructed of standard wood framing. The exterior finishes consist of horizontal wood siding, stone veneer, and a standing seam metal roof.

Fill in Blanks:	Material	Color/Finish <small>(if different from existing, attach sample)</small>	Check if matches existing
a. Exterior walls	horizontal wood siding	green and brown	<input type="checkbox"/>
b. Trim	wood	brown	<input type="checkbox"/>
c. Windows	wood windows	dark brown / bronze	<input type="checkbox"/>
d. Doors	wood doors	brown	<input type="checkbox"/>
e. Roof	metal	grey	<input type="checkbox"/>
f. Chimneys	stone veneer		<input type="checkbox"/>
g. Decks & railings	N.A.		<input type="checkbox"/>
h. Stairs	stone or stone veneer		<input type="checkbox"/>
i. Retaining walls	N.A.		<input type="checkbox"/>
j. Fences	wood	stained	<input type="checkbox"/>
k. Accessory buildings	N.A.		<input type="checkbox"/>
l. Garage/Carport	N.A. (attached)		<input type="checkbox"/>

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

Optional: Applicant's Statement of project compliance with standards and guidelines (check if attached).

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

.....  
 Owner: \_\_\_\_\_ Applicant: \_\_\_\_\_

.....  
 Date: \_\_\_\_\_ Date: \_\_\_\_\_

County of San Mateo

**Environmental Information Disclosure Form**

PLN \_\_\_\_\_  
 BLD \_\_\_\_\_

Project Address **Montara, CA 94037**

Name of Owner **Michael Uniacke**

Address **P.O. Box 370886, Montara, CA 94037-0886** Phone **(415)-666-6111**

Assessor's Parcel No **36 - 101 - 340**

Name of Applicant \_\_\_\_\_

Address \_\_\_\_\_

Zoning District **R1, S17, DR, CD**

Phone \_\_\_\_\_

**Existing Site Conditions**

Parcel size **6,249 sq.ft.**

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation)

**The parcel is a relatively flat lot in a developed neighborhood. The land is undeveloped except for fences on the property line and a power pole.**

**Environmental Review Checklist**

**1. California Environmental Quality Act (CEQA) Review**

Yes	No	Will this project involve:
	<input checked="" type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq. ft?
	<input checked="" type="checkbox"/>	d. Removal of mature tree(s) (≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? _____
<input checked="" type="checkbox"/>		e. Land clearing or grading? If yes, please state amount in cubic yards (c.y). Excavation _____ c.y. Fill _____ c.y.
	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
	<input checked="" type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

**The new construction will require site clearing and grading for the new foundations and slab-on-grade for the residence.**

Signature required on reverse →



**2. National Marine Fisheries Rule 4(d) Review**

Yes	No	Will the project involve:
	<input checked="" type="checkbox"/>	a. Construction outside of the footprint of an existing legal structure?
	<input checked="" type="checkbox"/>	b. Exterior construction within 100-feet of a stream?
	<input checked="" type="checkbox"/>	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
	<input checked="" type="checkbox"/>	d. Land-use within a riparian area?
	<input checked="" type="checkbox"/>	e. Timber harvesting, mining, grazing or grading?
	<input checked="" type="checkbox"/>	f. Any work inside of a stream, riparian corridor, or shoreline?
	<input checked="" type="checkbox"/>	g. Release or capture of fish or commerce dealing with fish?

Please explain any "Yes" answers:

**3. National Pollutant Discharge Elimination System (NPDES) Review**

Yes	No	Will the project involve:
	<input checked="" type="checkbox"/>	a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u> If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
	<input checked="" type="checkbox"/>	b. <u>Land disturbance of 1 acre or more of area?</u> If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) <b>prior</b> to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.

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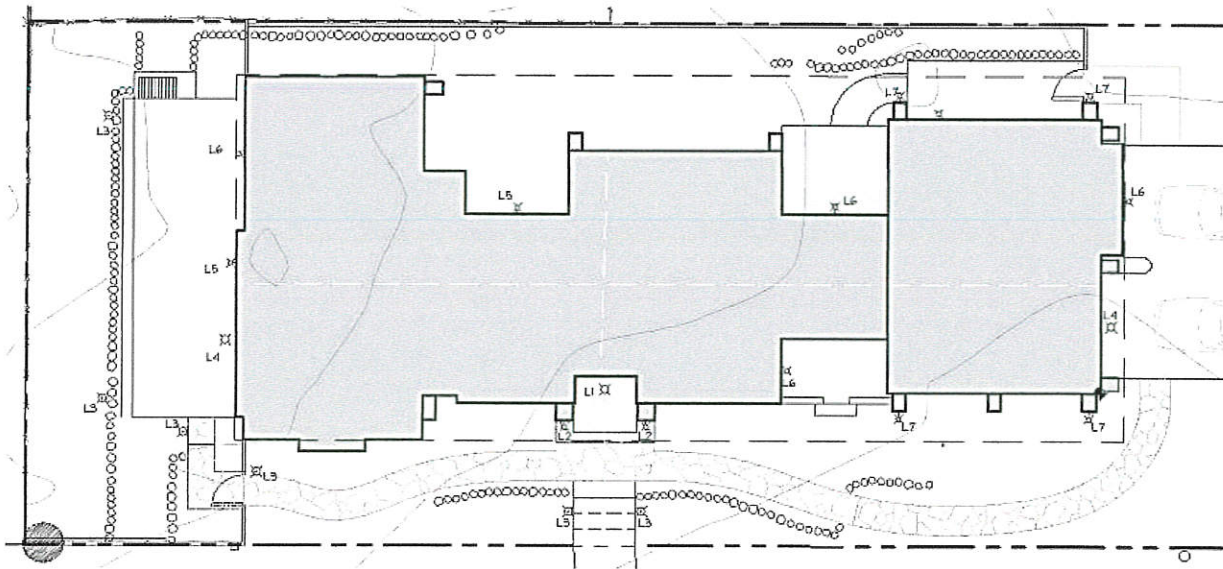
Signed:

Date:

(Applicant may sign)

### Lighting Plan and Schedule

EXTERIOR LIGHTING SCHEDULE (ALL FIXTURES ARE "DARKSKY")				
SYMBOL	WATTS	TYPE	FIXTURE NAME	MANUFACTURER
L1	50W GU-10	HANGING	NEW CASTLE 2252BK, BLACK *	HINKLEY LIGHTING, INC.
L2, L5 L6, L7	35W GU-10	WALL	NEW CASTLE 2250BK, BLACK *	HINKLEY LIGHTING, INC.
L3	50W GU-10	POLE	NEW CASTLE 2251BK, BLACK *	HINKLEY LIGHTING, INC.
L4	5.5W LED	WALL	BLACK LED WALL LANTERN. IZC169IL-2. (ENERGY STAR) *	HOME DECORATORS COLLECTION
* DARKSKY COMPLIANT, DOWNWARD FACING BULBS				



Entry Light: L1.

# HINKLEY & R.

HINKLEY LIGHTING, INC.  
33000 P.N. OAK PARKWAY | AVON LAKE, OHIO 44012  
[PH] 440.653.5500 | [F] 440.653.5555  
HINKLEYLIGHTING.COM | FREDERICKRAMOND.COM



<b>NEW CASTLE 2252BK</b>	
BLACK	
WIDTH:	11.0"
HEIGHT:	15.0"
WEIGHT:	3.0 LBS
MATERIAL:	ALUMINUM
GLASS:	CLEAR SEEDY
CANOPY:	5.5" DIA.
SOCKET:	1-50W GLA-10
DARK SKY:	YES
MAX HEIGHT:	77.0"
CHAIN:	80.0"
LEADWIRE:	72.0"
CERTIFICATION:	C-US DAMP RATED
VOLTAGE:	120V
UPC:	640865225204

AT HINKLEY, WE EMBRACE THE DESIGN PHILOSOPHY THAT YOU CAN MERGE TOGETHER THE LIGHTING, FURNITURE, ART, COLORS AND ACCESSORIES YOU LOVE INTO A BEAUTIFUL ENVIRONMENT THAT DEFINES YOUR OWN PERSONAL STYLE. WE HOPE YOU WILL BE INSPIRED BY OUR COMMITMENT TO KEEP YOUR 'LIFE AGLOW.'

*life*AGLOW®

Typical Wall Lamp: L2, L5, L6, L7.

# HINKLEY & R.

HINKLEY LIGHTING, INC.  
33000 PIN OAK PARKWAY • AVON LAKE, OHIO 44012  
(PH) 440.663.5500 (F) 440.663.5555  
HINKLEYLIGHTING.COM • FREDICKRAMOND.COM



<b>NEW CASTLE 2250BK</b>	
<b>BLACK</b>	
WIDTH:	7.0"
HEIGHT:	9.8"
WEIGHT:	2.0 LBS
MATERIAL:	ALUMINUM
GLASS:	CLEAR SEEDY
BACKPLATE WIDTH:	4.5"
BACKPLATE HEIGHT:	6.8"
SOCKET:	1-35W GU-10 E-14C
DARK SKY:	YES
EXTENSION:	8.0"
TTO:	5.8"
CERTIFICATION:	C-US WET RATED
VOLTAGE:	120V
UPC:	840665225008

AT HINKLEY, WE EMBRACE THE DESIGN PHILOSOPHY THAT YOU CAN MERGE TOGETHER THE LIGHTING, FURNITURE, ART, COLORS AND ACCESSORIES YOU LOVE INTO A BEAUTIFUL ENVIRONMENT THAT DEFINES YOUR OWN PERSONAL STYLE. WE HOPE YOU WILL BE INSPIRED BY OUR COMMITMENT TO KEEP YOUR 'LIFE AGLOW'.

*life*AGLOW®

Garden Lamp: L3.

Henri Mannik, architecture + engineering  
5429 Telegraph Avenue, Oakland, CA 94609  
P (510) 652-1511

(Darksky with a downward facing bulb)

# HINKLEY & R.

HINKLEY LIGHTING, INC.  
33000 PIN OAK PARKWAY | AVON LAKE, OHIO 44012  
(PH) 440.653.8500 | (F) 440.653.8555  
HINKLEYLIGHTING.COM | HEDRICKRAMOND.COM



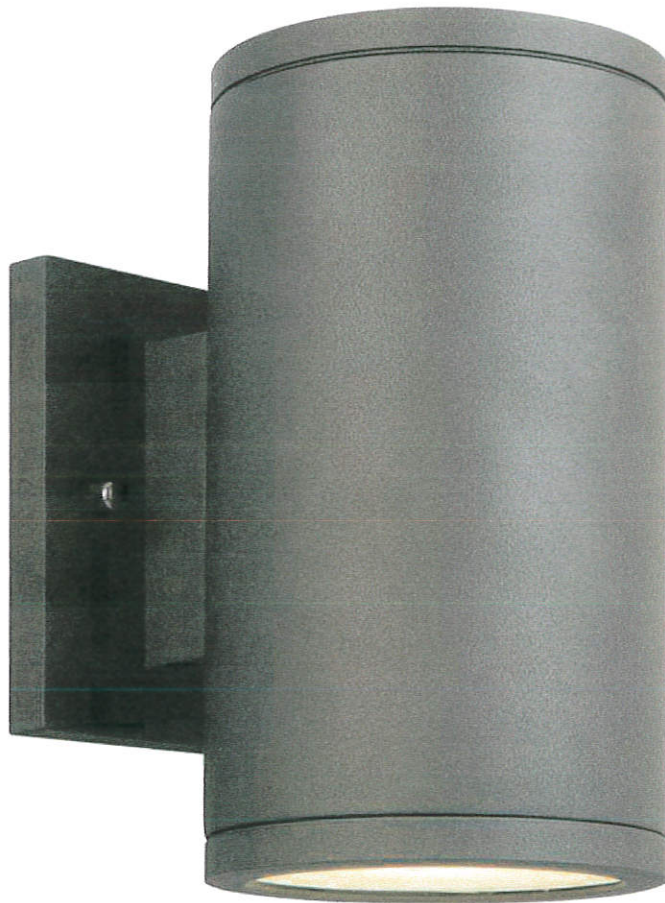
<b>NEW CASTLE 2251BK</b>	
BLACK	
WIDTH:	11.0"
HEIGHT:	22.3"
WEIGHT:	3.0 LBS
MATERIAL:	ALUMINUM
GLASS:	CLEAR SEEDY
SOCKET:	1-50W GU-10 E26/E27
DARK SKY:	YES
CERTIFICATION:	C-US WET RATED
VOLTAGE:	120V
UPC:	640665225105

AT HINKLEY WE EMBRACE THE DESIGN PHILOSOPHY THAT YOU CAN MERGE TOGETHER THE LIGHTING, FURNITURE, ART, COLORS AND ACCESSORIES YOU LOVE INTO A BEAUTIFUL ENVIRONMENT THAT DEFINES YOUR OWN PERSONAL STYLE. WE HOPE YOU WILL BE INSPIRED BY OUR COMMITMENT TO KEEP YOUR LIFE AGLOW.

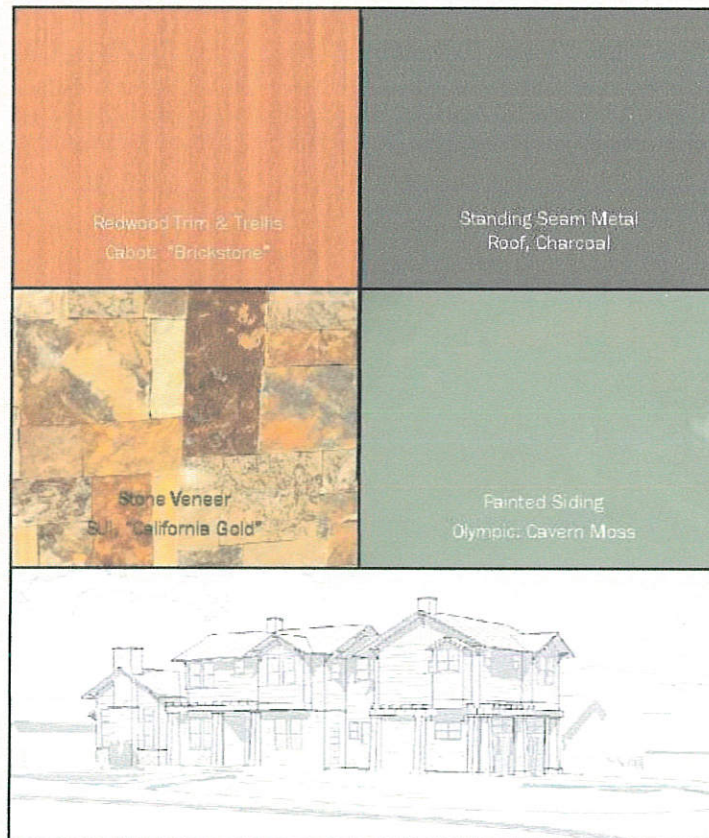
*life*AGLOW®



Wall Lamp: L4.  
(Fixture hidden behind trellis or exposed roof support beams)



**Uniacke Residence, Montara, CA**  
Exterior Finish materials



04.20.2017

Henri Mannik, a + e

5429 Telegraph Ave. Oakland, CA 94609 p 510.652.1511



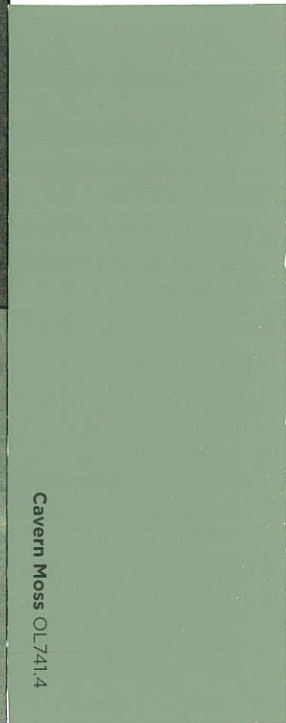
# Uniacke Residence, Montara, CA

## Exterior Finish materials



California Gold  
60"x36"x2"± (Approx.)

<p>Redwood Trim &amp; Trellis Cabot: "Brickstone"</p>	<p>Standing Seam Metal Roof, Charcoal</p>
<p>Stone Veneer SUI: "California Gold"</p>	<p>Painted Siding Olympic: Cavern Moss</p>



04.20.2017

Henri Mannik, a + e

5429 Telegraph Ave. Oakland, CA 94609 p 510.652.1511



# Uniacke Residence

Birch Street & George Street  
Montara, CA 94037

RECEIVED

JUL 07 2017

San Mateo County  
Planning Division

Project  
UNIACKE RESIDENCE

A.P.N. 36-101-340  
(George St. & Birch St.)  
Montara, CA 94037

Architect

HM,a+e

Henri Mannik,  
Architecture and Engineering

5429 Telegraph Ave  
Oakland, CA 94609  
510.652.1511 p

Consultant

Stamp

Printing Date

DESIGN REVIEW 04.20.2017  
DESIGN REVIEW REV 07.06.2017

HM,a+e Job Number  
2016.17

Sheet Title

COVER

Sheet Number

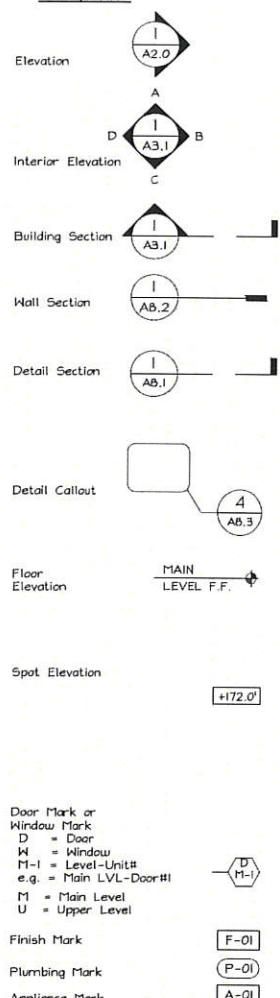
A1.1

PLN 2017-00154

## ARCHITECTURAL ABBREVIATIONS

A	AB	Anchor bolt	LAV	Lavatory
	ABV	Above	LVL	Level
	ADJ	Adjustable/Adjacent	M	MAT
	ALT	Alternate	MAX	Maximum
	ALUM	Aluminum	MB	Machine Bolt
	ARCH	Architecture	MC	Medicine Cabinet
B	BD	Board	MECH	Mechanical
	BDRM	Bedroom	MEMB	Membrane
	BLDG	Building	MFR	Manufacturer
	BLKG	Blacking	MIN	Minimum
	BH	Beam	MISC	Miscellaneous
	BOT	Bottom	MTD	Mounted
	BO	Bottom of	MTL	Metal
	BOH	Bottom of wall	MC	Microwave
C	CAB	Cabinet	(N)	New
	CAR	Cold air return	NEC	Necessary
	CER	Ceramic	NIC	Not in contract
	CFM	Cubic Feet per Minute	NOM	Nominal
	C	Center Line	NTS	Not to scale
	CLG	Ceiling	NTV	Not True View
	CLR	Clear	O	Overall
	CMU	Concrete Masonry Unit	OC	On Center
	CO	Clean Out	OD	Outside Diameter
	CONC	Concrete	OPNG	Opening
	CONSTR	Construction	OPP	Opposite
	CONT	Continuous	P	Perforated Drain Line
D	DIA	Diameter	PERF	Perforated Drain Line
	DBL	Double	P.L.	Plate or Property
	DF	Douglas Fir	PLLM	Plastic Laminated
	DET	Detail	PLYND	Plywood
	DHW	Domestic Hot Water	PR	Pair
	DINRM	Dining room	PT	Point
	DISP	Disposal	PTN	Partition
	DN	Down	PWDRRM	Powder Room
	DR	Door	QT	Quarry Tile
	DS	Downspout	R	Radius
	DWR	Drawer	RD	Roof Drain
	DW	Dishwasher	RDND	Reduced
E	(E)	Existing	REF	Refrigerator
	EA	Each	RENF	Reinforced
	ELEC	Electrical	REQ	Required
	ELEV	Elevation	RQ	Rough
	E.O.	Edge of	RH	Rough Opening
	EQ	Equal	RHL	Rain Water Leader
	ENCL	Enclosure	S	Solid Core
	EP	Electrical Panel	SF	Square Foot
	EXT	Exterior	SH	Shelf
F	FA	Fire Alarm	SHT	Sheet
	FD	Floor Drain	SHT	Solar Hot Water
	FDN	Foundation	SHH	Similar
	FF	Finish Floor	SKLT	Skylight
	FFHS	Flat Head Wood Screw	SKL	Slab on Ground/grade
	FIN	Finish	SG	Square Foot
	FLR	Floor	STD	Standard
	FLUOR	Fluorescent	STOR	Storage
	FCC	Face of Concrete	S.S.	Stainless Steel
	FF	Face of Framing	SCD	See Civil Drawings
	FO CHU	Face of CHU	SLD	See Landscape Drawings
	FOS	Face of Stud	SHD	See Mechanical Drawings
	FTG	Footing	SSD	See Structural Drawings
	FURR	Furring	SYM	Symmetrical
G	GA	gauge	T	Tread
	GALV	Galvanized	TB	Towel Bar
	GD	Garbage Disposal	TDL	Tight Drain Line
	GFI	Ground Fault	TEL	Telephone
	GL	Glazing	T&G	Tongue and Groove
	GLB	Glove Laminated Beam	THR	Thermostat
	GLULAM	Glove Laminated	THRD	Threaded
	GR	Grade	TOC	Top of Concrete
	GSM	Galvanized sheet metal	TON	Top of Wall
	GYFBD	Gypsum Board	TYP	Typical
H	HB	Hose Bib	UCN	Unless Otherwise Noted
	HC	Hollow Core	VERT	Vertical
	HDR	Header	VGDF	Vertical Grain Doug Fir
	HDND	Hardwood	H	With
	HDNR	Hardwood	WAR	Warm Air Register
	HHS	Heating Hot Water	WC	Water closet
	HORIZ	Horizontal	WD	Wood
	HT	Height	WH	Water heater
I	ICF	Insulated Concrete Forms	WIND	Window
	ID	Inside Dimension	W/O	Without
	INSUL	Insulation	WP	Waterproof
	INT	Interior	WR	Water-Resistant
J	JST	Joist	WNM	Welded Wire Mesh
K	KIT	Kitchen	#	AT
L	LAM	Laminated	=	Number or Pounds
			t	Property Line or Plate

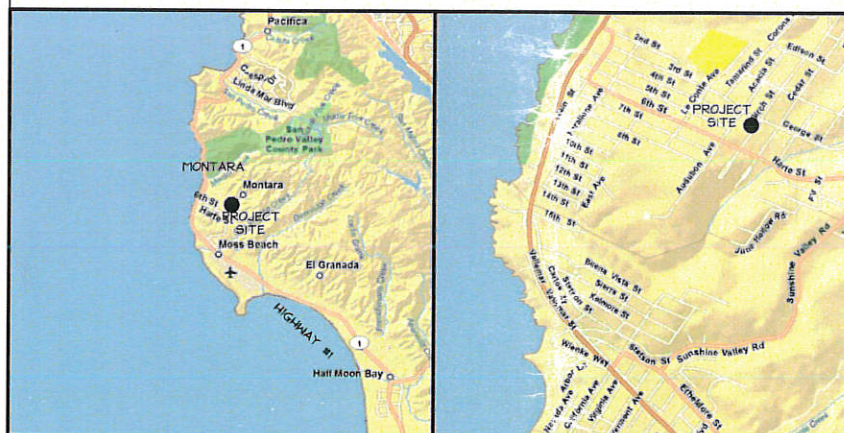
## LEGEND



## BUILDING IMAGE



## VICINITY MAP



## ZONING DATA

FLOOR AREA:	SQUARE FOOTAGE:
HOUSE LOWER LEVEL	1,470 SQ. FT.
HOUSE UPPER LEVEL	1,272 SQ. FT.
INTERIOR TOTAL	2,742 SQ. FT.
GARAGE	558 SQ. FT.
TOTAL	3,300 SQ. FT. < 3,312 SQ. FT.
GROUND LEVEL FLOOR AREA	2,028 SQ. FT.
LOT COVERAGE	2,186 SQ. FT. < 2,187 SQ. FT.
LOT SIZE	6,249 SQ. FT.
MAX HOUSE SIZE (53% OF LOT SIZE)	3,312 SQ. FT. MAX. (HOUSE + GARAGE)
MAX COVERAGE (35% OF LOT SIZE)	2,187 SQ. FT. MAX. (LOT COVERAGE)

(SEE A3.1 FOR INFO ON VERTICAL DIMENSIONS.)

## PROJECT DESCRIPTION

The project consists of a new single family residence located in the coastal town of Montara, California.

The house will be a two-story wood frame structure with a 2-car attached garage. The project has no ancillary structures.

The foundation is a standard concrete slab-on-grade foundation.

The exterior walls at the lower level have a masonry veneer on the street facades. The upper level has horizontal wood siding. The roof has a standing seam metal roof.

## DESIGN TEAM

Architect: Henri Mannik, a+e 5429 Telegraph Ave. Oakland, CA 94609 T: 510.652.1511 Contact: Henri Mannik, Architect hmannik@hm-ae.com	Structural Engineer: HM,a+e 5429 Telegraph Ave. Oakland, CA 94609 T: 510.652.1402 Contact: Henri Mannik, P.E. hmannik@hm-ae.com	Landscape Architect: Title-24 Consultant: Aron Jurgens 765 Treat Ave. San Francisco, CA 94110 T: 608.358.9225 a.joseph.jurgens@gmail.com
Surveyor: Turnrose Land Surveying 125 East Main St. Ripon, CA 95366 T: 209.599.5100 Contact: Mike Turnrose mikets7454@verizon.net	Geotech: Earth Investigations Consultants P.O. Box 795 Pacifica, CA 94044 T: 650.557.0262 Contact: Joel Baldwin earthinvestigations4@comcast.net	Contractor: M. Uniacke P.O. Box 370886 Montara, CA 94037-0886 T: 415.666.6111

## PROJECT DATA

SEE A1.3 FOR ZONING DATA

Project Name	Uniacke Residence
Project Address	George Street and Birch Street Montara, CA 94037
Project Owner	Mike and Denise Uniacke P.O. Box 370886 Montara, CA 94037-0886 036-101-340
San Mateo County Planning Dept Permit #	P.L.N. 2017-00154
Zone	R-1, S-17, D.R., C.D.
Type of Construction	Wood frame.
Occupancy Type	R-3
Number of Stories	2 Stories
Fire Sprinklers	Yes (County Requirement)
Fire Marshal	Half Moon Bay Fire Protection District
Green Building Rating	"Build It Green" New Home GreenPoints Checklist, 2006 Edition
San Mateo County	...points (Pending)
Rating Standard	(Based on S.M.C. Green Building Ordinance #044111 amendment adding Chapter 14 to the County Ordinance Code.

## CODES / AGENCIES

- 2016 California Building Code
- 2016 California Residential Code
- 2016 California Mechanical Code
- 2016 California Plumbing Code
- 2016 California Electrical Code
- 2016 California Energy Code
- 2016 California Fire Code
- 2016 California Green Building Code
- S.M.C. Water Efficient Landscape Ordinance
- Municipal Regional Stormwater Permit: C.3 & C.6 (MRP)
- Coastside Fire District Ordinance 2013-03
- State's Model Water Efficient Landscape Ordinance (MWELO)
- Coastal Commission
- San Mateo County Geotechnical
- San Mateo County Public Works
- San Mateo County Environmental Health
- San Mateo County Fire Marshal
- Coastside Fire Protection District
- Montara Water and Sanitary District
- And other local, State, and Federal regulations.



EXTERIOR LIGHTING SCHEDULE (ALL FIXTURES ARE "DARKSKY")				
SYMBOL	WATTS	TYPE	FIXTURE NAME	MANUFACTURER
L1	50W GU-10	HANGING	NEW CASTLE 2252BK, BLACK *	HINKLEY LIGHTING, INC.
L2, L5 L6, L7	35W GU-10	WALL	NEW CASTLE 2250BK, BLACK *	HINKLEY LIGHTING, INC.
L3	50W GU-10	POLE	NEW CASTLE 2251BK, BLACK *	HINKLEY LIGHTING, INC.
L4	5.5W LED	WALL	BLACK LED WALL LANTERN, IZC641L-2. (ENERGY STAR) *	HOME DECORATORS COLLECTION

\* DARKSKY COMPLIANT, DOWNWARD FACING BULBS

Project  
**UNIACKE RESIDENCE**

A.P.N. 36-101-340  
(George St. & Birch St.)  
Milbra, CA 94037

Architect

**HM,a+e**

Henri Mannik,  
Architecture and Engineering  
5429 Telegraph Ave.  
Oakland, CA 94609  
510 652 1511 p

Consultant

Stamp

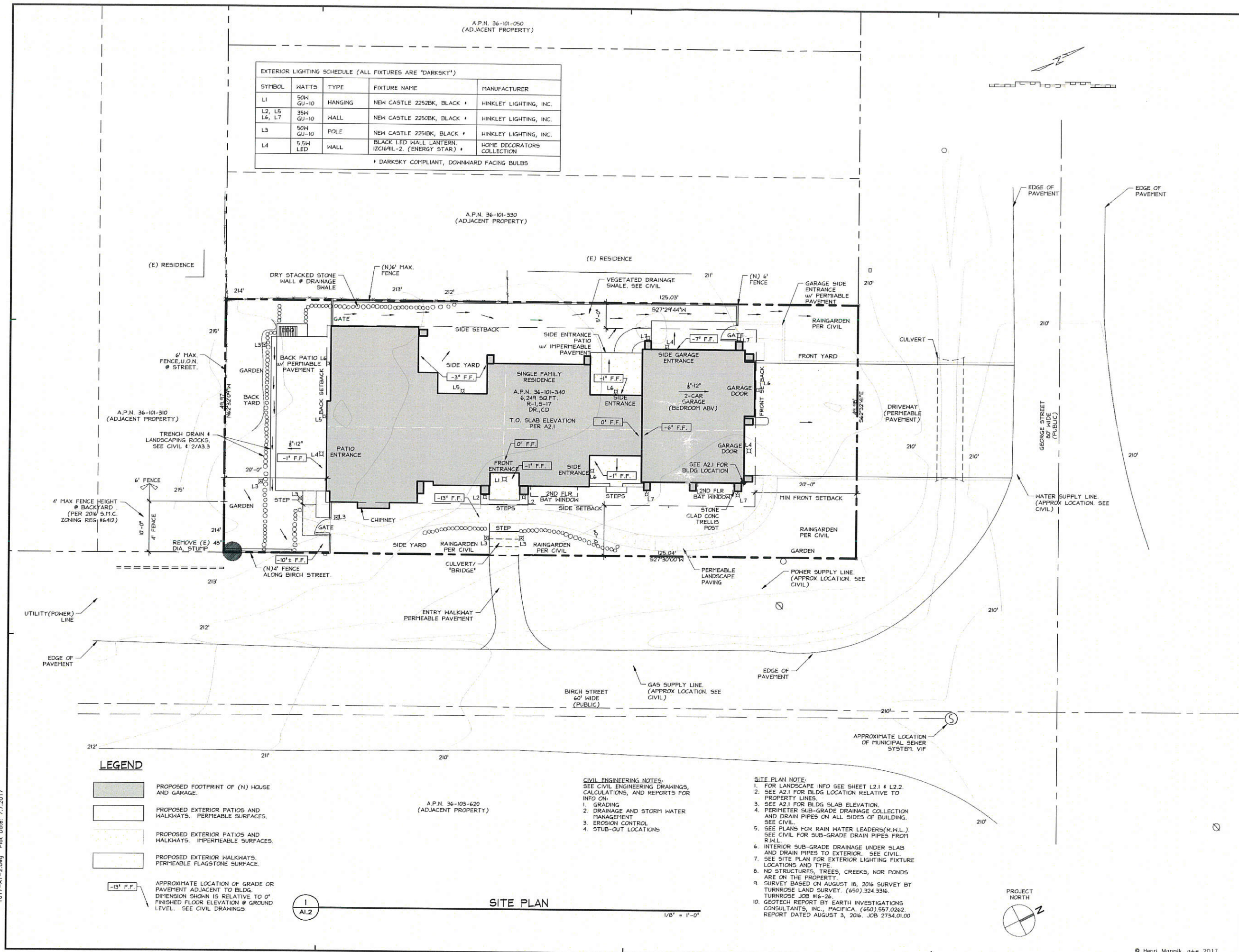
Printing Date  
DESIGN REVIEW 04.20.2017  
DESIGN REVIEW REV 07.06.2017

HM,a+e Job Number  
2016.17

Sheet Title  
**SITE PLAN**

Sheet Number

**A1.2**



1617-A1-2.dwg Plot Date: 7.7.2017



PROJECT GENERAL NOTES

**GOVERNING CODES:**

1. These notes apply to all drawings and govern unless otherwise noted or specified.
2. All work shall conform to the 2016 California Building Code, as modified by state and local jurisdiction.
3. Nothing in the Drawings or in these Specifications is to be construed as requiring or permitting work that is contrary to these rules, regulations and codes.
4. All work and materials shall be in full accord with the latest rules and regulations of the Safety Orders of the Division of Industrial Safety, California Labor Code and all applicable federal, state and/or local health regulations.
5. Any reference to standards shall comply with requirements of latest revision.
6. Construction shall comply with all State of California Title-24 energy code requirements and mandatory measures per Compliance certification herein.

**GENERAL CONDITIONS AND DRAWING USE:**

1. These architectural drawings are copyrighted instruments of service of Henri Mannik, Architecture and Engineering (HM,a+e), for the sole use for this project. If the contract has been terminated with HM,a+e, these Construction Documents in whole or part may not be used for any construction. Reproductions of these drawings in part or whole are not permitted without the permission of HM,a+e.
2. The Construction Documents include these Drawings and Notes, Specifications and all revisions, additions and addenda's.
3. Specifications take precedence over drawings.
4. Drawings show the scope of work to be completed by the contractor.
5. Unless otherwise shown or noted, all typical details shall be used where applicable. All details shall be considered typical at similar conditions. Drawings do not illustrate every detail but show only special requirements to assist contractor. All conditions not specifically detailed on drawings shall be similar to those shown, or those details existing in the field.
6. Do not scale drawings.
7. The Contractor and Special Inspector shall contact the Architect regarding any questions of interpretation of these specifications and drawings.
8. Notify Architect of any field conflicts in advance of installation and with reasonable time to address the issues by the Architect and Contractor. Contractor shall schedule site meetings with architect two (2) working days in advance by phone or writing. Architect may determine if meeting is not required.
9. Electrical, mechanical, and plumbing plans are design drawings only showing an implied and diagrammatic scope of work for installation by the Contractor. Positions of fixtures, outlets, switches, visible features, and Architectural items are fixed as shown unless a change in position is authorized by the Architect. Contractor is responsible for other non-visible components for a safe, operational, and code-compliant system.
10. Substitutions of materials, equipment, articles, and processes may only be considered if submitted in writing. The burden of proof of the proposed substitution is on the contractor.
11. Prior to reuse of existing material, test for fire, smoke, water,

- weather, and other types of damage. All reused material shall have a testing protocol agreed upon by contractor, owner, architect, and structural engineer. Discard material not meeting testing standards.
12. Any existing building or site data is based on observation and/or existing information only. Destructive testing, removal of existing finishes, equipment disassembly, and material testing was not performed for the as-built condition, data, and code analysis.
  13. The Contractor shall thoroughly examine the drawings and specifications, and existing site conditions. By entering into the work, the Contractor states that the documents are sufficient to provide a complete installation of pertinent portions of the work. Report any questions or requests for clarification to HM,a+e immediately. If, in the opinion of any contractor, any construction details shown or otherwise specified are in conflict with accepted industry standards for quality construction or might interfere with his full guarantee of the work, he/she is to notify HM,a+e immediately for clarification. No omission or lack of detailed requirements in the drawings or specifications is to be construed as allowing any materials or workmanship below industry standards.
  14. Confirm with HM,a+e that these contract documents are the most recent issue before layout and construction.
  15. Verify all existing conditions and proposed dimensions at the job site. Compare architectural drawings with structural, mechanical, and electrical and plumbing drawings before commencing work. Notify Architect of any discrepancies and do not proceed with affected work until they are resolved. All items noted "verify" are to be checked by the Contractor prior to construction, and report to the architect. Verify the dimensions of equipment, fixtures, and appliances prior to wall layout and unit installation.
  16. Contractor shall survey or measure the existing building to locate all existing floor elevations, face of framing, column centerlines, and interior and exterior face of wall. In order to locate new alignments, centerlines, face of framing, face of finishes, and clearances.
  17. The Architect and the Architect's consultants have no responsibility for any modification, revisions, or substitutions of the work shown in the Construction Documents unless approved in writing by the Architect. If the Contractor fails to report variances and discrepancies, the Contractor shall be fully and solely responsible for the correction or adjustment of any such related work or errors.
  18. Contractor shall coordinate with other contractors and subcontractors on the project. Each contractor shall provide other contractors reasonable opportunity for their work.
  19. All labor and materials which is required to complete the work and which may be fairly implied as included in the drawings and specifications shall be completed or furnished by the Contractor without extra compensation if the Architect determines that the work is so included.
  20. The Contractor is responsible for all damaged, broken, or scratched items related to the work. The Contractor shall replace all such items at their own expense.
  21. Contractor shall repair or replace in kind all defects due to faulty labor or materials for one year following acceptance of the completed work at Substantial Completion of the work unless a longer period of time is specified otherwise in the drawings, by the contractor, manufacturer, supplier, or installer.
  22. HM,a+e CAD files may only be used as backgrounds for shop drawings after HM,a+e receives a signed waiver from each party using the files, addressing the limitations and proper use of these CAD files.

REFERENCED ZONING CODE

Zone: R-1, S-17, DR, CD		Setback-Rear Yard	20 Ft.
Setback-Front Yard	20 Ft.	Height Limit measured perpendicular from grade	26 Ft. Max.
Setback-Side Yard Bldg.	10 Ft. Min to Birch 5 Ft. to side yard.		
Setback-Side Yard Chimney	2 Ft. Encroachment		

Project  
**UNIACKE RESIDENCE**

A.P.N. 36-101-340  
(George St. & Birch St.)  
Montara, CA 94037

Architect

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2016,17

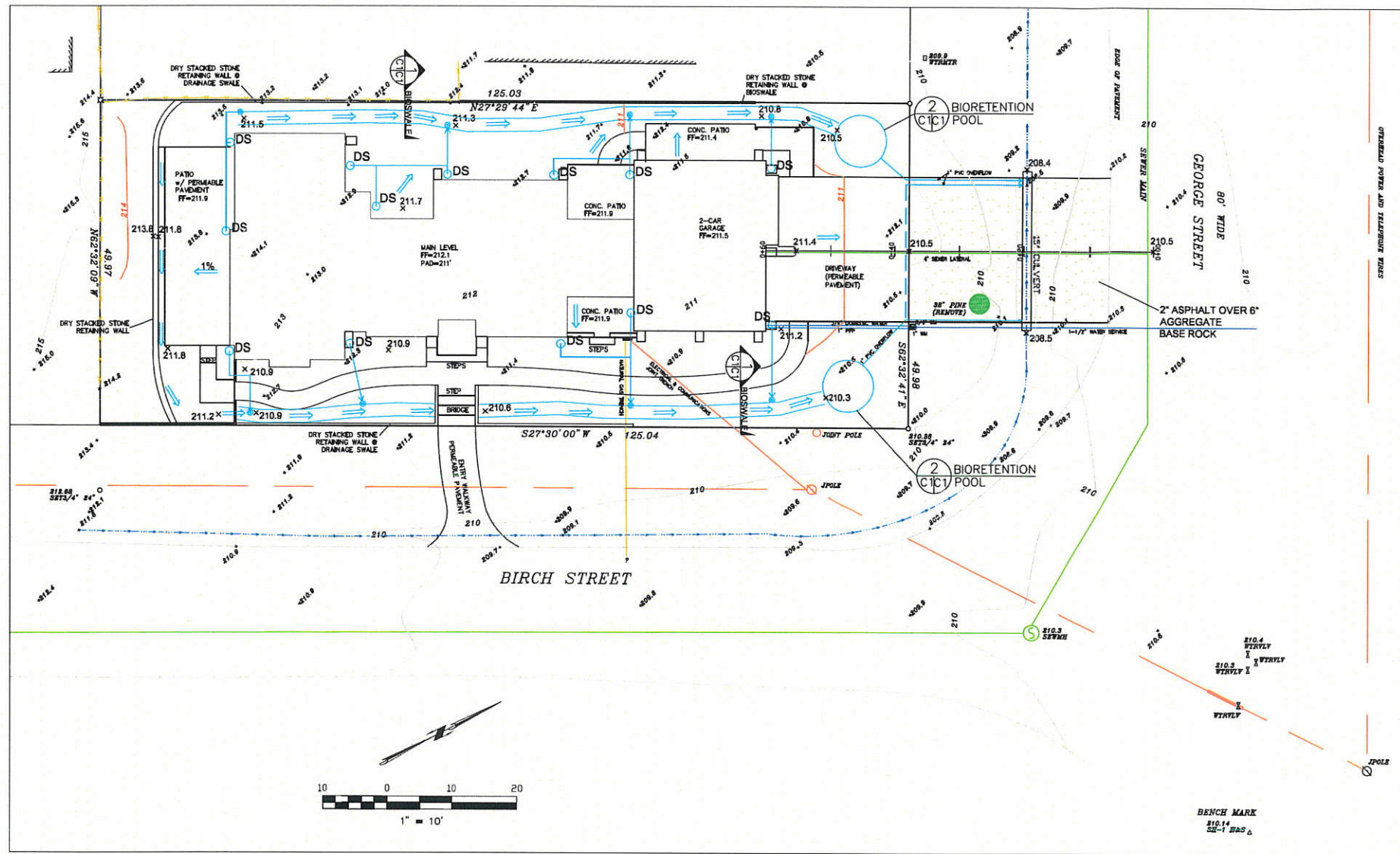
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**NOTES**

Sheet Number

**A1.3**





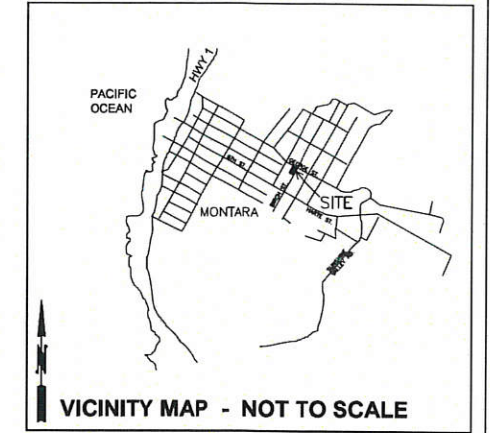
- ### LEGEND
- EXISTING CONTOURS
  - PROPOSED CONTOURS
  - PROPOSED SPOT ELEVATION
  - DS DOWNSPOUT
  - DIRECTION OF SURFACE DRAINAGE
  - 3" SOLID PLASTIC DRAIN PIPE, SDR 35 @ 0.5% MINIMUM SLOPE.
  - 3" PERFORATED PLASTIC DRAIN PIPE, UNDER PAVERS SDR 35 @ 0.5% MINIMUM SLOPE.

- ### GENERAL NOTES
- PLANS PREPARED AT THE REQUEST OF: MIKE UNIACKE, OWNER
  - SURVEY AND TOPOGRAPHY BY TURNROSE LAND SURVEYING, SURVEYED IN SEPTEMBER, 2016.
  - ELEVATION DATUM ASSUMED.
  - THIS IS NOT A BOUNDARY SURVEY.

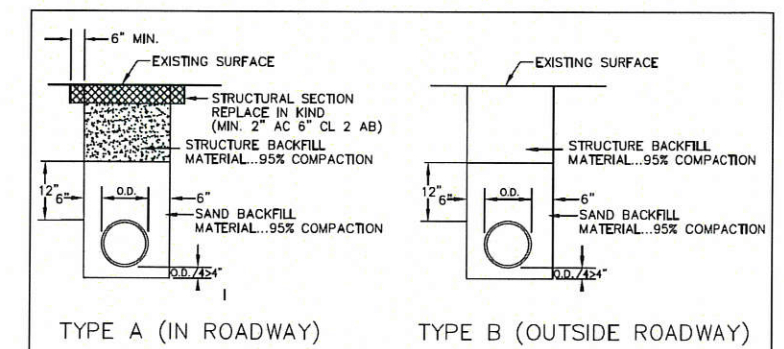
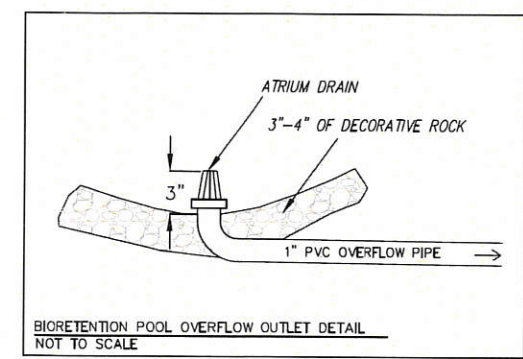
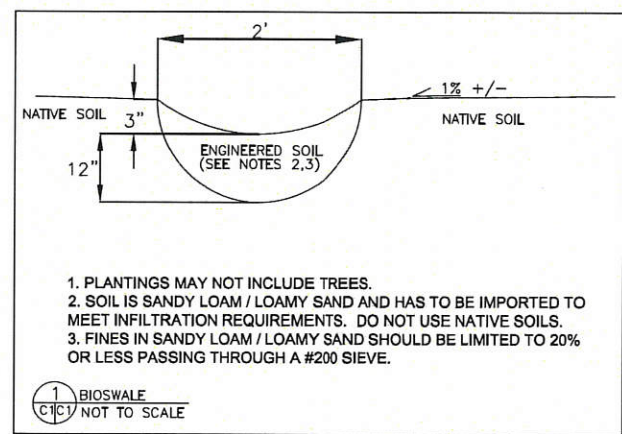
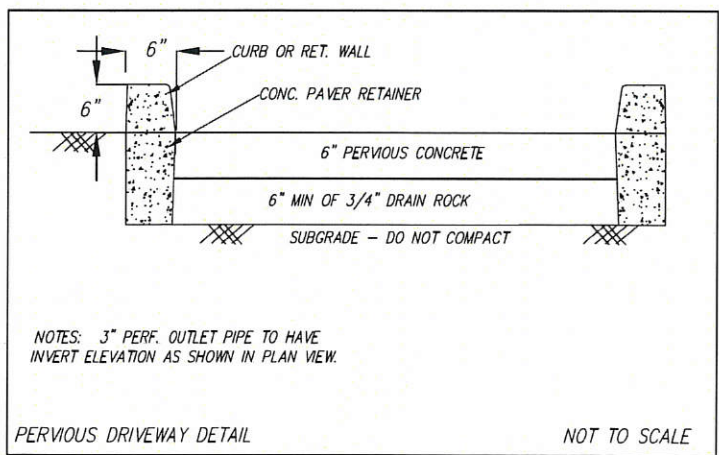
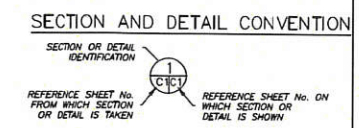
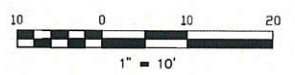
- ### GRADING NOTES
- CUT VOLUME: 210 CY  
FILL VOLUME: 10 CY
- ABOVE VOLUMES ARE APPROXIMATE.
  - MAXIMUM GRADIENT OF ANY MODIFIED SLOPES SHALL BE 2:1 (H:V).
  - ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
  - ALL TRENCHES IN PROPOSED LANDSCAPE AREAS SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

- ### DRAINAGE NOTES
- DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS.
  - ALL ROOF DRAIN LINES SHALL LEAD TO BIORETENTION POOLS, AS SHOWN.
  - ALL SOLID DRAINAGE PIPES SHALL BE MINIMUM 3" DIAMETER SOLID PIPE, SLOPED AT 1% MINIMUM.
  - IT IS THE RESPONSIBILITY OF THE OWNER TO MAINTAIN THE DRAINAGE SYSTEM. THE BIORETENTION POOLS SHALL BE CHECKED EVERY FALL AND CLEARED OF DEBRIS. THE OUTLET PIPES SHALL BE CHECKED FOR DEBRIS AFTER EVERY RAIN STORM.
  - PERVIOUS PAVEMENT SECTION SHALL INCLUDE 3" PERFORATED PIPE, CONNECTED TO 1" PIPE TO CULVERT, AS SHOWN, TO FACILITATE AMPLE DRAINAGE BETWEEN STORMS.
  - BIORETENTION POOLS SHALL INCLUDE 1" PIPE TO CULVERT, AS SHOWN, TO FACILITATE AMPLE DRAINAGE BETWEEN STORMS.
  - VEGETATION IN BIOSWALES AND BIORETENTION POOLS MAY BE PLANTED, PER THE LANDSCAPE PLAN. THE VEGETATION SHALL BE OF THE TYPE THAT DOES WELL IN WET CONDITIONS AND HAS A ROOT SYSTEM THAT DOES NOT IMPACT STORAGE VOLUME.

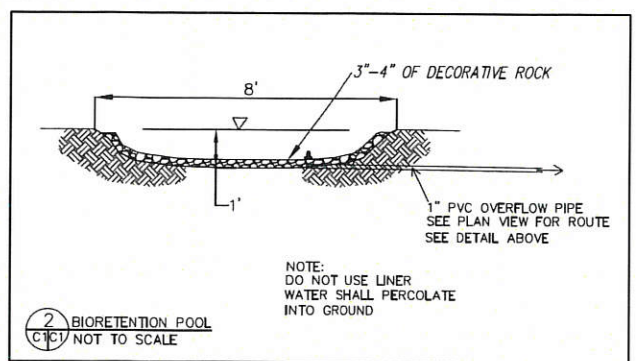
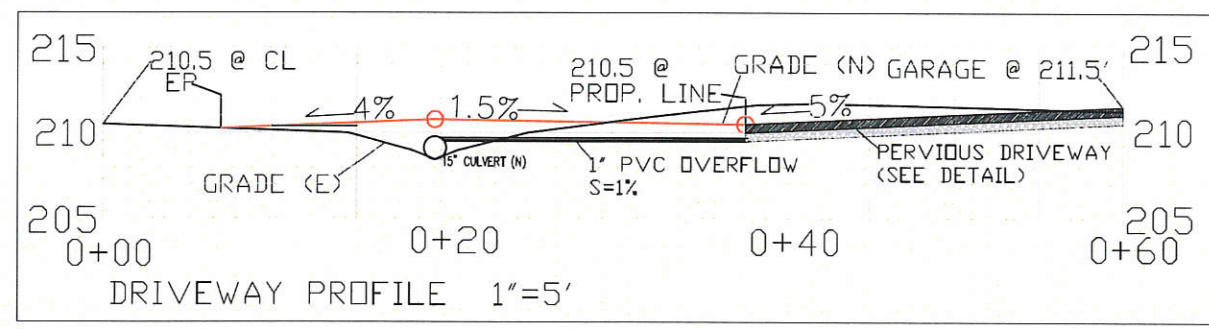
- ### TRAFFIC CONTROL NOTES
- CONTRACTOR AND WORKERS SHALL PARK ALONG BIRCH AND GEORGE STREET.
  - WHEN TRUCKS PARK IN STREET FOR DELIVERY OF SUPPLIES AND CONCRETE, EVERY EFFORT SHALL BE MADE TO PROVIDE ROOM FOR VEHICLES TO PASS. WORKERS SHALL PROVIDE TRAFFIC CONTROL AT ALL TIMES WHEN ROAD IS PARTIALLY BLOCKED.
  - IF ROAD IS BLOCKED, WORKERS SHALL PROVIDE WRITTEN DIRECTIONS FOR A DETOUR, IF REQUESTED BY A MOTORIST.



- ### CONSTRUCTION SCHEDULE
- DAY 1: EROSION CONTROL MEASURES.
  - DAY 2: COMMENCE WORK WITH SITE CLEARING.
  - DAY 4: INSTALL CULVERT
  - DAY 5: INSTALL ROCKED CONSTRUCTION ENTRANCE
  - WEEK 2: FINISH ROUGH GRADING
  - WEEK 3: BEGIN FOUNDATIONS AND RETAINING WALLS CONSTRUCTION FORMS
  - WEEK 4: POUR CONCRETE FOR FOOTINGS.
  - WEEK 5: BEGIN FRAMING
  - MONTH 3: FINISH SHELL OF HOUSE
  - MONTH 8: FINISH MOST OF HOUSE INTERIOR
  - MONTH 9: FINISH PATIOS, WALKWAYS, DRIVEWAY, OTHER EXTERIOR FLAT WORK.
  - MONTH 10: FINISH PROJECT



- ### NOTES:
- SAND... MATERIAL FREE FROM ORGANIC MATTER AND CLAY WITH A SIEVE GRADATION BY WEIGHT AS FOLLOWS:
- | SIEVE SIZE | % PASSING SIEVE |
|------------|-----------------|
| No. 4      | 100             |
| No. 200    | 0-5             |
- STRUCTURE BACKFILL MATERIAL... MATERIAL WITH SAND EQUIVALENT NOT LESS THAN 20 AND SIEVE GRADATION BY WEIGHT AS FOLLOWS:
- | SIEVE SIZE | % PASSING SIEVE |
|------------|-----------------|
| 3"         | 100             |
| No. 4      | 35-100          |
| No. 30     | 20-100          |
- BACKFILL MATERIAL... MATERIAL FROM EXCAVATION, FREE FROM STONES OR LUMPS EXCEEDING 3 INCHES GREATEST DIMENSION, ORGANIC MATTER, OR OTHER UNSATISFACTORY MATERIAL.



GRADING AND DRAINAGE PLAN

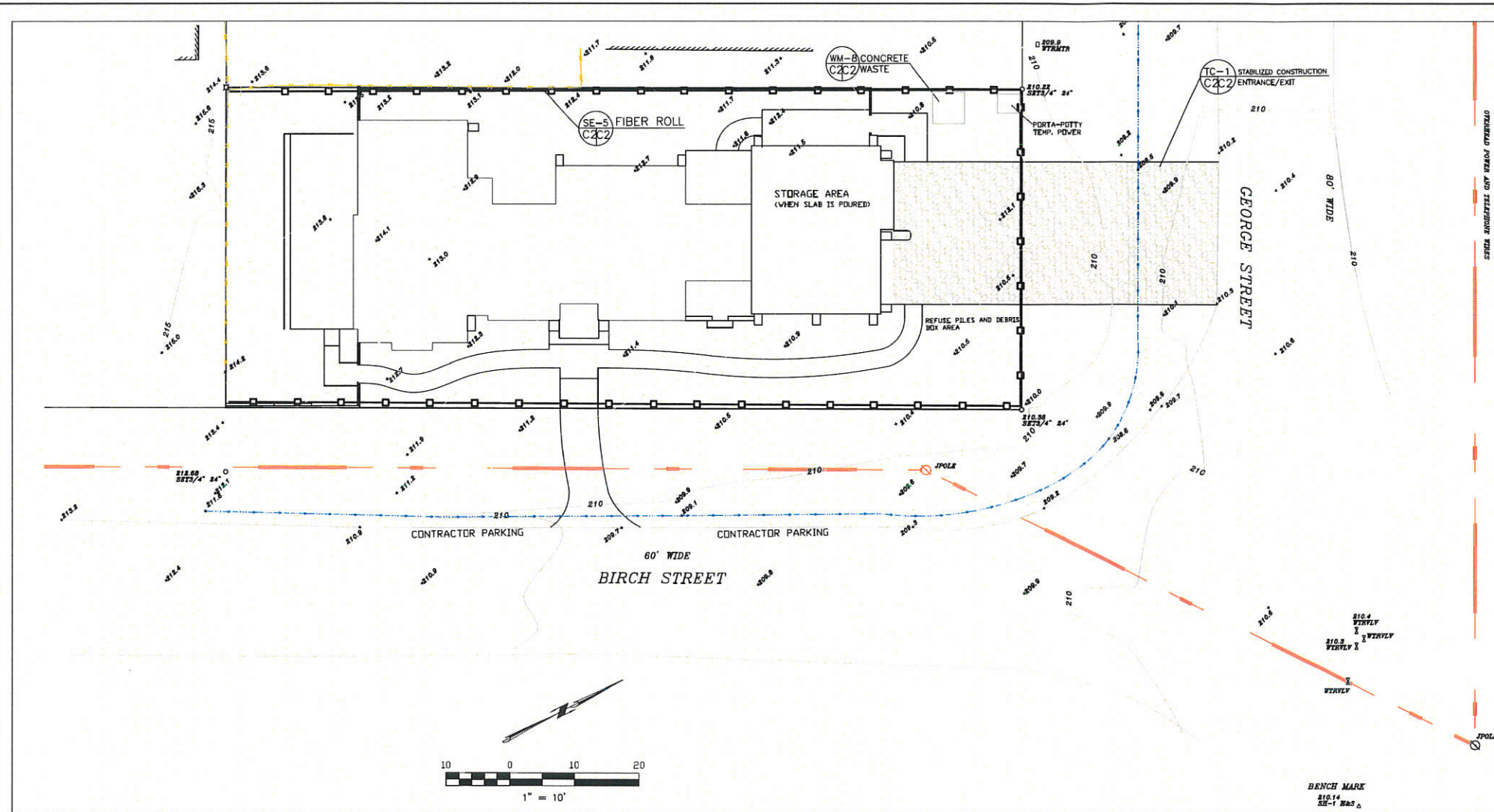
SHEET C-1

UNIAKKE PROPERTY  
CORNER OF BIRCH AND GEORGE  
STREETS, MONTARA, CALIFORNIA  
APN 036-101-340

DATE: 6-1-17  
DRAWN BY: CMK  
CHECKED BY: AZG  
REV. DATE: 6-30-17  
REV. DATE: 6-30-17  
EXP. DATE: 6-30-17

Sigma Prime Geosciences, Inc.  
SIGMA PRIME GEOSCIENCES, INC.  
320 PRINCETON AVENUE  
HALF MOON BAY, CA 94019  
(650) 728-3690  
FAX 728-3593



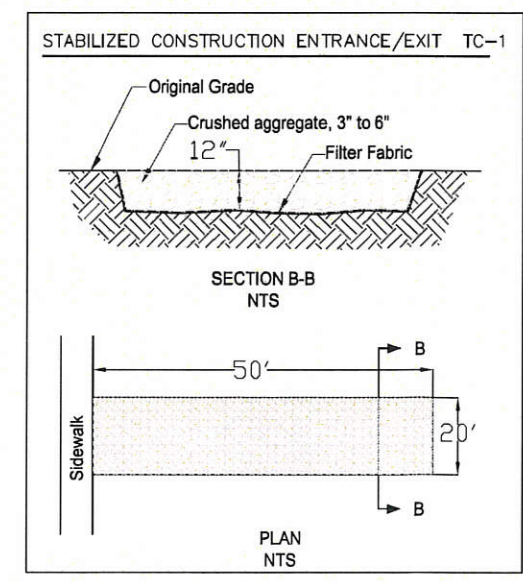
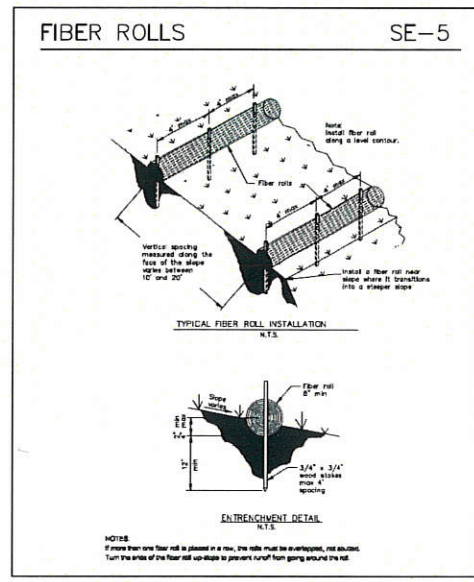
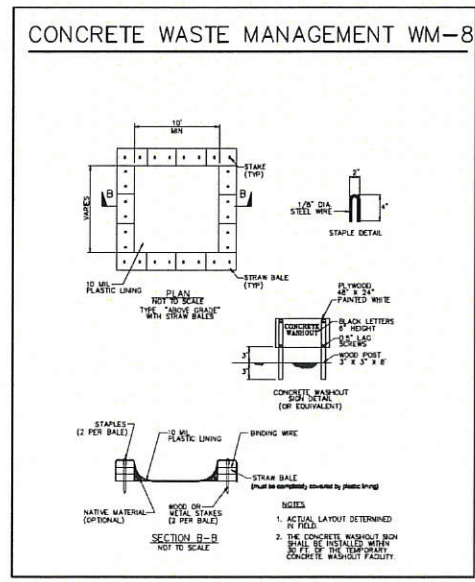


**GENERAL EROSION AND SEDIMENT CONTROL NOTES**

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Use sediment controls or filtration to remove sediment when dewatering site and obtain Regional Water Quality Control Board (RWQCB) permit(s) as necessary.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site
- Use of plastic sheeting between October 1st and April 30th is not acceptable, unless for use on stockpiles where the stockpile is also protected with fiber rolls containing the base of the stockpile.
- The tree protection shall be in place before any grading, excavating or grubbing is started.

**EROSION CONTROL NOTES**

- FIBER ROLL**  
INSTALL AT LOCATIONS SHOWN.  
AFFIX AS SHOWN IN DETAIL SE-5.
1. GRADING MAY TAKE PLACE DURING WET WEATHER AFTER OCTOBER 1 PROVIDED THE FOLLOWING PROVISIONS ARE FOLLOWED.
  2. NO GRADING SHALL TAKE PLACE DURING RAINY WEATHER OR FOR A PERIOD OF AT LEAST 24 HOURS FOLLOWING RAIN.
  3. ALL EXPOSED SOIL SHALL BE TEMPORARILY PROTECTED FROM EROSION WITH JUTE NETTING.
  4. ALL STOCKPILED SOIL SHALL BE COVERED AT ALL TIMES AND REMOVED FROM SITE AS SOON AS POSSIBLE, IF SCHEDULED FOR OFF-HALF.
  5. ALL EXPOSED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION WITH SEEDING AND/OR LANDSCAPING. SEED MIX SHALL BE 75 LB PER ACRE ANNUAL RYGRASS OR APPROVED SUBSTITUTE. SEED SHALL BE COVERED WITH STRAW MULCH AT A RATE OF 2 TONS/ACRE.
  6. ROCKED CONSTRUCTION ENTRANCE SHALL BE 50 FEET LONG BY 20 FEET WIDE AND CONFORM TO THE FOLLOWING:
    - A. THE MATERIAL FOR THE PAD SHALL BE 3 TO 6 INCH STONE.
    - B. PAD SHALL BE NOT LESS THAN 12" THICK.
    - C. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
    - D. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA THAT DRAINS TO THE CONCRETE WASHOUT AREA.
  7. CONCRETE WASHOUT AREA SHALL BE SURROUNDED BY A SINGLE LAYER OF SAND BAGS TO CONTAIN FLUIDS. CHANNEL INTO AREA SHALL BE CLEARED TO ALLOW TIRE DEBRIS (SEE NOTE 6.D. ABOVE)



**EROSION CONTROL POINT OF CONTACT**

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: MIKE UNIACKE

TITLE/QUALIFICATION: OWNER

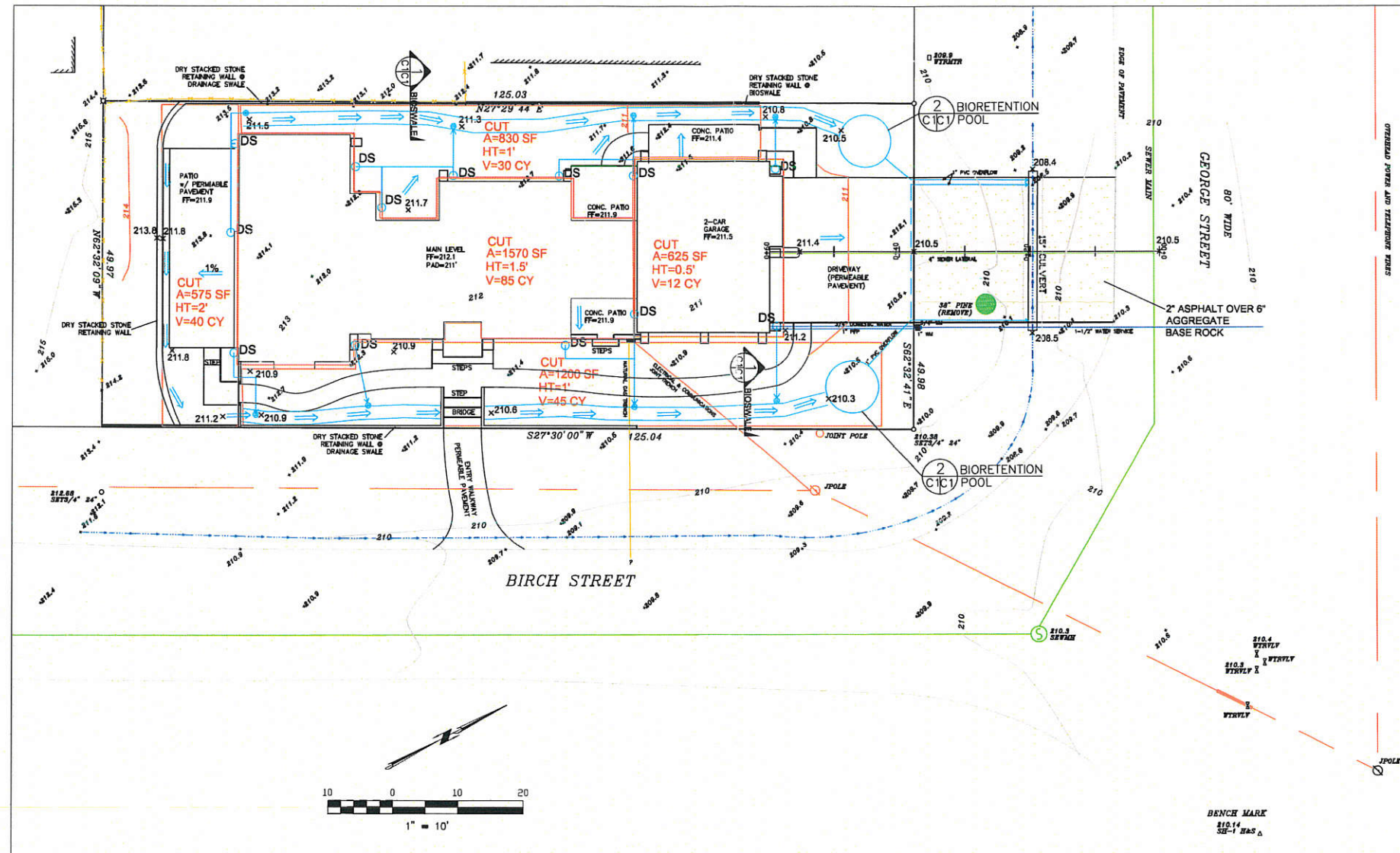
PHONE: 415-666-8111

E-MAIL: MIKE@FORSYTHEGEC.COM

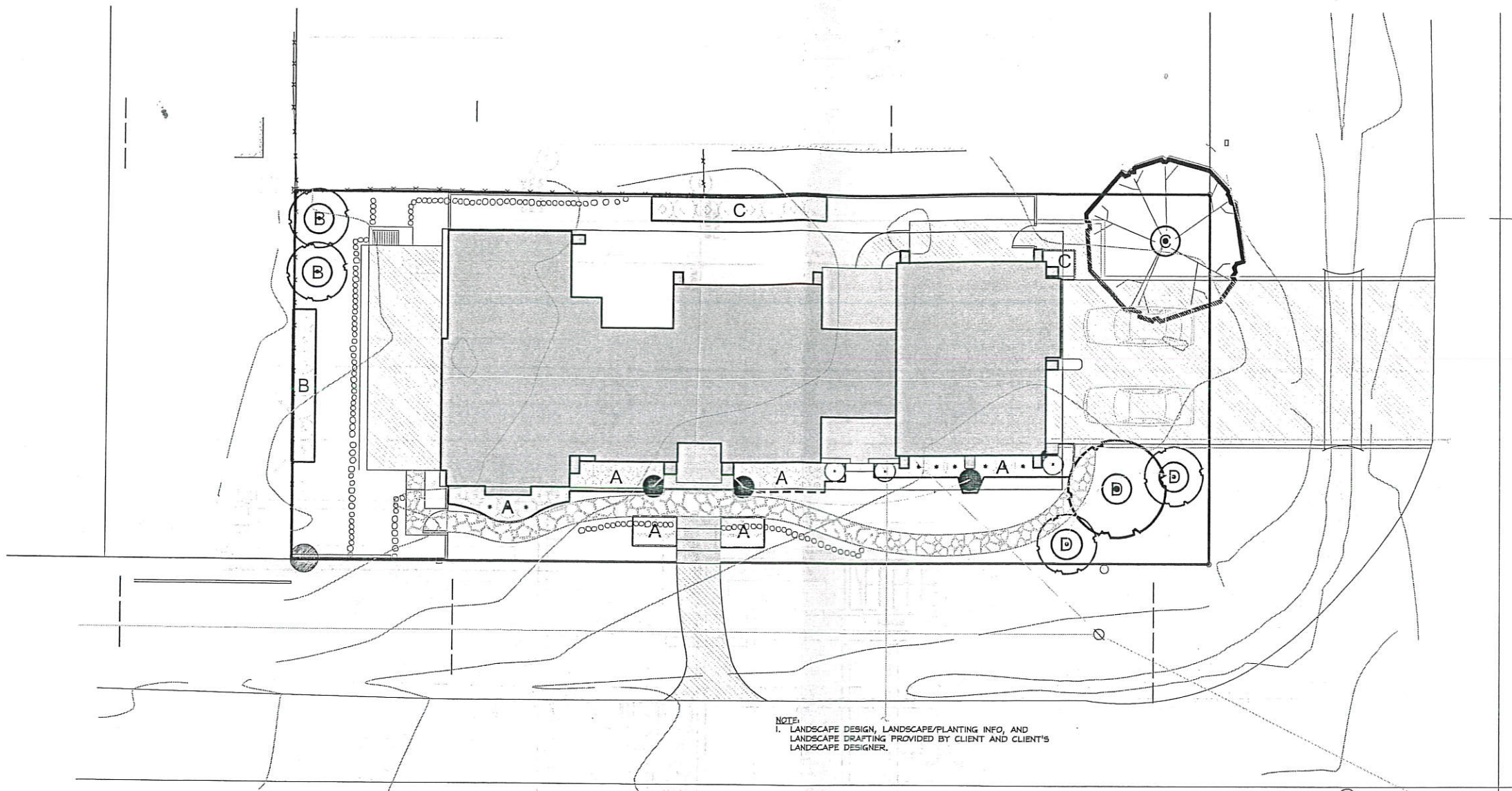
• USE OF PLASTIC SHEETING BETWEEN OCTOBER 1st AND APRIL 30th IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.

<b>EROSION AND SEDIMENT CONTROL PLAN</b>	DATE: 6-1-17 DRAWN BY: CMK CHECKED BY: AZG REV. DATE: _____ REV. DATE: _____ REV. DATE: _____	Sigma Prime Geosciences, Inc. SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE HALF MOON BAY, CA 94019 (650) 728-3590 FAX 728-3583
	UNIACKE PROPERTY CORNER OF BIRCH AND GEORGE STREETS, MONTARA, CALIFORNIA APN 036-101-340	
SHEET <b>C-2</b>		





Uniacke Residence  
 PLN 2017-00154  
 June 1, 2017



NOTE:  
 1. LANDSCAPE DESIGN, LANDSCAPE/PLANTING INFO, AND LANDSCAPE DRAFTING PROVIDED BY CLIENT AND CLIENT'S LANDSCAPE DESIGNER.

HYDROZONE DESIGNATIONS						
HYDRO ZONE	PLANT WATER USE TYPE	PLANT FACTOR (PF)	IRRIGATION EFFICIENCY (IE)	PERCENTAGE OF LANDSCAPE	HYDROZONE AREA (HA)	PF X HA (SQUARE FEET)
A	LOW	0.3	.81	57.75%	287 SF	86
B	MEDIUM	0.5	.81	17.7%	88 SF	44
C	MEDIUM	0.5	.81	17.3%	86 SF	43
D	MEDIUM	0.5	.81	7.25%	36 SF	18
TOTAL			0.81		497 SF	-

2017 MAWA (MAXIMUM APPLIED WATER ALLOWANCE)  
 5,711 GALLONS PER YEAR

ETWU (ESTIMATED TOTAL WATER USE)  
 4,939 GALLONS PER YEAR

Project  
 UNIACKE RESIDENCE

A.P.N. 36-101-340  
 (George St. & Birch St.)  
 Montara, CA 94037

Architect  
 HM,a+e  
 Henri Mannik,  
 Architecture and Engineering  
 5429 Telegraph Ave.  
 Oakland, CA 94609  
 510 652 1511 p

Consultant

Stamp

Printing Date  
 DESIGN REVIEW 04.20.2017

HM,a+e Job Number  
 2016,17

Sheet Title  
 PLANTING WATER EFFICIENCY PLAN

Sheet Number

L2.1

1617-L2.1.dwg Plot Date: 4.19.2017



NOTE:  
LANDSCAPE DESIGN, INFO. AND DRAFTING  
PROVIDED BY CLIENT AND CLIENT'S  
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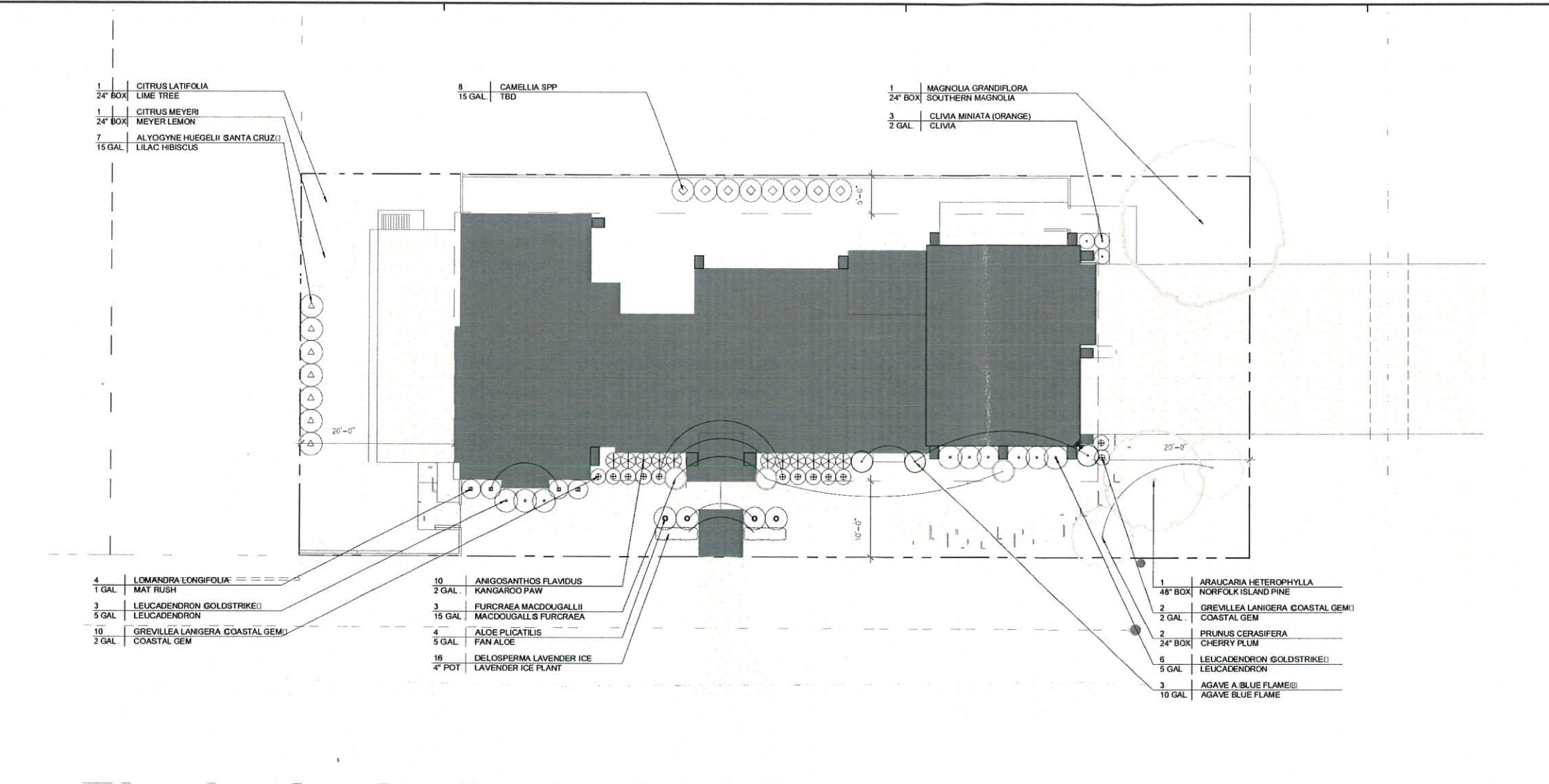
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- 1 24" BOX CITRUS LATIFOLIA LIME TREE
- 1 24" BOX CITRUS MEYERI MEYER LEMON
- 7 15 GAL ALYOGYNE HUEGELII (SANTA CRUZ) LILAC HIBISCUS

- 8 15 GAL CAMELLIA SPP TBD

- 1 24" BOX MAGNOLIA GRANDIFLORA SOUTHERN MAGNOLIA
- 3 2 GAL CLIVIA MINIATA (ORANGE) CLIVIA

- 4 1 GAL LOMANDRA LONGIFOLIA MAT RUSH
- 3 5 GAL LEUCADENDRON GOLDSTRIKE LEUCADENDRON
- 10 2 GAL GREVILLEA LANIGERA (COASTAL GEM) COASTAL GEM

- 10 2 GAL ANIGOSANTHOS FLAVIDUS KANGAROO PAW
- 3 15 GAL FURCRAEA MACDOUGALLII MACDOUGALLS FURCRAEA
- 4 5 GAL ALOE PULCATILIS FAN ALOE
- 16 4" POT DELOSPERMA LAVENDER ICE LAVENDER ICE PLANT

- 1 48" BOX ARAUCARIA HETEROPHYLLA NORFOLK ISLAND PINE
- 2 2 GAL GREVILLEA LANIGERA (COASTAL GEM) COASTAL GEM
- 2 24" BOX PRUNUS CERASIFERA CHERRY PLUM
- 6 5 GAL LEUCADENDRON (GOLDSTRIKE) LEUCADENDRON
- 3 10 GAL AGAVE A. BLUE FLAME AGAVE BLUE FLAME

**PLANTING NOTES**

1. PLANT BED AREAS SHALL BE CLEANED, GRADED AND PREPARED FOR PLANTING WITH APPROPRIATE SOIL AMENDMENT TO FACILITATE GROWTH AND ENHANCE DRAINAGE.
2. CONTRACTOR SHALL SUBMIT SOIL SAMPLES TO SOIL AND PLANT LABS (406) 727-0330 FOR AN AQ5-2 COMPLETE HORTICULTURAL SUITABILITY TEST, 30 DAYS MINIMUM PRIOR TO PLANTING. CONTRACTOR TO ALSO SUBMIT SOILS REPORTS OF POTENTIAL SOIL AMENDMENT, TO DETERMINE AMOUNTS TO USE. CONTRACTOR SHALL ABIDE BY LAB REPORT RECOMMENDATIONS.
3. ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
4. LANDSCAPE ARCHITECT WILL REVIEW QUALITY OF ALL PLANTS AND WILL REJECT ANY PLANTS FOUND UNACCEPTABLE. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF ROOT-BOUND.
5. THE PLACEMENT OF ALL PLANT MATERIAL SHALL BE REVIEWED WITH THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
6. A MINIMUM OF 8" OF NON-MECHANICALLY COMPACTED SOIL SHALL BE AVAILABLE FOR WATER ABSORPTION AND ROOT GROWTH IN ALL PLANTED AREAS.
7. ALL 1 GALLON AND LARGER CONTAINER PLANTS SHALL BE INSTALLED ACCORDING TO THE FOLLOWING PROCEDURE:
  - A. EIGHT TO TWELVE HOURS BEFORE INSTALLATION, WATER ALL PLANTS IN CONTAINERS TO THOROUGHLY WET ROOT BALLS.
  - B. DIG PLANTING PIT AT LEAST TWICE THE WIDTH AND 3" DEEPER THAN THE PLANT'S ROOT BALL, GOUGE HOLES IN THE SIDES OF THE PLANT PIT WITH BAR OR PICK. TWO HOLES PER SQ FT OF PLANT PIT WALL SURFACE.
  - C. FOR 15 GALLON AND LARGER PLANTS, PERFORM PERCOLATION TEST. FILL PIT TWICE IN SUCCESSION TO THE TOP WITH WATER. IF WITHIN 8 HOURS THE WATER HAS NOT DRAINED, ENSURE THAT BACKFILL SOIL IS AMENDED FOR APPROPRIATE DRAINAGE. FOR SPECIMEN TREES AND INSTALL DRAIN LINE FROM PIT AS NECESSARY.
  - D. REMOVE ROOT BALL CAREFULLY FROM CONTAINER BY SUPPORTING IT FROM BELOW. SCARIFY SIDES AND BOTTOM OF ROOT BALL TO 1/2" DEPTH. SEVER ANY CIRCLING ROOTS WITH SHARP SHEARS OR KNIFE. DO NOT PULL ROOT BALL APART. FILL HOLE WITH SUFFICIENT BACKFILL TO ADJUST PLANT SO THAT TOP OF PLANT'S ROOT BALL IS 2" ABOVE GRADE. (1" FOR 1 GALLON).
  - E. FILL HOLE AROUND NEW PLANT WITH BACKFILL TO 1/2 ITS DEPTH AND PACK SOIL. BE CAREFUL NOT TO DISTURB ROOT BALL ITSELF.
  - F. PUT 1/2 OF THE SLOW-RELEASE FERTILIZER (OSMOCOTE 18-6-12, GROPAK PLUS 12-5-8 OR APPROPRIATE APPROVED SUB) AND BROADLEAF P4 HUMECTANT (1LB PER CU YD OF SOIL) ON TOP OF THE 1/2 BACKFILL IN A BAND ADJACENT TO THE ROOT BALL. (FOR 1 GAL USE 1 HAND FULL'S GAL 1/3 CUP/15 GAL 1/2 CUP/24" BOX 2/3 CUP/36" BOX 1 CUP/48" BOX 1 1/2 CUPS/60" BOX 1 LB)
  - G. FILL TO 2/3 THE DEPTH OF THE ROOT BALL, PLACE THE OTHER HALF OF THE PRESCRIBED FERTILIZER AROUND THE ROOT BALL.
  - H. FILL HOLE WITH BACKFILL MIX AND TAMP WITH SHOVEL HANDLE. DO NOT TAMP ROOT BALL.
  - I. USE THE REMAINING NATIVE SOIL TO FORM A BASIN THE SAME DIAMETER OR SLIGHTLY LARGER THAN THE ROOT BALL.
  - J. WATER PLANT THOROUGHLY BY SLOWLY FILLING THE BASIN, ALLOWING THE WATER TO SETTLE, THEN FILLING AGAIN. REPEAT A THIRD TIME.
8. ALL TREES SHALL BE PROPERLY STAKED PLUMB, MINIMUM 2 STAKES PER TREE.
9. A 3" LAYER OF MULCH IS TO BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUND COVERS, AND DIRECT SEEDING APPLICATIONS. SUBMIT MULCH SAMPLES TO LANDSCAPE ARCHITECT FOR APPROVAL.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE IRRIGATION SYSTEM, PLANTINGS AND PLANT BEDS FOR 60 DAYS FROM DATE OF COMPLETION. CONTRACTOR SHALL REPLACE PLANTS WHICH FAIL DUE TO IMPROPER INSTALLATION WITHIN ONE YEAR FROM DATE OF COMPLETION.
11. ALL PLANTS TO RECEIVE DEER PROTECTION AS NECESSARY (E) TREES TO REMAIN TO RECEIVE PROTECTION DURING CONSTRUCTION.
12. ALL EXISTING WEEDS AND THEIR LIVING PARTS SHALL BE ERADICATED AND REMOVED FROM SITE PRIOR TO BEGINNING WORK. THIS MAY BE ACCOMPLISHED MANUALLY, OR BY CONTACT SPRAY, (ROUNDUP SYSTEMIC OR APPROVED EQUAL), PROVIDED ALL PARTS ARE KILLED, NO EXISTING, DESIRABLE, VEGETATION IS HARMED, AND THE SOIL IS NOT LEFT CONTAMINATED, STERILIZED, OR OTHERWISE NOT CONDUCTIVE TO VIGOROUS PLANT GROWTH. ALL HERBICIDES SHOULD BE APPLIED BY A CERTIFIED APPLICATOR.
13. EXISTING PLANT MATERIAL TO BE UTILIZED, STRUCTURES FENCES ECT., PERSONS AND ANIMAL MUST BE PROTECTED FROM ALL HERBICIDES AT ALL TIMES. CONTRACTOR SHALL INSURE THIS PROTECTION BY WHATEVER MEANS NECESSARY, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESPONSIBLE FROM HIS WORK.
14. DURING THE PROCESS OF THE WORK THE SITE SHALL BE KEPT IN A REASONABLE CONDITION; IT SHOULD BE KEPT NEAT, CLEAN AND FREE OF THE ACCUMULATION OF CANS, SURPLUS MATERIAL, AND WASTE MATERIALS. UPON COMPLETION OF THE WORK, ALL EQUIPMENT SHALL BE PROPERLY REMOVED AND ALL WASTE, REFUSE OR DEBRIS RESULTING FROM THE WORK SHALL BE DISPOSED OF, LEAVING THE PREMISES IN A NEAT AND CLEAN CONDITION. ALL PLANTING AREAS SHALL BE NEATLY FINISHED AND DRESSED, AND ALL WALKS AND PAVED AREAS FLUSHED CLEAN TO SATISFACTION OF THE CLIENT AND THE LANDSCAPE ARCHITECT.
15. INCORPORATE COMPOST AT A RATE OF AT LEAST FOUR (4) CUBIC YARDS PER 1,000 SQ. FT. TO A DEPTH OF 6 INCHES INTO LANDSCAPE AREA (UNLESS CONTRA-INDICATED BY A SOIL TEST).
16. INSTALL CLIMATE ADAPTED PLANTS THAT REQUIRE OCCASIONAL, LITTLE OR NO SUMMER WATER (AVERAGE WUCOLS PLANT FACTOR 0.3) FOR 75% OF THE PLANT AREA EXCLUDING EDIBLES AND AREAS USING RECYCLED WATER.
17. TOTAL TURF AREA SHALL NOT EXCEED 25% OF THE LANDSCAPE AREA. TURF IS LIMITED TO SLOPES NOT EXCEEDING 25% AND IS NOT USED IN PARKWAYS LESS THAN 10 FEET IN WIDTH. TURF, IF UTILIZED IN PARKWAYS, IS IRRIGATED BY SUB-SURFACE IRRIGATION OR OTHER TECHNOLOGY THAT PREVENTS OVERSPRAY OR RUNOFF.

PLANTING PLAN LEGEND					
SCIENTIFIC NAME	COMMON NAME	WUCOLS	SPACING	SIZE	QTY
<b>TREES AND LARGE SHRUBS</b>					
ARAUCARIA HETEROPHYLLA	NORFOLK PINE	MEDIUM		48" BOX	1
CITRUS LATIFOLIA	PERSIAN LIME	MEDIUM		24" BOX	1
CITRUS X MEYERI	MEYER LEMON	MEDIUM		24" BOX	1
MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	MEDIUM		24" BOX	1
PRUNUS CERASIFERA	CHERRY PLUM	MEDIUM		24" BOX	2
<b>SHRUBS, GROUND COVER AND GRASSES</b>					
AGAVE A. BLUE FLAME	AGAVE BLUE FLAME	LOW	SEE PLAN	10 GAL	3
ALOE PULCATILIS	FAN ALOE	LOW	SEE PLAN	5 GAL	4
ALYOGYNE HUEGELII (SANTA CRUZ)	LILAC HIBISCUS	MEDIUM	3/D.C.	15 GAL	7
ANIGOSANTHOS FLAVIDUS	KANGAROO PAW	LOW	2/D.C.	2 GAL	10
CAMELLIA SPP	TBD	MEDIUM	3/D.C.	15 GAL	8
CLIVIA MINIATA (ORANGE)	CLIVIA	MEDIUM	SEE PLAN	2 GAL	3
DELOSPERMA LAVENDER ICE	LAVENDER ICE PLANT	LOW	1/D.C.	4" POTS	16
FURCRAEA MACDOUGALLII	MACDOUGALLS FURCRAEA	LOW	SEE PLAN	15 GAL	3
GREVILLEA LANIGERA (COASTAL GEM)	COASTAL GEM	LOW	2/D.C.	2 GAL	12
LEUCADENDRON (GOLDSTRIKE)	LEUCADENDRON	LOW	3/D.C.	5 GAL	9
LOMANDRA LONGIFOLIA	MAT RUSH	LOW	SEE PLAN	1 GAL	4

HM,a+e Job Number  
2016,17

Sheet Title  
**PLANTING PLAN**

Sheet Number

**L3.0**

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Project  
**UNIACKE RESIDENCE**

A.P.N. 36-101-340  
 (George St. & Birch St.)  
 Montara, CA 94037

Architect  
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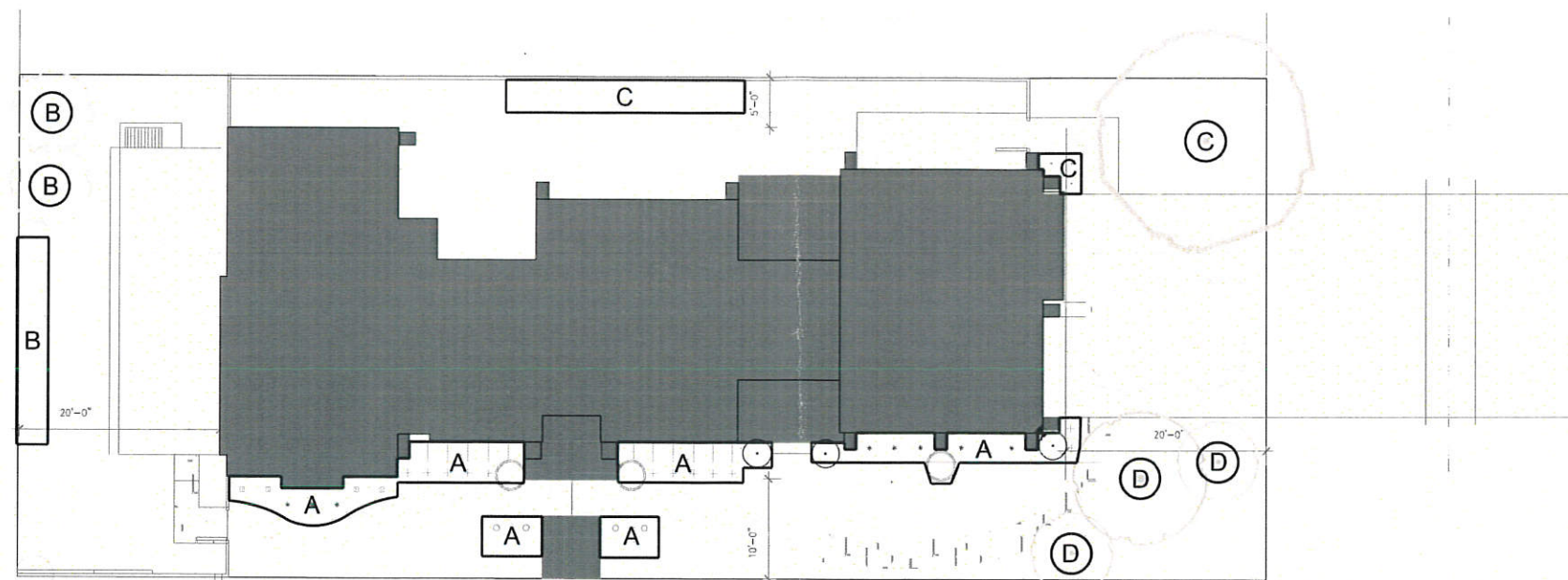
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HYDROZONE DESIGNATIONS						
HYDRO ZONE	PLANT WATER USE TYPE	PLANT FACTOR (PF)	IRRIGATION EFFICIENCY (IE)	PERCENTAGE OF LANDSCAPE	HYDROZONE AREA (HA)	PF X HA (SQUARE FEET)
A	LOW	0.3	.81	57.75%	287 SF	86
B	MEDIUM	0.5	.81	17.7%	88 SF	44
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D	MEDIUM	0.5	.81	7.25%	36 SF	18
TOTAL			0.81		497 SF	-

<b>2017 MAWA (MAXIMUM APPLIED WATER ALLOWANCE)</b>
5,711 GALLONS PER YEAR

<b>ETWU (ESTIMATED TOTAL WATER USE)</b>
4,939 GALLONS PER YEAR

**NOTES**

- A. 3" MINIMUM LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVER, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED
- B. FOR SOILS LESS THAN 8% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL, COMPOST AT A RATE OF A MINIMUM OF FOUR CURBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF 6 INCHES OF THE SOIL
- C. RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES
- D. IRRIGATION CONTROLLERS USE EVAPOTRANSPIRATION OR SOIL MOISTURE DATA AND UTILIZE A RAIN SENSOR.
- E. IRRIGATION CONTROLLER PROGRAMMING DATA WILL NOT BE LOST DUE TO AN INTERRUPTION IN THE PRIMARY POWER SOURCE
- F. AREAS LESS THAN 10 FEET IN ANY DIRECTION UTILIZE SUB-SURFACE IRRIGATION OR OTHER TECHNOLOGY THAT PREVENTS OVERSPRAY OR RUNOFF.

NOTE:  
 LANDSCAPE DESIGN, INFO, AND DRAFTING  
 PROVIDED BY CLIENT AND CLIENT'S  
 LANDSCAPE DESIGNER.

HM,a+e Job Number  
 2016.17

Sheet Title  
**PLANTING WATER  
 EFFICIENCY PLAN**

Sheet Number  
**L3.1**

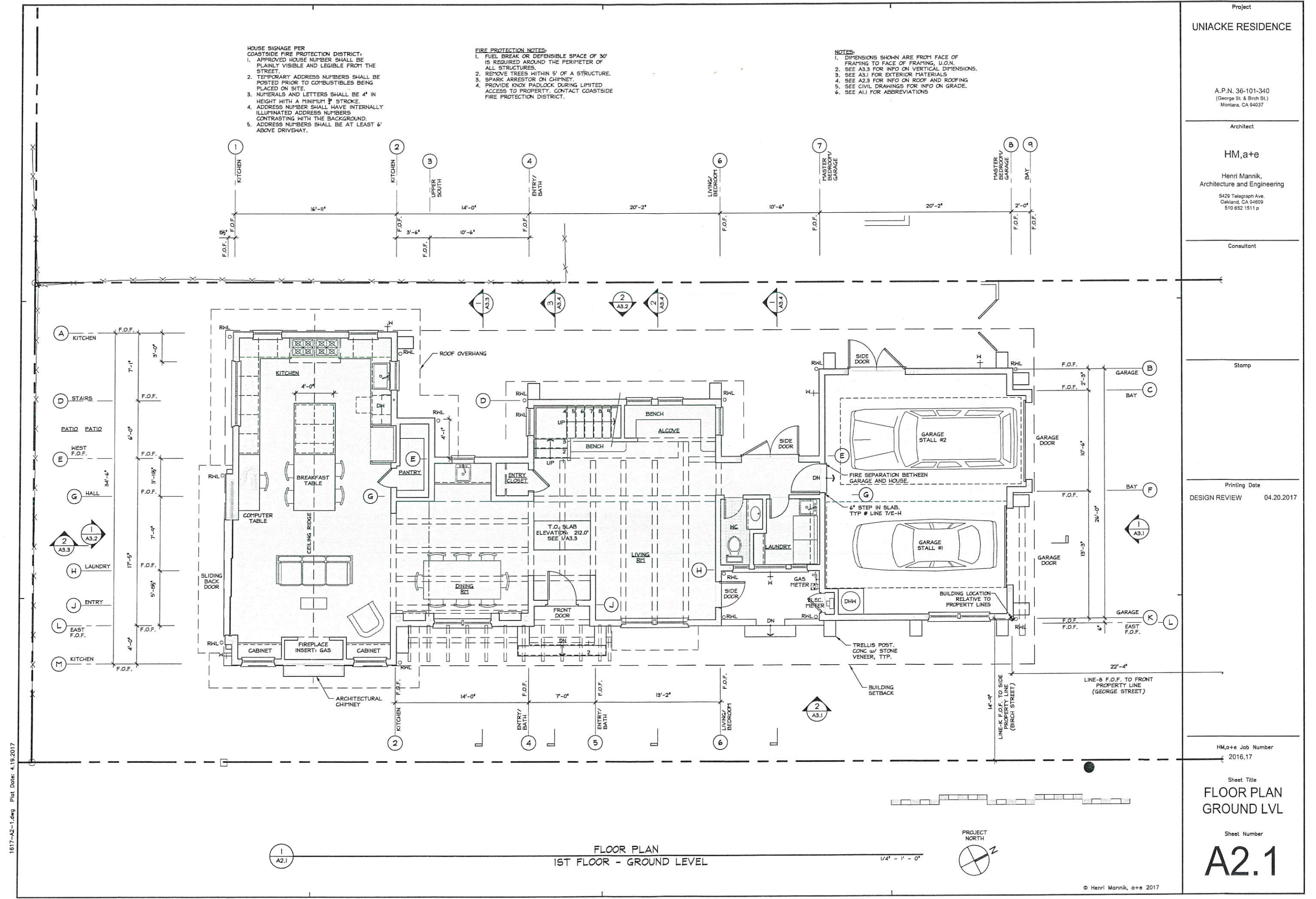
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HOUSE SIGNAGE PER  
COASTSIDE FIRE PROTECTION DISTRICT:  
1. APPROVED HOUSE NUMBER SHALL BE  
PLAINLY VISIBLE AND LEGIBLE FROM THE  
STREET.  
2. TEMPORARY ADDRESS NUMBERS SHALL BE  
POSTED PRIOR TO COMBUSTIBLES BEING  
PLACED ON SITE.  
3. NUMERALS AND LETTERS SHALL BE 4" IN  
HEIGHT WITH A MINIMUM 3/8" STROKE.  
4. ADDRESS NUMBER SHALL HAVE INTERNALLY  
ILLUMINATED ADDRESS NUMBERS  
CONTRASTING WITH THE BACKGROUND.  
5. ADDRESS NUMBERS SHALL BE AT LEAST 6'  
ABOVE DRIVEWAY.

FIRE PROTECTION NOTES:  
1. FUEL BREAK OR DEFENSIBLE SPACE OF 30'  
IS REQUIRED AROUND THE PERIMETER OF  
ALL STRUCTURES.  
2. REMOVE TREES WITHIN 5' OF A STRUCTURE.  
3. SPARK ARRESTOR ON CHIMNEY.  
4. PROVIDE KNOX PADLOCK DURING LIMITED  
ACCESS TO PROPERTY. CONTACT COASTSIDE  
FIRE PROTECTION DISTRICT.

NOTES:  
1. DIMENSIONS SHOWN ARE FROM FACE OF  
FRAMING TO FACE OF FRAMING, U.O.N.  
2. SEE A3.3 FOR INFO ON VERTICAL DIMENSIONS.  
3. SEE A3.1 FOR EXTERIOR MATERIALS  
4. SEE A2.3 FOR INFO ON ROOF AND ROOFING  
5. SEE CIVIL DRAWINGS FOR INFO ON GRADE.  
6. SEE A1.1 FOR ABBREVIATIONS



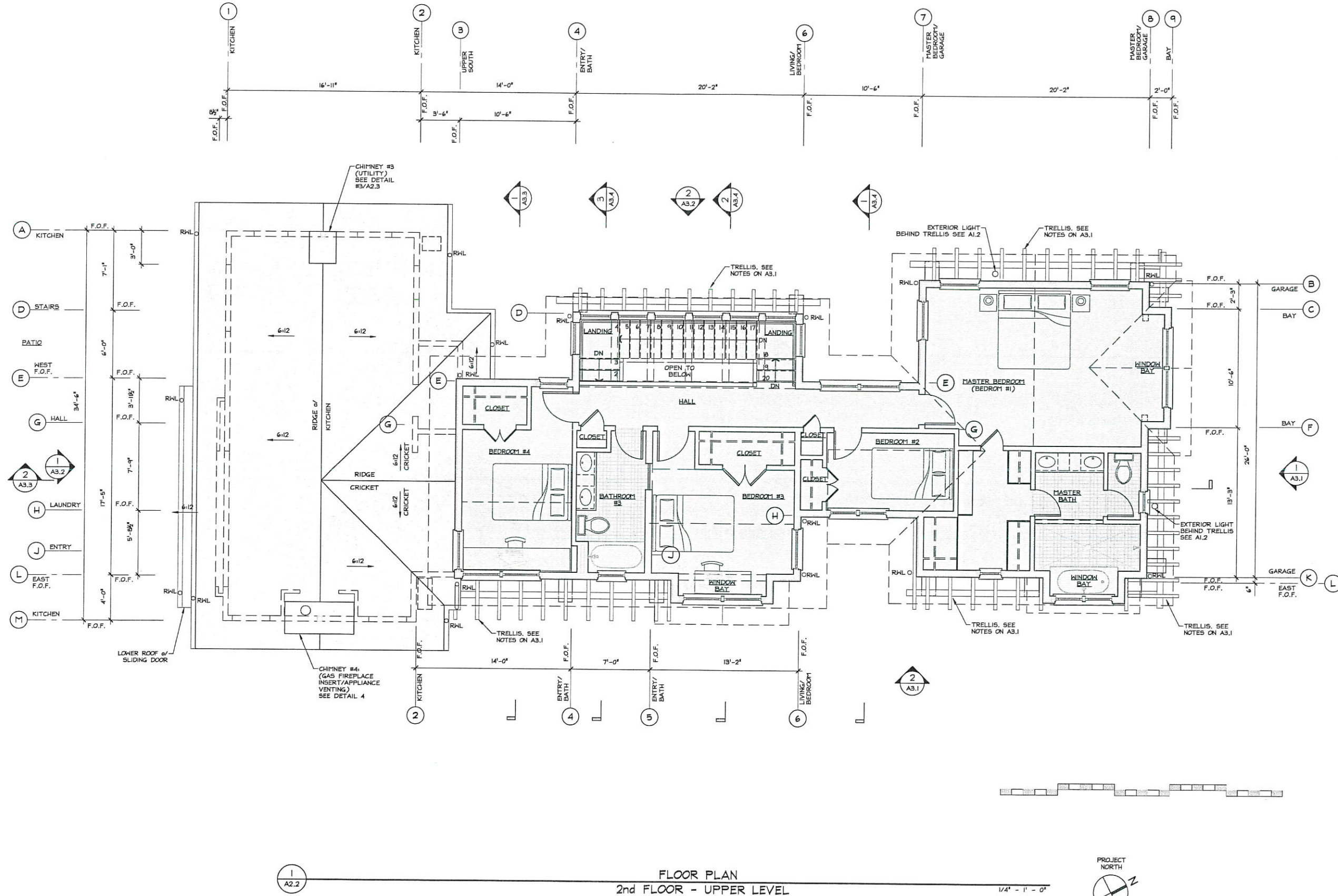
FLOOR PLAN  
1ST FLOOR - GROUND LEVEL

1/4" = 1' - 0"





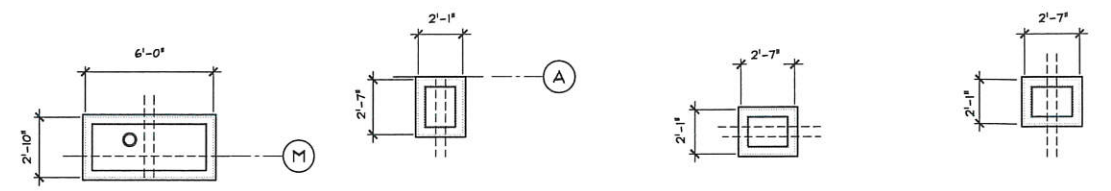
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FLOOR PLAN  
2nd FLOOR - UPPER LEVEL

1617-A2-2.dwg Plot Date: 4.19.2017





**CHIMNEY #4**  
FIREPLACE-APPLIANCE  
(COMBUSTION)

**CHIMNEY #5**  
NOT USED FOR FIREPLACE  
COMBUSTIONS. CLUSTER  
UTILITY VENTS IN CHIMNEY.

**CHIMNEY #2**  
NOT USED FOR FIREPLACE  
COMBUSTIONS. CLUSTER  
UTILITY VENTS IN CHIMNEY.

**CHIMNEY #1**  
NOT USED FOR FIREPLACE  
COMBUSTIONS. CLUSTER  
UTILITY VENTS IN CHIMNEY.

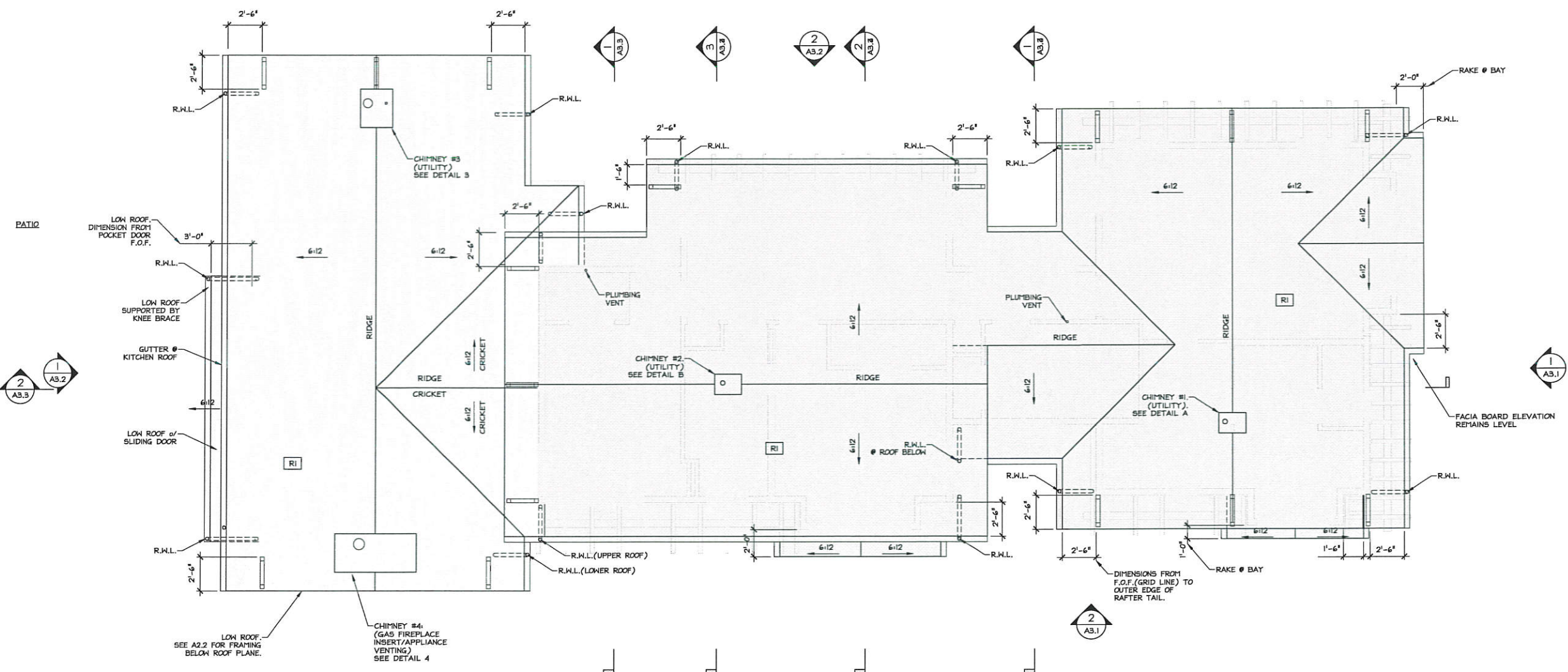
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**ROOFING SCHEDULE**  
STANDING SEAM METAL ROOF.  
[RI] 1. WESTERN STATES METAL ROOFING COLOR:  
CHARCOAL.  
SILICONIZED MODIFIED POLYESTER.  
ENERGY STAR COMPLIANT  
2. PAINT GRADE SUITABLE FOR MARINE  
ENVIRONMENT.  
3. 26" TO 30" O.C. SEAMS.  
4. VERTICAL  $\pm 1/2$ " OVERLAP SEAM.

**EXPOSED RAFTER TAIL SCHEDULE**  
1. 3x6 (OR 4x6) REDWOOD @ 32" O.C.  
STAIN TO MATCH BLDG TRELLIS STAIN ON A3.1.  
SEE STRUCTURAL PLAN FOR RAFTER TAIL GRADE.  
2. REDWOOD W/ 1/4" EXPOSED EAVE DECKING.  
STAIN TO MATCH RAFTER TAIL.  
3. 4x4 S.S. REDWOOD KNEE BRACES.  
STAIN TO MATCH RAFTER TAIL.

**ROOF PLAN NOTES:**  
1. SEE SECTIONS (A3 SERIES) FOR PLATE  
HEIGHT.  
2. SEE STRUCTURAL PLANS (S2 SERIES) FOR  
RAFTER FRAMING DEPTH. SEE ROOF PLAN FOR  
RAFTER SLOPE.  
3. SEE STRUCTURAL PLANS (S2 SERIES & LEGEND)  
FOR CALIFORNIA FRAMING SIZE AND SPACING.  
4. SEE BUILDING SECTIONS FOR HEIGHTS ALLOWED  
FOR PLANNING APPROVAL.

**GUTTER SCHEDULE**  
1. 5" HALF ROUND GUTTER.  
MATCH ROOFING COLOR.  
2. "REVIVAL" STRAP HANGER @ 24" O.C.,  
3. 3" DIAMETER DOWNSPOUT, PLAIN ROUND,  
MATCH GUTTER COLOR AND MATERIAL.  
4. GUTTER GUARD TO PREVENT LEAF ACCUMULATION.



FLOOR PLAN  
2nd FLOOR - UPPER LEVEL

1/4" = 1' - 0"



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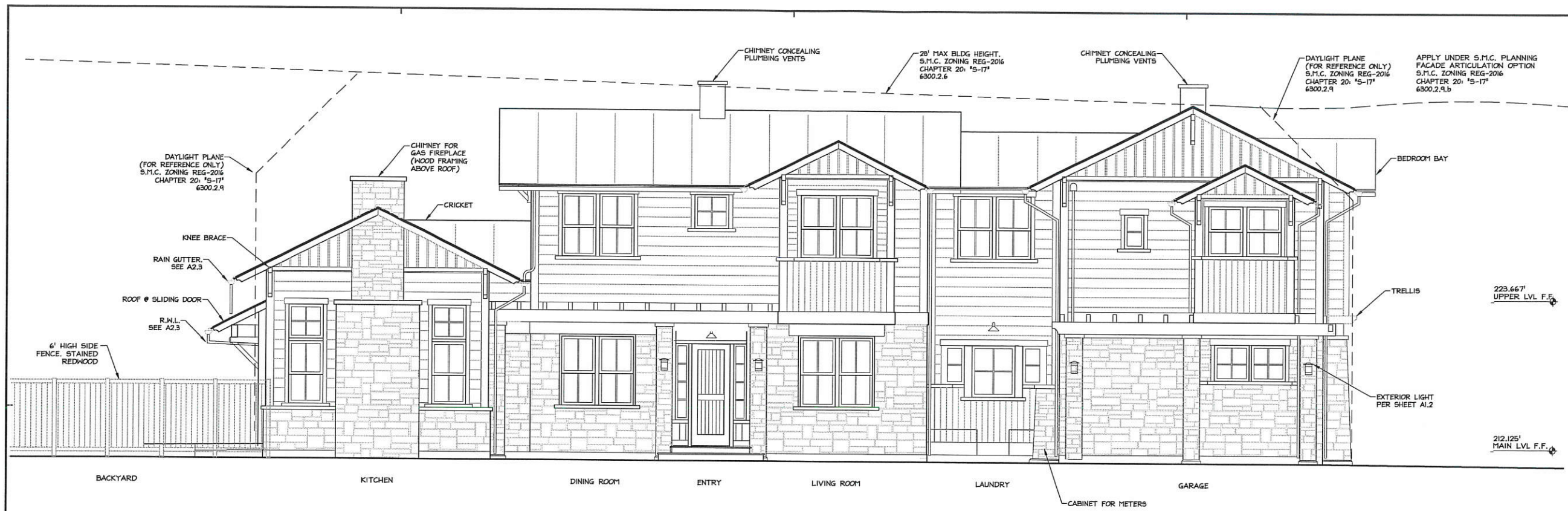
HM,a+e Job Number  
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Sheet Title  
ROOF PLAN

Sheet Number

A2.3





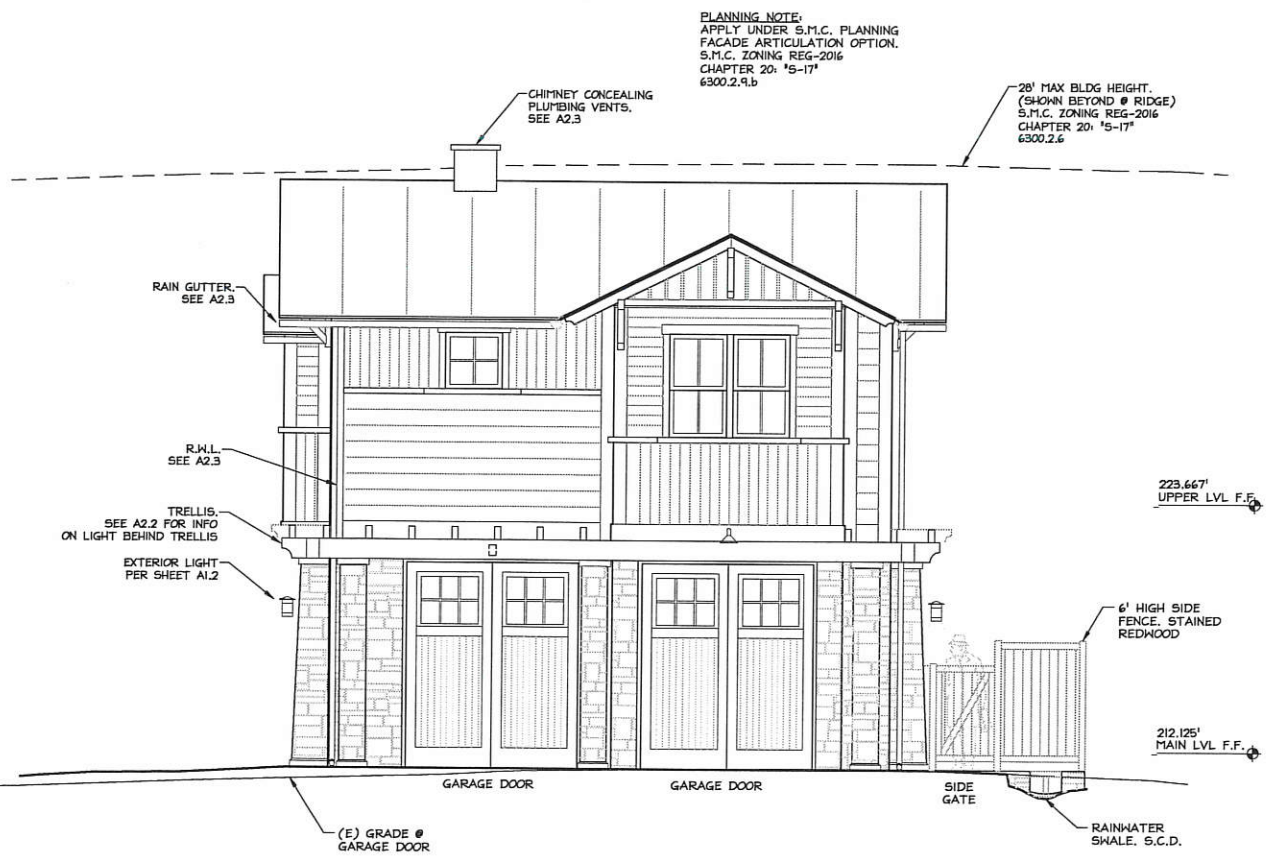
**EAST ELEVATION  
BIRCH STREET**

2  
A3.1

1/4" = 1'-0"

**ELEVATION NOTES.**

1. SEE A3.1 AND A3.2 FOR ZONING INFO.
2. SEE A2.3 (ROOF PLAN) FOR ROOF SLOPES AND MATERIAL.
3. WALL HOOD SIDING (SEE ELEVATION FOR LOCATION):  
PAINT GRADE WOOD.  
HORIZONTAL 1x8 OR 1x10 SHIPLAP SIDING.  
VERTICAL 1x4 OR 1x6 BOARD AND BATTEN SIDING.
4. HOOD PAINT COLOR-HORIZONTAL AND VERTICAL SIDING:  
MANUFACTURE: OLYMPIC  
COLOR: CAVERN MOSS (OL741.4)
4. HOOD STAIN COLOR-TRELLIS, SIDING TRIM, & WINDOW TRIM:  
MANUFACTURE: CABOT  
COLOR: "Brickstone" SE71-TRANSPARENT STAIN.
5. WALL STONE VENEER (THIN):  
RANDOM ASHLAR STONE THIN VENEER. SQUARE CUT EDGES.  
MFR: STONE UNIVERSE INC. (SUI), www.suilstone.com  
"California Gold" PRODUCT LINE, 1 1/2" THICK  
TILE SIZE: 8"x8", 8"x16", 16"x16", 16"x24"  
COLOR: RANDOM PER TILE. (LIGHT TO DARK BROWN)
6. VENEER GROUT STYLE: NO JOINT, FLUSH.
7. PILASTER CAPSTONE:  
2" THICK TO MATCH VENEER: "CALIFORNIA GOLD".
8. BUILDING ARCHITECTURAL TRELLIS:  
STAINED REDWOOD.  
8x12 BEAM w/ 4x8 LATTICE
9. EXTERIOR LINTEL OVER DOOR: WOOD TO MATCH TRELLIS.
10. WINDOW FRAME: DARK BROWN/BRONZE
11. CHIMNEY CAP DETAILS ON ROOF PLAN.
12. GUTTER: SEE ROOF PLAN.
13. WOOD FASCIA: PAINT GRADE WOOD.
14. SEE CIVIL DRAWINGS FOR DRAINAGE AND STORM WATER DRAINAGE INFO.

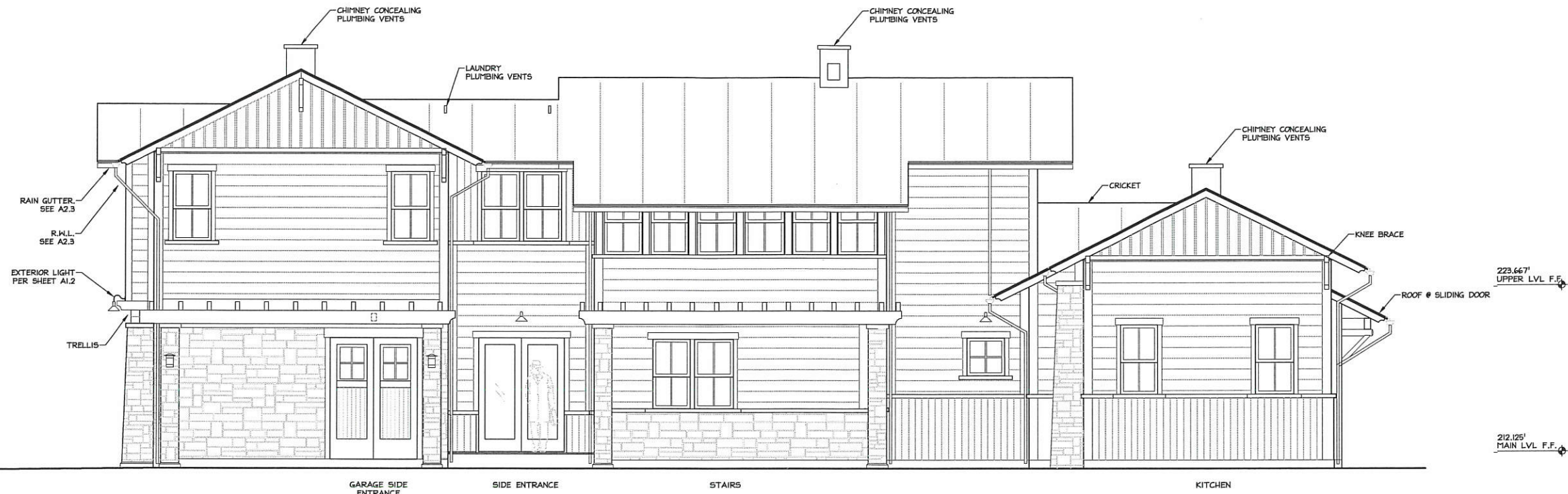


**NORTH ELEVATION  
GEORGE STREET**

1  
A3.1

1/4" = 1'-0"





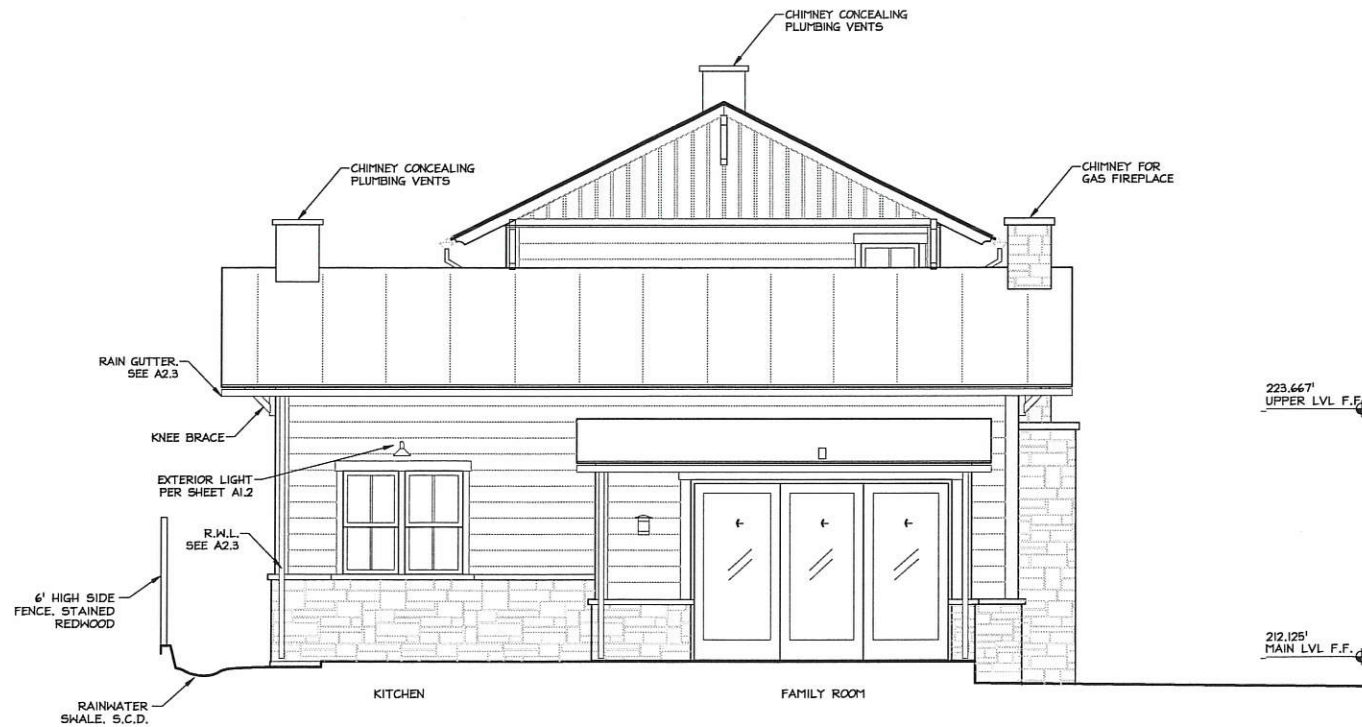
WEST ELEVATION  
SIDE YARD

1/4" = 1'-0"

2  
A3.3

ELEVATION NOTES.

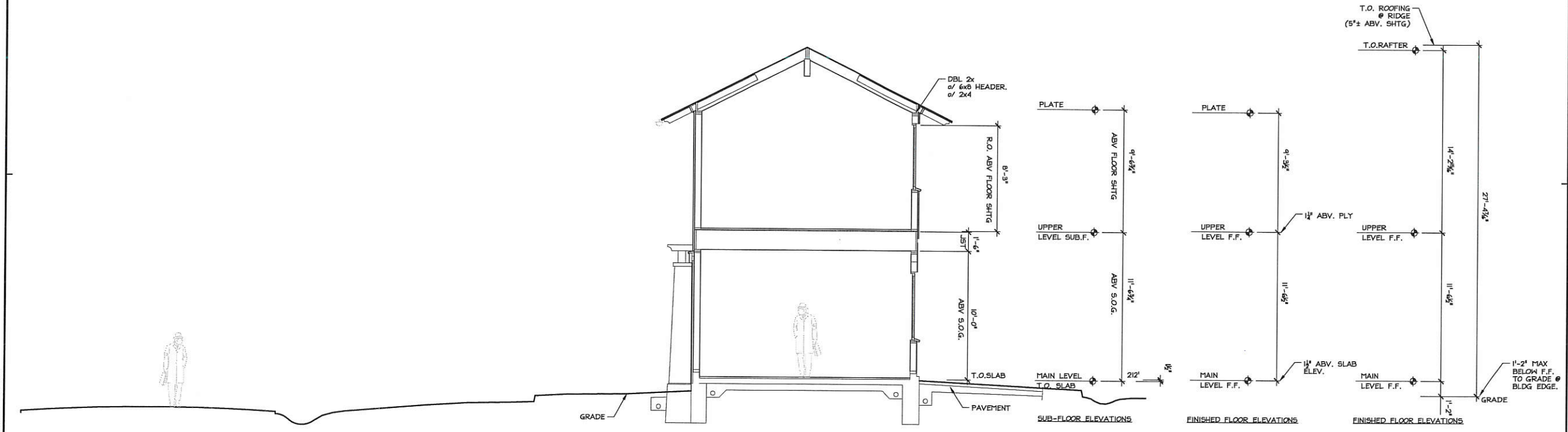
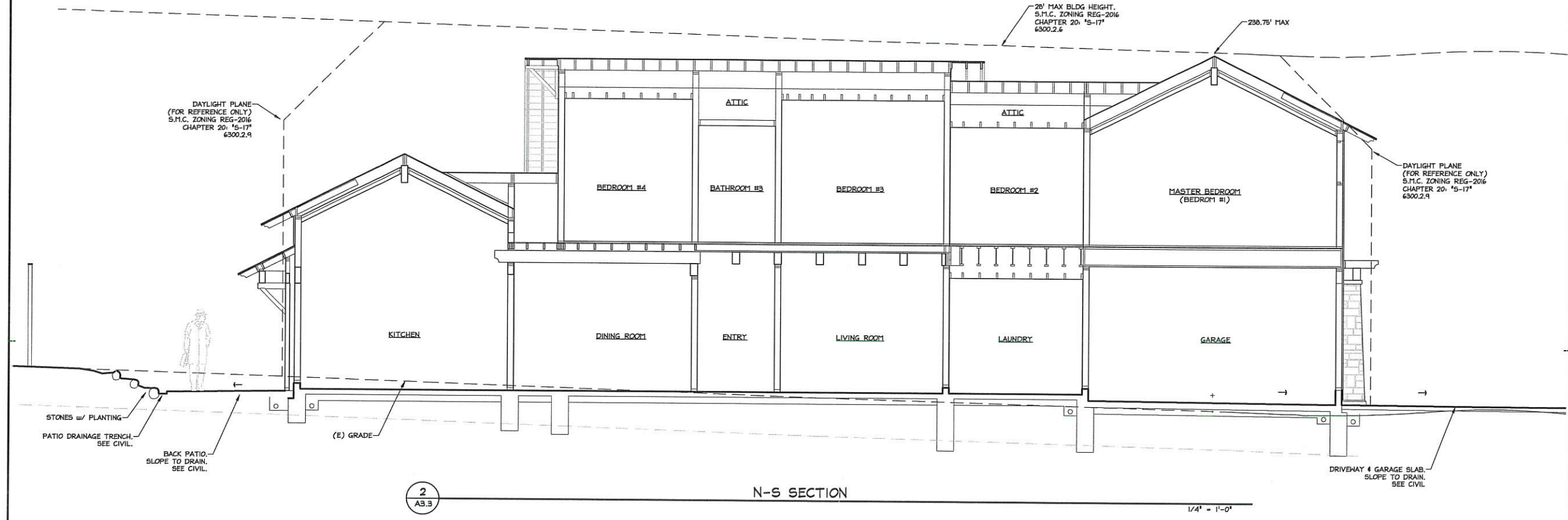
1. SEE A3.1 AND A3.2 FOR ZONING INFO.
2. SEE A2.3 (ROOF PLAN) FOR ROOF SLOPES AND MATERIAL.
3. WALL WOOD SIDING (SEE ELEVATION FOR LOCATION):  
PAINT GRADE WOOD.  
HORIZONTAL 1x6 OR 1x10 SHIPLAP SIDING.  
VERTICAL 1x4 OR 1x6 BOARD AND BATTEN SIDING.
4. WOOD PAINT COLOR—HORIZONTAL AND VERTICAL SIDING:  
MANUFACTURE: OLYMPIC  
COLOR: CAVERN MOSS (0L741.4)
4. WOOD STAIN COLOR—TRELLIS, SIDING TRIM, & WINDOW TRIM:  
MANUFACTURE: CABOT  
COLOR: "Brickstone" SEMI-TRANSPARENT STAIN.
5. WALL STONE VENEER (THIN):  
RANDOM ASHLAR STONE THIN VENEER. SQUARE CUT EDGES.  
MFR: STONE UNIVERSE INC. (SUI), www.suistone.com  
"California Gold" PRODUCT LINE, 1/2" THICK  
TILE SIZE: 8"x8", 8"x16", 16"x16", 16"x24"  
COLOR: RANDOM PER TILE. (LIGHT TO DARK BROWN)
6. VENEER GROUT STYLE: NO JOINT, FLUSH.
7. PILASTER CAPSTONE.  
2" THICK TO MATCH VENEER: "CALIFORNIA GOLD".
8. BUILDING ARCHITECTURAL TRELLIS:  
STAINED REDWOOD.  
6x12 BEAM w/ 4x8 LATTICE
9. EXTERIOR LINTEL OVER DOOR: WOOD TO MATCH TRELLIS.
10. WINDOW FRAME: DARK BROWN/BRONZE
11. CHIMNEY CAP DETAILS ON ROOF PLAN.
12. GUTTER: SEE ROOF PLAN.
13. WOOD FASCIA: PAINT GRADE WOOD.
14. SEE CIVIL DRAWINGS FOR DRAINAGE AND STORM WATER DRAINAGE INFO.



SOUTH ELEVATION  
BACK YARD

1/4" = 1'-0"

1  
A3.2

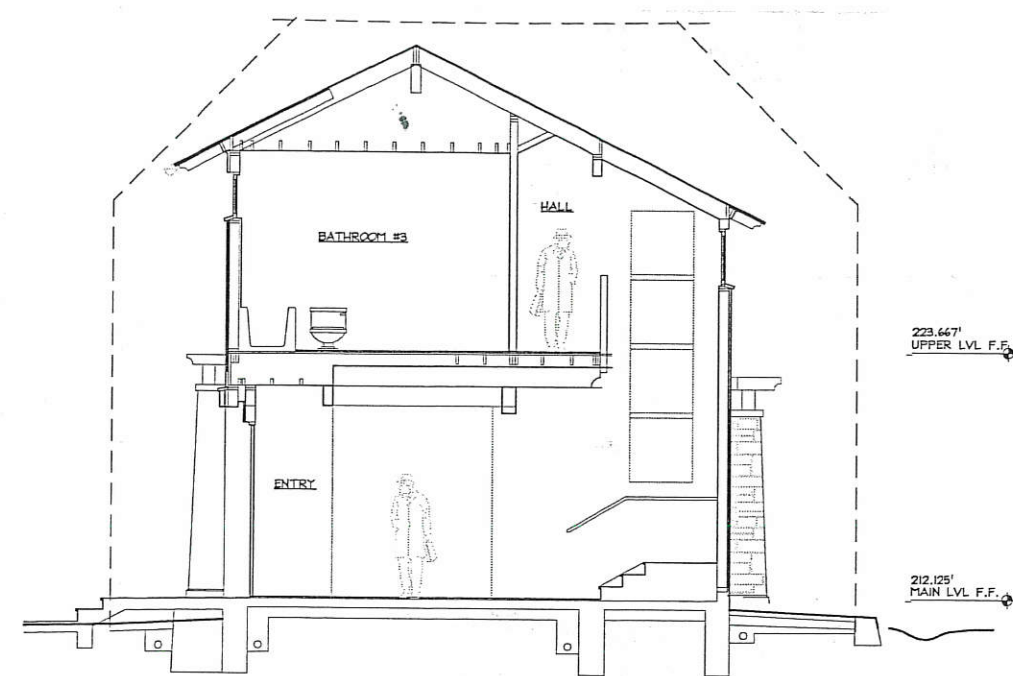


NOTE:  
 DRAWING SHOWS VERTICAL DIMENSIONS.  
 SOME BLDG AND STRUCTURAL ELEMENTS ARE NOT SHOWN.

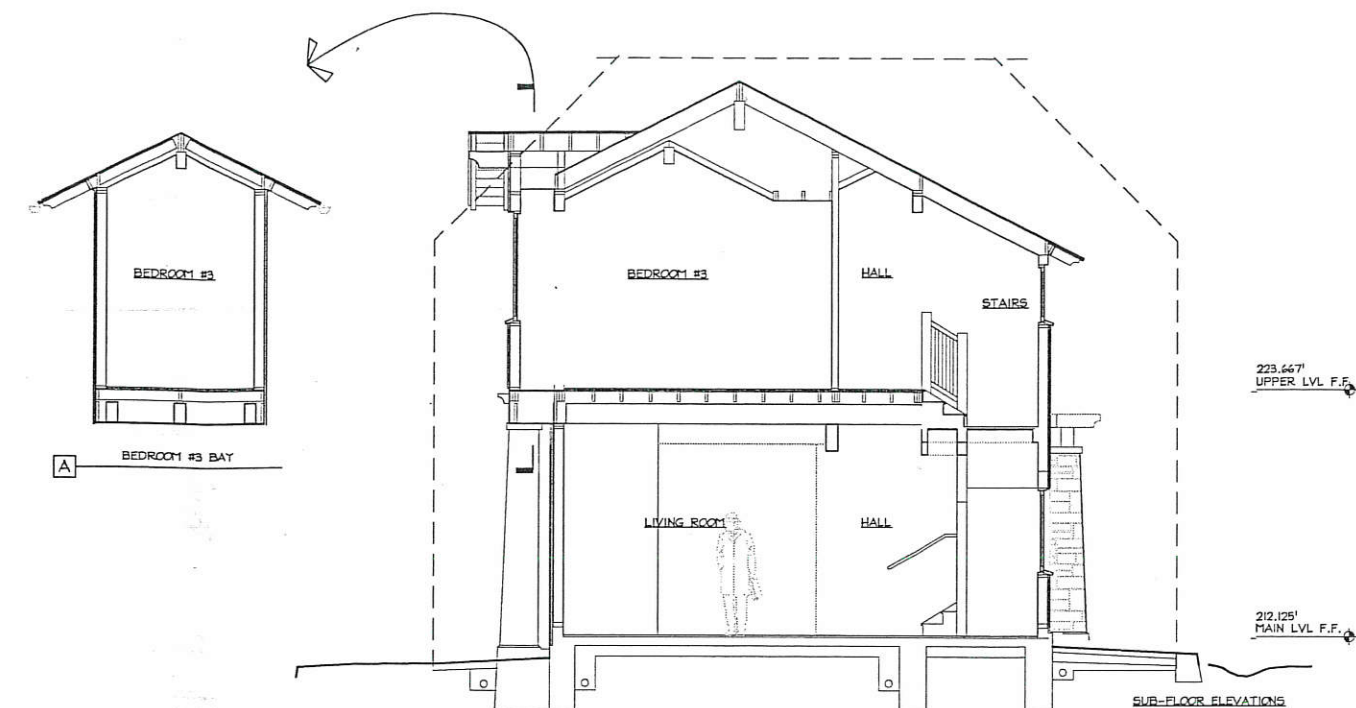
**BUILDING SECTION  
 DIAGRAM OF CONSTRUCTION**

1617-A3-3.dwg Plot Date: 4.19.2017

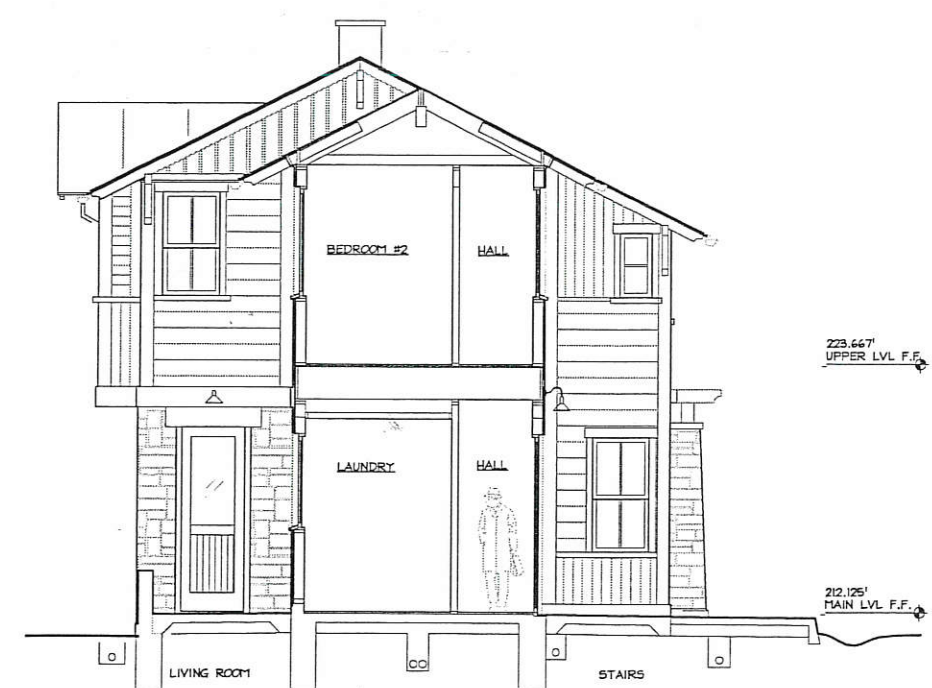




3  
A3.4 SECTION  
LOOKING SOUTH 1/4" = 1'-0"



2  
A3.4 SECTION  
LOOKING SOUTH 1/4" = 1'-0"



1  
A3.4 SECTION  
LOOKING SOUTH 1/4" = 1'-0"