

March 29, 2018

Ned Brasher
PO Box 370438
Montara, CA 94037

Dear Mr. Brasher:

SUBJECT: Coastside Design Review
Bay View Road, Montara
APN 036-243-110; County File No. PLN 2017-00017

At its meeting of March 8, 2018, the San Mateo County Coastside Design Review Committee (CDRC) considered your application for a design review recommendation to allow a new 2-story, 3,442 sq. ft. residence, plus a 672 sq. ft. garage, located on a 1.77-acre legal parcel associated with a hearing-level Coastal Development Permit (CDP), Resource Management Permit, and Grading Permit. The construction of the residence involves 1,100 cubic yards of cut and 1,100 cubic yards of fill and the removal of fourteen (14) significant trees. This project also includes road and utility improvements that are necessary for the subject parcel and the development of 3 other legal parcels, involving 370 cubic yards of cut and 170 cubic yards of fill and the removal of nine (9) significant trees. A public hearing before the Planning Commission on the Negative Declaration, Coastal Development Permit, Resource Management Permit, and Grading Permit will take place on a later date. The CDP is appealable to the California Coastal Commission.

The CDRC was unable to make the findings for a design review recommendation of approval based on certain design deficiencies. In order to resolve these deficiencies in the project's design, a more thorough review of the Zoning Regulations and "Standards for Design for One-Family and Two-Family Residential Development in the Midcoast" manual is required. As such, requirements from the CDRC for further project redesign are as follows:

From the Zoning Regulations:

- a. *Section 6908A. Maximum Height of Structures.* The applicant must correctly depict the height of the home on the elevations and cross sections. In the RM-CZ (Resource Management-Coastal Zone) Zoning District, height is measured as the distance between average finished grade to average roofline. The height limit for the structure is 28 feet. Also, please include the maximum height of the structure as measured from natural grade (or lowest floor below grade) to the topmost point of the building immediately above.



From the "Standards for Design for One-Family and Two-Family Residential Development in the Midcoast" Manual:

- a. *Section 6565.20(C). Site Planning and Structure Placement; 1. Integrate Structures with the Natural Setting; b. Grading. Standard (1).* To the extent feasible, limit filling and excavation while ensuring that the house blends into the site.
- b. *Section 6565.20(D). Elements of Design; 2. Architectural Styles and Features; a. Architectural Style; Standards (2) and (3).* Compliment the coastal and natural setting. The architectural style of the proposed structure does not complement the coastal, semi-rural, diverse small town character of the area and does not complement the natural setting. The design of the structure shall be revised to reflect the architectural style of the surrounding area.
- c. *Section 6565.20(D). Elements of Design; 1. Building Mass, Shape, and Scale; a. Relationship to existing topography.* The proposed structure does not adequately step down with the existing grade. Reduce the height and bulk of the rear lower corner of the house so that it steps down with the natural grade.
- d. *Section 6565.20(F). Landscaping, Paved Area, Fences, Lighting and Noise; 1. Landscaping.* Native trees and/or trees more consistent with the natural setting should be used. Taller evergreen trees should be used to visually frame the house as seen from Bay View Road.

Other Recommendations Discussed Include:

- a. Show exterior light locations with no more than one fixture per exterior door. Proposed light fixtures should be Dark Sky compliant.
- b. A darker colored window trim shall be selected. Please provide a color sample.
- c. A darker paint palette shall be selected. Please provide a color sample.
- d. The details of the retaining wall adjacent to proposed driveway should be clarified. Clarifications/accurate portrayal of tree removals should be made on the plans (site plan, civil plan, and landscape plan had conflicting information).
- e. Provide further tree protection measures to protect trees located in undisturbed areas in proximity to the project site.

As such, you were presented with the following available options at the end of the CDRC's deliberation of the project: (i) request for a decision from the CDRC on the plans presented or (ii) request that the project be considered at the next meeting to provide you with ample time to consider and incorporate the elements recommended for project redesign. You chose the second option, and the CDRC directed staff to schedule your project for consideration at a later date.

Ned Brasher

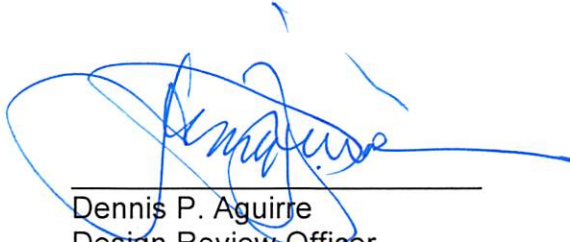
- 3 -

March 29, 2018

Please contact Ruemel Panglao, Project Planner, at 650/363-4825 or rpanglao@smcgov.org, if you have any questions.

To provide feedback, please visit the Department's Customer Survey at the following link: <http://planning.smcgov.org/survey>.

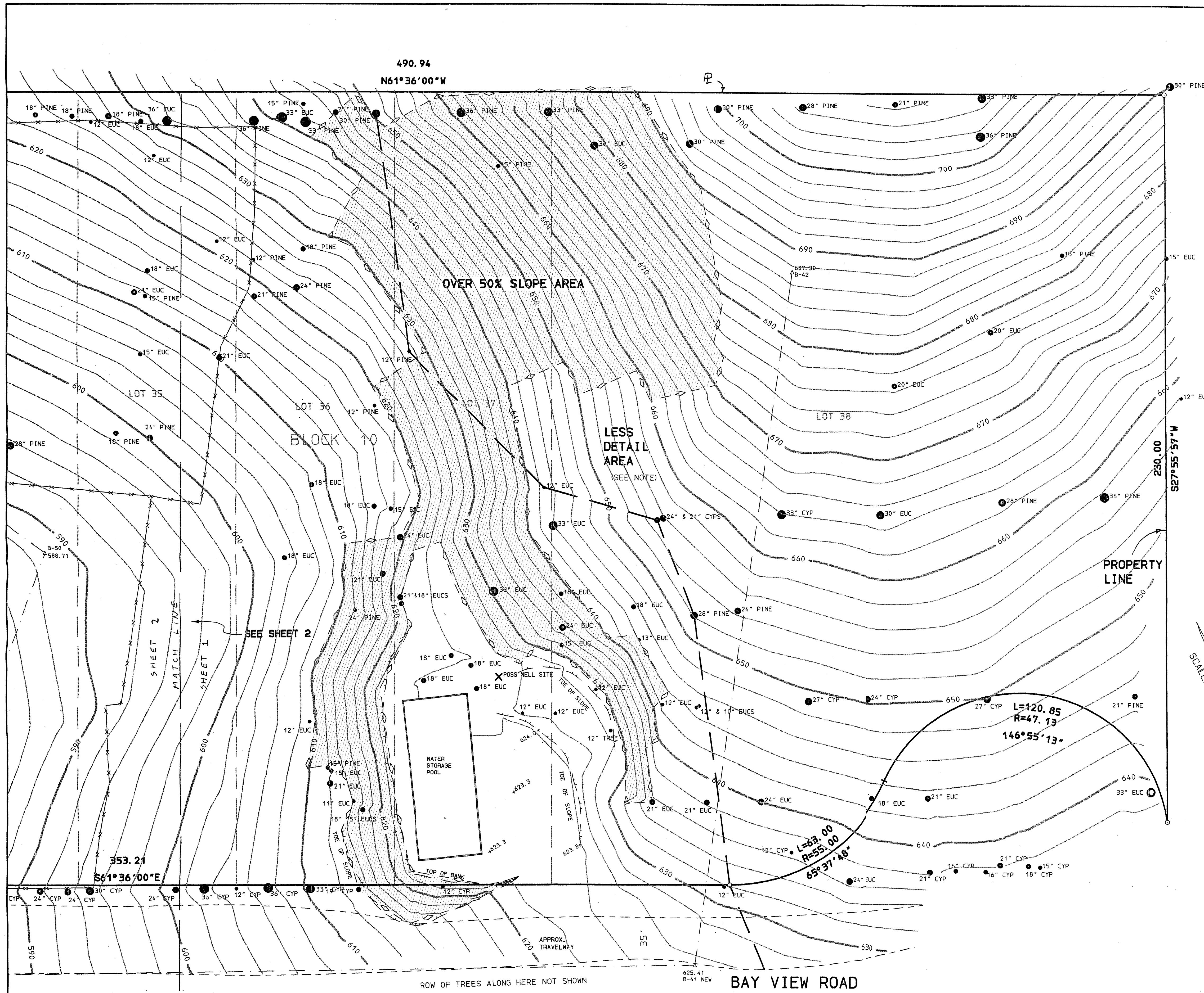
Sincerely,



Dennis P. Aguirre
Design Review Officer

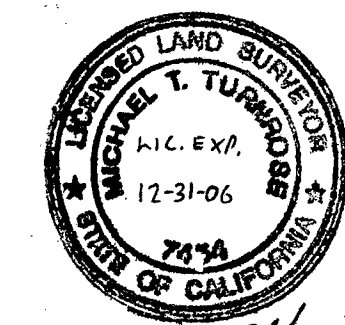
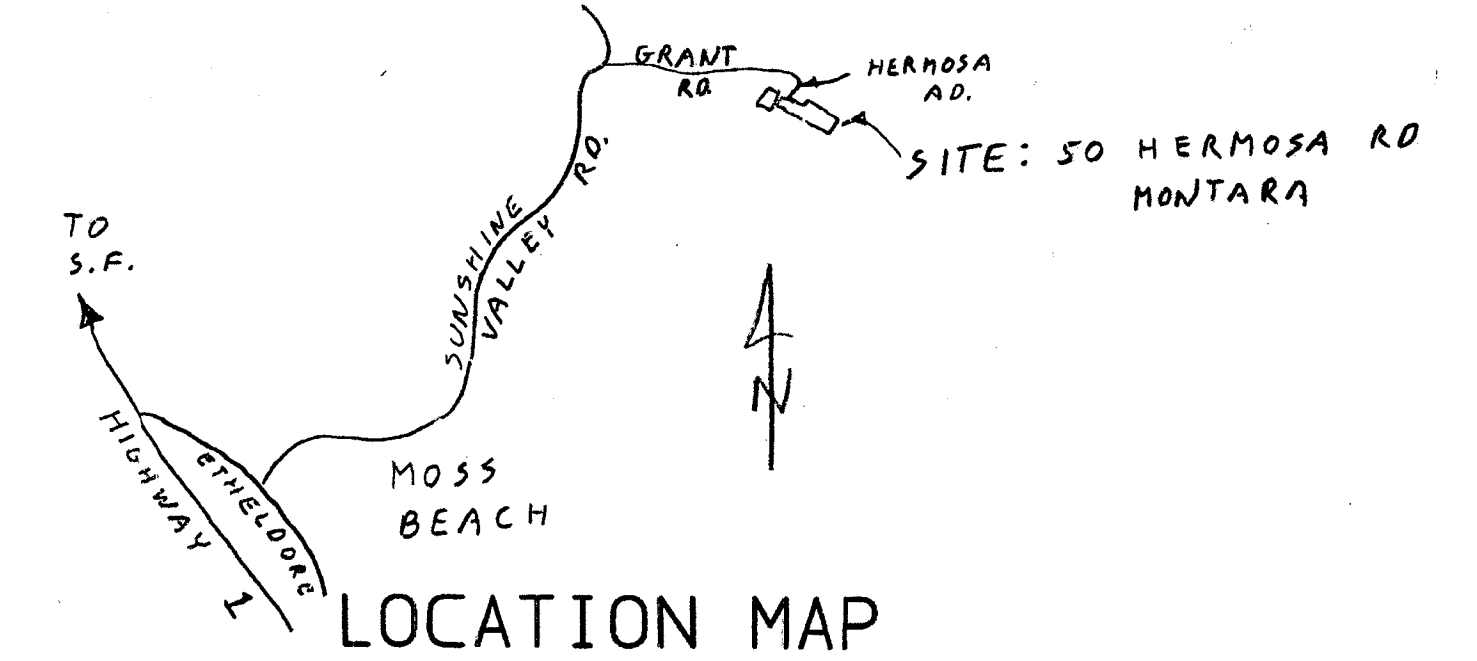
DPA:RSP:aow – RSPCC0151_WAN.DOCX

cc: Stuart Grunow, Member Architect
Bruce Chan, Member Landscape Architect
Beverly Garrity, Montara Community Representative
Sheila Bruno, Interested Member of the Public
Sheila Fellows, Interested Member of the Public
Margaret Dean, Interested Member of the Public



NOTES:

- 1) ELEVATIONS SHOWN WERE TAKEN FROM A HUB WITH SPIKE AND SHINER SHOWN AS "B-4" WITH AN ASSUMED ELEVATION OF 564.71 FEET..
- 2) TOPOGRAPHIC FEATURES SHOWN WERE LOCATED BY THE "E.D.M." METHOD. ALTHOUGH THIS METHOD PROVIDES AN ACCURACY OF LESS THAN TWO FEET IN VERTICAL AND TWO FEET IN HORIZONTAL" ERROR. IN MOST CASES, ANY PROPOSED DEVELOPMENT THAT IS DESIGNED ON (1) SPECIFIC HEIGHT REQUIREMENTS AND/OR (2) A CLOSENESS TO SAID FEATURES MUST BE CONFIRMED ON THE SITE.
- 3) CONTOUR INTERVAL = 2'; SCALE: 1" = 16'.
- 4) NOT ALL TREES WERE LOCATED BY THIS SURVEY..
- 5) THE LOCATION OF MULTIPLE TREES ARE SHOWN TO REFLECT THE NUMBER OF TRUNKS IN A GROUP AND NOT NECESSARILY THEIR TRUE RELATIVE POSITION TO EACH OTHER. SOME TREE SPECIES COULD NOT BE IDENTIFIED.
- 6) THE EASEMENT SHOWN WAS TAKEN FROM A TITLE INSURANCE POLICY PREPARED BY TITLE INSURANCE COMPANY OF MINNESOTA DATED JUNE 9, 1986 WITH ORDER NUMBER 101522. THERE ARE NO EASEMENTS OF RECORD ENCUMBERING ON THE LARGER PARCEL AS PER A PRELIMINARY REPORT PREPARED BY OLD REPUBLIC TITLE DATED APRIL 22, 1999 WITH ORDER NUMBER 273452.
- 7) THE PROPERTY LINES SHOWN WERE DETERMINED FROM A BOUNDARY SURVEY CONDUCTED IN AUGUST & SEPTEMBER OF 2001. A RECORD OF SURVEY MAP HAS BEEN SUBMITTED TO THE COUNTY AND IS PENDING RESUBMITTAL.
- 8) GENERALLY, AT THE TIME OF THIS SURVEY, LOWER PORTIONS OF THE PROPERTY HAD BEEN CLEARED OF UNDERBRUSH.
- 9) THE AREA TO THE EAST OF THE BOLD DASHED LINE IS LESS ACCURATE WITH LESS DETAIL AND ONLY SOME TREES ARE SHOWN.
- 10) TOPOGRAPHIC FEATURES SHOWN AS THEY WERE IN OCTOBER & NOVEMBER, 2002.



9/10/04
Michael T. Turnrose

REVISED 9/10/04
TOPOGRAPHIC MAP
OF THE LANDS OF BRASHER AS DESCRIBED IN DOCUMENT NUMBERS 95-099361 & 1999-165801 OF OFFICIAL RECORDS, BEING MORE COMMONLY KNOWN AS ASSESSOR'S PARCEL NUMBERS 36-231-090 & -100 & 36-243-020. SAN MATEO COUNTY RECORDS, CALIFORNIA.

--FOR--
NED BRASHER
P.O. BOX 370438
MONTARA, CA. 94037
(650) 728-5199

SAN MATEO COUNTY CALIFORNIA
SCALE: 1" = 16' NOV. 2002

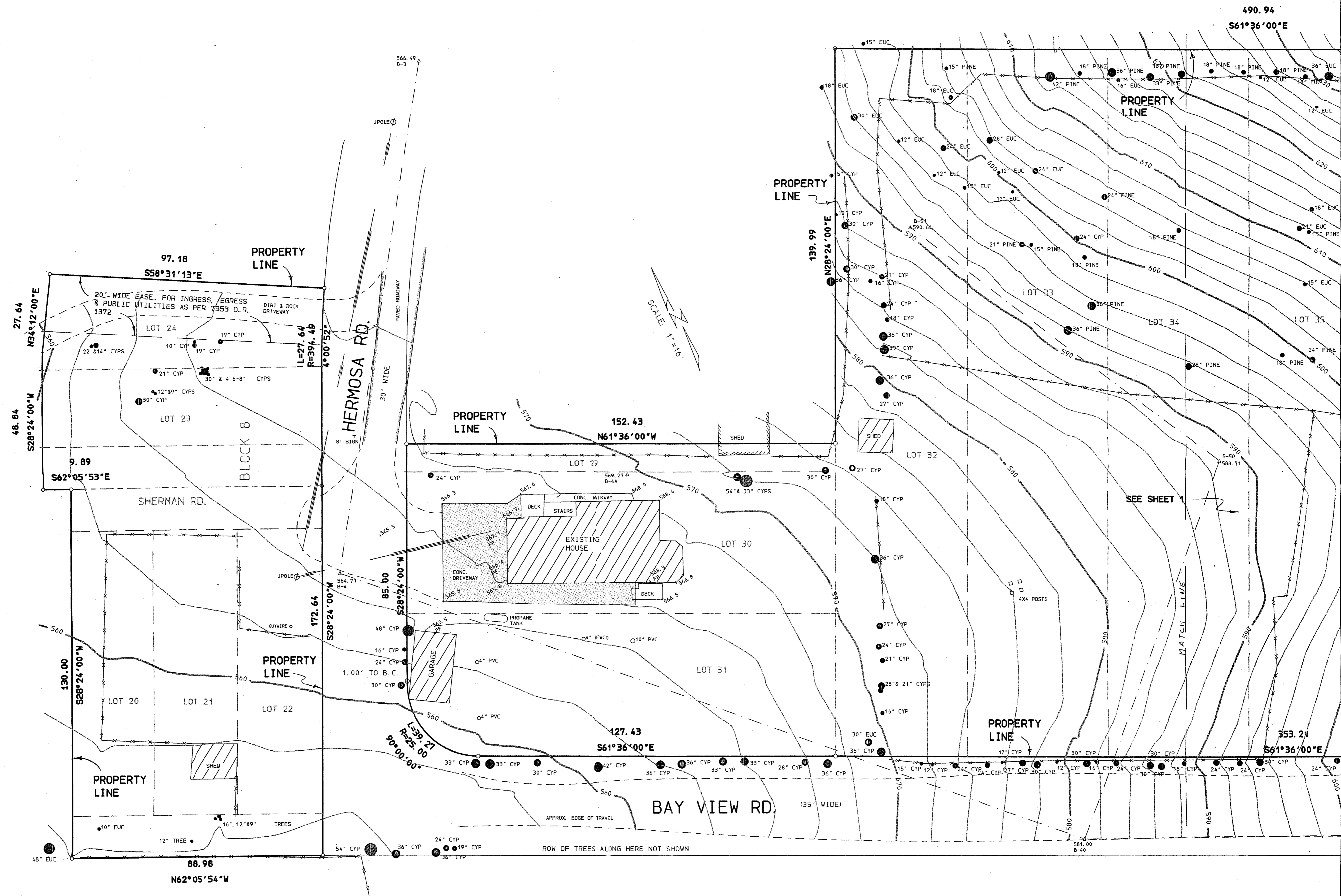
TURNROSE LAND SURVEYING
P.O. BOX 5648, REDWOOD CITY, CA. 94063
(650) 324-3316
FAX (209) 599-5119

JOB NO. 01-26

SHEET 1 OF 2

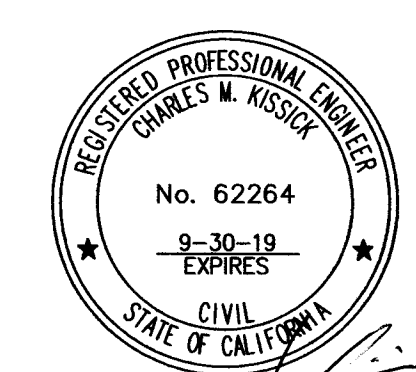
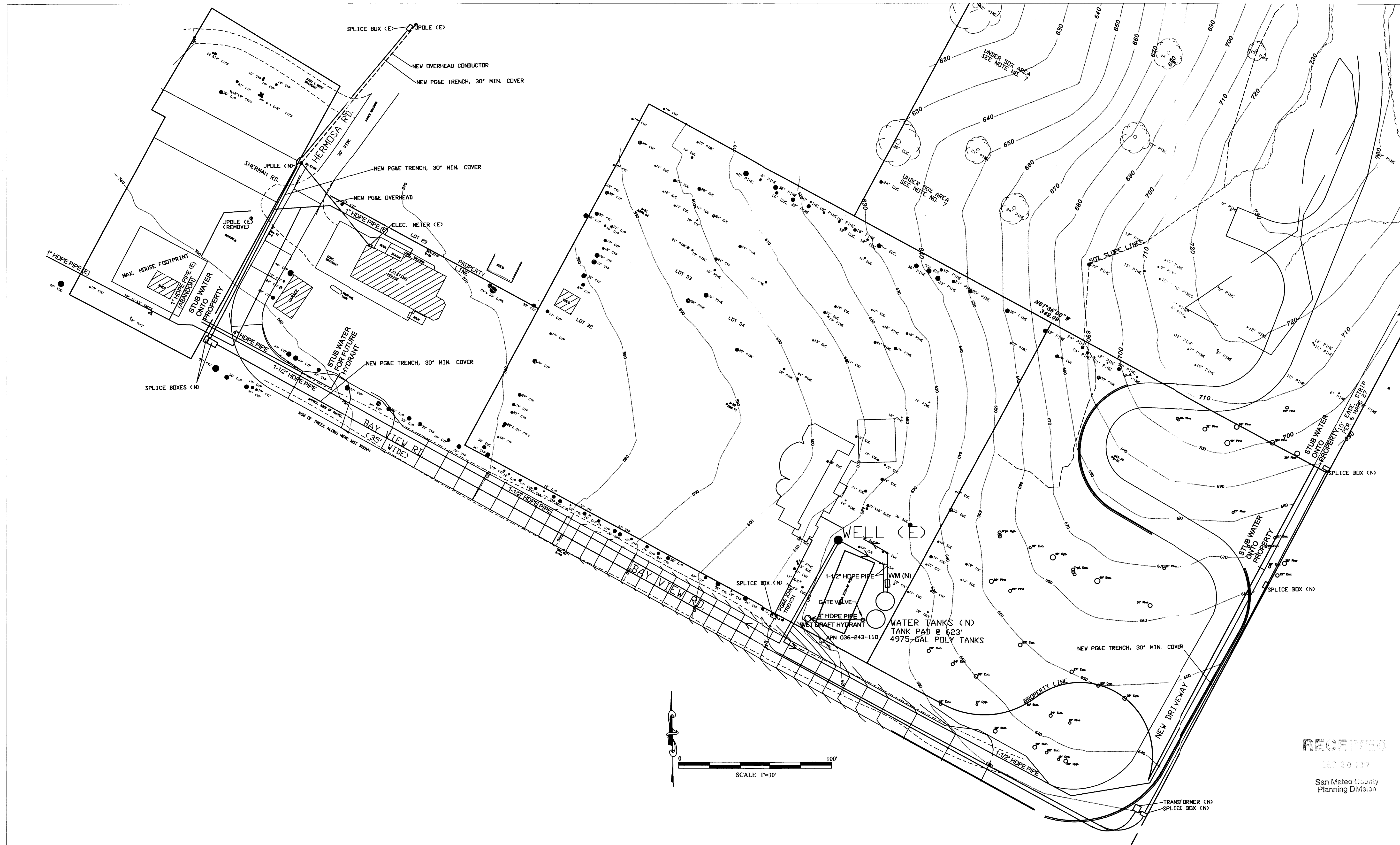
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0100-2102-21



SCALE: 1"=16'

SEE SHEET 1



Sigma Prime Geosciences, Inc.
 SIGMA PRIME GEOSCIENCES, INC.
 332 PRINCETON AVENUE
 HALF MOON BAY, CA 94019
 (650) 728-3590
 FAX: 728-3593

DATE: 12-20-17
 DRAWN BY: CMK
 CHECKED BY: AZG
 REV. DATE:

UTILITY PLAN
 BRASHER PROPERTIES
 MONTARA, CA

SHEET
 C-4

GENERAL NOTES

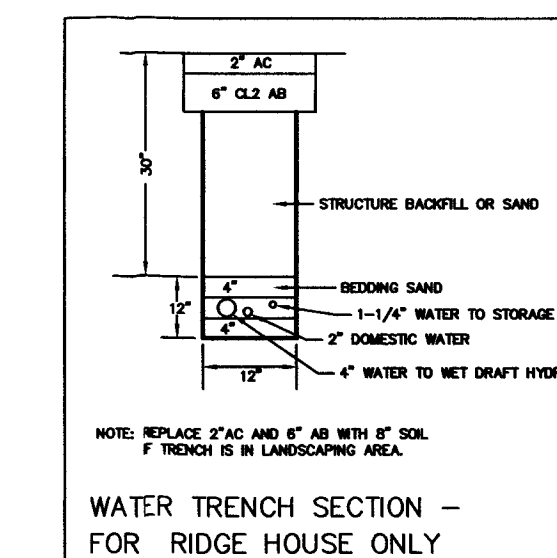
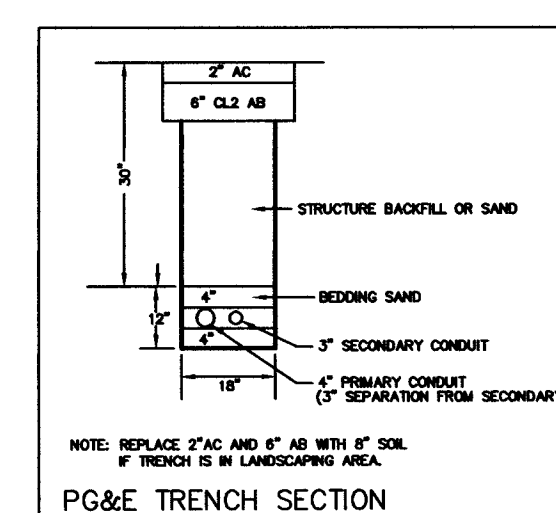
- PLANS PREPARED AT THE REQUEST OF: MR. NED BRASHER, P.O. BOX 438, MONTARA, CA 94037
- SURVEY BY OTHERS: ELEVATIONS BASED ON ASSUMED DATUM.
- THIS IS NOT A BOUNDARY SURVEY.

LEGEND

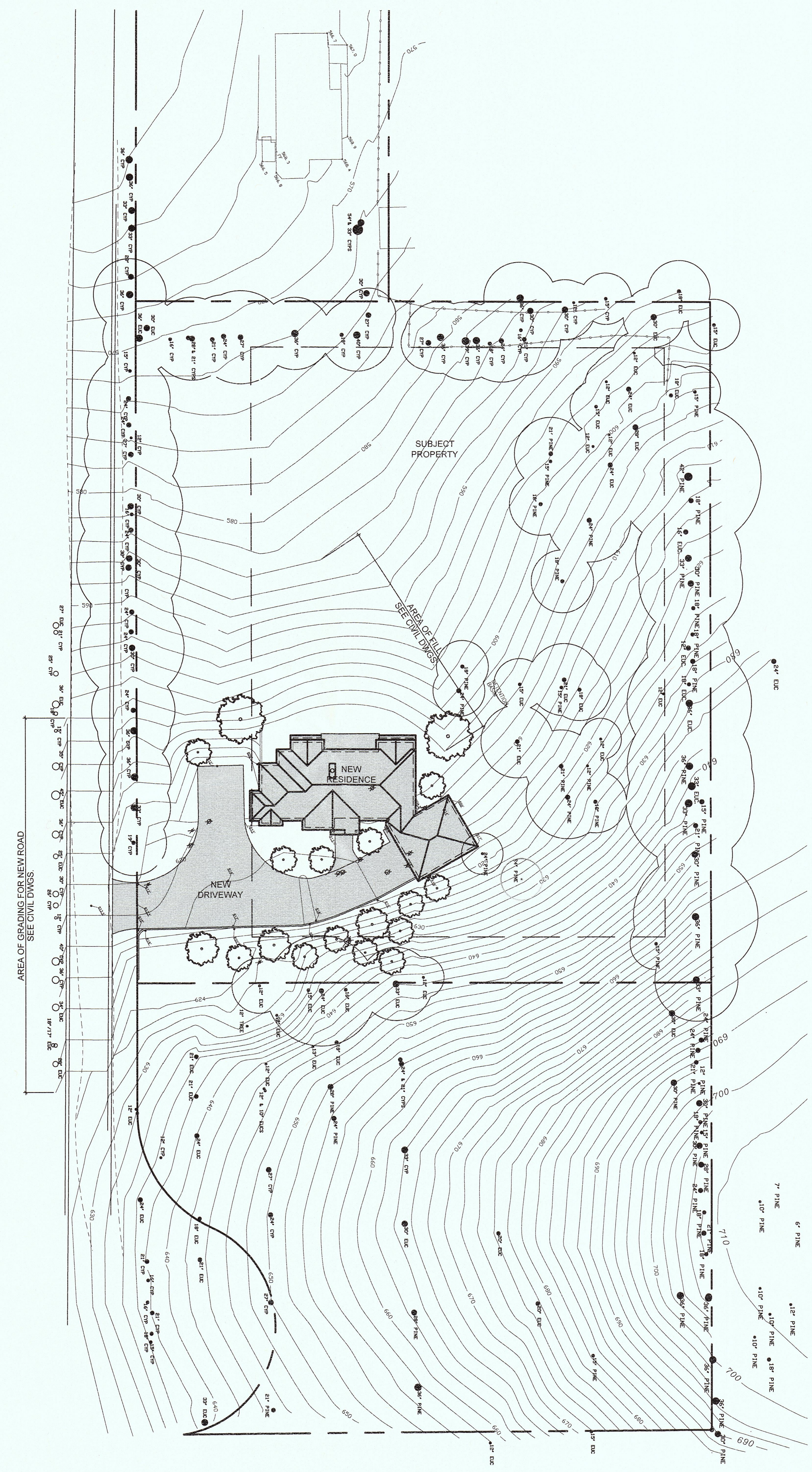
- EXISTING CONTOURS
- PROPOSED HDPE WATER SUPPLY LINE, DIAMETERS AS MARKED
- PROPOSED ELECTRICAL PG&E CONDUIT TRENCH

UTILITY NOTES

- WATER WELL SHALL SUPPLY FOUR PROPERTIES VIA 1-1/2" HDPE PIPELINES TO WATER METER AT EACH PROPERTY LINE.
- HYDRANTS AND WATER STORAGE TANKS WILL BE PLACED AT PROPERTIES AS THEY ARE DEVELOPED.
- REFER TO PG&E SHEET (PM 31298108, DATED 11-8-17) FOR ALL DESCRIPTIONS AND DETAILS ON CONDUITS, SPLICE BOXES, TRANSFORMER, ETC.
- PG&E LINES IN ROAD AND UTILITY EASEMENT (APN 036-243-140) TO BE INSTALLED UNDERGROUND VIA DIRECTIONAL BORING. UTILITIES ON PARCEL APN 036-243-110 MAY BE INSTALLED IN CONVENTIONAL TRENCHES.
- A SUBMERSIBLE PUMP IN WELL WILL SUPPLY WATER TANKS.
- A PRESSURE TANK WILL PROVIDE WATER PRESSURE FOR DOMESTIC AND FIRE SPRINKLER USE.
- WATER METER SHALL BE INSTALLED AT EACH HOUSE SITE.
- NO SEWER LINES OR GAS LINES. PROPERTIES TO USE SEPTIC SYSTEMS AND PROPANE TANKS.



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 Planning Division



1 KEY PLAN
A0.1 1/32"=1'-0"

GENERAL NOTES

CODES
 THE WORK SHALL CONFORM TO THE CALIFORNIA TITLE 24:
 PART 2 2016 CALIFORNIA BUILDING CODE
 PART 2.5 2016 CALIFORNIA RESIDENTIAL CODE
 PART 3 2016 CALIFORNIA ELECTRICAL CODE
 PART 4 2016 CALIFORNIA MECHANICAL CODE
 PART 5 2016 CALIFORNIA PLUMBING CODE
 PART 6 2016 CALIFORNIA ENERGY CODE
 PART 9 2016 CALIFORNIA FIRE CODE
 PART 11 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE
 AND THE SAN MATEO COUNTY MUNICIPAL CODE

DRAWINGS
 1. GENERAL CONDITIONS, THE STANDARD A.I.A. GENERAL CONDITIONS ARE HEREBY MADE A PART OF THESE DRAWINGS.
 2. DIMENSIONS, WRITTEN DIMENSIONS SHALL GOVERN. DO NOT SCALE THE DRAWINGS.
 3. DIMENSIONS, ALL DIMENSIONS ARE TO THE FACE OF FINISH, OR TO THE CENTERLINE OF GRIDS, COLUMNS, WINDOWS, DOORS, AND FIXTURES, UNLESS OTHERWISE NOTED.
 4. DIMENSIONS, CLR DENOTES MEASUREMENT FROM FINISH SURFACES, TYP
 5. COMPLETION, THESE DRAWINGS INCLUDE THE GENERAL EXTENT OF NEW CONSTRUCTION NECESSARY FOR THE WORK, BUT ARE NOT INTENDED TO BE ALL-INCLUSIVE.

GENERAL CONTRACTOR'S RESPONSIBILITIES
 6. PLANS ON SITE, THE GENERAL CONTRACTOR (HEREAFTER G.C.) SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DRAWINGS.
 7. DISCREPANCIES, THE G.C. IS RESPONSIBLE FOR THOROUGH REVIEW OF THESE DOCUMENTS AND EXISTING FIELD CONDITIONS PRIOR TO THE COMMENCEMENT OF ANY WORK. ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT IN WRITING FOR CLARIFICATION.
 8. SUBSTITUTIONS, THE G.C. IS REQUIRED TO NOTIFY ARCHITECT IN WRITING OF ANY SUBSTITUTION, REVISION OR PROPOSED ALTERNATE AT LEAST TWO WEEKS PRIOR TO THE ORDER OR INSTALLATION OF SAID ALTERNATE IN ORDER TO ALLOW FOR NECESSARY COORDINATION AND APPROVALS.
 9. INSPECTIONS, THE G.C. IS RESPONSIBLE FOR THOROUGH REVIEW OF THE ARCHITECTURAL AND STRUCTURAL DRAWINGS, GEOTECHNICAL REPORT, AND THE ENERGY AND GREEN COMPLIANCE MANDATORY MEASURES AND IS RESPONSIBLE FOR SCHEDULING AND BEING PRESENT FOR ANY INSPECTIONS OR OBSERVATIONS REQUIRED. (MIN. 48 HOURS NOTICE FOR SITE VISITS)
 10. SAFETY, THE G.C. SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND ADHERE TO ALL FEDERAL, STATE, LOCAL AND OSHA SAFETY REGULATIONS.
 11. DEFERRED SUBMITTALS, DEFERRED SUBMITTAL DOCUMENTATION SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE PROJECT. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.
 12. WORKMANSHIP, ALL WORKMANSHIP IN ALL TRADES SHALL BE OF THE HIGHEST QUALITY, BY PERSONS ESPECIALLY SKILLED AT ASSIGNED TASKS, AND SHALL RESULT IN A NEAT AND CLEAN INSTALLATION. ALL WORK SHALL BE INSTALLED TRUE, PLUMB, LEVEL, SQUARE, AND IN PROPER ALIGNMENT. NOTIFY ARCHITECT AND OWNER OF EXISTING CONDITIONS WHICH DO NOT MEET THESE EXPECTATIONS.
 13. MANUFACTURER'S REQUIREMENTS, THE G.C. SHALL INSTALL ALL MATERIALS, EQUIPMENT, AND FIXTURES IN CONFORMANCE WITH THE REQUIREMENTS OF THE MANUFACTURER.
 14. BRACING AND SHORING, DESIGN AND INSTALLATION OF ALL TEMPORARY BRACING AND SHORING IS THE SOLE RESPONSIBILITY OF THE G.C.

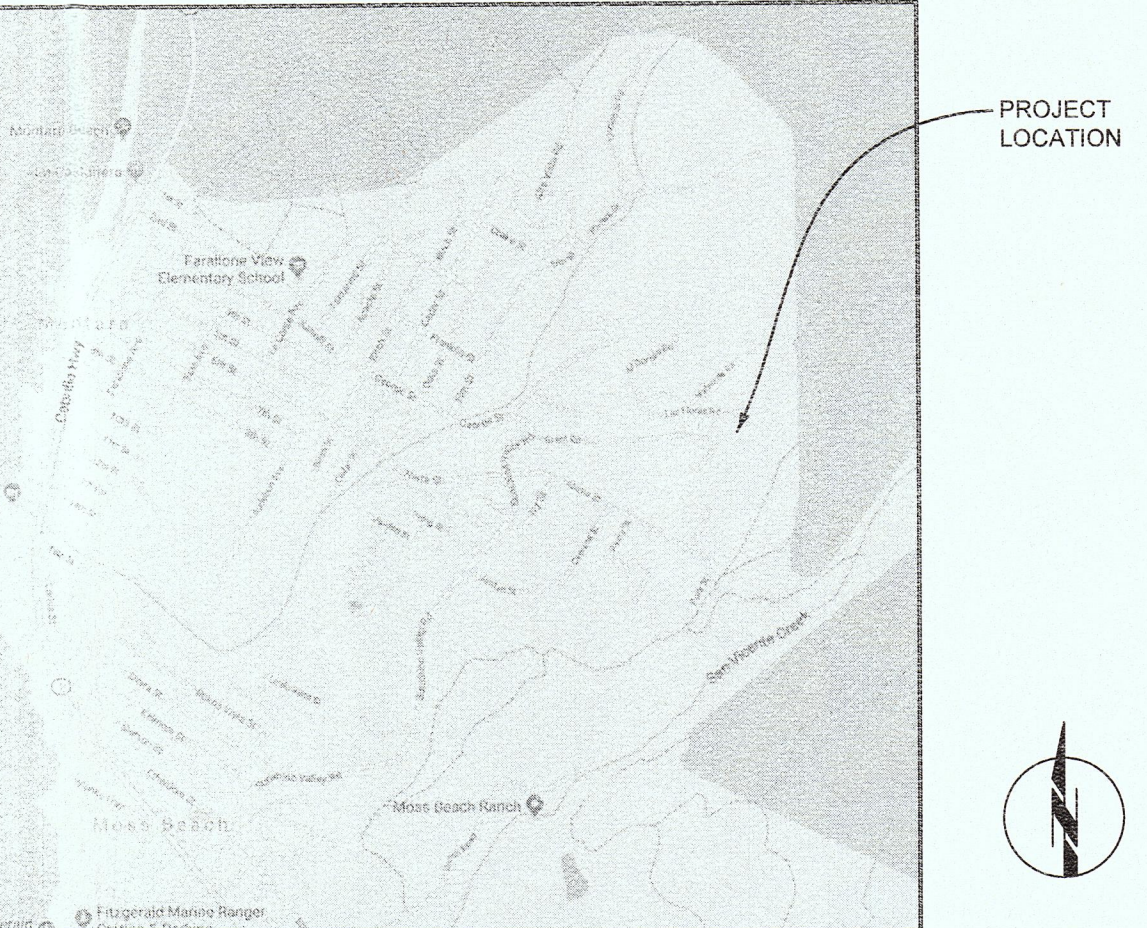
GENERAL NOTES
 15. CAL GREEN, SEE SHEET GB 1 FOR CAL GREEN MANDATORY REQUIREMENTS
 16. WILDLAND URBAN INTERFACE (WUI), SEE SHEETS AB 1, AB 1.1, AB 2 FOR ALL DETAILS AND NOTES REGARDING REQUIRED FIRE PROTECTION MEASURES OF BUILDING EXTERIOR PER CRC R337 AND CBC CHAPTER 7A

SITE PLAN NOTES
 1. GENERAL NOTES, SEE SHEETS AD 1, TOPOGRAPHIC SURVEY, GRADING AND DRAINAGE PLAN C-1, LANDSCAPE PLAN LP-1, AND FLOOR PLANS FOR ADDITIONAL INFO.
 2. BOUNDARY VERIFICATION, THE G.C. SHALL VERIFY THE LOCATIONS OF ALL PROPERTY BOUNDARIES, SETBACKS, AND EXISTING LOCATIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE FURTHER COMMENCEMENT OF WORK.
 3. ENCROACHMENT, THE G.C. IS RESPONSIBLE FOR OBTAINING APPROVAL / PERMIT PRIOR TO COMMENCING ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
 4. UTILITIES, THE G.C. SHALL LOCATE ALL UTILITIES PRIOR TO ANY EXCAVATION, GRADING, OR TRENCHING.
 5. UTILITIES, SEE ELECTRICAL PLAN SHEET E2.1 FOR EXACT LOCATIONS OF MAIN ELECTRIC METER AND GAS METER. COORDINATE FINAL LOCATION AND ROUTING WITH G.C. AND UTILITY SERVICE PROVIDER.
 6. UTILITIES, THE G.C. SHALL COORDINATE THE LOCATION OF IRRIGATION VALVE BOXES WITH OWNER.
 7. TREE PROTECTION, THE G.C. SHALL PROTECT EXISTING TREES FROM DAMAGE DURING CONSTRUCTION AND PROVIDE TREE PROTECTION PER LOCAL JURISDICTION REQUIREMENTS. LARGE ROOTS OR LARGE MASSES OF ROOTS TO BE CUT SHOULD BE INSPECTED BY A CERTIFIED ARBORIST PRIOR TO CUTTING. ANY ROOTS TO BE CUT SHALL BE MONITORED AND DOCUMENTED. ROOTS TO BE CUT SHOULD BE SEVERED CLEANLY WITH A SAW OR TOPPERS.
 8. SLOPED GRADE, FINISH GRADE AROUND BUILDING TO HAVE A MIN. 2% SLOPE AWAY FROM BUILDING AT PAVED SURFACES, AND 5% SLOPE AT LANDSCAPE SURFACES FOR A MIN. OF 5' AROUND BUILDING.
 9. ADDRESS, STREET ADDRESS NUMERALS TO BE AT LEAST 4" HIGH WITH A MINIMUM 1/2" STROKE, MOUNTED ON A CONTRASTING BACKGROUND CLEARLY VISIBLE FROM THE STREET. ADDRESS NUMBERS SHALL BE AT LEAST SIX FEET ABOVE THE FINISHED SURFACE OF THE DRIVEWAY. CRC R319.1
 10. CHIMNEYS, THE INSTALLATION OF AN APPROVED SPARK ARRESTOR IS REQUIRED ON ALL CHIMNEYS, EXISTING AND NEW. SPARK ARRESTORS SHALL BE CONSTRUCTED OF WOVEN OR WELDED WIRE SCREENING OF 12 GAUGE USA STANDARD WIRE HAVING OPENINGS NOT EXCEEDING 1/2".

ABBREVIATIONS

A.D	AREA DRAIN	GSM	GALVANIZED SHEET METAL
ADJ	ADJUSTABLE	GYP BD.	GYP SUM BOARD
A.F.F.	ABOVE FINISH FLOOR	HT	HEIGHT
ALT	ALTERNATE	INCAN	INCANDESCENT
ALUM	ALUMINUM	LT	LIGHT
ANOD	ANODIZED	MAX	MAXIMUM
ARCH	ARCHITECTURAL	MECH	MECHANICAL
BD	BOARD	MFR	MANUFACTURER
BLDG	BUILDING	MIN	MINIMUM
BLKG	BLOCKING	MTL	METAL
BM	BEAM	(N)	NEW
B.O.	BOTTOM OF	O.C.	ON CENTER
CAB	CABINET	OV	OVER
C.J.	CEILING JOIST	PLYWD	PLYWOOD
CLG	CEILING	PTD	PAINTED
CLR	CLEAR	PT. GR.	PAINT GRADE
C.O.	CLEAN OUT	P.T.	PRESSURE TREATED
CONC	CONCRETE	RDWD	REDWOOD
DIA	DIAMETER	REFR	REFRIGERATOR
DN	DOWN	REQ'D	REQUIRED
DS	DOWNSPOUT	RM	ROOM
DW	DISHWASHER	R.O.	ROUGH OPENING
DWG	DRAWING	SCHED	SCHEDULE
(E)	EXISTING	SHT	SHEET
EA	EACH	SHTG	SHEATHING
ELEC	ELECTRIC	SIM	SIMILAR
ELEV	ELEVATION	SKYLT	SKYLIGHT
EQ	EQUAL	SPEC	SPECIFICATION
EXT	EXTERIOR	S.S.D.	SEE STRUCTURAL DRAWINGS
FIN	FINISH	ST. GR.	STAIN GRADE
F.J.	FLOOR JOIST	STL	STEEL
FLR	FLOOR	T&G	TONGUE & GROOVE
F.O.	FACE OF	TEMP	TEMPERED
FT	FEET	T.O.P.	TOP OF
FTG	FOOTING	TYP	TYPICAL
FURN	FURNACE/FURNITURE	U.N.O.	UNLESS NOTED OTHERWISE
GA	GAUGE	V.I.C.	VERIFY IN FIELD
GALV	GALVANIZED	WH	WATER HEATER

VICINITY MAP



PROJECT DIRECTORY

ARCHITECT:
 MORRIS ARCHITECTURE
 12 COZZOLINO CT.
 MILLBRAE, CA 94030
 T. 650.995.1360
 RYAN@MORRIS-ARCH.COM

LANDSCAPE ARCHITECT:
 JOHN DALRYMPLE L.A.
 301 SEAPORT CT. SUITE 103
 REDWOOD CITY, CA 94063
 T. 650.549.8707

CIVIL ENGINEER:
 SIGMA PRIME GEOSCIENCES
 332 PRINCETON AVE.
 HALF MOON BAY, CA 94019
 T. 650.728.3590

SURVEYOR:
 TURNROSE LAND SURVEYING
 P.O. BOX 5648
 REDWOOD CITY, CA 94063
 T. 650.524.3316

PROJECT DESCRIPTION

- NEW TWO STORY SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE.
- SITE WORK INCLUDES 1,100 CUBIC YARDS OF CUT AND FILL, REMOVAL OF 14 SIGNIFICANT TREES, AND ASSOCIATED ROAD AND UTILITY IMPROVEMENTS

DEFERRED SUBMITTALS

- FIRE SPRINKLERS SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 13D AND STATE AND LOCAL REQUIREMENTS. SHOP DRAWINGS SHALL BE APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION. PROVIDE MIN. 1" WATER METER BACKFLOW PREVENTION DEVICES DOUBLE CHECK VALVE ASSEMBLY, AND ALL SPRINKLER DRAINAGE SHALL BE PLACED INTO LANDSCAPE AREAS.

PROJECT DATA

APN #	036-243-110
ZONE	RM-CZ/DR/CD
OCCUPANCY	R-3 / U
CONSTRUCTION TYPE	V-B
AUTOMATIC SPRINKLERS	YES - NEW
STORIES	2
SITE AREA	1.77 ACRES (74,260 SF)
FLOOR AREA	
MAX. ALLOWED	8,200 SF
ACTUAL	PROPOSED
FIRST FLOOR CONDITIONED AREA	N/A
SECOND FLOOR CONDITIONED AREA	N/A
ATTACHED GARAGE	N/A
TOTAL	4,143 SF

SHEET INDEX

A0.1	TITLE SHEET
A0.2	SITE PLAN
C-1	GRADING AND DRAINAGE PLAN
C-2	EROSION CONTROL PLAN
A2.1	FIRST FLOOR PLAN
A2.2	SECOND FLOOR PLAN
A3.1	EXTERIOR ELEVATIONS
A3.2	EXTERIOR ELEVATIONS
A3.3	BUILDING SECTION
LP-1	LANDSCAPE DESIGN & PLANTING PLAN
CB	COLOR BOARD

PLN2017-00017

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 San Mateo County
 Planning and Building Department



12 COZZOLINO CT. | MILLBRAE, CA 94030
 650.995.1360 | www.morris-arch.com

BRASHER RESIDENCE
 MEADOW #3 LOTS 32-37 BAY VIEW ROAD
 MONTARA, CA 94044



All drawings and written materials contained herein constitute the original and unpublished work of the Architect and the same may not be duplicated, used or disclosed without the written consent of the Architect.

△	PLNG REV 1	07.31.18
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TITLE SHEET
 JOB #: 1808
 A0.1

BRASHER RESIDENCE
 MEADOW #3 LOTS 32-37 BAY VIEW ROAD
 MONTARA, CA 94044



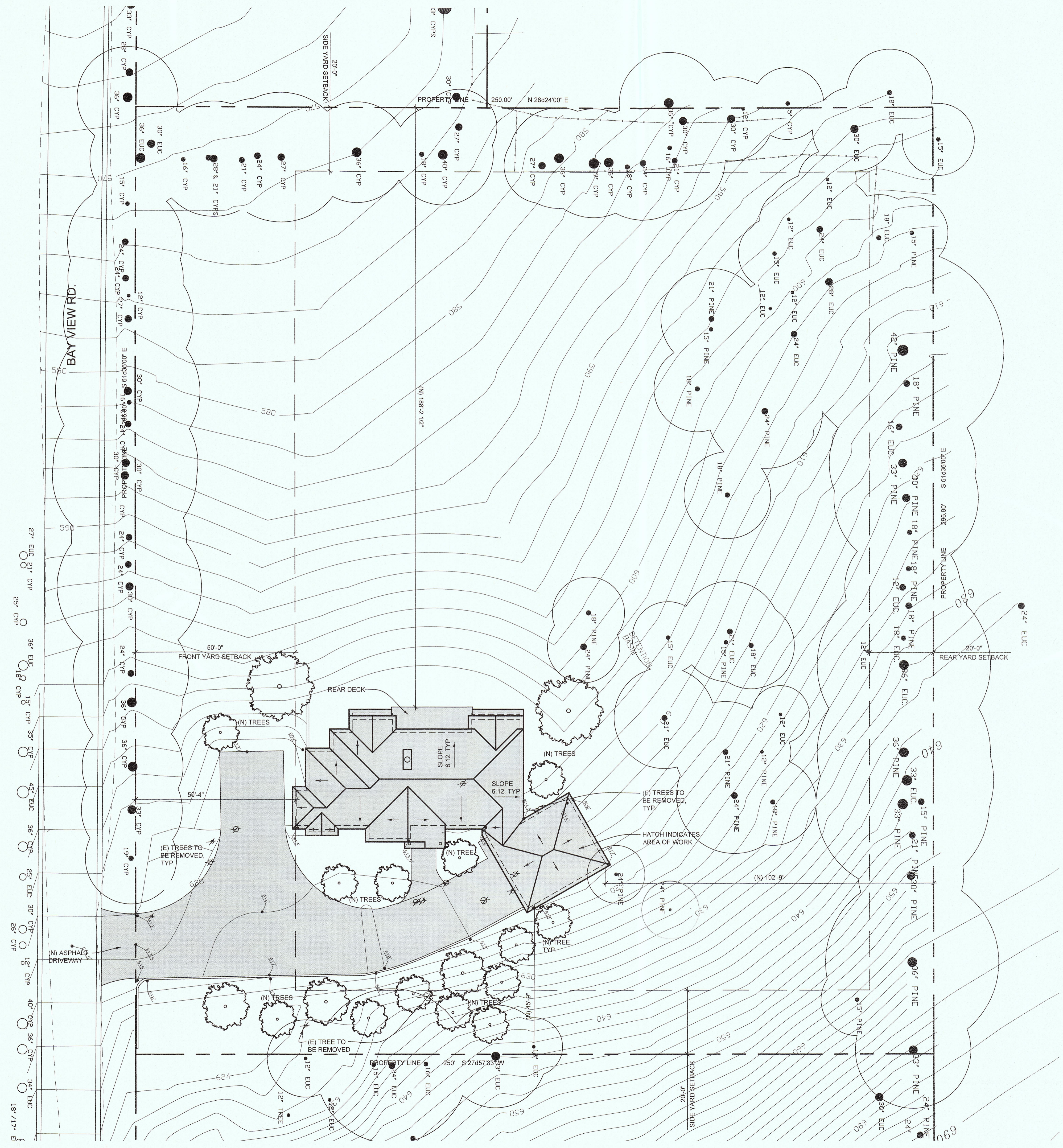
All drawings and written materials contained herein constitute the original and unpublished work of the Architect and the same may not be duplicated, used or disposed without the written consent of the Architect.

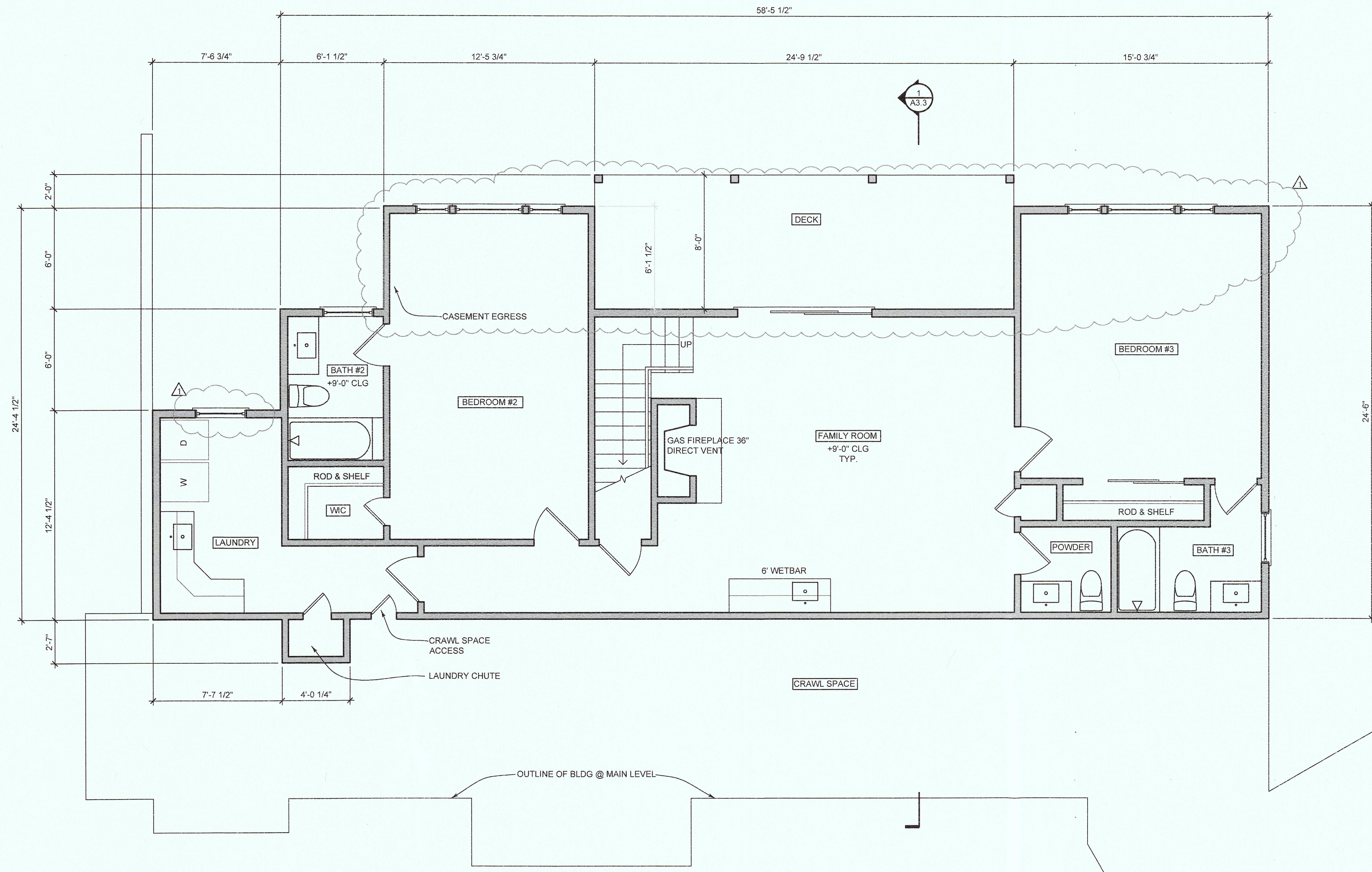
△	PLNG REV 1	07.31.18
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SITE PLAN
 JOB #: 1808

A0.2

- SITE PLAN NOTES:**
- GENERAL NOTES: SEE SHEETS A0.1 TOPOGRAPHIC SURVEY, GRADING AND DRAINAGE PLAN C-1, LANDSCAPE PLAN LP-1, AND FLOOR PLANS FOR ADDITIONAL INFO.
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 - UTILITIES: SEE ELECTRICAL PLAN SHEET E2.1 FOR EXACT LOCATIONS OF MAIN ELECTRIC METER AND GAS METER. COORDINATE FINAL LOCATION AND ROUTING WITH G.C. AND UTILITY SERVICE PROVIDER.
 - UTILITIES: THE G.C. SHALL COORDINATE THE LOCATION OF IRRIGATION VALVE BOXES WITH OWNER.
 - TREE PROTECTION: THE G.C. SHALL PROTECT EXISTING TREES FROM DAMAGE DURING CONSTRUCTION AND PROVIDE TREE PROTECTION PER LOCAL JURISDICTION REQUIREMENTS. LARGE ROOTS OR LARGE MASSES OF ROOTS TO BE CUT SHOULD BE INSPECTED BY A CERTIFIED ARBORIST PRIOR TO CUTTING. ANY ROOTS TO BE CUT SHALL BE MONITORED AND DOCUMENTED. ROOTS TO BE CUT SHOULD BE SEVERED CLEANLY WITH A SAW OR TOPPERS.
 - SLOPED GRADE: FINISH GRADE AROUND BUILDING TO HAVE A MIN. 2% SLOPE AWAY FROM BUILDING. FOR A MIN. OF 5' AROUND BUILDING.
 - FOOTING DEPTH: (N) FOUNDATION FOOTINGS SHALL BEAR ON NATIVE, UNDISTURBED SOIL. SEE GEOTECH. REPORT AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFO.
 - ADDRESS: STREET ADDRESS NUMERALS TO BE AT LEAST 4" HIGH WITH A MINIMUM 1/2" STROKE, MOUNTED ON A CONTRASTING BACKGROUND CLEARLY VISIBLE FROM THE STREET. ADDRESS NUMBERS SHALL BE AT LEAST SIX FEET ABOVE THE FINISHED SURFACE OF THE DRIVEWAY. CRC R1004
 - CHIMNEYS: THE INSTALLATION OF AN APPROVED SPARK ARRESTOR IS REQUIRED ON ALL CHIMNEYS, EXISTING AND NEW. SPARK ARRESTORS SHALL BE CONSTRUCTED OF WOVEN OR WELDED WIRE SCREENING OF 12 GAUGE USA STANDARD WIRE HAVING OPENINGS NOT EXCEEDING 1/2".
- LEGEND:**
- (N) TREE- SEE LANDSCAPE PLAN
 - (E) TREE TO REMAIN
 - (E) TREE TO BE REMOVED - 14 TOTAL
1. LANDSCAPE: SEE LANDSCAPE AND CIVIL DWGS. FOR ALL SITE INFO.





FOUNDATION & CONCRETE NOTES:

1. UNDER FLOOR ACCESS, PROVIDE MIN. OF 18" X 24" THRU FLOOR OR 16" X 24" THRU WALL ACCESS TO UNDER FLOOR AREAS. CRC R408.4
2. UNDER FLOOR ACCESS, FOR AN APPLIANCE IN AN UNDER FLOOR AREA, PROVIDE MIN. 22" X 30" ACCESS OR MIN. REQUIRED BY APPLIANCE. CMC 904.10
3. CRAWL SPACE, PROVIDE 18" TALL MIN. ACCESS PATHWAY THROUGH UNDER FLOOR AREA, INCLUDING UNDER DUCTS. CMC 603.1. FLOOR JOISTS OR FLOORS WITHOUT JOISTS WITH LESS THAN 18" CLR. TO EXPOSED GROUND SHALL BE PRESSURE TREATED. GIRDERS WITH LESS THAN 12" CLR. SHALL BE P.T. CBC 2304.11.2.1
4. PRESSURE TREATED, EXTERIOR WOOD FRAMING & SHEATHING RESTING ON FOUNDATIONS AND LESS THAN 8" FROM EARTH OR 2" FROM PAVING SHALL BE P.T. CBC 2304.11.2.2. (SIDING MAY BE 6" FROM EARTH. CBC 2304.11.2.6)
5. VERIFICATION, G.C. TO VERIFY ALL CONCRETE ROUGH OPENING SIZES, ELEVATIONS, ETC. PRIOR TO FOUNDATION POUR. G.C. TO COORDINATE ALL LOCATIONS OF HOLDINGS, CURBS, STEPS, PLUMBING & MECHANICAL SLEEVES, ETC.
6. VERIFICATION, PRIOR TO POURING ANY CONCRETE FOR FOUNDATIONS, IT IS RECOMMENDED THAT A LICENSED SURVEYOR CONFIRM THAT THE REQUIRED SETBACKS AS SHOWN ON THE APPROVED PLANS HAVE BEEN MAINTAINED.

FLOOR PLANS NOTES:

1. CAL GREEN, SEE SHEET GB.1 FOR CAL GREEN MANDATORY REQUIREMENTS
2. DOORS & WINDOWS, SEE SHEET A6.1 AND A6.2 FOR DOOR AND WINDOW SCHEDULES
3. UNDERSTAIR SPACES, ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDERSTAIR SURFACE, AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYP. BD. CRC 302.7
4. DRAFTSTOPS, SHALL BE INSTALLED IN FLOOR/CEILING ASSEMBLIES WHERE THERE IS A USABLE SPACE ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY. DRAFT STOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET AND IS DIVIDED INTO APPROXIMATELY EQUAL AREAS. CRC R302.12
5. SHOWERS, SHOWER AND TUB/SHOWER WALLS SHALL HAVE A NONABSORBENT SURFACE MIN. 72" ABOVE THE FLOOR, INSTALLED OVER FIBER-CEMENT BACKER BD. WATER-RESISTANT GYPSUM BACKING BOARD MAY NOT BE USED. CRC R307.2, R702.4
6. INTERIOR WATERPROOFING, AT ALL LOCATIONS SUBJECT TO EXPOSURE TO WATER, G.C. TO PROVIDE WATERPROOF MEMBRANE OVER HORIZONTAL AREAS AND UP WALLS 6" MIN ABOVE FINISH. CONCEALED WORK, MAINTAIN RECORD DRAWINGS, SPECIFICATIONS, AND PHOTOS OF CONCEALED WORK.
7. FRAMING, ALL NEW EXTERIOR WALLS TO BE 2X4 W.D. STUDS AT 16" O.C., TYP. UNLESS OTHERWISE NOTED. ALL NEW INTERIOR WALLS TO BE 2X4 W.D. STUDS AT 16" O.C., TYP. UNLESS OTHERWISE NOTED.
8. ROUGH OPENINGS, CONTRACTOR TO VERIFY ROUGH OPENINGS SHOWN ON PLAN OR SCHEDULES WITH REQUIREMENTS OF UNITS TO BE INSTALLED PRIOR TO FRAMING OPENINGS.
9. ATTIC ACCESS, PROVIDE MIN 22" X 30" ACCESS OPENING TO ATTICS GREATER THAN 30 SF AND WITH 30" MIN HEADROOM. THRU WALL ACCESS OPENING SHALL BE MIN 22" WIDE X 30" TALL.

INSULATION NOTES:

1. SEE TITLE 24 ENERGY REPORT FOR REQUIRED INSULATION VALUES.
2. INSULATION SHALL CONFORM TO FLAME-SPREAD RATING AND SMOKE DENSITY REQUIREMENTS OF CRC R302.10
3. AFTER INSTALLING INSULATION, THE INSTALLER SHALL POST AN INSULATION CERTIFICATE, SIGNED BY THE INSTALLER AND THE BUILDER, IN A CONSPICUOUS LOCATION IN THE BUILDING, STATING THAT THE INSTALLATION CONFORMS WITH THE REQUIREMENTS OF TITLE 24, PART 2, CH. 2-53 OF THE CALIFORNIA ADMINISTRATIVE CODE

WALL LEGEND:

	(E) WALL
	(E) WALL TO BE REMOVED
	(N) 2x4 WALL
	(E)(N) 1 HR. RATED WALL
	(E)(N) 2X6 WALL



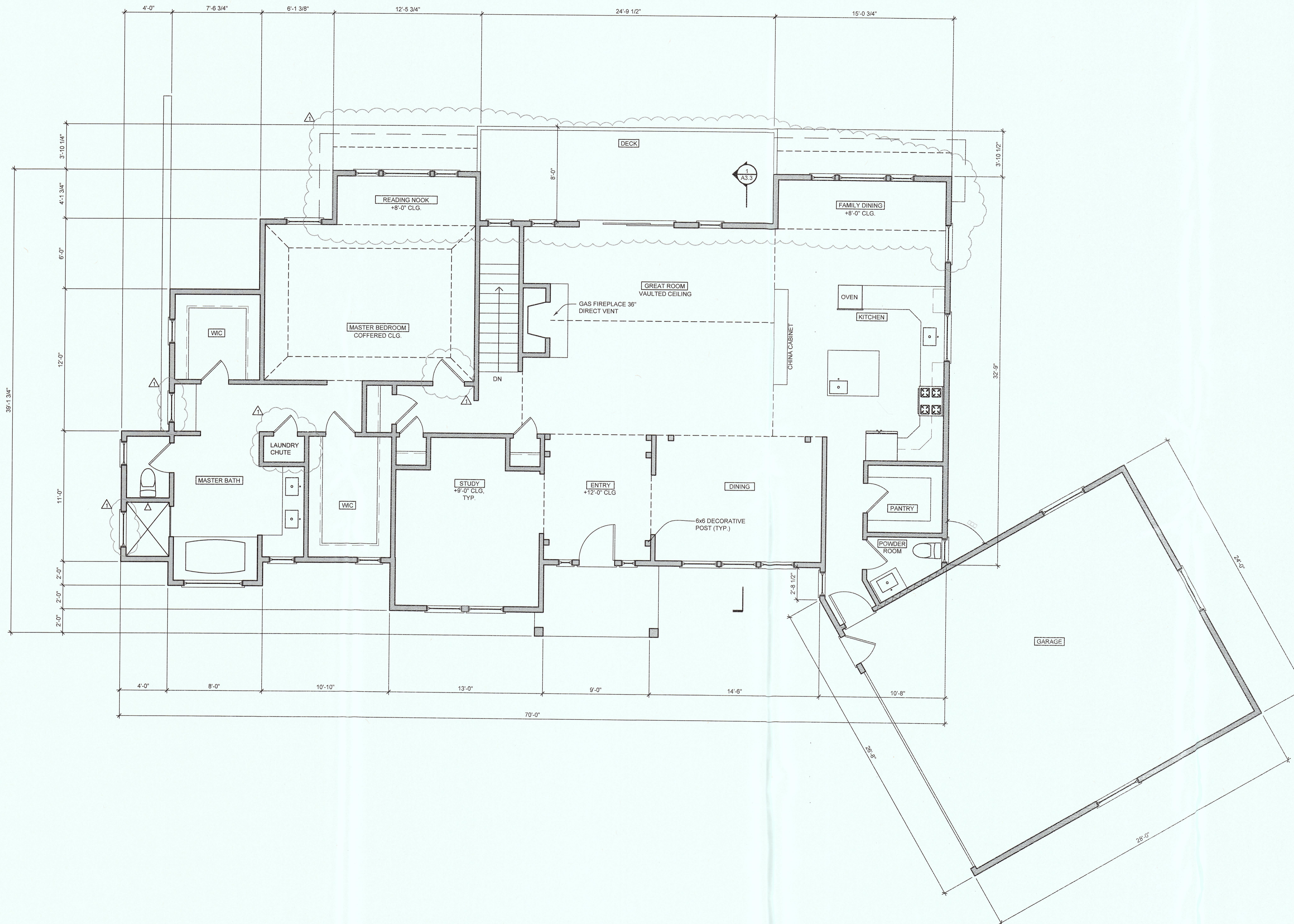
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FIRST FLOOR PLAN

JOB #: 1808

FLOOR PLAN NOTES:
 1. REFERENCE. SEE SHEET A2.1 FOR TYPICAL FLOOR PLAN NOTES. SEE SHEET E2.1 FOR TYPICAL MECHANICAL, ELECTRICAL, AND PLUMBING NOTES



BRASHER RESIDENCE
 MEADOW #3 LOTS 32-37 BAY VIEW ROAD
 MONTARA, CA 94044



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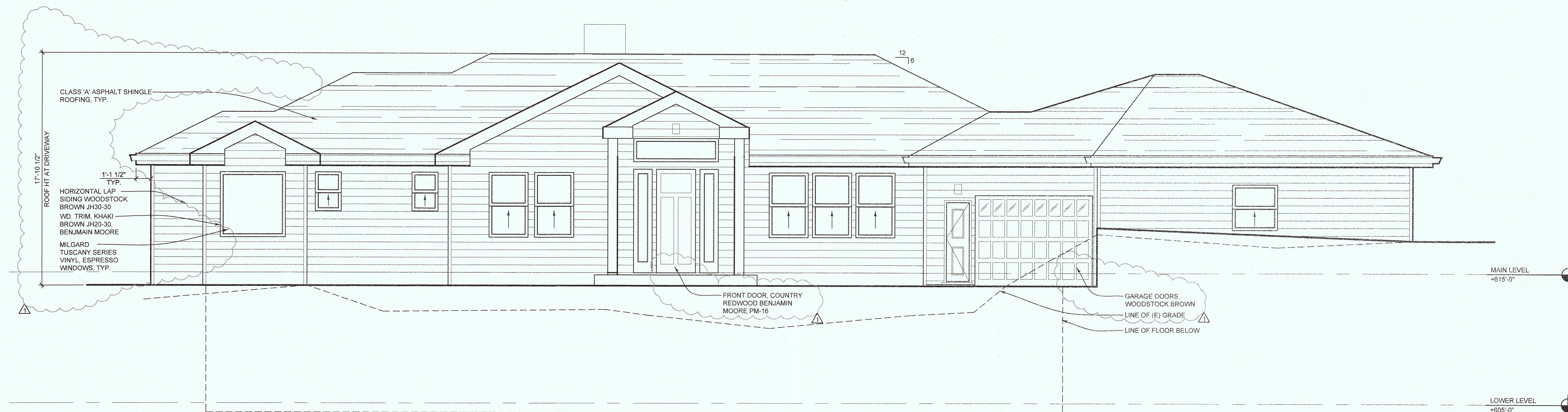
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SECOND FLOOR PLAN

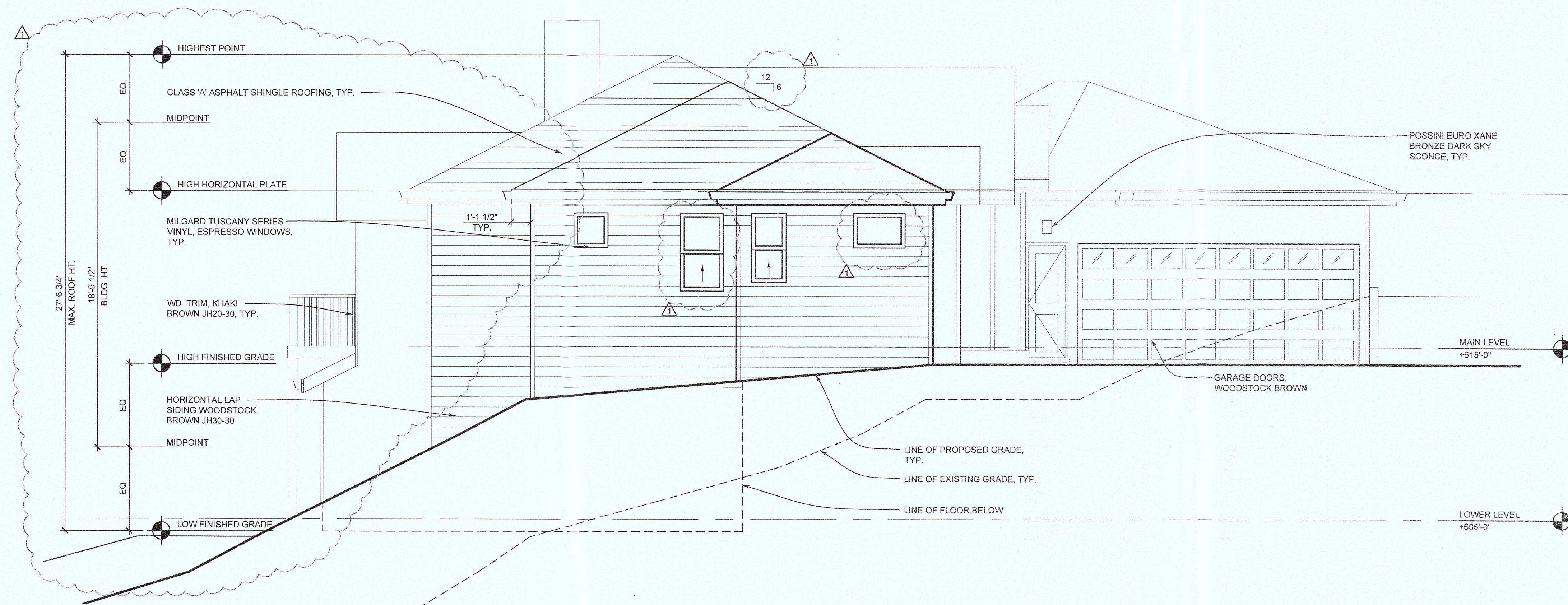
JOB #: 1808

A2.2

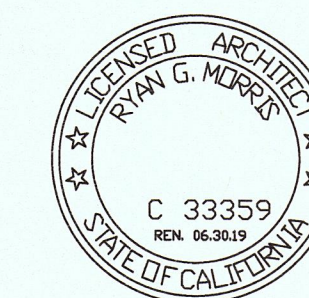




2 PROPOSED EAST ELEVATION
 A3.1 1/4"=1'-0"



1 PROPOSED SOUTH ELEVATION
 A3.1 1/4"=1'-0"



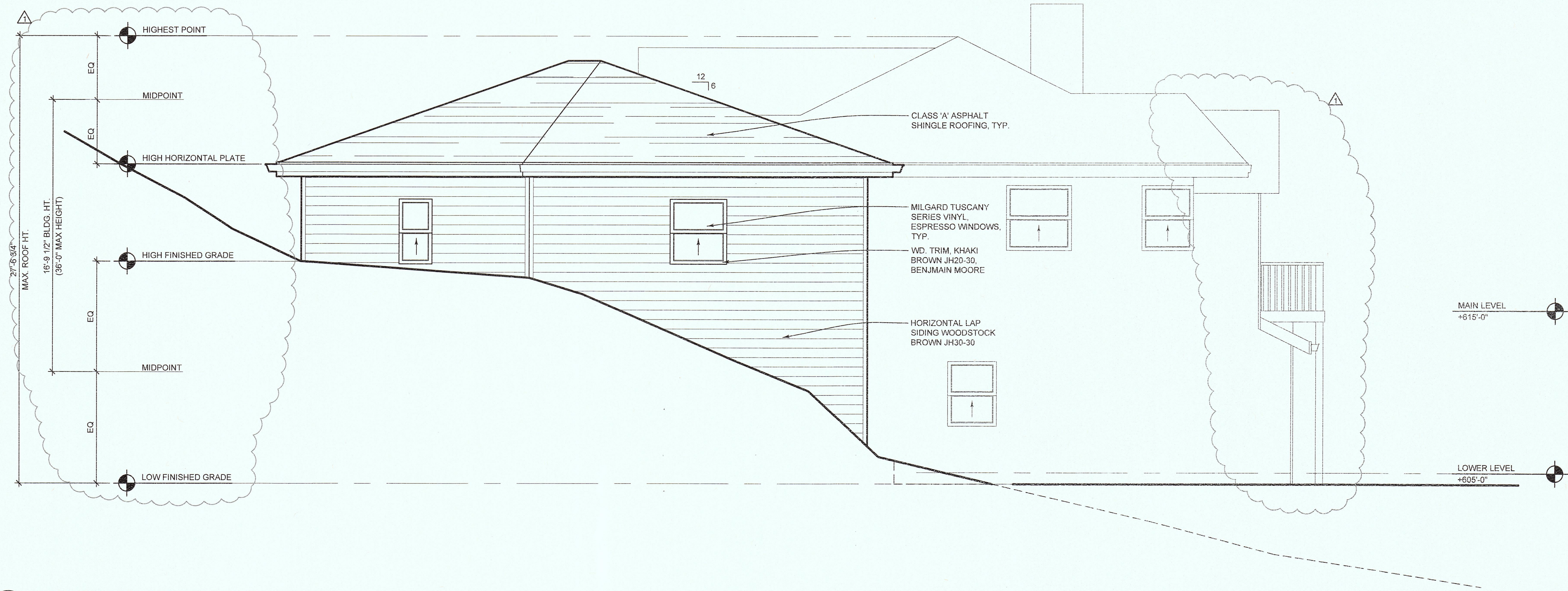
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EXTERIOR ELEVATIONS

JOB #: 1808

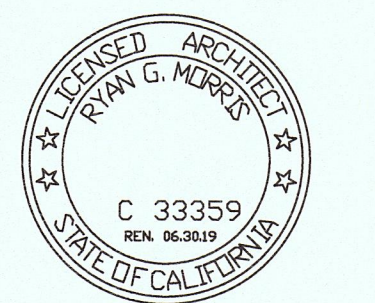
A3.1



2 PROPOSED NORTH ELEVATION
A3.2 1/4"=1'-0"



1 PROPOSED WEST ELEVATION
A3.2 1/4"=1'-0"



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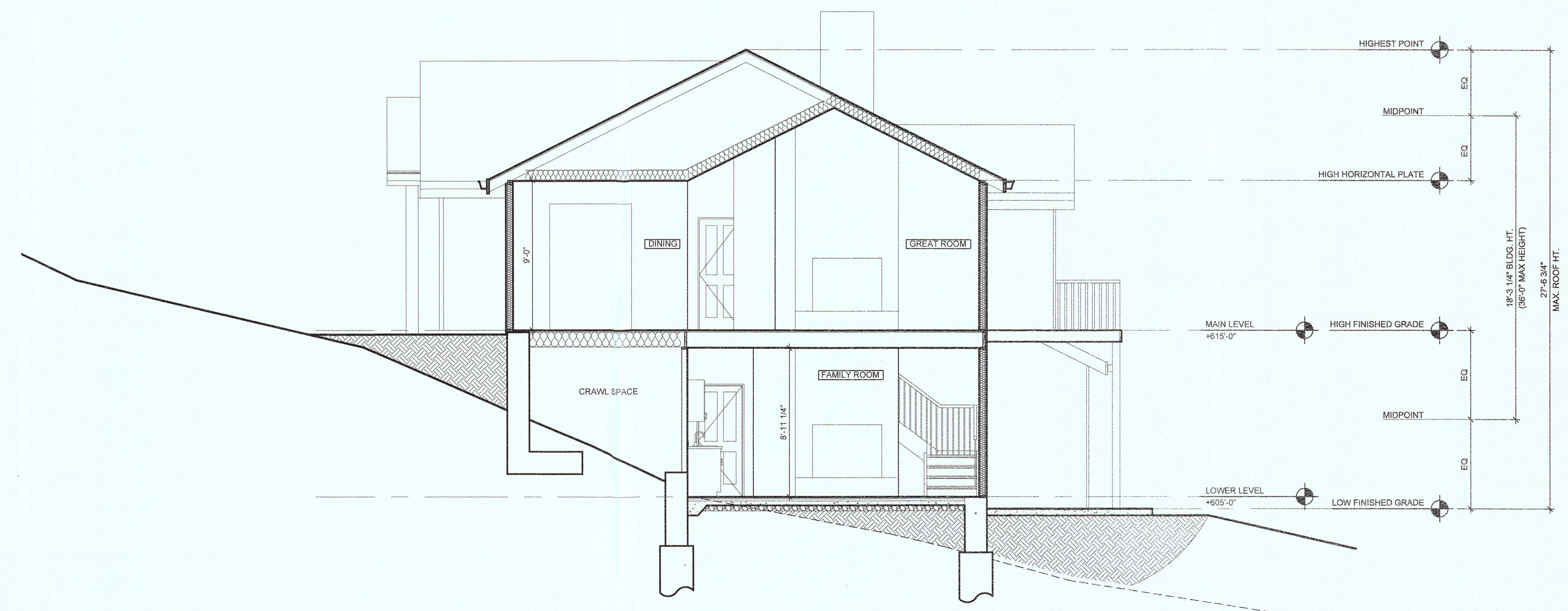
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EXTERIOR ELEVATIONS

JOB #: 1808

A3.2

BRASHER RESIDENCE
 MEADOW #3 LOTS 32-37 BAY VIEW ROAD
 MONTARA, CA 94044



1 BUILDING SECTION AA
 A3.3 1/4"=1'-0"



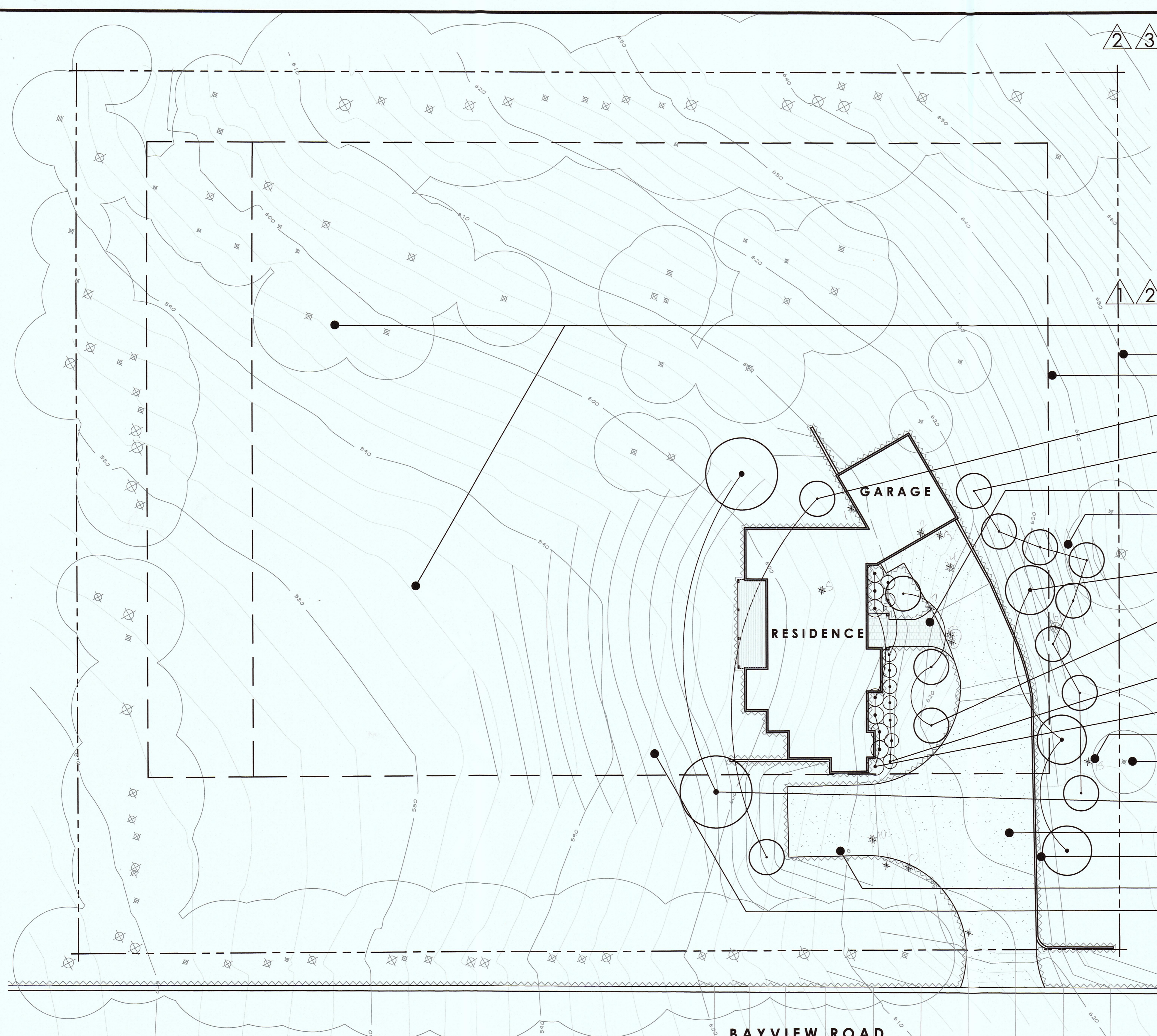
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BUILDING SECTIONS

JOB #: 1808

A3.3



PLANT LEGEND			
TREES	SIZE	BOTANICAL NAME	COMMON NAME
CER. OCC.	15 GAL.	CERCIS OCCIDENTALIS	WESTERN REDBUD
LAU. NOB.	15 GAL.	LAURUS NOBILIS	BAY LAUREL
RHA. IND.	15 GAL.	RHAPHIOLEPIS INDICA	INDIAN HAWTHORN
SHRUBS	SIZE	BOTANICAL NAME	COMMON NAME
COR. HYB.	1 GAL.	CORREA HYBRID 'IVORY BELLS'	WHITE AUSTRALIAN FUCHSIA
SAL. CHA.	5 GAL.	SALVIA CHAMAEDRYOIDES	GERMANDER SAGE

LAYOUT LEGEND	
⊙	DIMENSIONAL STARTING POINT
TYP.	TYPICAL
EQ.	EQUAL
—	ALIGN
∠	ANGLE MEASUREMENT
---	PROPERTY LINE
---	CENTER LINE
⊕	EXISTING TREE TO REMAIN
✱	EXISTING TREE TO BE REMOVED
⊞	INDICATES PLANTING AREA
Ⓟ	INDICATES DETAIL NUMBER
Ⓝ	INDICATES PAGE NUMBER

IRRIGATION EFFICIENCY STATEMENT
 "I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE AND HAVE APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN"
 7-16-18

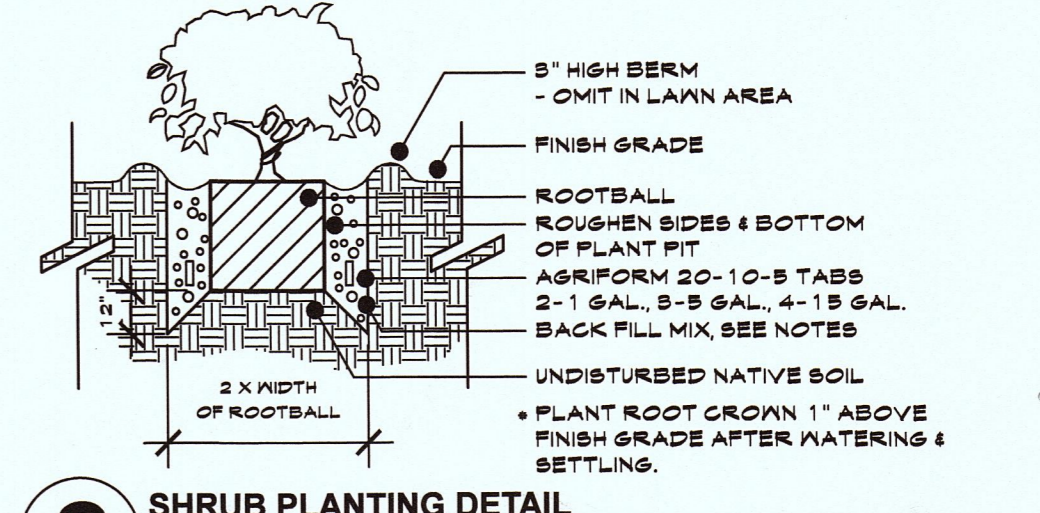
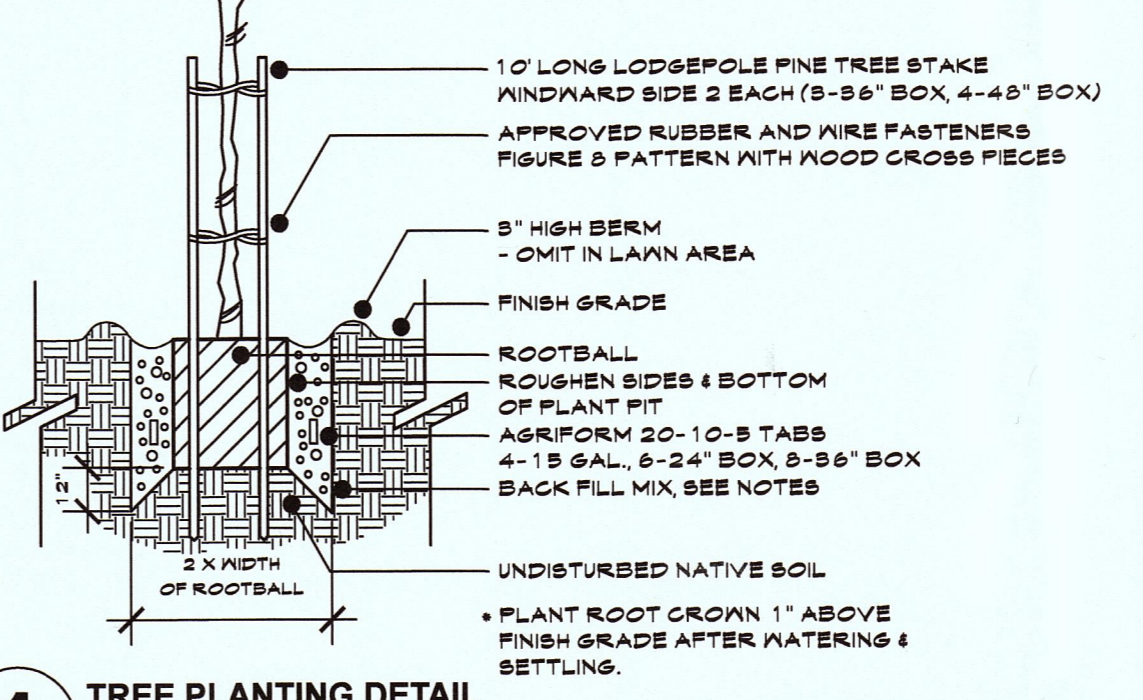
PLANTING NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES & STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF SAID UTILITIES.
- DO NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS, ARE DISCREPANCIES AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING THE DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH THE PLANTING OPERATION.
- SEE DETAILS FOR STAKING METHOD, PLANT PIT DIMENSIONS AND BACKFILL REQUIREMENTS.
- ALL PLANT PITS SHALL BE FREE FROM ROCKS AND DEBRIS GREATER THAN 2" IN DIAMETER.
- PLANT MATERIAL LOCATIONS ARE DIAGRAMMATIC AND SUBJECT TO CHANGE IN THE FIELD AS DIRECTED BY THE LANDSCAPE ARCHITECT. LOCATE PLANT MATERIALS TO SCREEN UTILITIES, IRRIGATION DEVICES, ETC. AS MUCH AS POSSIBLE YET ALLOW ACCESS TO THEM.
- THE OWNER RESERVES THE RIGHT TO MAKE SUBSTITUTIONS, ADDITIONS AND DELETIONS IN THE PLANTING SCHEME AS NECESSARY WHILE WORK IS IN PROGRESS. SUCH CASES ARE TO BE ACCOMPANIED BY EQUITABLE ADJUSTMENTS IN THE CONTRACT PRICE IF WHEN NECESSARY.
- ALL PLANT MATERIAL SHALL BE APPROVED FOR QUALITY BY THE OWNER AND LANDSCAPE CONTRACTOR PRIOR TO INSTALLATION.
- FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER AND/OR LANDSCAPE CONTRACTOR. LOCATION SHALL BE APPROVED PRIOR TO EXCAVATION.
- LANDSCAPE CONTRACTOR TO RECEIVE SITE GRADED WITHIN 10 FOOT OF FINISHED GRADE. CONTRACTOR SHALL ACCEPT GRADE PRIOR TO COMMENCING WORK. STARTING WORK IMPLIES AN ACCEPTANCE OF GRADE. FINAL GRADES SHALL BE ADJUSTED AS DIRECTED BY OWNER. ALL GRADING SHALL BE COMPLETE PRIOR TO COMMENCEMENT OF PLANTING OPERATIONS.
- CONTRACTOR SHALL NOTIFY OWNER SEVEN (7) DAYS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT SCHEDULES AS REQUIRED.
- AMEND THE TOP 6"-8" OF TOP SOIL WITH A 3" LAYER NITROGEN AND IRON STABILIZED REDWOOD SOIL CONDITIONER SUCH AS GROWER'S WONDER GROW OR EQUAL IN ALL AREAS. THE PLANT BACK FILL MIX SHALL CONSIST OF 1 PART REDWOOD SOIL AND 1 GALLON GROUND COVER PLANTS SHALL CONSIST OF 1 PART REDWOOD SOIL CONDITIONER AND 1 PART NATIVE SOIL. PLANT BACKFILL MIX AND THE TOPSOIL AMENDMENT SHALL CONTAIN PER CUBIC YARD:
 2.5 LBS. MIXTURE OF COMMERCIAL FERTILIZER (20-10-10 OR EQUAL)
 1.0 LBS. UREA FORMALDEHYDE (30-0-0)
 1.0 LBS. IRON SULFATE
- ALL WORK SHALL BE INSTALLED IN CONFORMANCE WITH LOCAL CODES AND ORDINANCES. THE LANDSCAPE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, PROTECTING EXISTING TREES AS NECESSARY, FENCE AS NECESSARY, LOCATE ALL UTILITIES BEFORE PROCEEDING WITH THE WORK. COORDINATE ALL DIGGING AND TRENCHING PRIOR TO BEGINNING WORK WITH PROJECT SUPERVISOR FIRST.
- APPLY 'RONSTAR' OR 'ELANCO XL' PRE-EMERGENT HERBICIDE TO ALL PLANTED AREAS. APPLY HERBICIDE IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECS. THE LANDSCAPE SHALL BE WEED FREE AT THE TIME OF THE FINAL WALK-THROUGH.
- INSTALL 3" LAYER OF MINI FIR BARK MULCH IN ALL NEWLY PLANTED AREAS.

NOTES

- EXTENT OF PROPOSED IRRIGATED LANDSCAPE IS 2,488 SQ. FT.
- SEE SHEET LP-2 FOR SPECIFIC HYDROZONES
- COORDINATE W/ JOB SUPERINTENDENT LOCATION AND CONNECTION OF IRRIGATION CONTROLLER TO 110VOLT POWER SUPPLY. INSTALL PER LOCAL CODES AND ORDINANCES.
- AVOID SOIL COMPACTION IN EXISTING AND PROPOSED LANDSCAPED AREAS. ALL EQUIPMENT OR STOCKPILING SHOULD BE LOCATED AWAY FROM ALL PROPOSED TREES TO REMAIN.
- UNLESS CONTRADICTED BY A SOILS TEST, COMPOST AT RATE OF A MINIMUM OF 4 CUBIC YARDS PER 1,000 SQ. FT. OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF 6 INCHES INTO THE SOIL.
- A MINIMUM 3" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUND COVERS, OR DIRECT SEATING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
- AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.
- HYDROSEEDING CA NATIVE MIX TO INCLUDE: CALIFORNIA BROME, BLUE FESCUE, TOMCAT CLOVER, COMMON BARLEY
- UNDERGROUND SERVICE ALERT; BEFORE EXCAVATING CALL U.S.A. UNDERGROUND SERVICE ALERT. CALL TOLL FREE: 800-227-2600, 48 HOURS BEFORE ALL PLANNED WORK OPERATIONS.

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GENERAL NOTES

- ALL WORK SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE CODES AND ORDINANCES BY EXPERIENCED WORKMEN AND A LICENSED LANDSCAPE CONTRACTOR.
- CONTRACTOR TO FAMILIARIZE HIM / HERSELF WITH ALL ON SITE CONDITIONS PRIOR TO BIDDING PROJECT.
- THE CONTRACTOR SHALL VERIFY ALL DISTANCES AND DIMENSIONS IN THE FIELD; ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND LANDSCAPE ARCHITECT FOR A DECISION BEFORE PROCEEDING WITH ANY WORK.
- CONTRACTOR SHALL NOT MAKE ANY FIELD CHANGES UNLESS AUTHORIZED BY THE OWNER AND LANDSCAPE ARCHITECT. ANY UNAUTHORIZED CHANGES SHALL BE CORRECTED TO CONFORM WITH THE PLANS AT NO COST TO THE OWNER.
- VERIFY THE LOCATION OF ALL UTILITIES AND PROTECT AT ALL TIMES. CONTRACTOR TO PAY FOR ANY DAMAGES TO UTILITIES. TELEPHONE U.S. ALERT TO LOCATE ANY UTILITY LOCATIONS IN DOUBT. ALLOW TWO DAYS LEAD TIME. (800) 227-2600. THE LOCATION AND PROTECTION OF ALL UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH ELECTRICAL AND PLUMBING WORK.
- THE CONTRACTOR SHALL SECURE PERMITS FOR ALL WORK FROM THE APPROPRIATE GOVERNMENTAL AGENCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE AND LIABLE FOR ANY AND ALL DAMAGE DUE TO OPERATIONS, OR NEGLECT OF SUB-CONTRACTORS.
- ALL PROPERTY AND LOT LINES SHALL BE VERIFIED PRIOR TO COMMENCING WORK.
- WRITTEN DIMENSIONS SHOWN ON DRAWINGS SHALL IN ALL CASES TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- ALL DIMENSIONS ARE FROM OUTSIDE THE FACE OF PAVING, WALLS, ETC., UNLESS OTHERWISE NOTED ON PLANS.
- NOTES AND DETAILS ON SPECIFIC DRAWINGS TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
- CONTRACTOR TO PROTECT EXISTING TREES FROM DAMAGE DURING CONSTRUCTION AND SHALL BE RESPONSIBLE FOR REPAIR AND REPLACEMENT OF ANY PLANTS DAMAGED OR DESTROYED DURING CONSTRUCTION AT CONTRACTOR'S OWN EXPENSE.
- ALL GRADING SHALL BE IN ACCORDANCE WITH LOCAL GRADING CODES AND ORDINANCES. THE CONTRACTOR SHALL OBTAIN, COORDINATE AND PAY FOR ANY AND ALL ADDITIONAL PERMITS AND ALL INSPECTIONS REQUIRED.
- CONTRACTOR SHALL GRADE SITE SO THAT THE SITE HAS POSITIVE DRAINAGE.
- LANDSCAPE AREAS SHALL DRAIN AWAY FROM ALL BUILDINGS AND FACILITIES AT 5% MIN. OR AS SHOWN ON PLANS.
- LANDSCAPE MOUNDS AND FILL AREAS SHALL BE SPREAD IN LOOSE LIFTS OF 6" OR LESS AND COMPACTED BY WATER SATURATION TO A DEGREE OF 95% OR GREATER.
- EXPORTED SOIL AND DEBRIS SHALL GO TO A LEGAL DUMP SITE.
- ALL LANDSCAPE AREAS SHALL BE SMOOTH IN CHARACTER AND SHALL HAVE NATURAL TRANSITIONS BETWEEN CONTOURS AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- ALL MATTER OF DEBRIS SHALL BE REMOVED BY THE CONTRACTOR FROM THE SURFACE UPON WHICH FILL IS TO BE PLACED.
- THE CONTRACTOR SHALL STAKE THE LAYOUT FOR THE WALKWAYS, WALLS, FENCES, PRIOR TO CONSTRUCTION FOR LANDSCAPE ARCHITECT AND OWNERS REVIEW.
- THE CONTRACTOR SHALL SUBMIT SAMPLES OF ALL FINISHES, COLORS AND PAVING MATERIALS TO THE LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL BEFORE PROCEEDING WITH THE WORK.
- ALL CONCRETE FLATWORK LAYOUT SHALL BE APPROVED BY OWNER PRIOR TO INSTALLATION.
- ALL WALLS AND WALKS SHALL HAVE A SMOOTH, CONTINUOUS CURVES AS INDICATED ON PLANS. JOIN ALL EXISTING PAVING FLUSH.
- THE CONTRACTOR SHALL PROVIDE SLEEVES UNDER WALKWAYS, WALLS, FENCES PRIOR TO CONSTRUCTION FOR LANDSCAPE ARCHITECT AND OWNERS REVIEW.
- ALL PLANTING AREAS SHALL RECEIVE A 3" MINIMUM LAYER OF MINI FIR BARK OR ARBOR MULCH.
- SITE INFORMATION WAS TAKEN FROM DRAWINGS PREPARED BY SIGMA PRIME GEOSCENCES INC. 322 PRINCETON AVENUE HALF MOON BAY, CA (650) 728-3590 DECEMBER 2016. BRING ANY DISCREPANCIES TO CONTRACTOR FOR A DECISION.

JOHN DALRYMPLE
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 Redwood City, CA 94063
 www.johndalrymple.com

BRASHER PROPERTY
 'MEADOW HOUSE'
 BAY VIEW ROAD
 MONTARA, CA 94037
 APN 036-243-110

LANDSCAPE DESIGN & PLANTING PLAN

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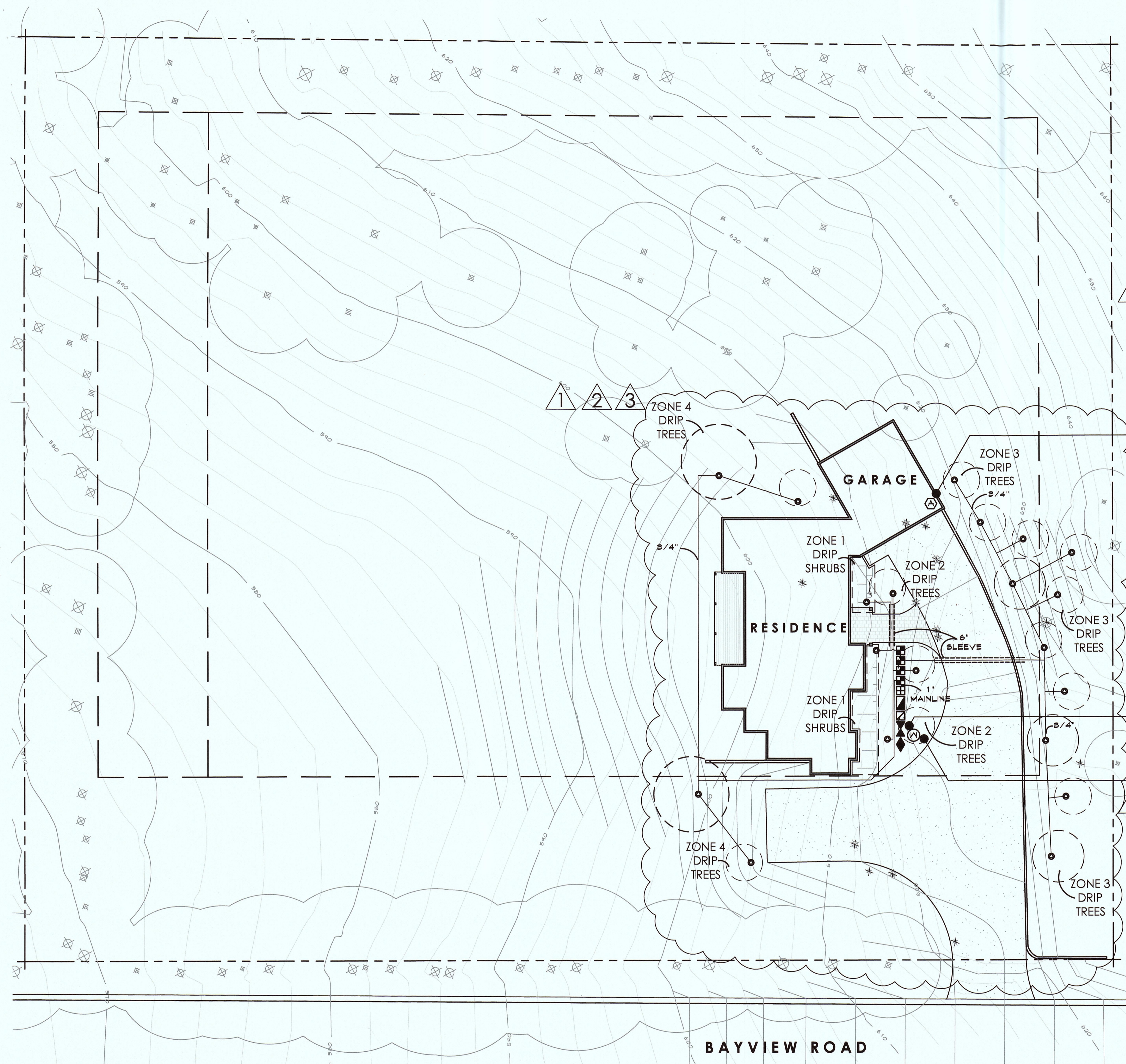
DATE
 9-12-17

REVISIONS
 9-22-17
 PLAN CHECK COMMENTS
 10-4-17
 PLAN CHECK COMMENTS
 7-16-18
 CDRC COMMENTS

SCALE
 1/16" = 1'-0"

NORTH

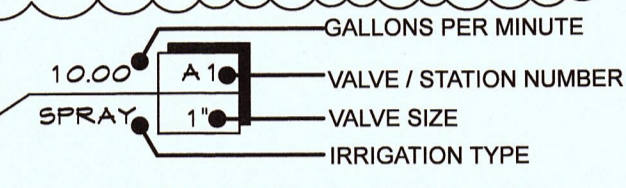
SHEET
 LP-1



IRRIGATION LEGEND

- ◆ IRRIGATION POINT OF CONNECTION
- ◻ DEDICATED IRRIGATION WATER METER
NETAFIM 1" WATER METER, CAST IRON BODY
W/ REED SWITCH MONITOR OR EQ. MODEL M-25T-ER
AVAILABLE: WWW.NETAFIMUSA.COM
- ⊙ WELL LOCATION
- ⊙ 6 STATION HUNTER PCC CONTROLLER
W/ PLASTIC CABINET, & SOLAR SYNC WITH RAIN SENSOR TO BE INCLUDED OR EQ.
- ▭ REDUCED PRESSURE BACKFLOW PREVENTER, FEBCO 825Y 1"
WILKENS PRESSURE REDUCER ASSEMBLY, IF REQUIRED
IF PRESSURE EXCEEDS 70 P.S.I., SET TO 70 P.S.I.;
LINE SIZE, LOCATED IN LABELED PLASTIC BOX
- ⊗ NIBCO BALL VALVE; LINE SIZE, LOCATED IN LABELED PLASTIC BOX
- ⊙ 1" HUNTER PCZ-101 SERIES DRIVE REMOTE CONTROL VALVE ASSEMBLY
W/ HY100 FILTER SYSTEM & PRESET 40 PSI PRESSURE REGULATOR
- PVC PIPE TO 1/2" DRIP TUBING POINT OF CONNECTION
- SCH. 40 PVC IRRIGATION MAINLINE LINE, SIZE PER PLAN
- SCH. 40 PVC IRRIGATION LATERAL LINE, SIZE PER PLAN
- SCH. 40 PVC SLEEVE, SIZE PER PLAN

- IRRIGATION ZONES
- PLANTING AREAS TO BE DRIP IRRIGATION W/ NETAFIM INLINE DRIP LINES OR SALCO 1/2" AR DRIP TUBING MAINLINES & 1/2" TUBING TO PLANTS
1.0 GPH DRIP EMITTERS FOR G.C. / SHRUB AREAS AS FOLLOWS
1 GAL. - 1 EA. AT 6" FROM TRUNK / STEM
5 GAL. - 3 EA. AT 8" FROM TRUNK / STEM
15 GAL. - 4 EA. AT 12" FROM TRUNK
24" BOX - 6 EA. AT 16" FROM TRUNK



IRRIGATION CONTROLLER
W/ RAIN SENSOR SHUT OFF SEE LEGEND FOR SPEC.
CONNECT TO EXTERIOR GFCI PLUG
(PLUG BY OTHERS)
COORDINATE LOCATION OF PLUG
W/ PROJECT SUPERINTENDENT

- 35 GPM (0.58 GPM) A1 1" DRIP SHRUBS
- 12 GPM (0.20 GPM) A2 1" DRIP TREES FRONT
- 40 GPM (0.73 GPM) A3 1" DRIP TREES WALL
- 16 GPM (0.26 GPM) A4 1" DRIP TREES REAR

NOTES

- EXTENT OF PROPOSED IRRIGATED LANDSCAPE IS 2,488 SQ. FT. -IRRIGATION SHALL BE SCHEDULED BETWEEN 8:00 PM AND 10:00 AM UNLESS FAVORABLE WEATHER PREVENTS IT OR OTHERWISE REQUIRES IRRIGATION UNNECESSARY.
- COORDINATE W/ JOB SUPERINTENDENT LOCATION AND CONNECTION OF IRRIGATION CONTROLLER TO 110VOLT POWER SUPPLY. INSTALL PER LOCAL CODES AND ORDINANCES.
- AVOID SOIL COMPACTION IN EXISTING AND PROPOSED LANDSCAPED AREAS. ALL EQUIPMENT OR STOCKPILING SHOULD BE LOCATED AWAY FROM ALL PROPOSED TREES TO REMAIN.
- UNDERGROUND SERVICE ALERT: BEFORE EXCAVATING CALL U.S.A. UNDERGROUND SERVICE ALERT. CALL TOLL FREE: 800-227-2600, 48 HOURS BEFORE ALL PLANNED WORK OPERATIONS.

PROPOSED BALL VALVE, DEDICATED IRRIGATION WATER METER, BACKFLOW PREVENTION DEVICE, & PRESSURE REDUCER (IF REQUIRED) INSTALL PER ALL LOCAL CODES & ORDINANCES

WELL LOCATION & IRRIGATION POINT OF CONNECTION VERIFY FINAL LOCATION IN FIELD

WATER EFFICIENT LANDSCAPE CALCULATIONS

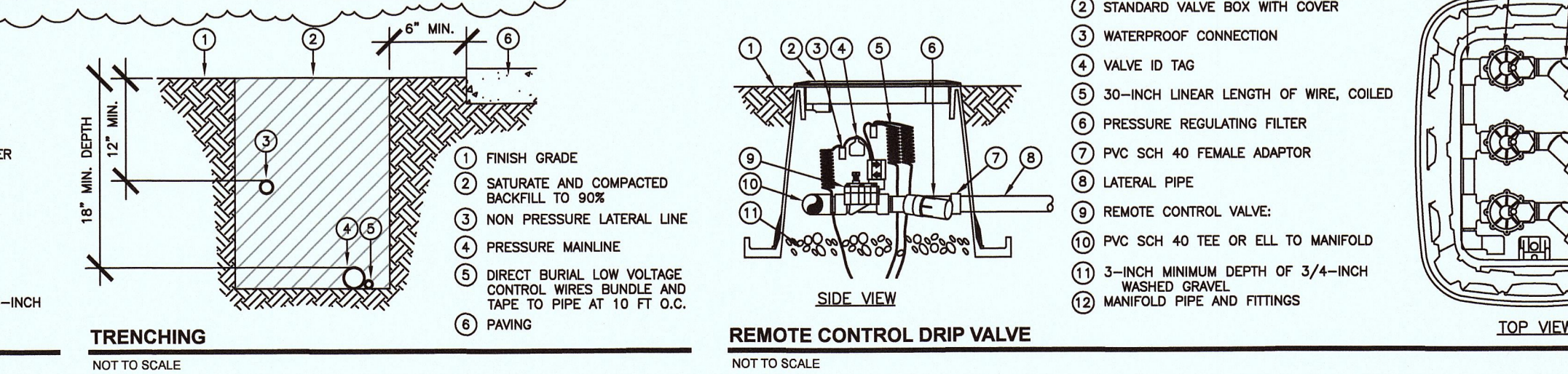
HYDROZONE / PLANT USE WATER TYPE / IRRIGATION METHOD	ZONES / VALVES	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY (IE)	ETAF (PF/IE)	HYDROZONE AREA % OF IRRIGATED LANDSCAPE AREA	ETAF X AREA	ESTIMATED TOTAL WATER USE (ETWU)
LOW WATER USE PLANTS DRIP	1	0.3	DRIP	0.81	0.37	345 SF 14%	128	2,674
LOW WATER USE TREES DRIP	2, 3, 4	0.3	DRIP	0.81	0.37	2,143 SF 86%	793	16,556
TOTAL:						2,488 SF	921	19,243

ESTIMATED ANNUAL GALLONS REQUIRED: 33.7 X 0.82 (ETAF X AREA) =
 ESTIMATED ANNUAL GALLONS ALLOWED: 33.7 X 0.82 X [(0.55 X LA) + (1- ETAF X SLA)] =

REGULAR LANDSCAPE AREAS: TOTAL ETAF X AREA 1,116; TOTAL AREA 2,488; AVERAGE ETAF .38
 ALL LANDSCAPE AREAS: TOTAL ETAF X AREA 1,116; TOTAL AREA 2,488; SITEWIDE ETAF .38

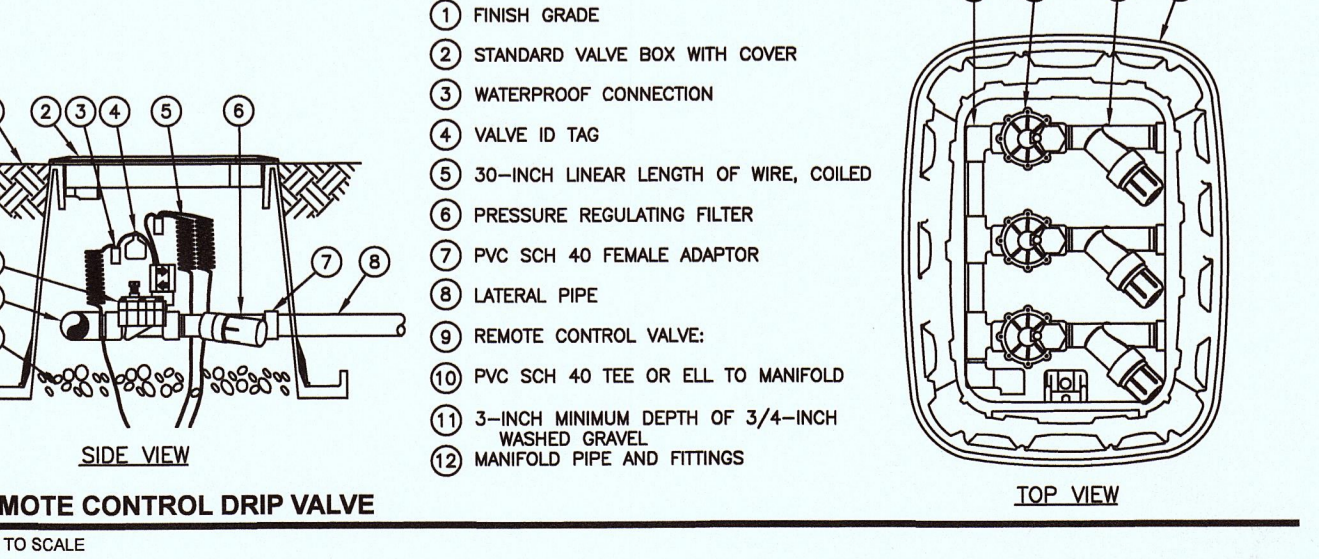
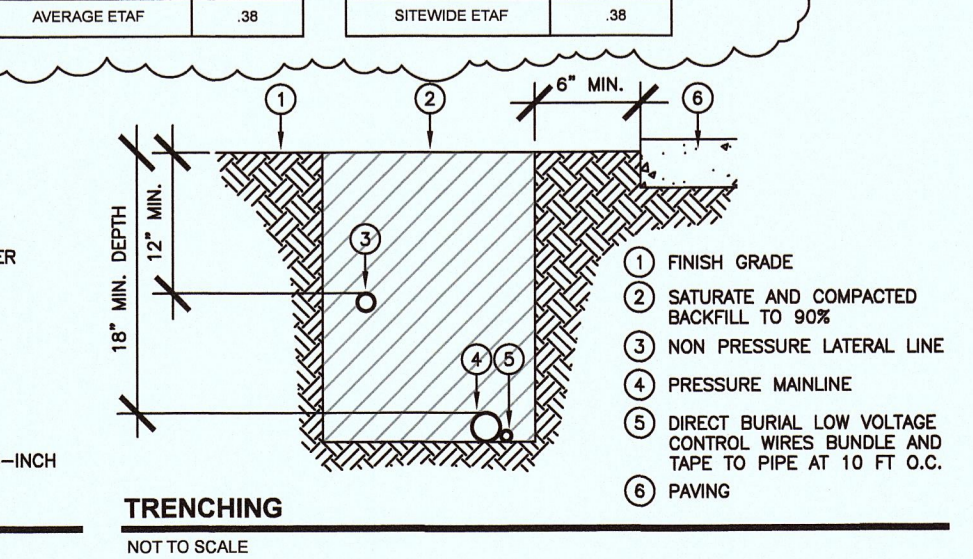
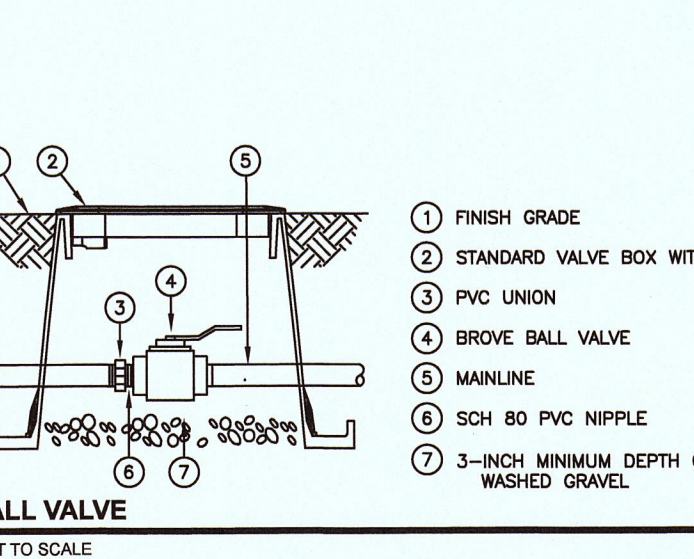
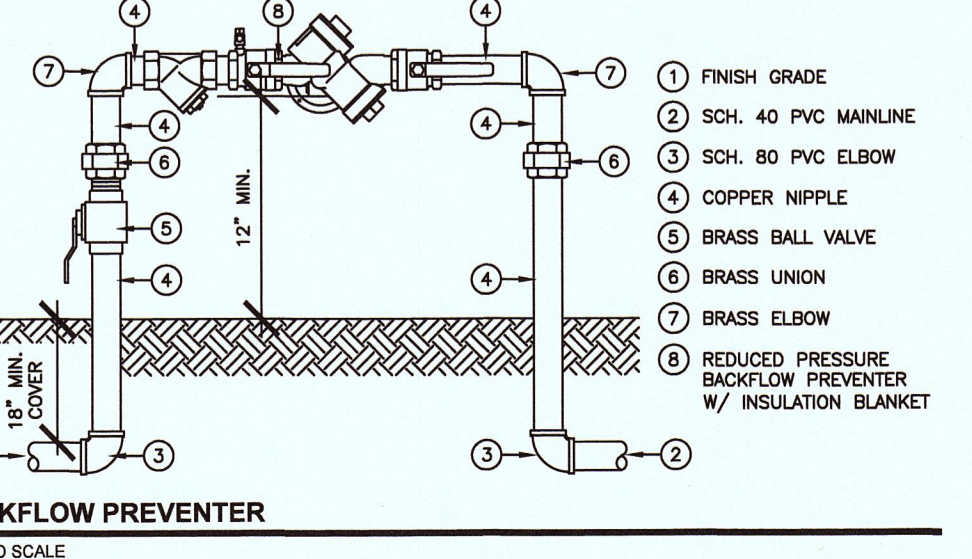
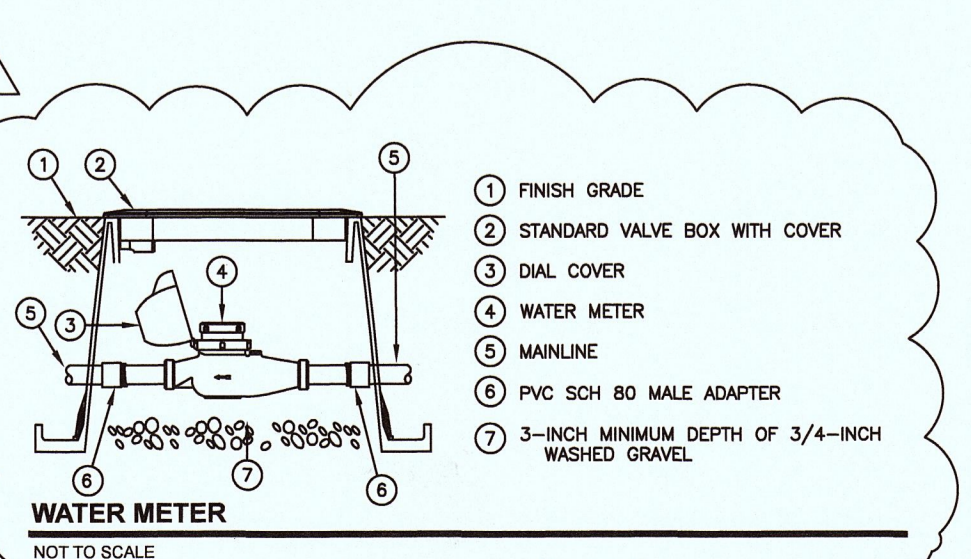
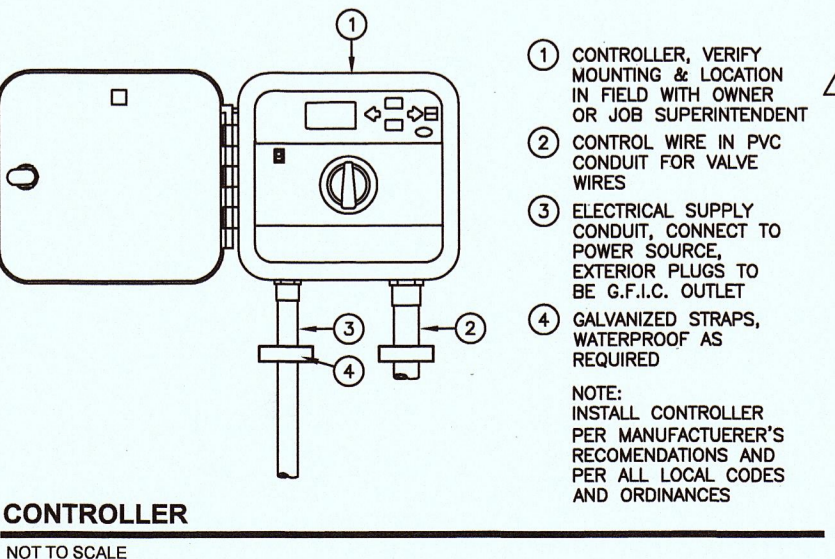
ETAF CALCULATIONS: ETAF FOR REGULAR LANDSCAPE AREAS MUST BE 0.55 OR BELOW FOR RESIDENTIAL AREAS.
 REGULAR LANDSCAPE AREAS: TOTAL ETAF X AREA 1,116; TOTAL AREA 2,488; AVERAGE ETAF .38
 ALL LANDSCAPE AREAS: TOTAL ETAF X AREA 1,116; TOTAL AREA 2,488; SITEWIDE ETAF .38

REGULAR LANDSCAPE AREAS	ALL LANDSCAPE AREAS
TOTAL ETAF X AREA 1,116	TOTAL ETAF X AREA 1,116
TOTAL AREA 2,488	TOTAL AREA 2,488
AVERAGE ETAF .38	SITEWIDE ETAF .38

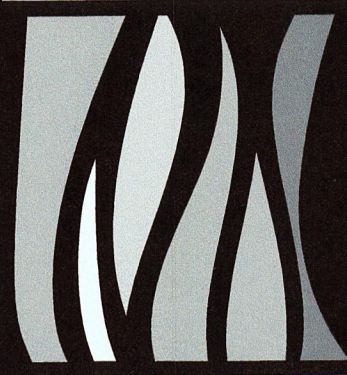


IRRIGATION NOTES

1. THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES ETC. SHOWN WITHIN THE PAVED AREAS OR BUILDINGS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHERE POSSIBLE. AVOID CONFLICTS WITH PLANTING, PIPINGS, UTILITIES AND ARCHITECTURE WHERE POSSIBLE.
2. DO NOT WILLFULLY INSTALL THE SYSTEMS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES, GPM AVAILABILITY OR PRESSURES EXIST THAT MAY NOT HAVE BEEN INCLUDED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND LANDSCAPE ARCHITECT FOR A DECISION. IN THE EVENT THAT NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITIES FOR ANY REVISIONS NECESSARY TO CORRECT THE IRRIGATION SYSTEM.
3. 120 VOLT ELECTRICAL POWER OUTLET AT THE IRRIGATION CONTROLLER LOCATION SHALL BE PROVIDED BY OTHERS. THE IRRIGATION CONTRACTOR SHALL MAKE FINAL HOOK-UP FROM REMOTE CONTROL VALVES TO CONTROLLER.
4. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE THEMSELVES WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, UTILITIES, PIPING, BUILDINGS, ETC. THE IRRIGATION CONTRACTOR SHALL COORDINATE WITH THEIR WORK WITH THE GENERAL CONTRACTOR FOR THE INSTALLATION OF PIPE SLEEVES THROUGH WALLS, UNDER ROADWAYS, STRUCTURES, ETC. THE IRRIGATION SYSTEM SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES BY A LICENSED LANDSCAPE CONTRACTOR AND EXPERIENCED WORKMEN. CONTRACTOR TO OBTAIN AND PAY FOR ALL IRRIGATION PERMITS AND REQUIREMENTS CONTRACTOR TO CONFIRM THE LOCATION OF EXISTING UTILITIES AND UNDERGROUND STRUCTURES PRIOR TO EXCAVATION OF TRENCHES. CONTRACTOR TO REPAIR ANY DAMAGE CAUSED BY, OR DURING THE PERFORMANCE OF HIS WORK AT NO ADDITIONAL COST TO THE OWNER.
5. SYSTEM IS BASED UPON A STATIC MAINLINE PRESSURE OF 70 PSI. A PRESSURE REDUCER MAY (MAY NOT) BE REQUIRED SO THAT THE STATIC MAINLINE PRESSURE AS MEASURED AT THE POINT OF CONNECTION (AFTER THE BACK FLOW DEVICE) IS 70 PSI. AFTER CALCULATING PRESSURE LOSSES, THE SYSTEM IS DESIGNED TO OPERATE AT APPROXIMATELY 35-40 PSI WORKING PRESSURE AT THE HEADS. THROUGH ANY ONE VALVE, THE SYSTEM IS DESIGNED TO OPERATE AT A MAXIMUM OF 13 GPM.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SLEEVING REQUIRED FOR ELECTRICAL AND IRRIGATION. CONTRACTOR TO COORDINATE AND LOCATE ANY ELECTRICAL AND IRRIGATION SLEEVES PRIOR TO CONCRETE POUR. LANDSCAPE ARCHITECT TO REVIEW LAYOUT PRIOR TO CONCRETE POUR. SLEEVES TO BE SCH. 40 PVC PIPE, SET 2" SAND BED CONTINUOUS AROUND ENTIRE SLEEVE, WITH MARKING TAPE AT EACH END. EXTEND PAST PAVING 6".
7. TRENCHES ARE TO BE OF SUFFICIENT DEPTH TO PROVIDE 18" OF COVER OVER MAINLINE AND LATERAL LINES PRIOR TO THE INSTALLATION OF IRRIGATION HEADS. MAINLINE TO BE VISUALLY INSPECTED FOR LEAKS UNDER FULL OPERATING PRESSURE PRIOR TO BACKFILLING. MAINLINES UNDER STREETS AND DRIVE WAY TO BE 24" MINIMUM DEPTH.
8. FLUSH MAINLINES PRIOR TO THE INSTALLATION OF REMOTE CONTROL VALVES. FLUSH LATERAL LINES PRIOR TO THE INSTALLATION OF IRRIGATION HEADS. MAINLINE TO BE VISUALLY INSPECTED FOR LEAKS UNDER FULL OPERATING PRESSURE PRIOR TO BACKFILLING.
9. IRRIGATION CONTROL WIRE SHALL BE #14 UL APPROVED FOR DIRECT BURIAL. COMMON WIRE SHALL BE #14 UL APPROVED FOR DIRECT BURIAL WHITE OR COLOR. WIRES TO BE MULTI-STRAND #18-9 REMOTE CONTROL VALVES SHALL BE A COLOR OTHER THAN WHITE. ALL SPLICES SHALL BE MADE WITHIN REMOTE CONTROL VALVE BOXES. LEAVE 24" EXCESS WIRE COIL AT REMOTE CONTROL LOCATIONS.
10. REMOTE CONTROL VALVE BOXES SHALL BE INSTALLED FLUSH WITH FINISH GRADE (NOT NECESSARILY PLUMB). ALIGN VALVE BOXES WITH ADJACENT PAVEMENT EDGES OR STRUCTURES. VALVE BOXES SHALL BE PLASTIC WITH BOLT DOWN LIDS AND WHITE NUMBERED VALVE STATIONS IN STENCILS. ALL EXCAVATIONS SHALL BE BACKFILLED TO 90% COMPACTION MIN. CONTRACTOR TO REPAIR SETTLED TRENCHES ONE YEAR AFTER COMPLETION OF WORK.
11. CONTRACTOR TO MAKE MINOR ADJUSTMENTS IN HEAD LOCATIONS AND ADJUST HEADS FOR RADIUS (ARC IF APPLICABLE) TO OPTIMUM COVERAGE AND ELIMINATE SPRAYING INTO PAVEMENT, BUILDINGS AND WALLS. ADD HEADS AS NECESSARY FOR HEAD TO HEAD COVERAGE. INSTALL FLAT HEADS NEAR BUILDINGS.
12. CONTRACTOR TO MAINTAIN A SET OF "AS-BUILT" DRAWINGS THROUGHOUT THE COURSE OF CONSTRUCTION AND DELIVER THESE DRAWINGS TO THE OWNER UPON THE COMPLETION OF WORK. THE DRAWINGS SHALL BE IN REPRODUCIBLE FORM.
13. CONTRACTOR SHALL GUARANTEE THE SYSTEM AND MATERIALS TO BE FREE FROM DEFECTS FOR A PERIOD OF ONE YEAR STARTING WITH THE ACCEPTANCE AT THE FINAL SITE REVIEW.
14. ALL HEADS WHICH MAY EXPERIENCE LOW HEAD DRAINAGE SHOULD HAVE IN-LINE OR IN-HEAD CHECK VALVES INSTALLED.
15. THE IRRIGATION CONTRACTOR SHOULD ARRANGE WITH THE LANDSCAPE ARCHITECT AND OWNER FOR A SITE REVIEW OF THE SYSTEM. CALL WITHIN TWO DAYS PRIOR TO NOTICE TO ARRANGE REVIEW DATES. REVIEWS WILL BE SCHEDULED TO REVIEW:
 1. PRESSURE TEST TO MAINLINE SYSTEM PRIOR TO BACKFILLING TRENCHES.
 2. COVERAGE TEST OF SPRINKLER SYSTEM PRIOR TO PLANTING.
 3. FINAL WALK THROUGH OF ALL ASPECTS OF IRRIGATION SYSTEM.
 19. WATER JET ALL TRENCHES, TYPICAL.

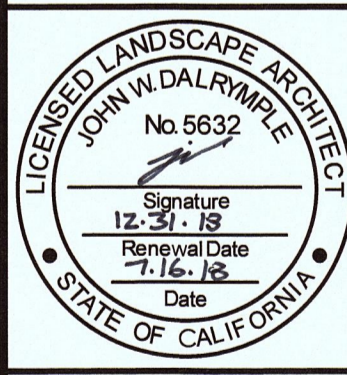


JOHN DALRYMPLE
LANDSCAPE ARCHITECTURE
603-949-8707
info@johndalrymple.com
501 Newport Court, Suite 103
Redwood City, CA 94063
www.johndalrymple.com



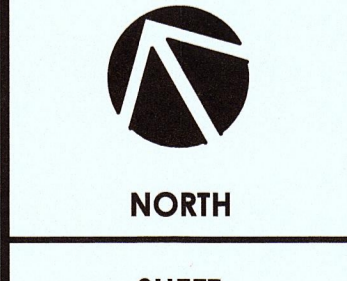
BRASHER PROPERTY
'MEADOW HOUSE'
BAY VIEW ROAD
MONTARA, CA 94037
APN 036-243-110

IRRIGATION
DESIGN PLAN

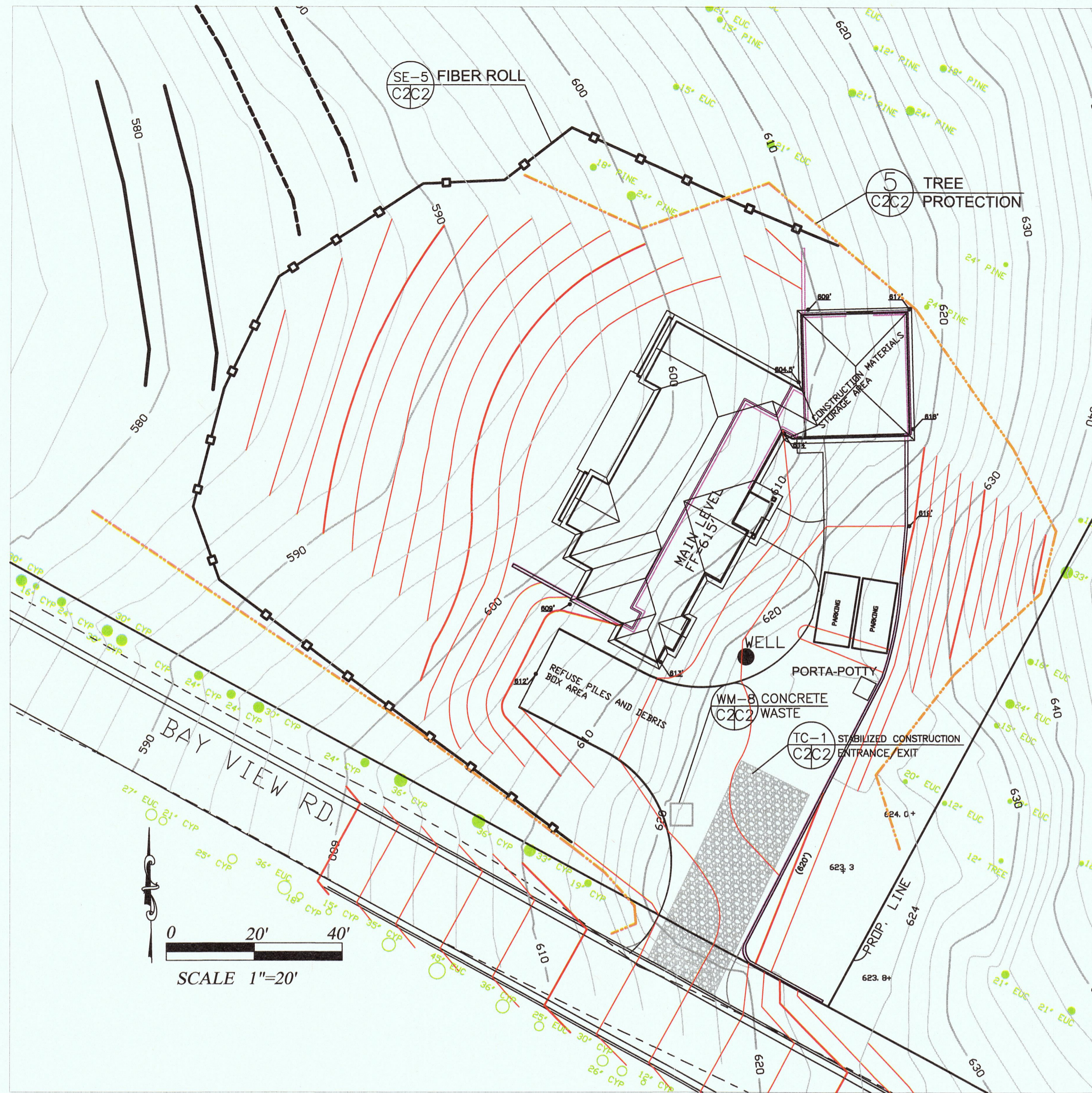


DATE
9-12-17
REVISIONS
9-22-17
PLAN CHECK COMMENTS
10-4-17
PLAN CHECK COMMENTS
7-16-18
CDRC COMMENTS

SCALE
1/16" = 1'-0"



SHEET
LP-2



EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: NED BRASHER

TITLE/QUALIFICATION: OWNER/BUILDER

PHONE: 650-728-5199

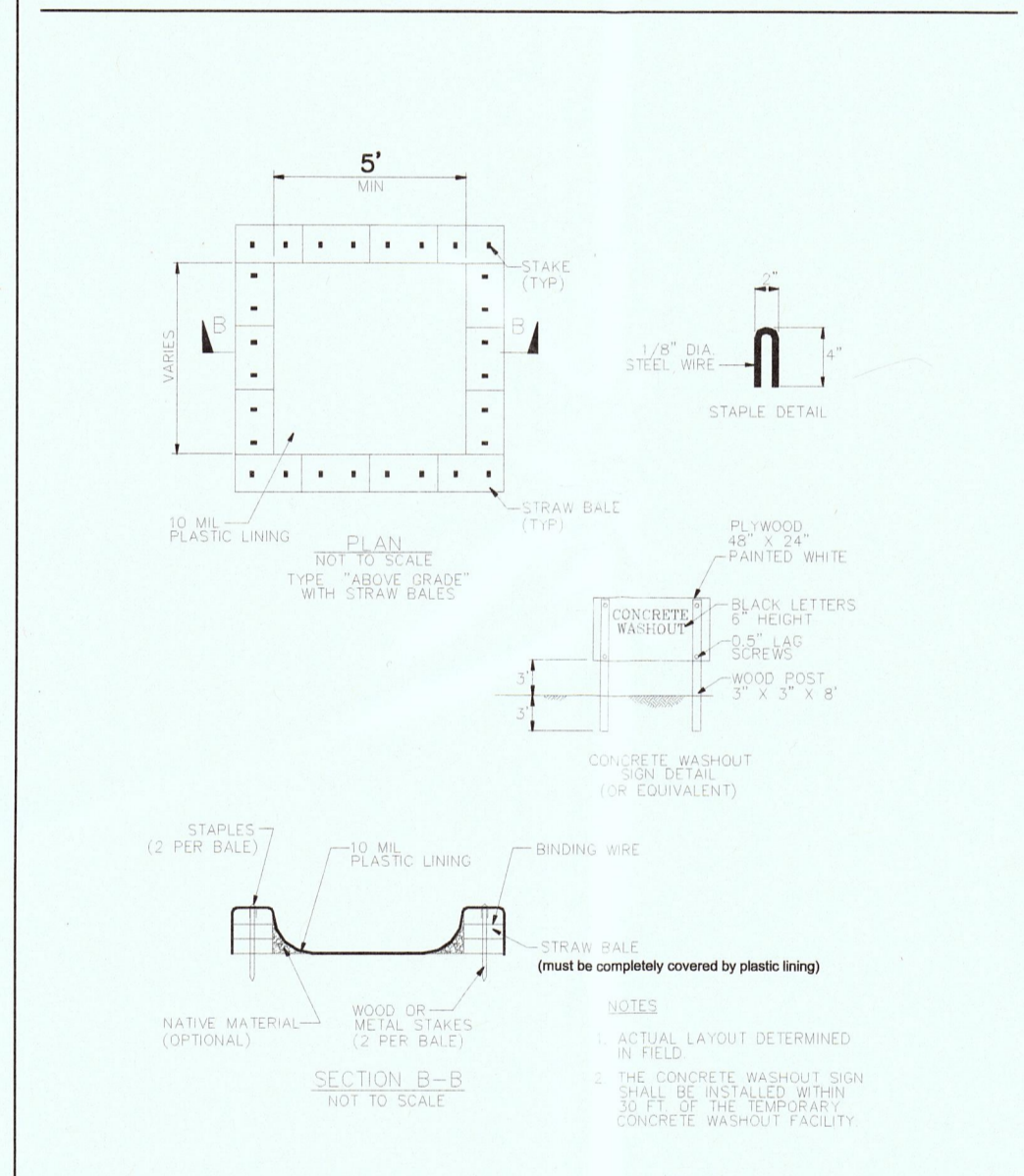
E-MAIL: nbrasher@comcast.com

- USE OF PLASTIC SHEETING BETWEEN OCTOBER 1st AND APRIL 30th IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.
- TREE PROTECTION SHALL BE IN PLACE BEFORE ANY GRADING, EXCAVATING OR GRUBBING IS STARTED.

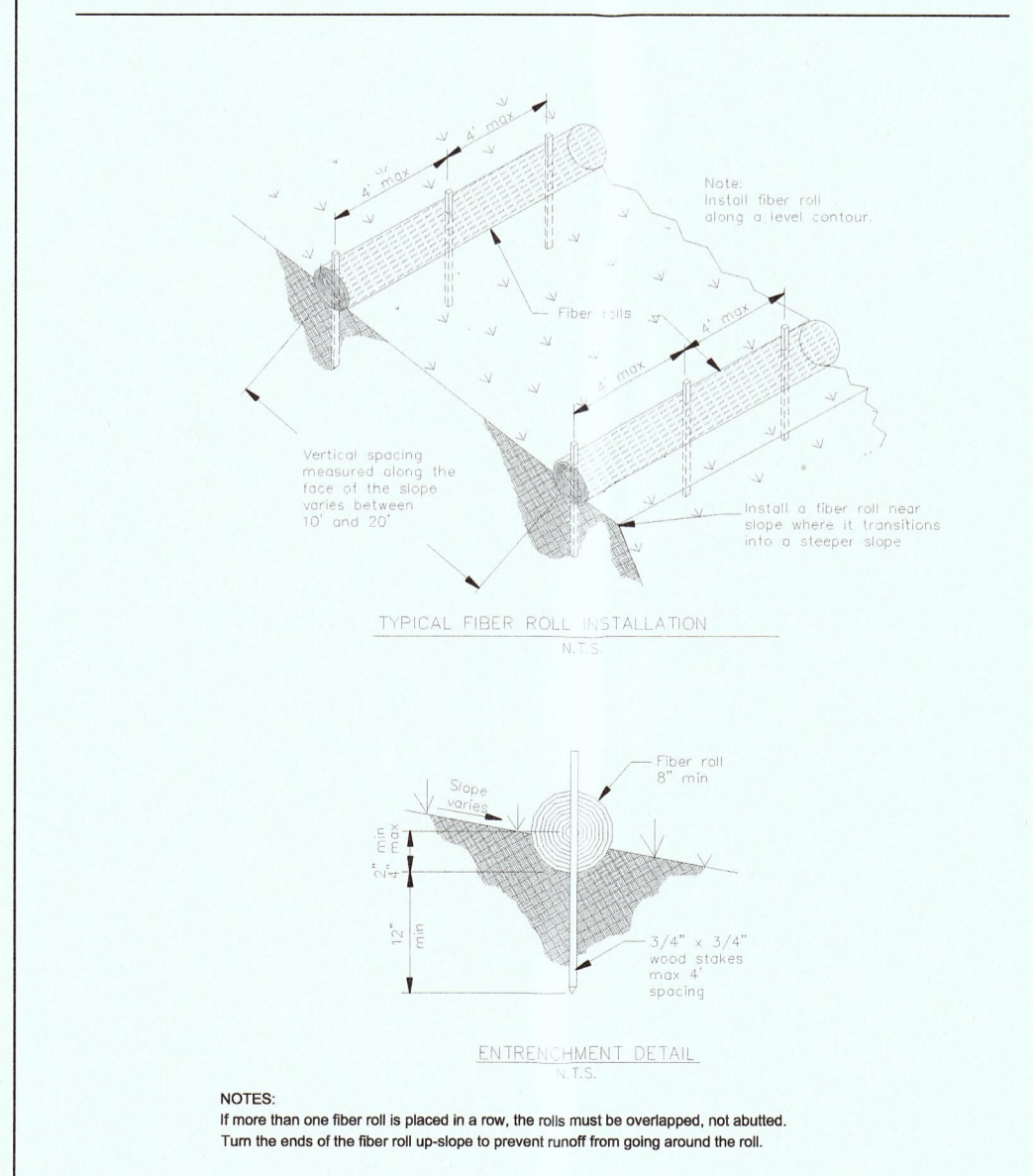
GENERAL EROSION AND SEDIMENT CONTROL NOTES

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Use sediment controls or filtration to remove sediment when dewatering site and obtain Regional Water Quality Control Board (RWQCB) permit(s) as necessary.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site
- Use of plastic sheeting between October 1st and April 30th is not acceptable.
- The tree protection shall be in place before any grading, excavating or grubbing is started.

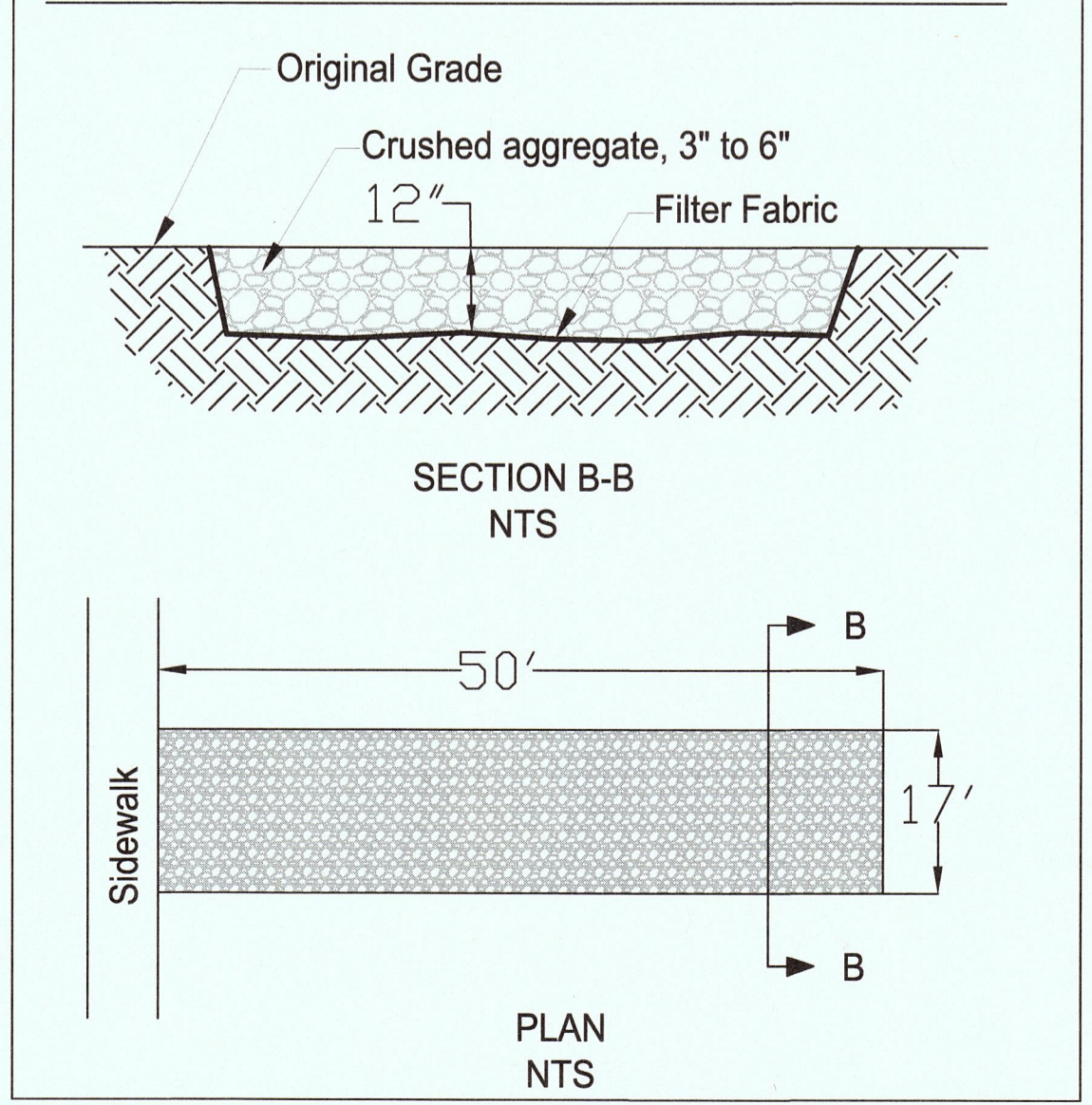
CONCRETE WASTE MANAGEMENT WM-8



FIBER ROLLS SE-5

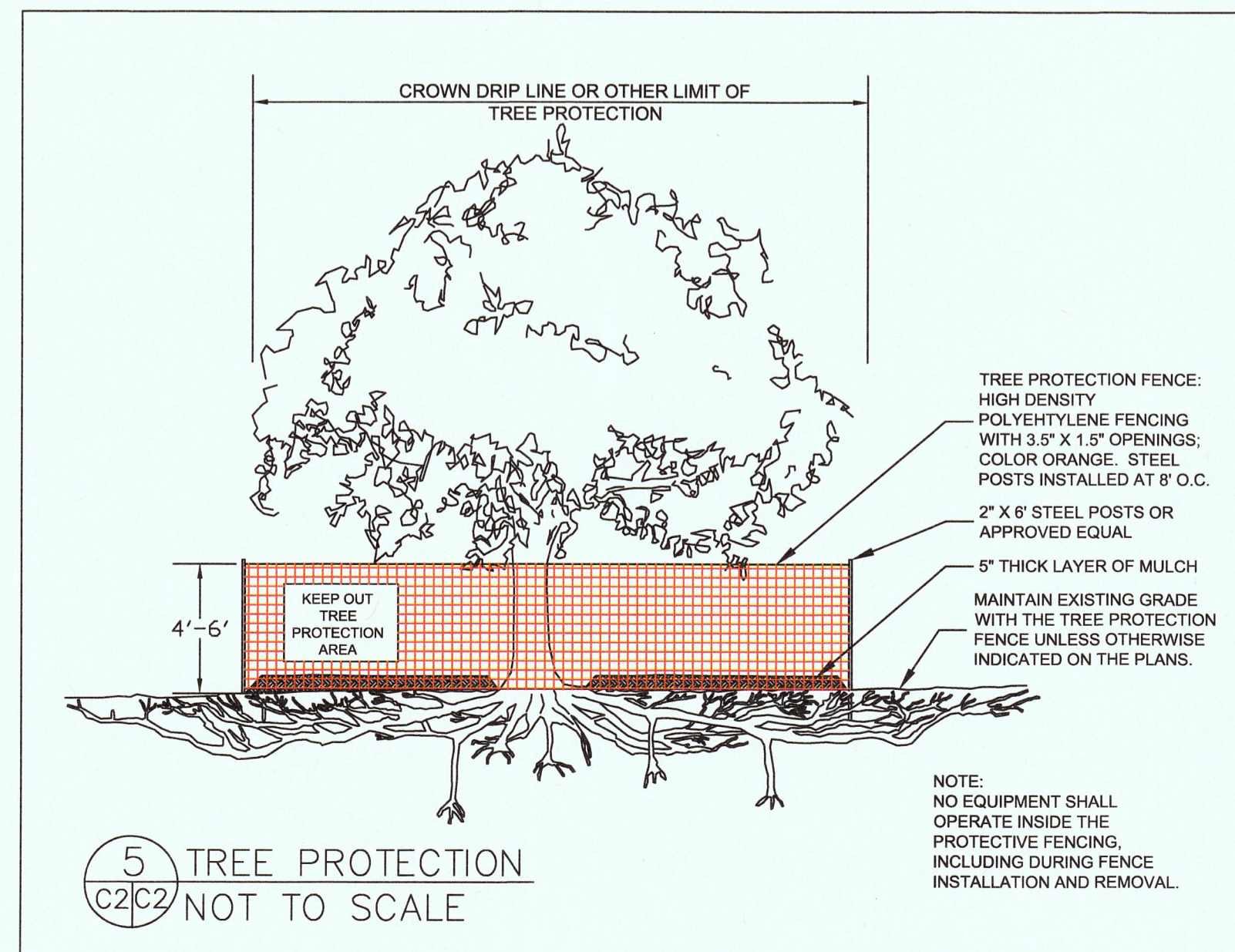


STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1



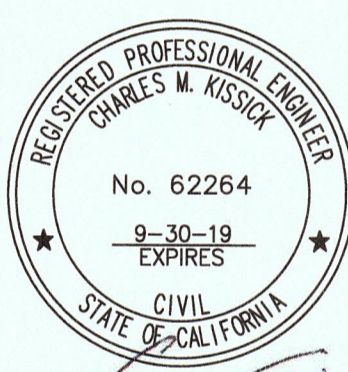
TREE PROTECTION NOTES

1. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY GRADING AND REMAIN ON-SITE THROUGHOUT CONSTRUCTION PROCESS.
2. TREE PROTECTION FENCES SHALL BE INSTALLED AS CLOSE TO DRIP LINES AS POSSIBLE.
3. OWNER/BUILDER SHALL MAINTAIN TREE PROTECTION ZONES FREE OF EQUIPMENT AND MATERIALS STORAGE AND SHALL NOT CLEAN ANY EQUIPMENT WITHIN THESE AREAS.
4. ANY LARGE ROOTS THAT NEED TO BE CUT SHALL BE INSPECTED BY A CERTIFIED ARBORIST OR REGISTERED FORESTER PRIOR TO CUTTING, AND MONITORED AND DOCUMENTED.
5. ROOTS TO BE CUT SHALL BE SEVERED WITH A SAW OR TOPPER.
6. PRE-CONSTRUCTION SITE INSPECTION WILL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.



EROSION CONTROL NOTES

1. GRADING MAY TAKE PLACE DURING WET WEATHER AFTER OCTOBER 1 PROVIDED THE FOLLOWING PROVISIONS ARE FOLLOWED.
2. NO GRADING SHALL TAKE PLACE DURING RAINY WEATHER OR FOR A PERIOD OF AT LEAST 24 HOURS FOLLOWING RAIN.
3. ALL EXPOSED SOIL SHALL BE TEMPORARILY PROTECTED FROM EROSION WITH JUTE NETTING.
4. ALL STOCKPILED SOIL SHALL BE COVERED AT ALL TIMES AND REMOVED FROM SITE AS SOON AS POSSIBLE, IF SCHEDULED FOR OFF-HAUL.
5. ALL EXPOSED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION WITH SEEDING AND/OR LANDSCAPING. SEED MIX SHALL BE 75 LB PER ACRE ANNUAL RYGRASS OR APPROVED SUBSTITUTE. SEED SHALL BE COVERED WITH STRAW MULCH AT A RATE OF 2 TONS/ACRE.
6. ROCKED CONSTRUCTION ENTRANCE SHALL BE 50 FEET LONG BY 17 FEET WIDE AND CONFORM TO THE FOLLOWING:
 - A. THE MATERIAL FOR THE PAD SHALL BE 3 TO 6 INCH STONE.
 - B. PAD SHALL BE NOT LESS THAN 12" THICK.
 - C. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
 - D. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA THAT DRAINS TO THE CONCRETE WASHOUT AREA.
7. CONCRETE WASHOUT AREA SHALL BE SURROUNDED BY A SINGLE LAYER OF SAND BAGS TO CONTAIN FLUIDS. CHANNEL INTO AREA SHALL BE CLEARED TO ALLOW TIRE DEBRIS (SEE NOTE 6.D. ABOVE)



DATE: 5-11-17
 DRAWN BY: CMK
 CHECKED BY: AZG
 REV. DATE: 7-16-18
 REV. DATE:

EROSION CONTROL PLAN

SIGMA PRIME GEOSCIENCES, INC.
 SIGMA PRIME GEOSCIENCES, INC.
 332 PRINCETON AVENUE
 HALF MOON BAY, CA 94019
 (650) 728-3580
 FAX 728-3583

SHEET
 C-2



LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- TREE TO BE REMOVED
- DIRECTION OF SURFACE DRAINAGE FLOW

EARTHWORK NOTES

BAY VIEW ROAD:
 CUT VOLUME: 370 CY
 FILL VOLUME: 170 CY
 NET VOLUME: 200 CY EXPORT

LENGTH OF PAVED ROAD = 727 FT
 AREA OF PAVED SURFACE = 14,540 SF
 VOLUME OF AGGREGATE ROAD BASE (AB) = 260 CY

MAX. HEIGHT OF CUT: 6 FEET
 MAX. HEIGHT OF FILL: 2 FEET

1. FILL MATERIAL SHOULD BE PLACED IN 12" LOOSE LIFTS, MOISTURE CONDITIONED, AND COMPACTED TO 92 PERCENT RELATIVE COMPACTION.
2. ON-SITE SOILS MAY BE USED FOR FILL. REFER TO SOILS REPORT FOR RECOMMENDATIONS ON EARTHWORK.

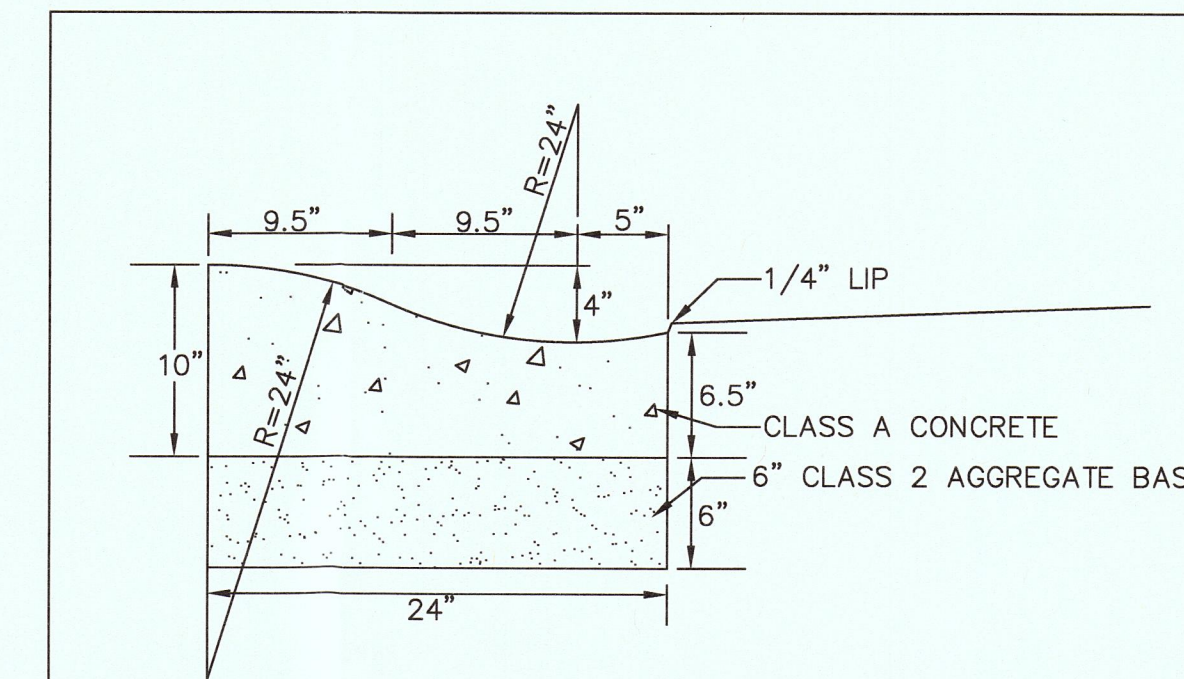
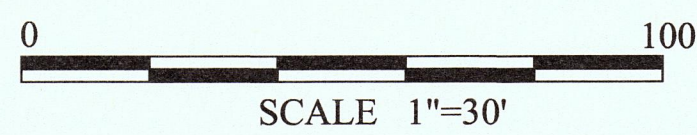
GENERAL NOTES

1. PLANS PREPARED AT THE REQUEST OF: MR. NED BRASHER, P.O. BOX 438, MONTARA, CA 94037
2. SURVEY BY OTHERS: ELEVATIONS BASED ON ASSUMED DATUM.
3. THIS IS NOT A BOUNDARY SURVEY.

DRAINAGE NOTES

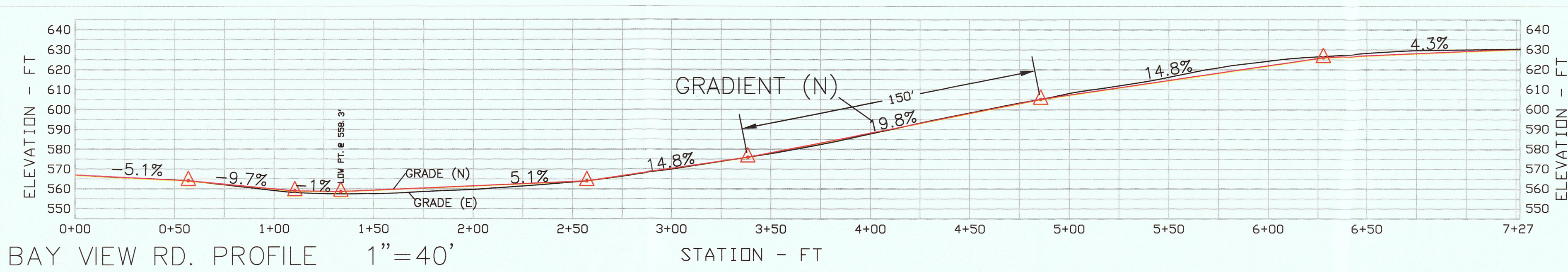
1. DRAINAGE DIRECTION AS SHOWN BY DRAINAGE ARROWS ON PLAN: POSITIVE DRAINAGE SHALL BE MAINTAINED THROUGHOUT.
2. RUNOFF IN ROAD SHALL BE DIRECTED TO GUTTERS ON BOTH SIDES OF ROAD, AS SHOWN.
3. NO CONCENTRATED WATER IS TO FLOW ACROSS CUT SLOPES.
4. SIZING OF DETENTION SYSTEM BASED ON 4% METHOD: 4% OF PAVED AREA OF 14,450 SF = 618 SF.
5. IT IS THE RESPONSIBILITY OF THE OWNER TO MAINTAIN THE DRAINAGE SYSTEM. THE BIORETENTION AREA SHALL BE CHECKED EVERY FALL AND CLEARED OF DEBRIS.

DISTURBED AREA = ~21,500 SF

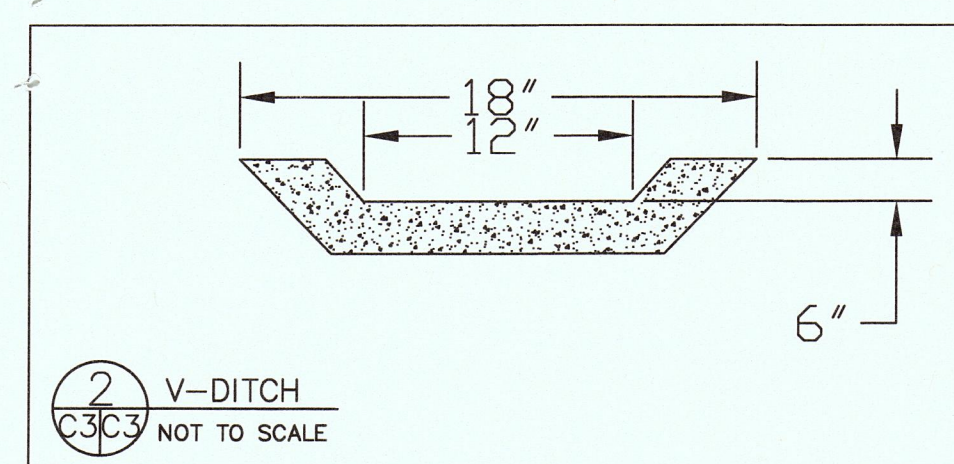


1. CONCRETE GUTTER SHALL BE INSTALLED PRIOR TO PAVING.
2. REINFORCEMENT SHALL CONSIST OF 6" X 6" X #10/#10 WELDED WIRE FABRIC.
3. PLACE 1/2" DIAMETER X 18" LONG DOWELS, AT EXPANSION JOINTS
4. PLACE 1/4" THICK EXPANSION JOINTS FULL WIDTH 20' ON CENTER. DEEP SCORE AT 10' INTERVALS BETWEEN EXPANSION JOINTS.

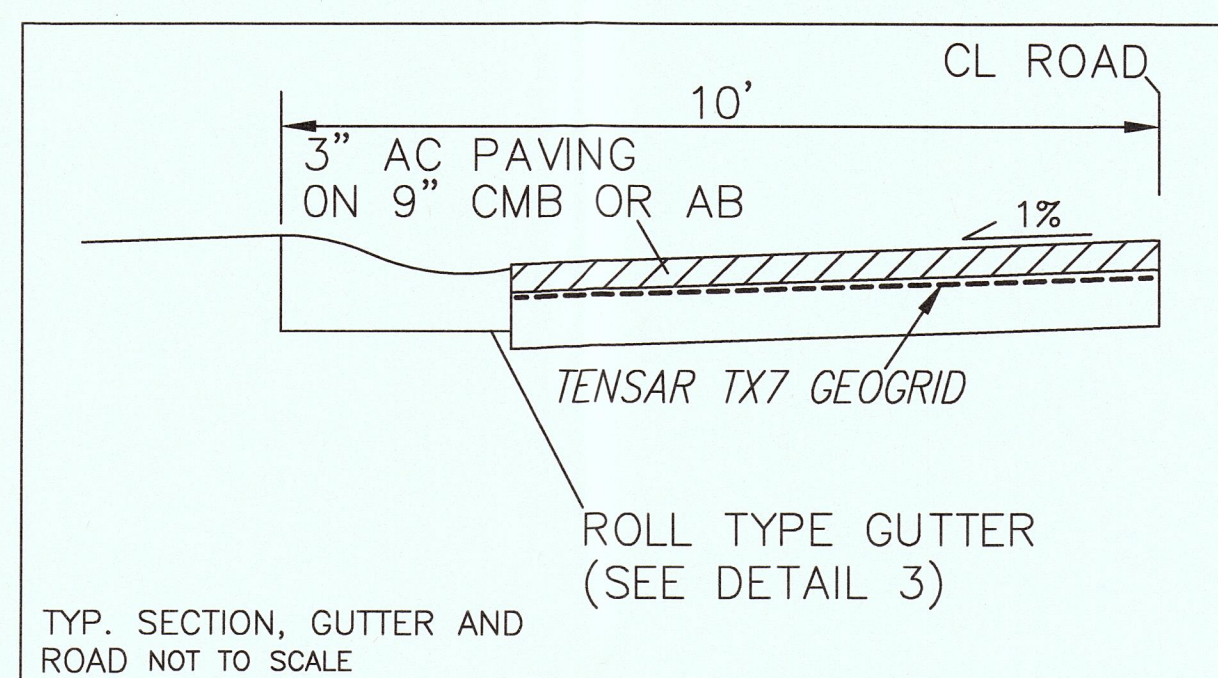
3 ROLL-TYPE GUTTER AND GUTTER
 C3C3 NOT TO SCALE



BAY VIEW RD. PROFILE 1"=40'



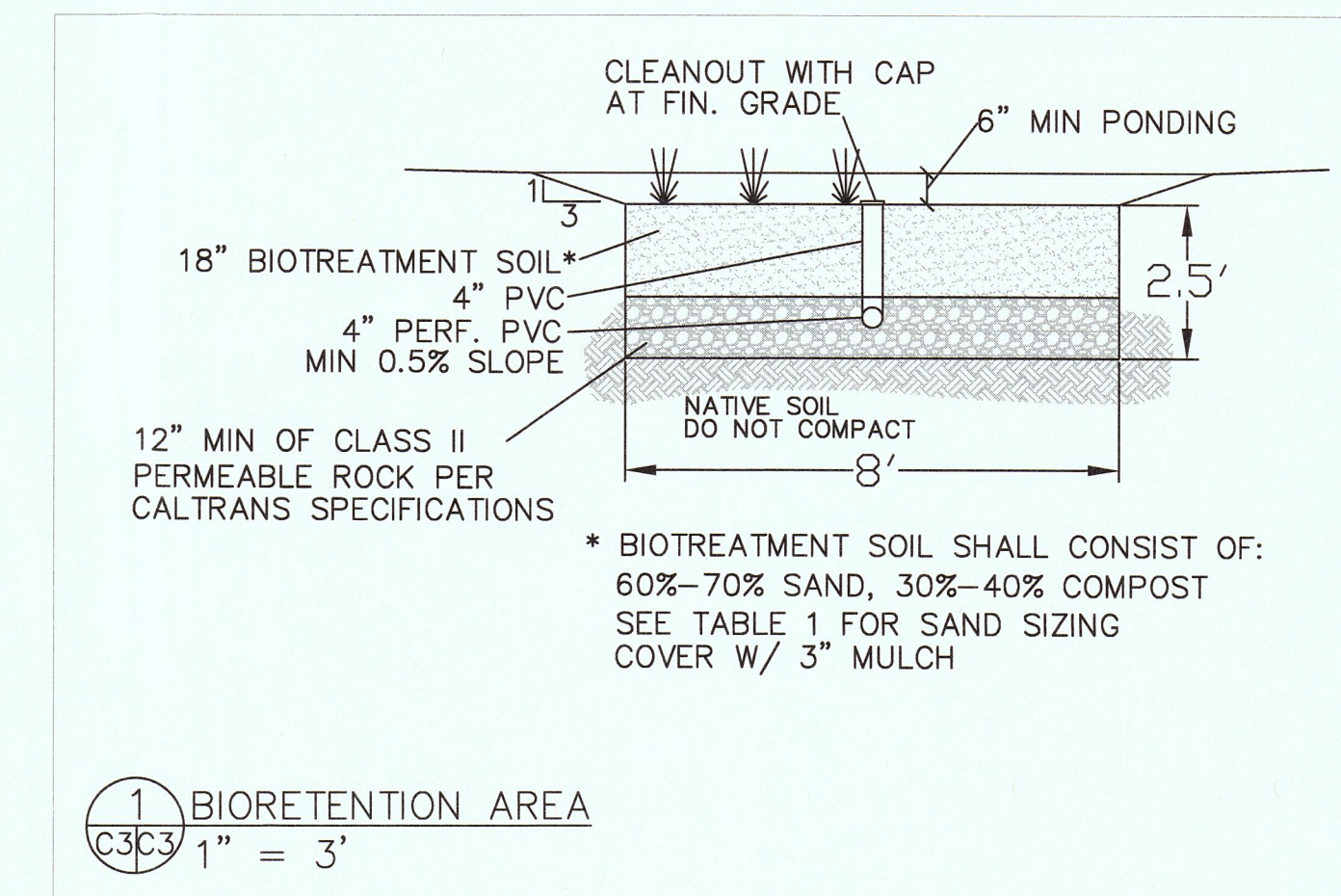
2 V-DITCH
 C3C3 NOT TO SCALE



TYP. SECTION, GUTTER AND ROAD NOT TO SCALE

FIRE PROTECTION NOTES

1. FIRE DEPARTMENT TURNAROUNDS AND TURNOUTS ARE TO BE UNOBSTRUCTED AT ALL TIMES.
2. ACCESS ROAD SURFACE SHALL BE "ALL WEATHER", A MINIMUM 6" OF COMPACTED AGGREGATE BASE ROCK, CLASS 2 OR EQUIVALENT, CERTIFIED BY A LICENSED ENGINEER TO 95%.
3. THE ROAD SHALL HAVE AN OVERHEAD CLEARANCE OF 14 FEET VERTICAL DISTANCE FOR ITS ENTIRE WIDTH.
4. NON-COMBUSTIBLE VEGETATION WILL BE MAINTAINED AS FOLLOWS: MINIMUM 10 FOOT ON BOTH SIDES OF ROAD AND TURNAROUND OR TO PROPERTY LINE OR EASEMENT LINE IF CLOSER EXCEPTION SINGLE SPECIMENS OF TREES, ORNAMENTAL SHRUBBERY OR SIMILAR PLANTS USED AS GROUND COVER, PROVIDED THEY DO NOT FORM A MEANS OF RAPIDLY TRANSMITTING FIRE FROM NATIVE GROWTH TO ANY STRUCTURE.



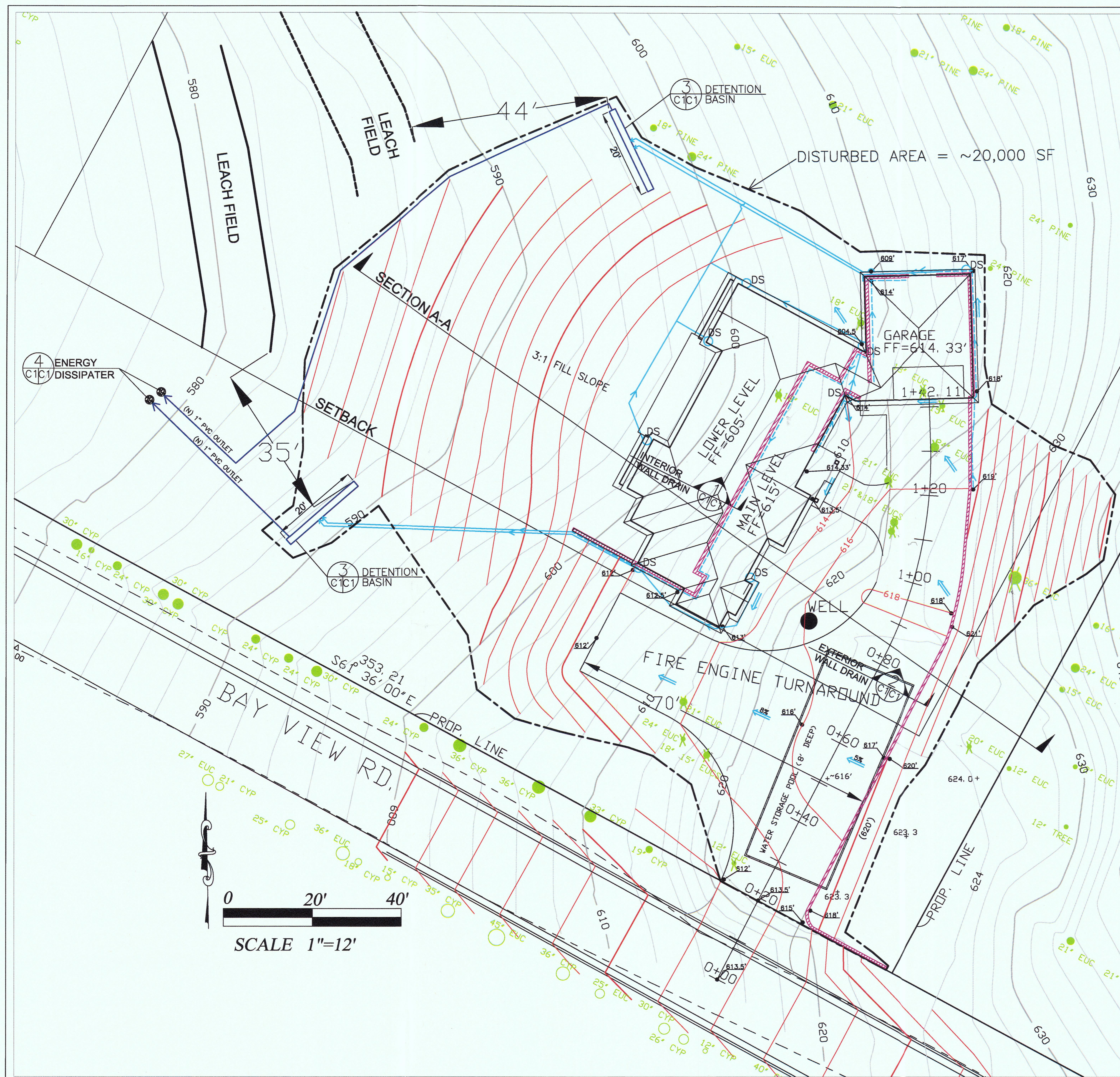
1 BIORETENTION AREA
 C3C3 1" = 3'



Sigma Prime Geosciences, Inc.
 SIGMA PRIME GEOSCIENCES, INC.
 332 PRINCETON AVENUE
 HALF MOON BAY, CA 94019
 (650) 725-3590
 FAX: 725-3593

DATE: 12-28-16	DRAWN BY: CMK
CHECKED BY: AZG	REV. DATE: 5-11-17
REV. DATE: 8-12-17	

BAYVIEW ROAD PLAN
 BRASHER PROPERTIES
 MONTARA, CA

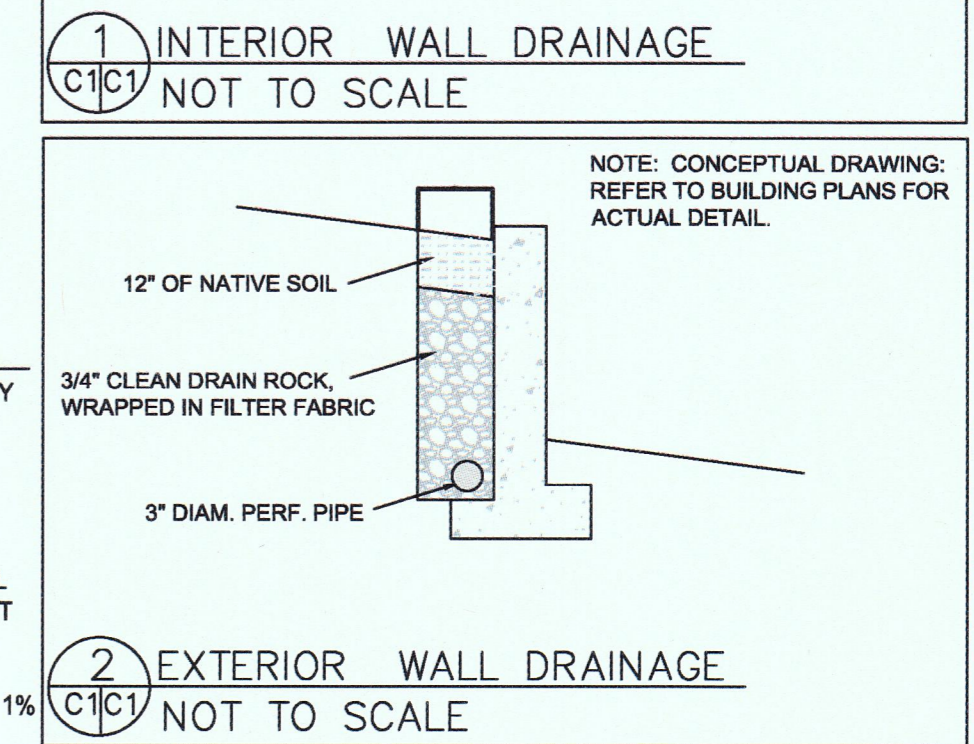
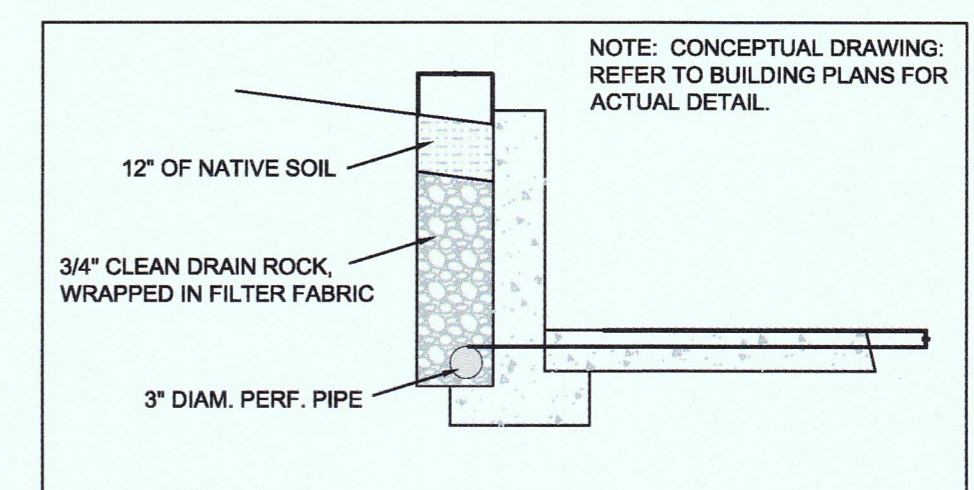
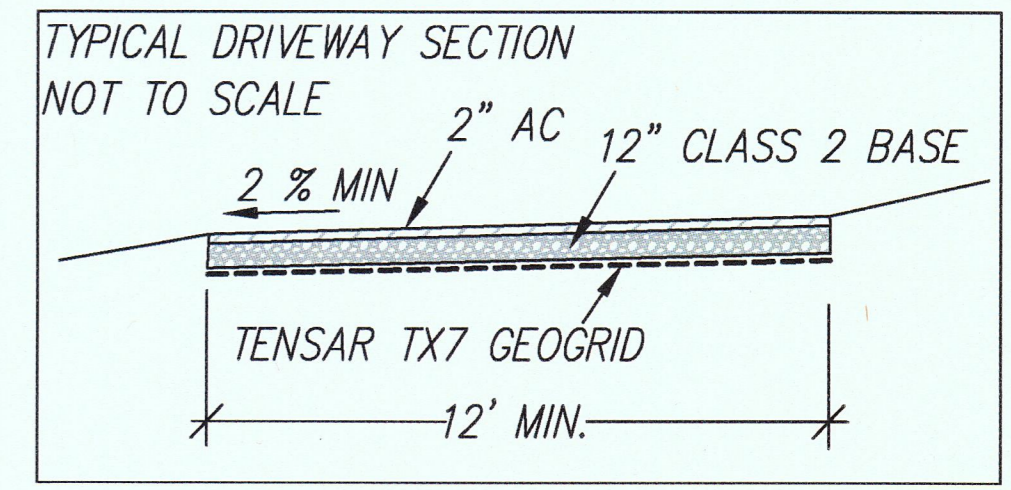
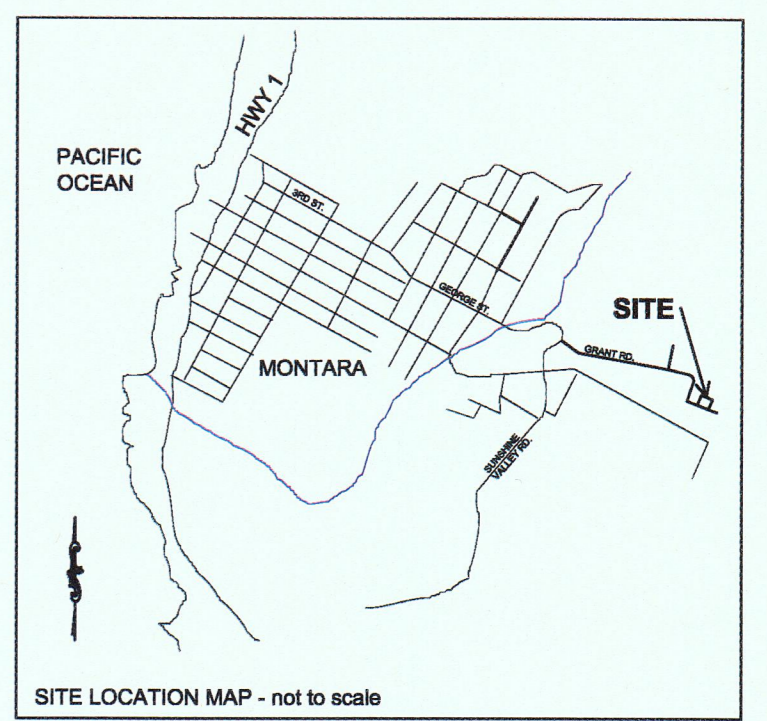


LEGEND

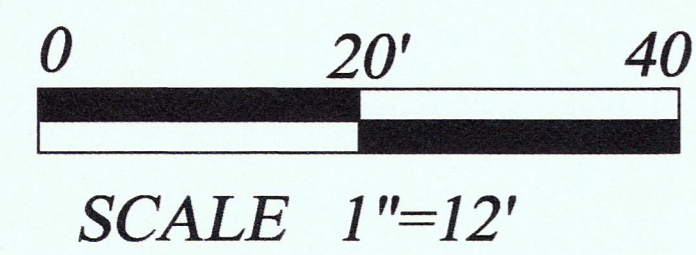
- 624.0+ SPOT ELEVATION (E)
- 620' SPOT ELEVATION (N)
- EXISTING CONTOURS
- PROPOSED CONTOURS
- DS DOWNSPOUT
- SOLID PLASTIC DRAIN PIPE, SDR 35 @ 1% MINIMUM SLOPE. ALL SDR 35 DRAIN PIPES TO BE 4" DIA. UNLESS OTHERWISE NOTED.
- PERFORATED PIPE @ WALL FOOTING: 3" DIA. RIGID SDR 35, HOLES DOWN. 1% MIN. SLOPE.
- DIRECTION OF SURFACE DRAINAGE FLOW
- TREE TO BE REMOVED
- PROPOSED RETAINING WALL

- ### GRADING NOTES
- CUT VOLUME: 1100 CY
 FILL VOLUME: 1100 CY
 NET VOLUME: 0 CY
- THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.
 - WELLHEAD SHALL BE CUT 5 FEET TO MATCH PROPOSED GRADE. A 25-FOOT SEAL WILL REMAIN.
 - ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
 - EMBANKMENT FILLS SHALL BE PLACED ON KEYED AND BENCHED SURFACES, AS SHOWN IN SECTION A-A, AND COMPACTED IN 6" LOOSE LIFTS TO 92% OF MAXIMUM DRY DENSITY. ON-SITE SOILS MAY BE USED AS BACKFILL.
 - ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAPPED SOILS.
 - WATER STORAGE POOL SHALL BE FILLED IN TO BRING GRADE UP TO ROAD LEVEL. ON-SITE SOIL MAY BE USED, PLACED IN 12-INCH LOOSE LIFTS AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY.

- ### DRAINAGE NOTES
- DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS, AND TO PROVIDE DRAINAGE FOR RETAINING WALLS.
 - ALL DRAIN LINES SHALL LEAD TO DETENTION BASINS SHOWN.
 - ALL PERFORATED PIPES SHALL DRAIN TO SOLID PIPES. A SOLID PIPE SHALL NOT DRAIN TO A PERFORATED PIPE UNLESS PERFORATED PIPE IS PART OF AN ENERGY DISSIPATER.
 - ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER SOLID PIPE, SLOPED AT 1% MINIMUM.
 - IT IS THE RESPONSIBILITY OF THE OWNER TO MAINTAIN THE DRAINAGE SYSTEM. THE DETENTION BASINS SHALL BE CHECKED EVERY FALL AND CLEARED OF DEBRIS.



SECTION AND DETAIL CONVENTION



FIRE PROTECTION NOTES

- 1" FIRE ENGINE TURNAROUND PROPOSED NEXT TO HOUSE, AS SHOWN.
- EXISTING FIRE HYDRANT IS LOCATED XXX.
- NEW CLOW 960 FIRE HYDRANT SHALL BE INSTALLED AT LOCATION SHOWN. DISTANCE TO FRONT DOOR WILL BE XXX FEET.

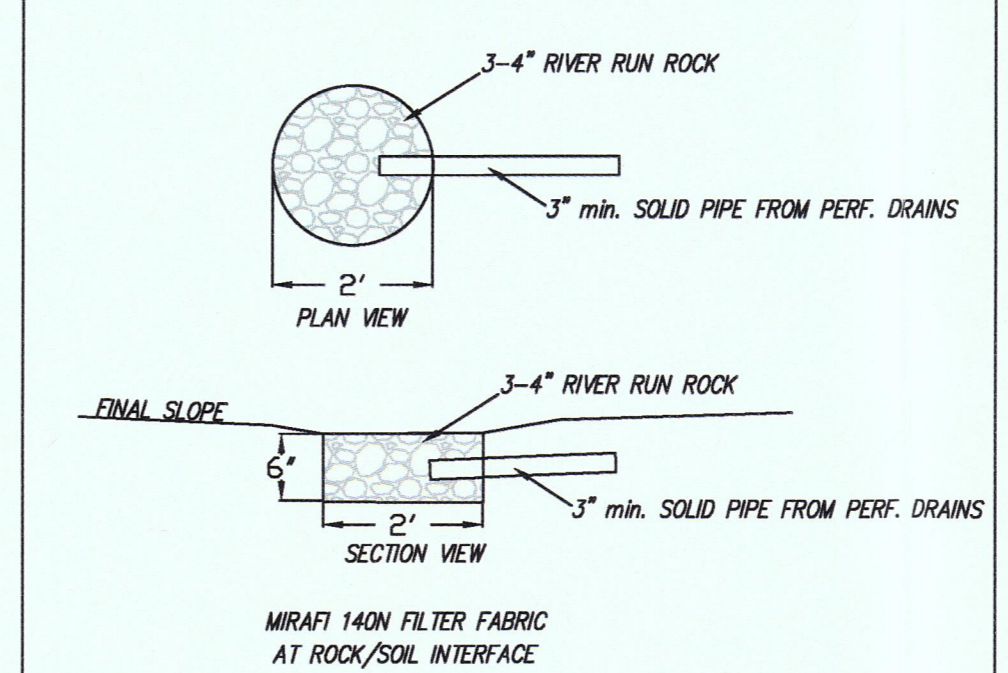
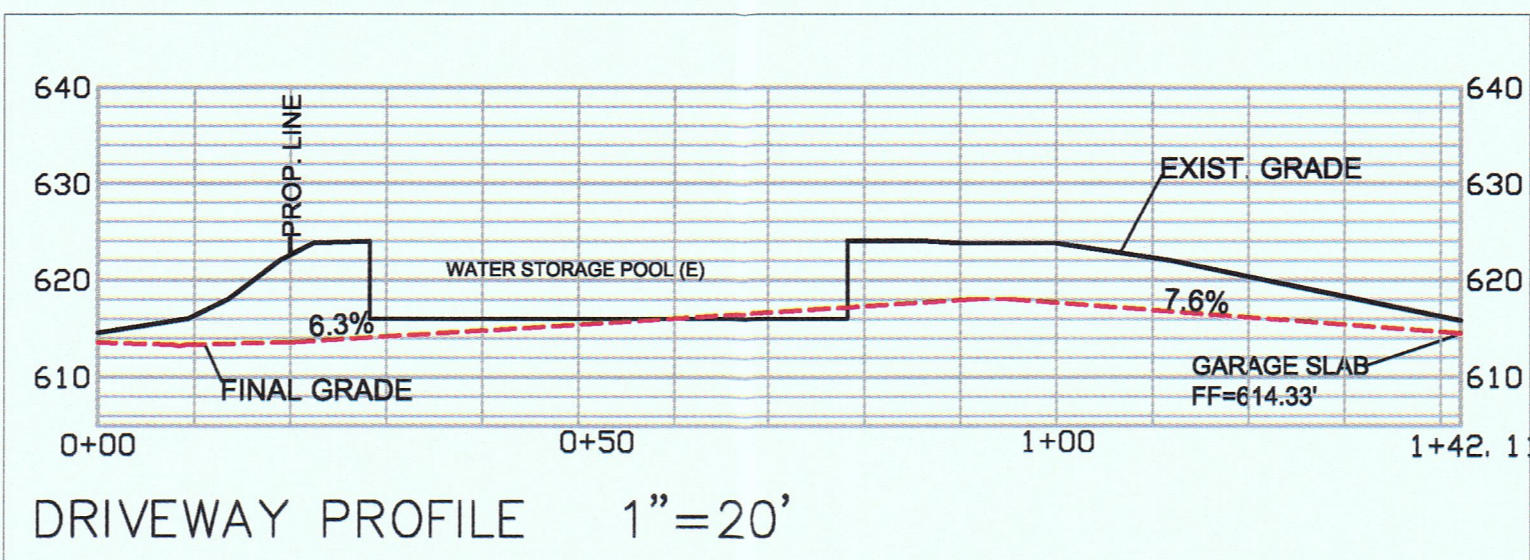
TRAFFIC CONTROL NOTES

- CONTRACTOR AND WORKERS SHALL PARK ON ALONG BAYVIEW ROAD.
- WHEN TRUCKS DELIVER SUPPLIES AND CONCRETE, EVERY EFFORT SHALL BE MADE TO PREVENT BLOCKAGE OF BAYVIEW ROAD. WORKERS SHALL PROVIDE TRAFFIC CONTROL AT ALL TIMES IF ROAD IS PARTIALLY BLOCKED.

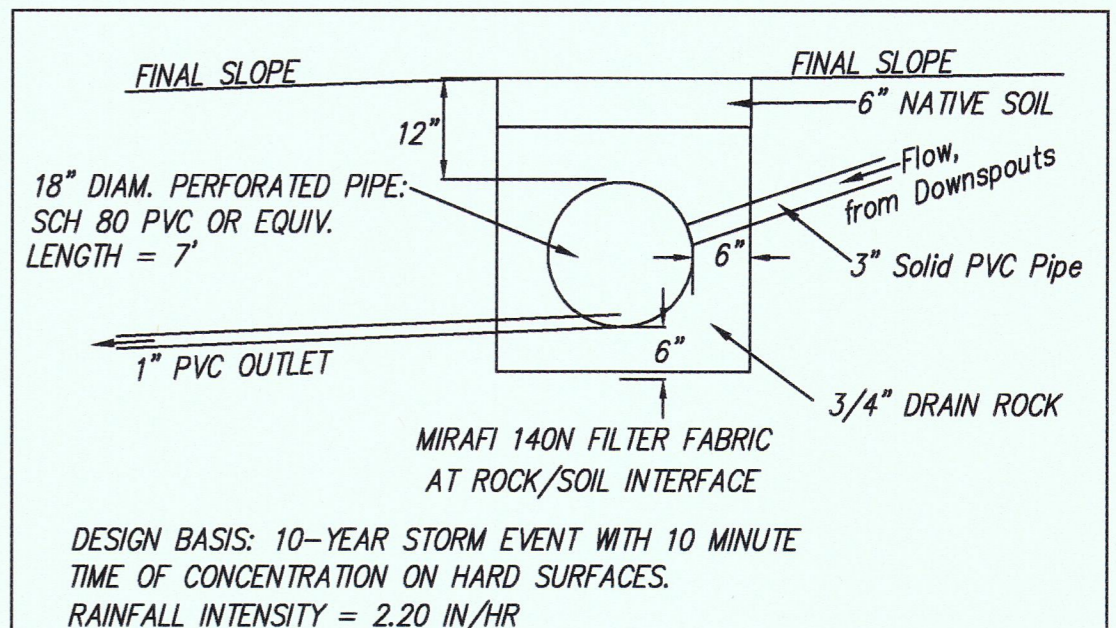
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 Planning Division

GENERAL NOTES

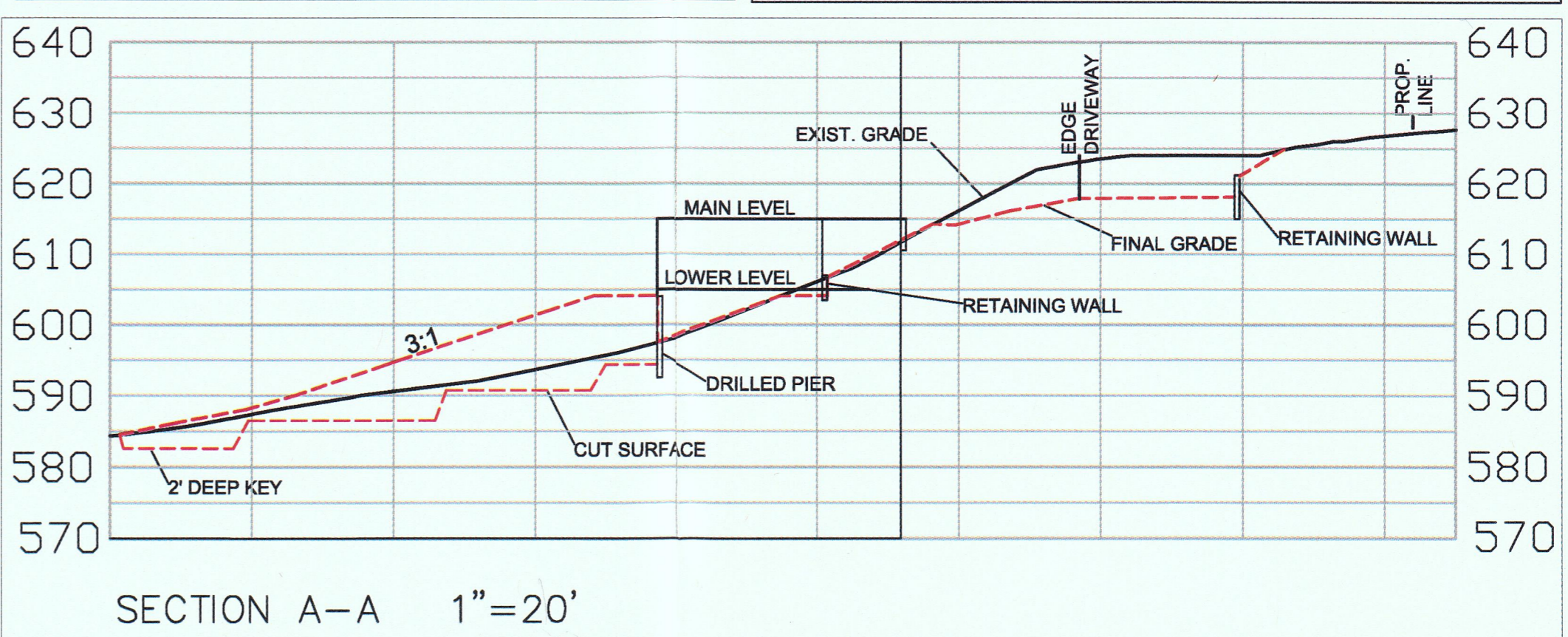
- PLANS PREPARED AT THE REQUEST OF: MR. NED BRASHER, P.O. BOX 438, MONTARA, CA 94037
- SURVEY BY OTHERS: ELEVATIONS BASED ON ASSUMED DATUM.
- THIS IS NOT A BOUNDARY SURVEY.



SECTION 4: ENERGY DISSIPATER NOT TO SCALE



SECTION 3: DETENTION BASIN NOT TO SCALE



DATE: 12-28-16	DRAWN BY: OMK	CHECKED BY: AZG	REV. DATE: 5-11-17	REV. DATE: 9-12-17	REV. DATE: 7-15-18
SIGMA PRIME GEOSCIENCES, INC. SIGMA PRIME GEOSCIENCES, INC. 354 FRANCIS AVENUE BAY, CA 94019 (650) 728-3690 FAX 728-3693					

GRADING AND DRAINAGE PLAN
 BRASHER PROPERTY
 "MEADOW HOUSE"
 BAY VIEW RD., MONTARA
 APN 036-243-110

SHEET
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