

**EXTERIOR NOTES**

- All "Cypress Ridge" stone veneer to be thin (1" thick) veneer. Not structural.
- Blank Wall on Elevations to be Stucco with 5% color coat.  
"Sequia Fog" for Field.  
"Mulled Cider" for Horizontal Trim.  
"City Loft" for Vertical Trim.
- All trim to be painted Oxford Brown to match Wood Shake Siding.
- Gutters & Downspouts to be painted 5% Grey.
- Roof must be Class "A" Fire-Rated.  
"Autumn Bland" CT Presidential Asphalt Shake by CertemTEED, or equivalent.

**GLASS NOTES**

- All window glass to be Tempered, with U/V and Anti-Glare Treatments.
- All window glass to meet minimum R-40 Heat Transfer.
- All glass to be made from at least 80 to 95 percent recycled material.

**ELECTRICAL NOTES**

- Back-up connections to grid to remain in place.
- Solar panels and future Wind Turbine systems to be designed during Construction Document Phase by Trained and Licensed Electrical and Solar Engineer.
- All interior and exterior lighting to use low-energy -use LED devices.

**DIMENSIONING NOTES**

- All Written Dimensions Take precedence over scaled Dimensions.
- All Dimensions are Clear Dimensions to Finish Face.
- CLR means Minimum Clear Dimension.
- CL Means Center Line Point for Dimensioning to.
- Outside Dimensions are from Outside Wall Face to Outside Wall Face.

**WALL NOTES**

- Above Ground Walls to meet R-40 minimum Heat Transfer.
- Basement Walls, Floor & Roof to meet R-50 minimum Heat Transfer.
- All Walls and between Floors to meet minimum 80 Decibel Reduction.

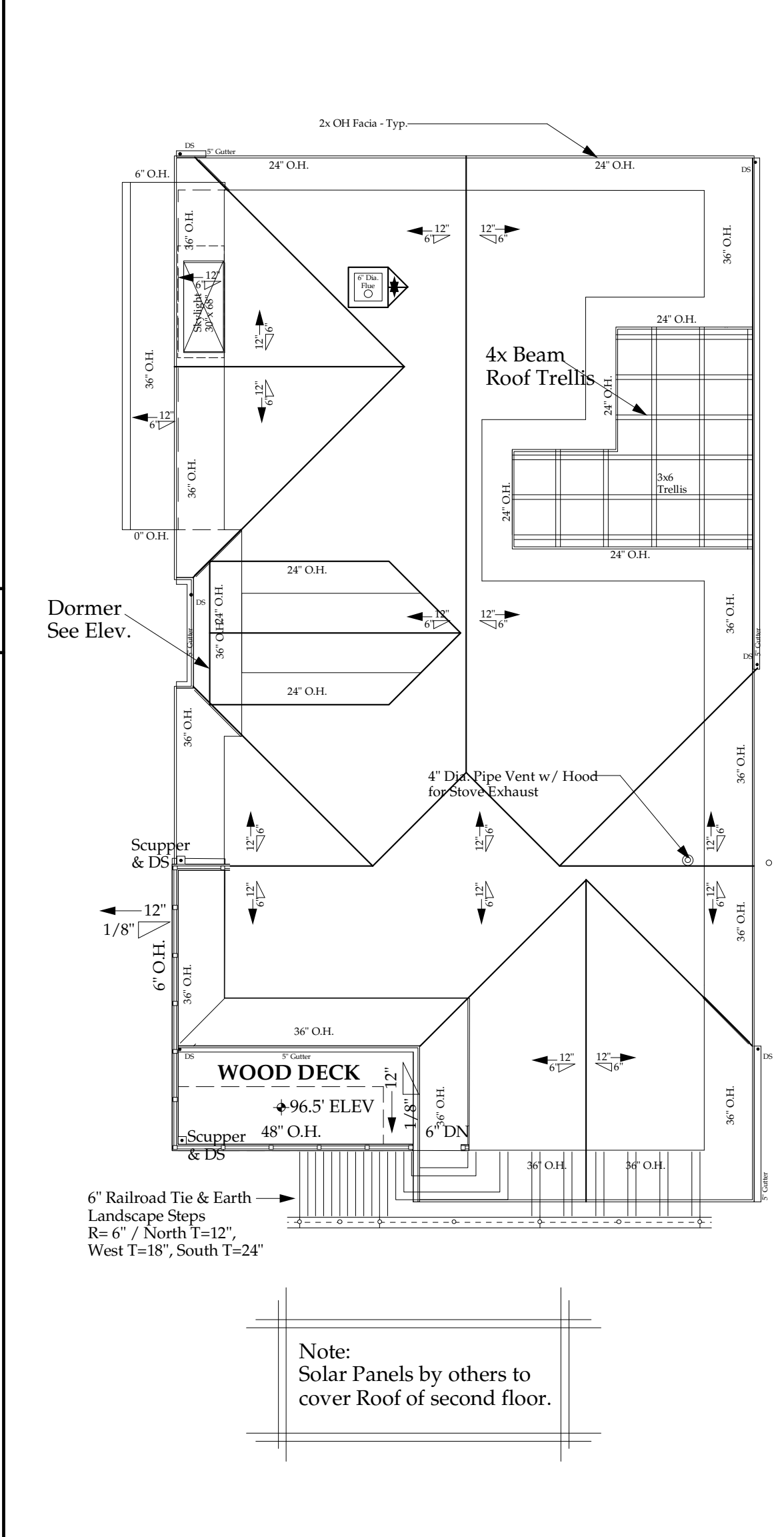
PROJECT: NEW HOUSE PROJECT  
 OWNERS: SERGIU & ANAMARIA DEAC  
 LOCATION: 0 ORVAL AVE. MOSS BEACH, CA 94038  
 LOT #: APN 037-224-020  
 ZONING: R-1/S-17  
 SITE AREA: 6,210 SQ. FT.  
 MAX BLDG FOOT PRINT: 2,490 SQ. FT. (AREA INSIDE SETBACKS)  
 BUILDING FOOT PRINT: 1,814 SQ. FT. (29.6% OF SITE)  
 FRONT SETBACK: 20 FT.  
 SIDE SETBACKS: 10 FT.  
 BACK SETBACK: 20 FT.  
 MAX. BUILDING HT.: 28 FT.  
 MAX. INTRUSION HT.: 33 FT.  
 BUILDING HEIGHT: 28 FT.  
 LIVING AREAS  
 GARAGE & "BASEMENT" (UTILITY RM): 474.5 SQ. FT.  
 FIRST FLOOR & STAIRWELL: 1,367 SQ. FT.  
 SECOND FLOOR: 1,396 SQ. FT.  
 TOTAL BUILDING SQ. FT.: 3,237.5 SQ. FT.  
 MAX. TOTAL FHA AREA (53% of Site): 3,291 SQ. FT.

EST. EXCAVATION  
 EST. REMOVED SOIL: 117.46 CU. YD.  
 EST. FILLED SOIL: 2.58 CU. YD.  
 TOTAL EST. MOVED SOIL: 120.04 CU. YD.  
 MAXIMUM ALLOWABLE MOVED SOIL: 250 CU. YD.  
 IS TOTAL LESS THAN MAXIMUM? YES  
 EST. IMPERMEABLE SURFACE LOT COVERAGE  
 BUILDING FOOT PRINT: 1,814 SQ. FT.  
 CONCRETE WALKWAYS: 198 SQ. FT.  
 TOTAL COVERAGE: 2,012 SQ. FT.  
 MAXIMUM ALLOWABLE: 2,500 SQ. FT.  
 IS TOTAL LESS THAN MAXIMUM? YES

**DISCIPLINES BY OTHERS**

- GRADING AND DRAINING by: HB CAD Design  
Herbert Birthelmer, P.E. C78306  
880 Silacci Dr.  
Campbell, CA 95008  
(408) 355-4262  
birth@birth.com
- LANDSCAPING by: Taproot Garden Design  
Topaze & Patri CK McCaffery  
(408) 728-7689  
organic@taprootgardens.com
- STRUCTURAL ENGINEERING - TBD IN CONSTRUCTION DOCUMENTS
- SOLOR DESIGN - TBD IN CONSTRUCTION DOCUMENTS
- PLUMBING - TBD IN CONSTRUCTION DOCUMENTS
- ELECTRICAL - TBD IN CONSTRUCTION DOCUMENTS
- TITLE 24 - TBD IN CONSTRUCTION DOCUMENTS

**5 SITE NOTES**



**4 ROOF PLAN**

T-1 PROJECT TITLE SHEET:  
 - SITE PLAN  
 - ROOF PLAN  
 - 3D MODEL RENDERING  
 - SITE MAP  
 - TABLE OF CONTENTS  
 - SITE NOTES  
 - GENERAL NOTES.

C-1 GRADING AND DRAINAGE  
 F-1 FIRE APPARATUS ACCESS TO ORVAL AVE.  
 L-1 LANDSCAPING - PLANTING PLAN & HARDSCAPE  
 L-2 LANDSCAPING - IRRIGATION PLAN

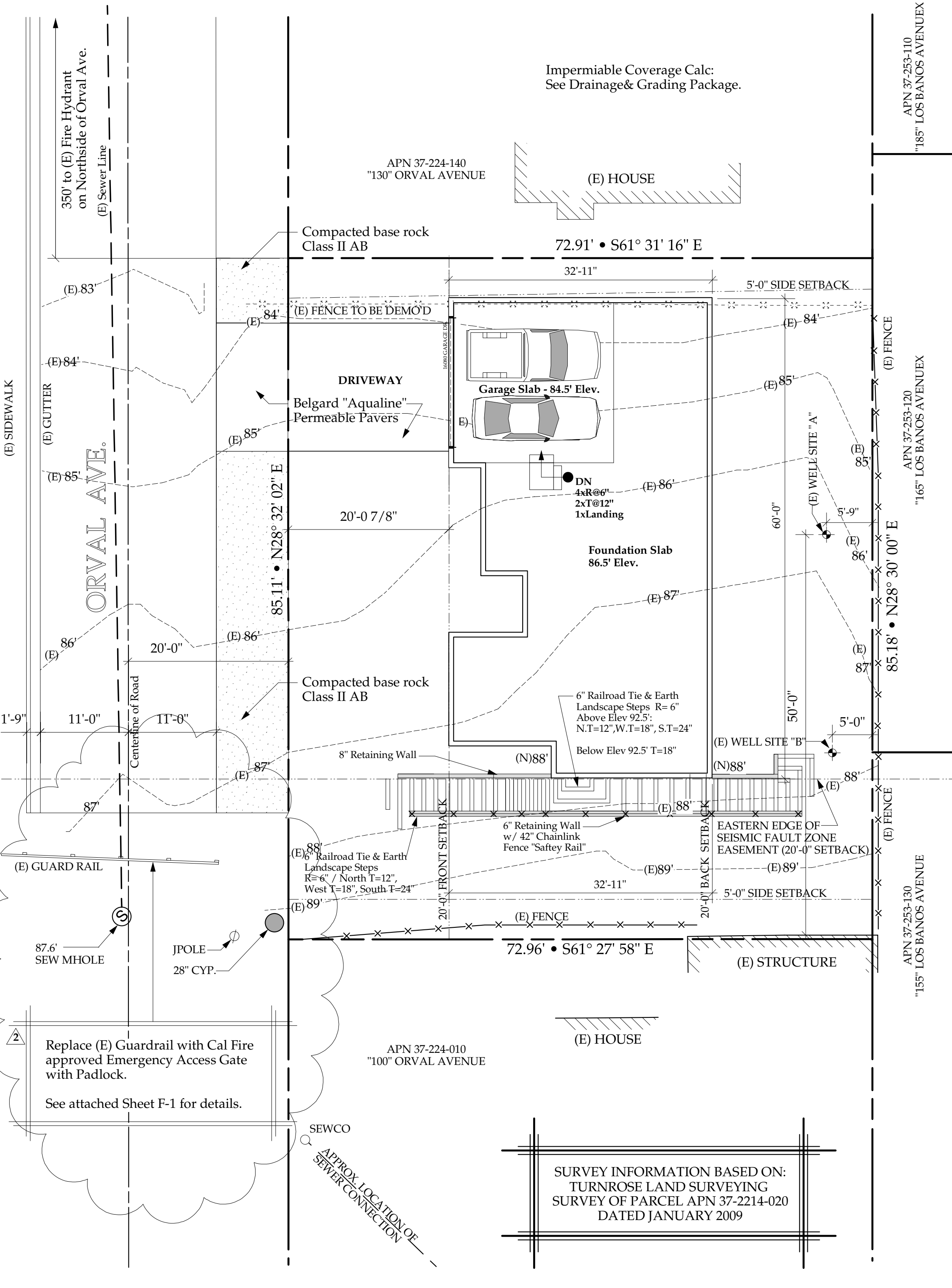
A-1 ARCHITECTURAL FLOORPLAN SHEET:  
 - FIRST FLOOR PLAN  
 - SECOND FLOOR PLAN  
 - 2ND FLR REFLECTED CLG PLAN

A-2 ARCHITECTURAL ELEVATION SHEET:  
 - NORTH ELEVATION  
 - SOUTH ELEVATION  
 - EAST ELEVATION  
 - WEST ELEVATION

A-3 ARCHITECTURAL SECTION/INTERIOR ELEVATIONS SHEET:  
 - LONG SECTION LOOKING SOUTH AT KITCHEN @ RIDGE  
 - SHORT SECTION LOOKING EAST CUT THRU FRONT DOOR  
 - LONG SECTION LOOKING NORTH @ MAIN STAIRWELL & ENTRANCE @ RIDGE  
 - SHORT SECTION LOOKING EAST THRU STAIR, ELEVATOR & PANTRY

**3 TABLE OF CONTENTS**

**1 SITE MAP**



**2 SITE & PAVEMENT/CONC. PLAN**

**7 GENERAL NOTES**



**6 3D MODEL RENDERING**

**REVISIONS**

1	2nd Submittal 11/7/19
2	Add Fire Access 01/20/20

**Designer/Drafter:**  
 Alfred A. Nickel III  
 (559) 630-5931

**American Unim Studios**  
 alnickel@sbcbglobal.net

**SHEET SCALE**  
 Varies

**Project:**  
 DEAC RESIDENCE • NEW HOUSE PROJECT  
 112 ORVAL AVENUE  
 MOSS BEACH, CALIFORNIA

**Sheet Title:**  
 TITLE SHT / NOTES / SITE, ROOF & LANDSCAPING

**Engineer's Seal:**

**Reviewing Structural Engineer:**

**DESIGN SET**  
 ENGINEER REVIEW NOT REQUIRED  
 FOR DESIGN SUBMITTAL ONLY  
 NOT FOR CONSTRUCTION

REFERENCE NORTH TRUE NORTH

DATED: 6/17/19 PROJECT #: 2018.01.01

**SHEET NUMBER:**

T-1



REVISIONS	

**Designer/Drafter:**  
 Alfred A. Nickel III  
 (559) 630-5931  
  
 alnickel3@sbcglobal.net

**SHEET SCALE**  
 1/4" = 1'-0"

**FLOOR PLANS**

**Project:**  
 DEAC RESIDENCE • NEW HOUSE PROJECT  
 0 ORVAL AVENUE  
 MOSS BEACH, CALIFORNIA

**Sheet Title:**

**Engineer's Seal:**

**Reviewing Structural Engineer:**

**DESIGN SET**  
 ENGINEER REVIEW NOT REQUIRED  
 FOR DESIGN SUBMITTAL ONLY  
 NOT FOR CONSTRUCTION

**REFERENCE**  
 NORTH

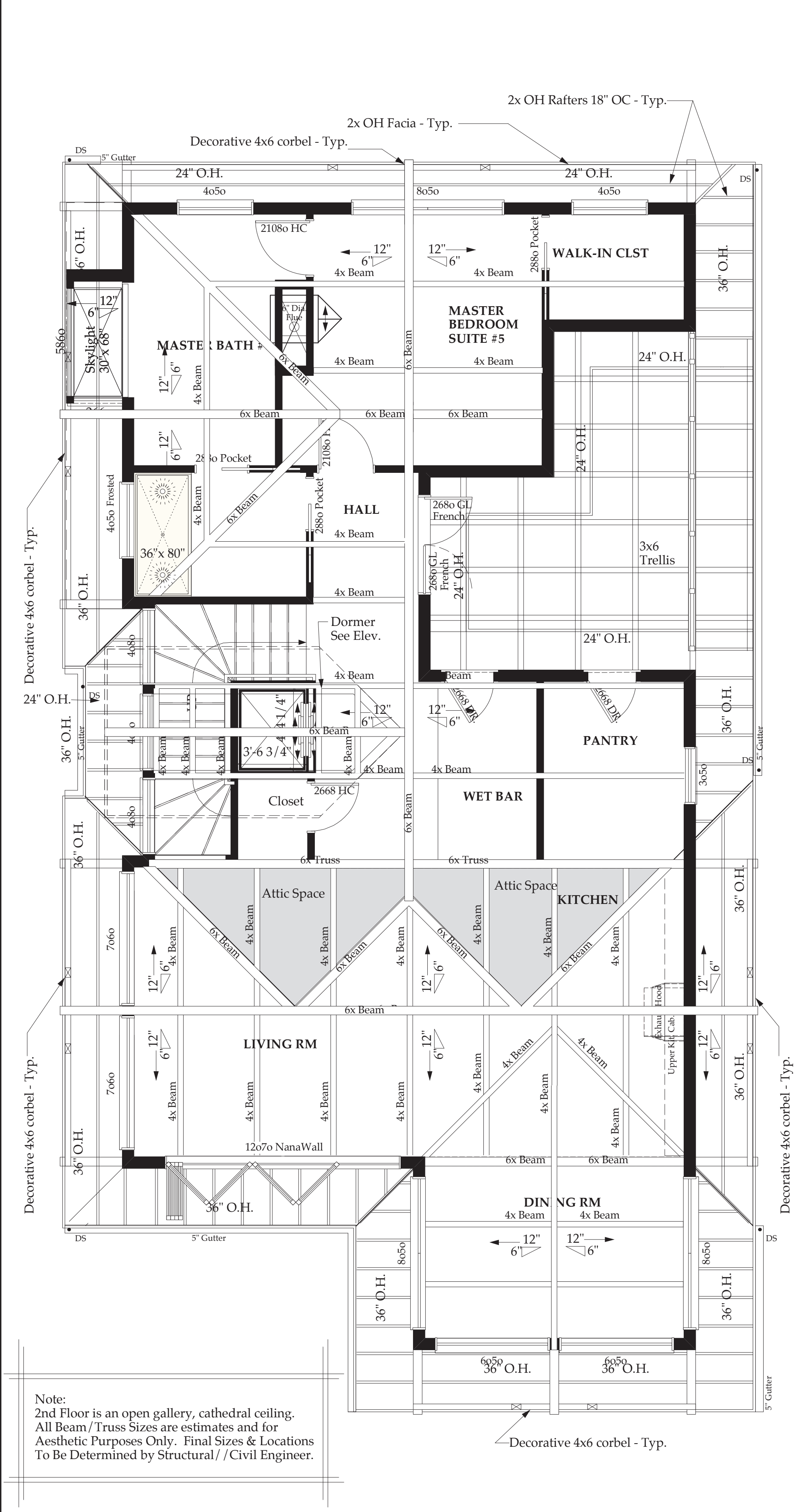
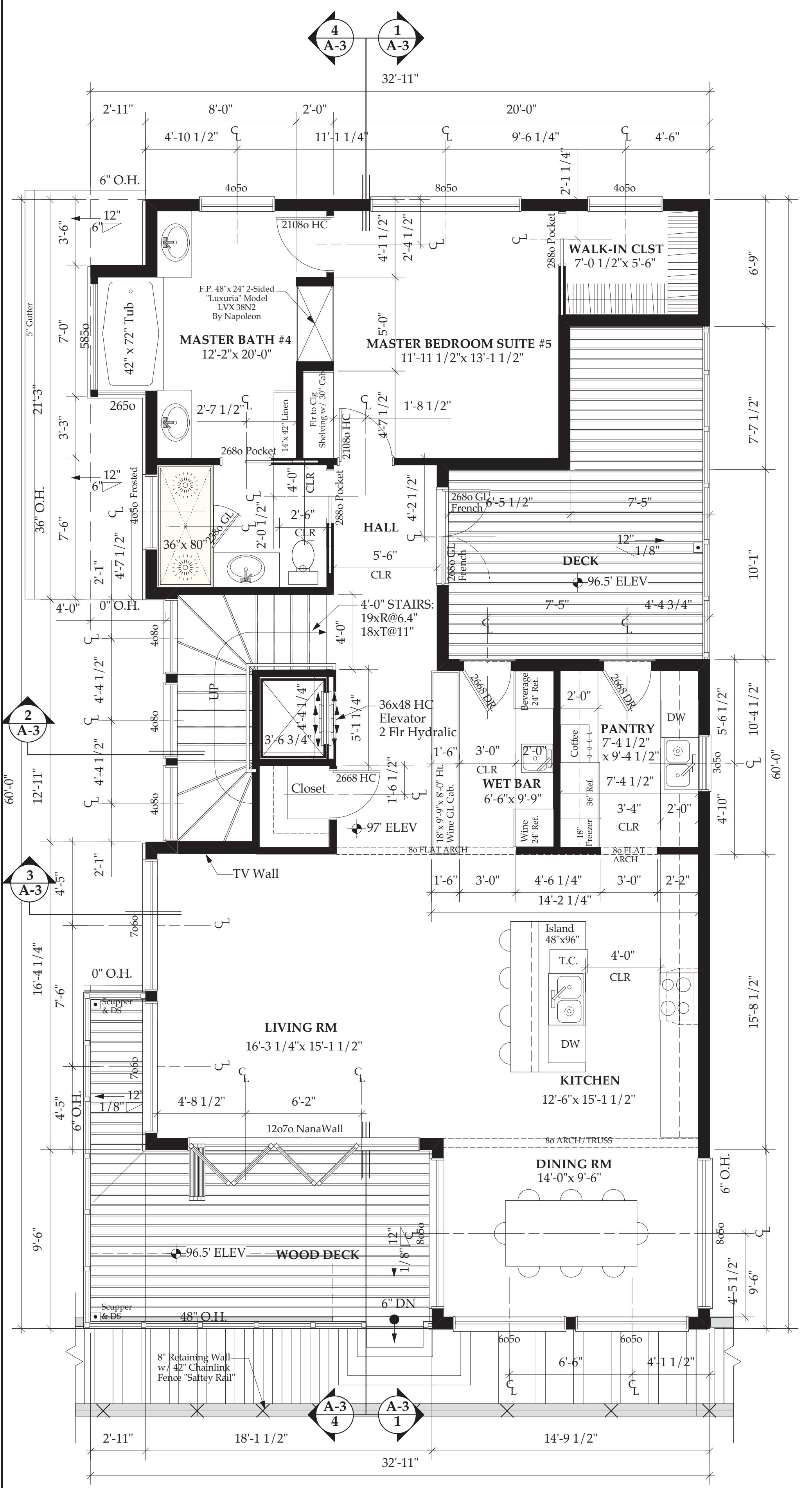
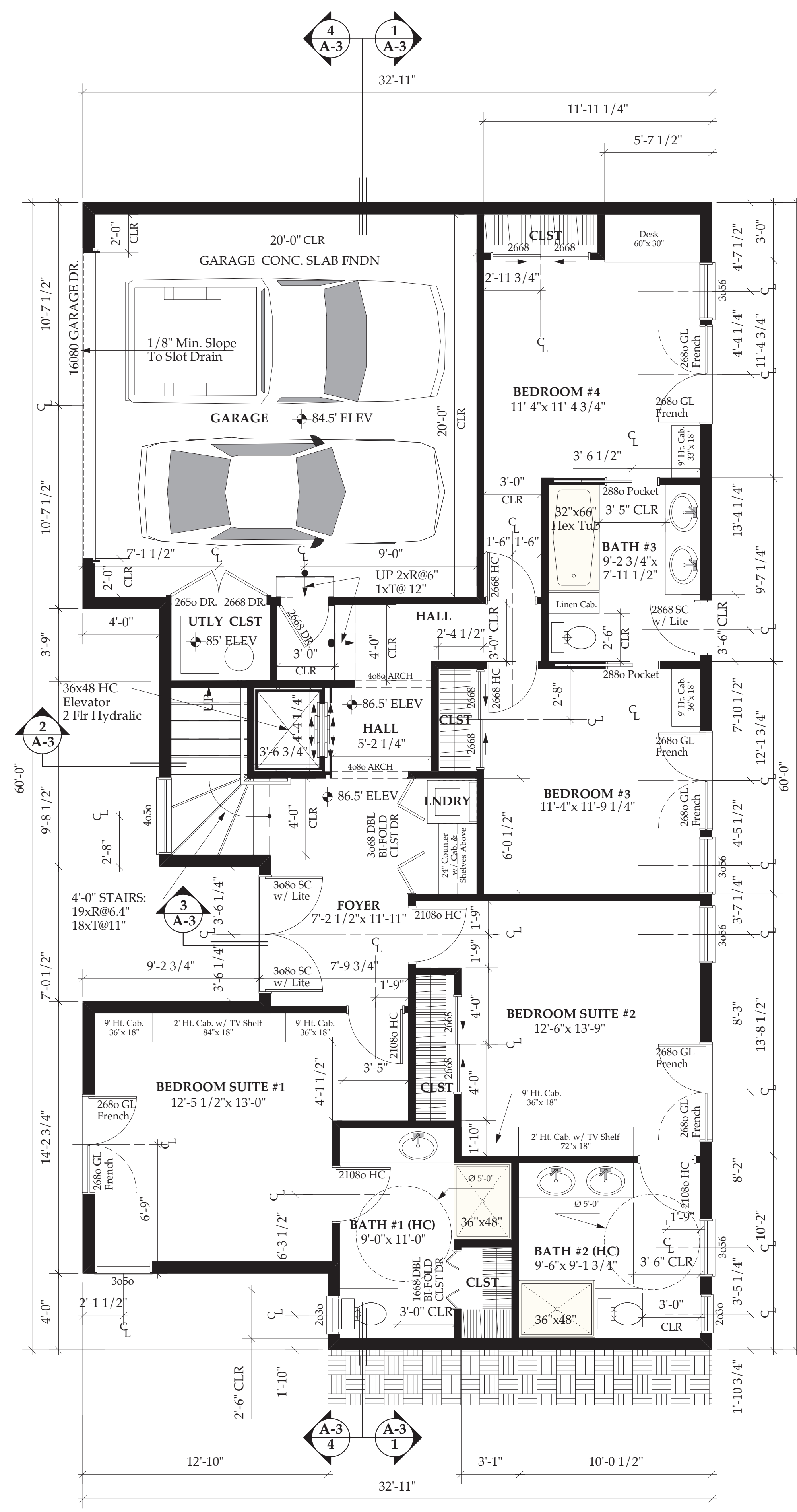
**TRUE**  
 NORTH

**DATED:** 6/17/19

**PROJECT #** 2018.01.01

**SHEET NUMBER:**

**A-1**



Note:  
 2nd Floor is an open gallery, cathedral ceiling.  
 All Beam/Truss Sizes are estimates and for  
 Aesthetic Purposes Only. Final Sizes & Locations  
 To Be Determined by Structural/Civil Engineer.



REVISIONS

Designer/Drafter:  
Alfred A. Nickel III  
(559) 630-5931

American Animate Studios  
alnickel3@sbcglobal.net

SHEET SCALE

ELEVATIONS

DEAC RESIDENCE • NEW HOUSE PROJECT  
0 ORVAL AVENUE  
MOSS BEACH, CALIFORNIA

Project:

Engineer's Seal:

DESIGN SET

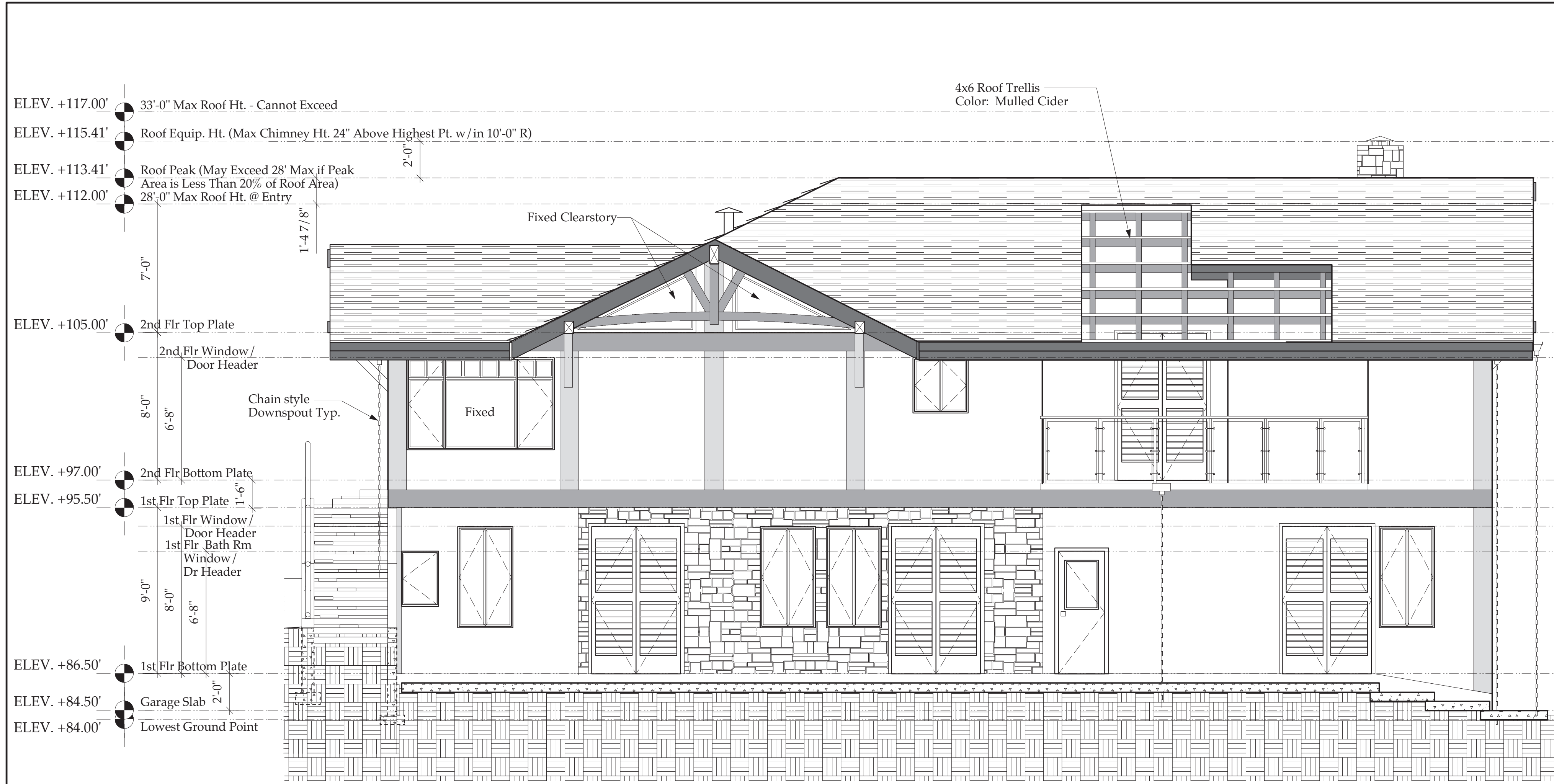
ENGINEER REVIEW NOT REQUIRED

FOR DESIGN SUBMITTAL ONLY

NOT FOR CONSTRUCTION

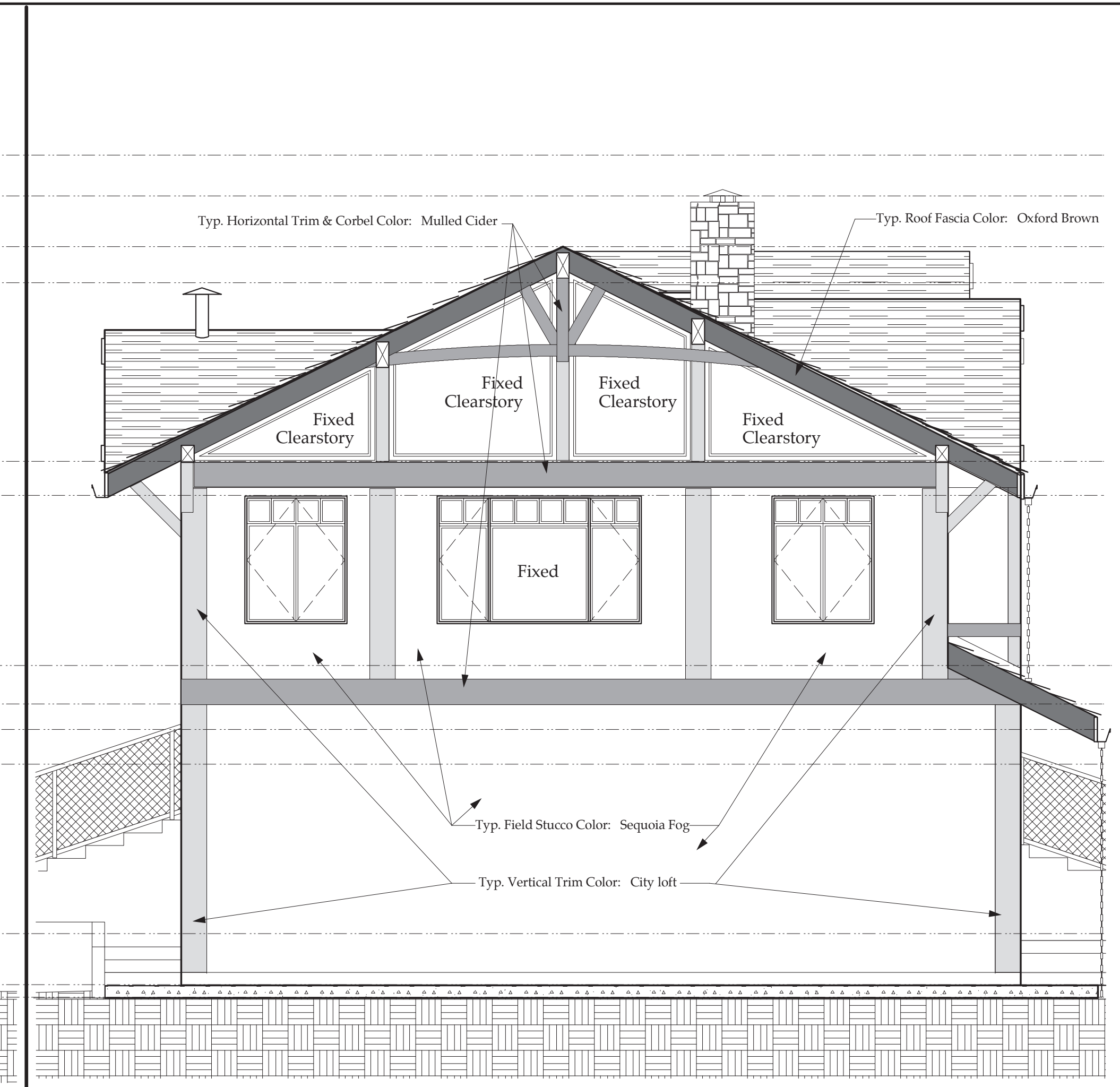
SHEET NUMBER:

A-2



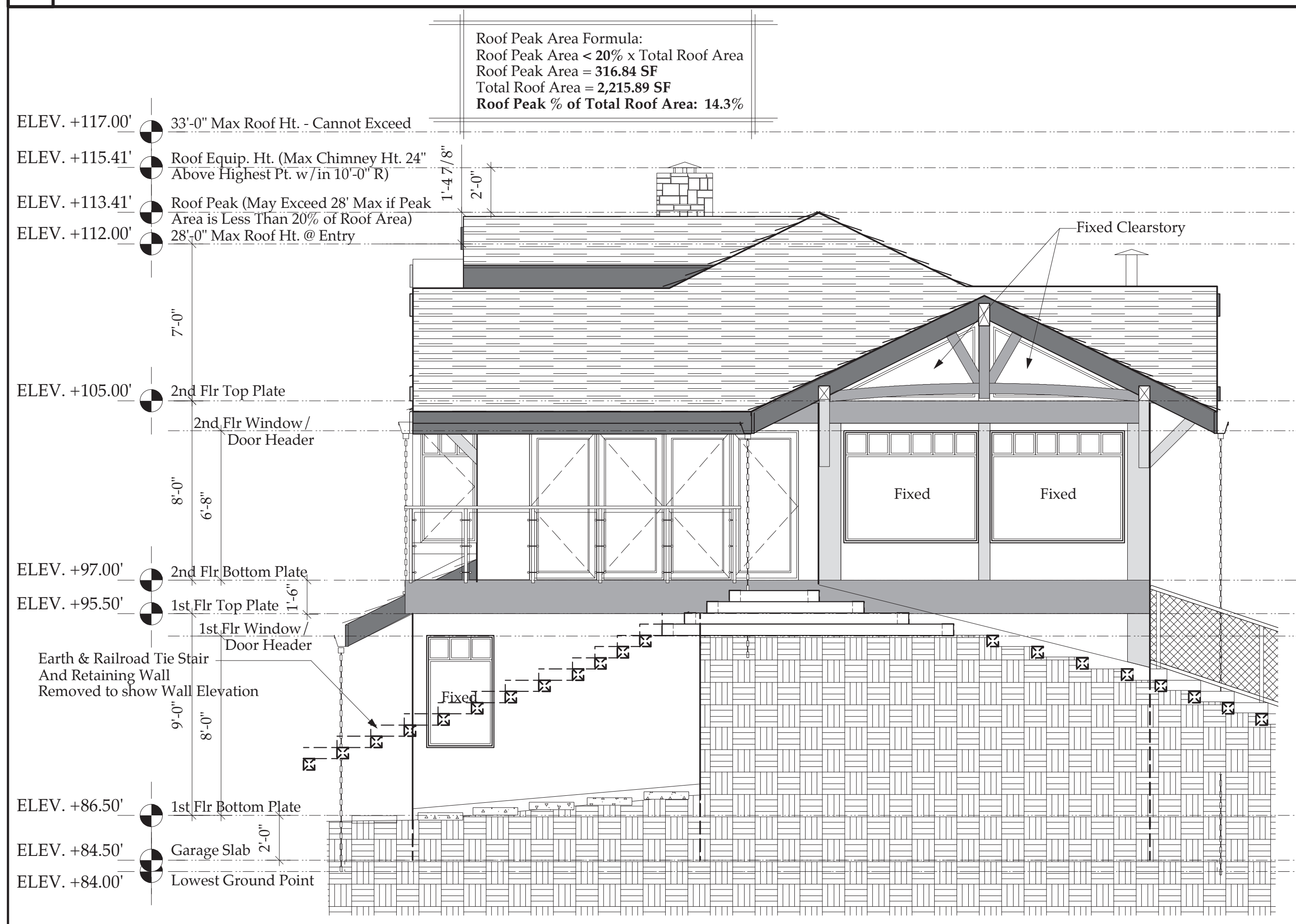
BACK (SOUTH) ELEVATION

1/4" = 1' - 0"



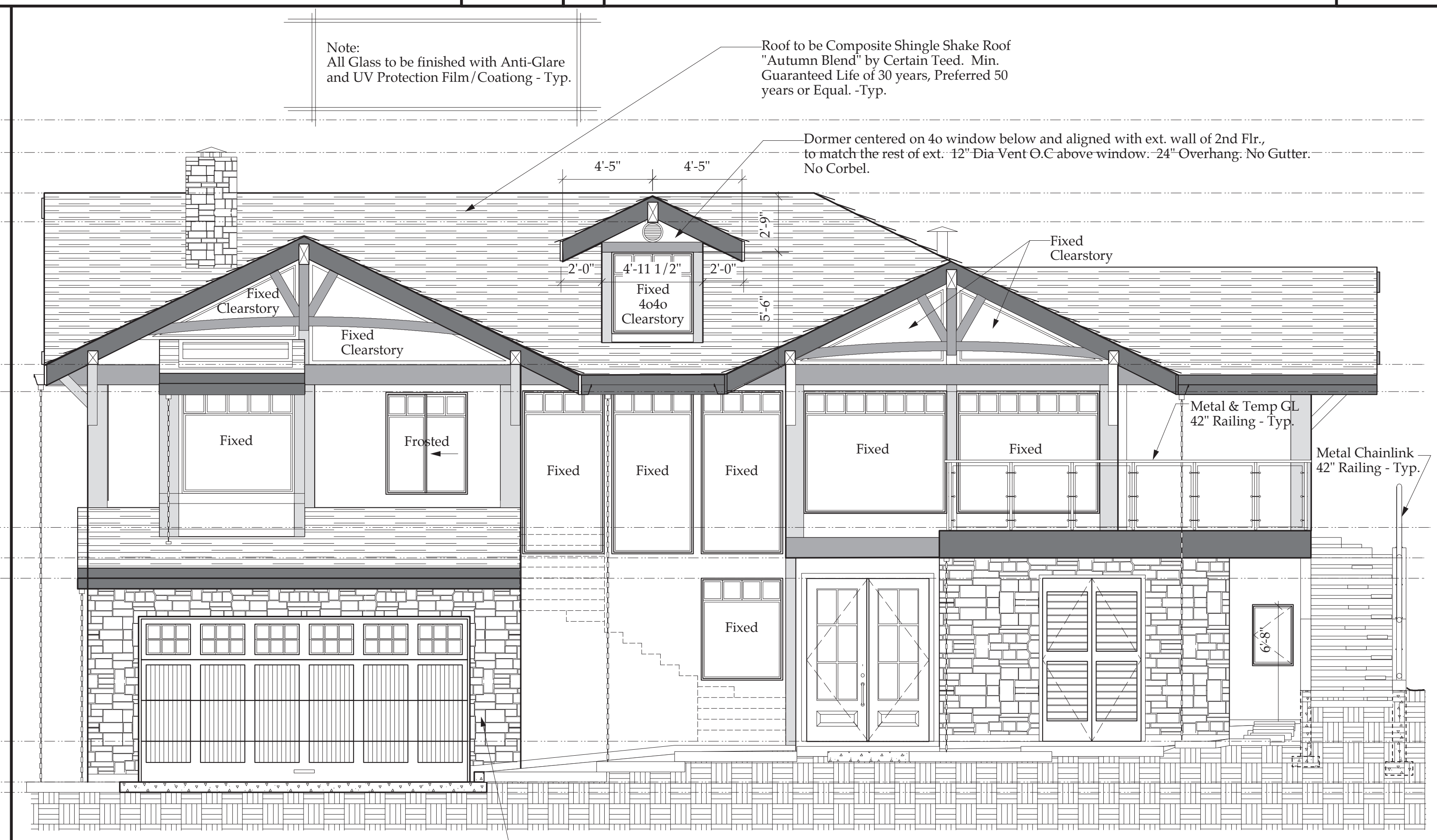
SIDE (EAST) ELEVATION

1/4" = 1' - 0"



SIDE (WEST / OCEAN VIEW) ELEVATION

1/4" = 1' - 0"



FRONT (NORTH) ELEVATION

1/4" = 1' - 0"

2

1

4

Sheet Title:

Reviewing Structural Engineer:

ENGINEER REVIEW NOT REQUIRED

FOR DESIGN SUBMITTAL ONLY

NOT FOR CONSTRUCTION

REFERENCE NORTH  
TRUE NORTH

DATED: 6/17/19 PROJECT #: 2018.01.01



Designer/Drafter:  
Alfred A. Nickel III  
(559) 630-5931

American Animate Studios  
alnickel3@sbcglobal.net

SHEET SCALE  
1/4" = 1'-0"

SECTIONS  
DEAC RESIDENCE • NEW HOUSE PROJECT  
0 ORVAL AVENUE  
MOSS BEACH, CALIFORNIA

Sheet Title:

Engineer's Seal:

Reviewing Structural Engineer:

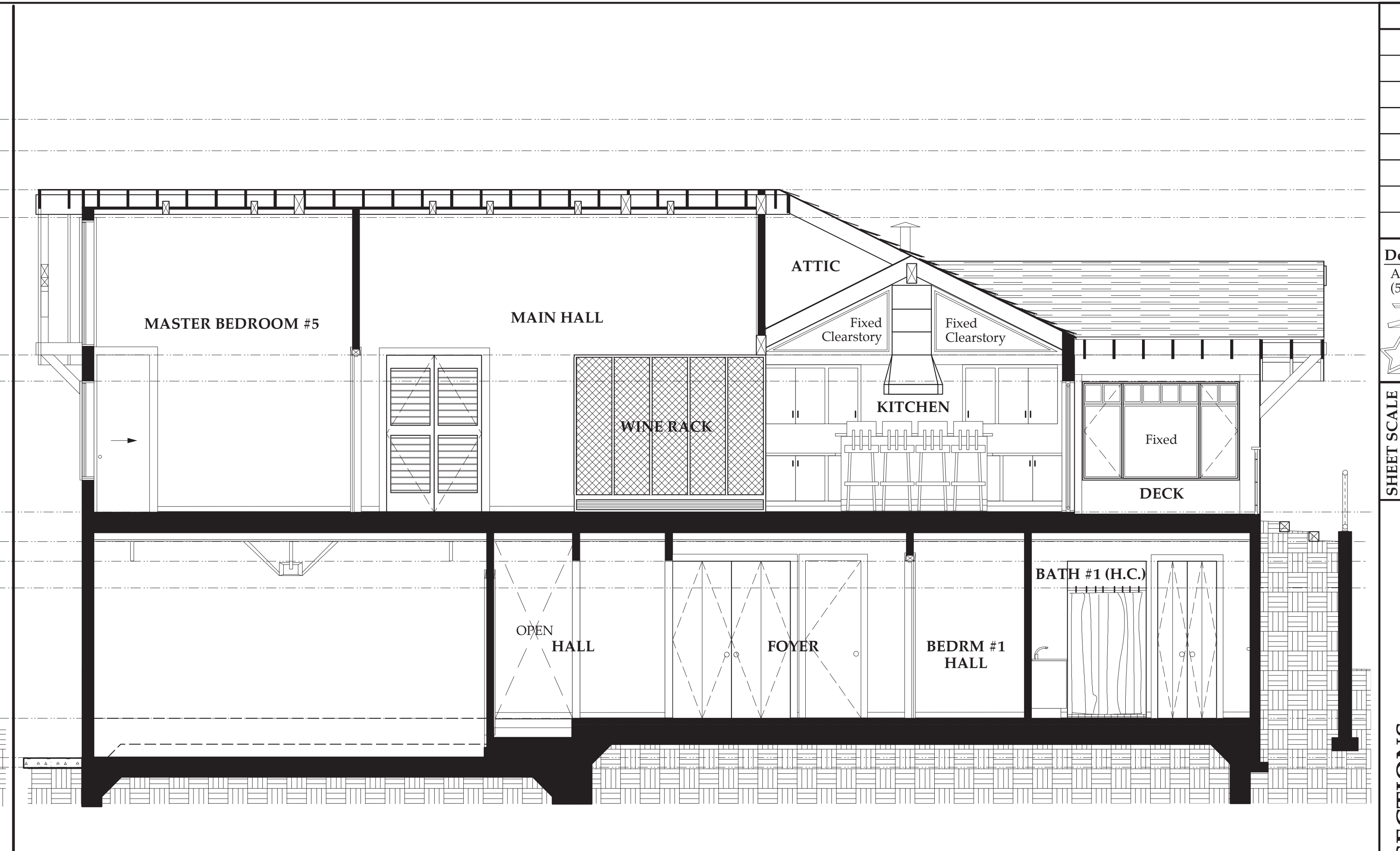
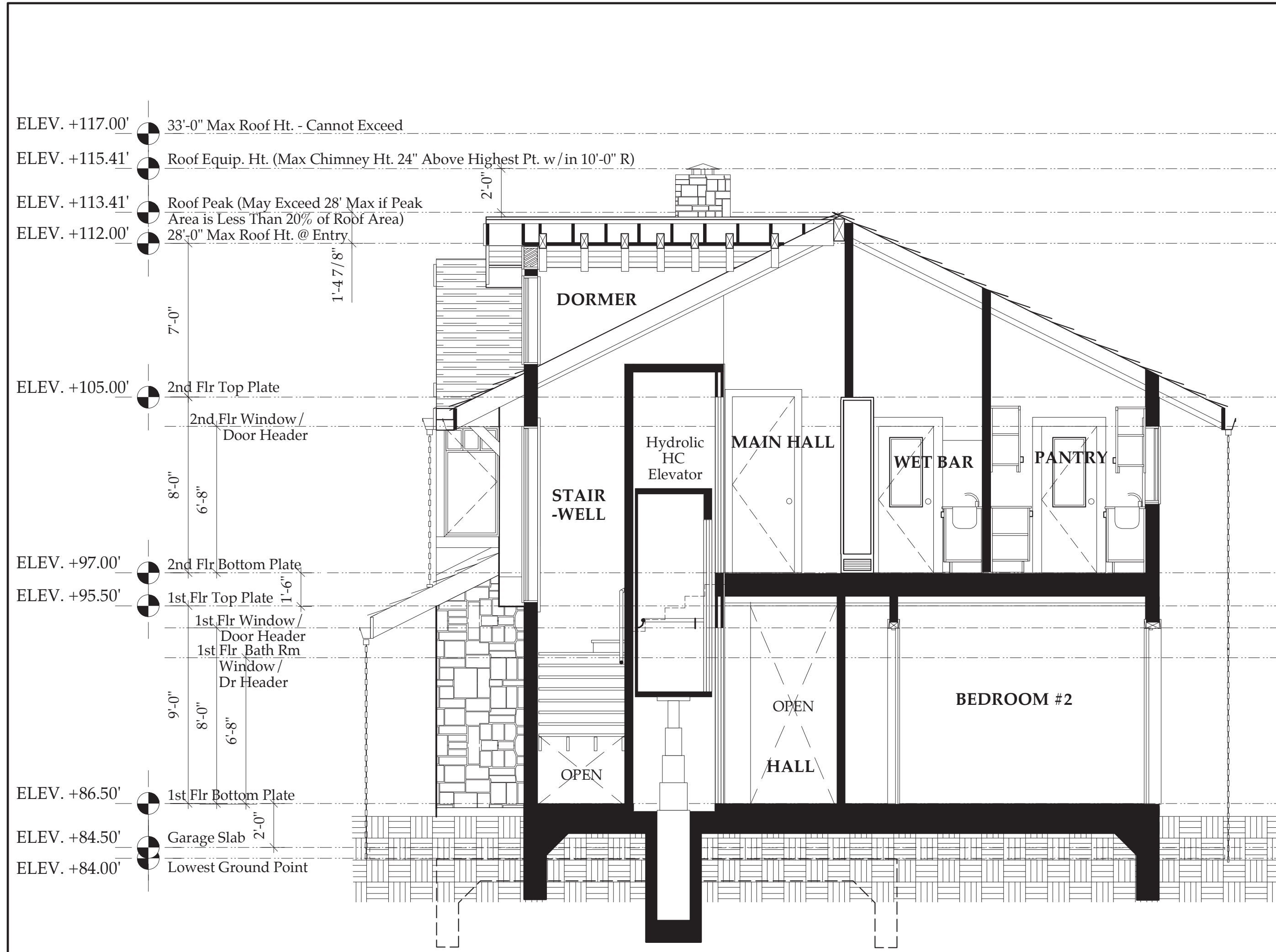
REFERENCE NORTH



DATED: 6/17/19 PROJECT # 2018.01.01

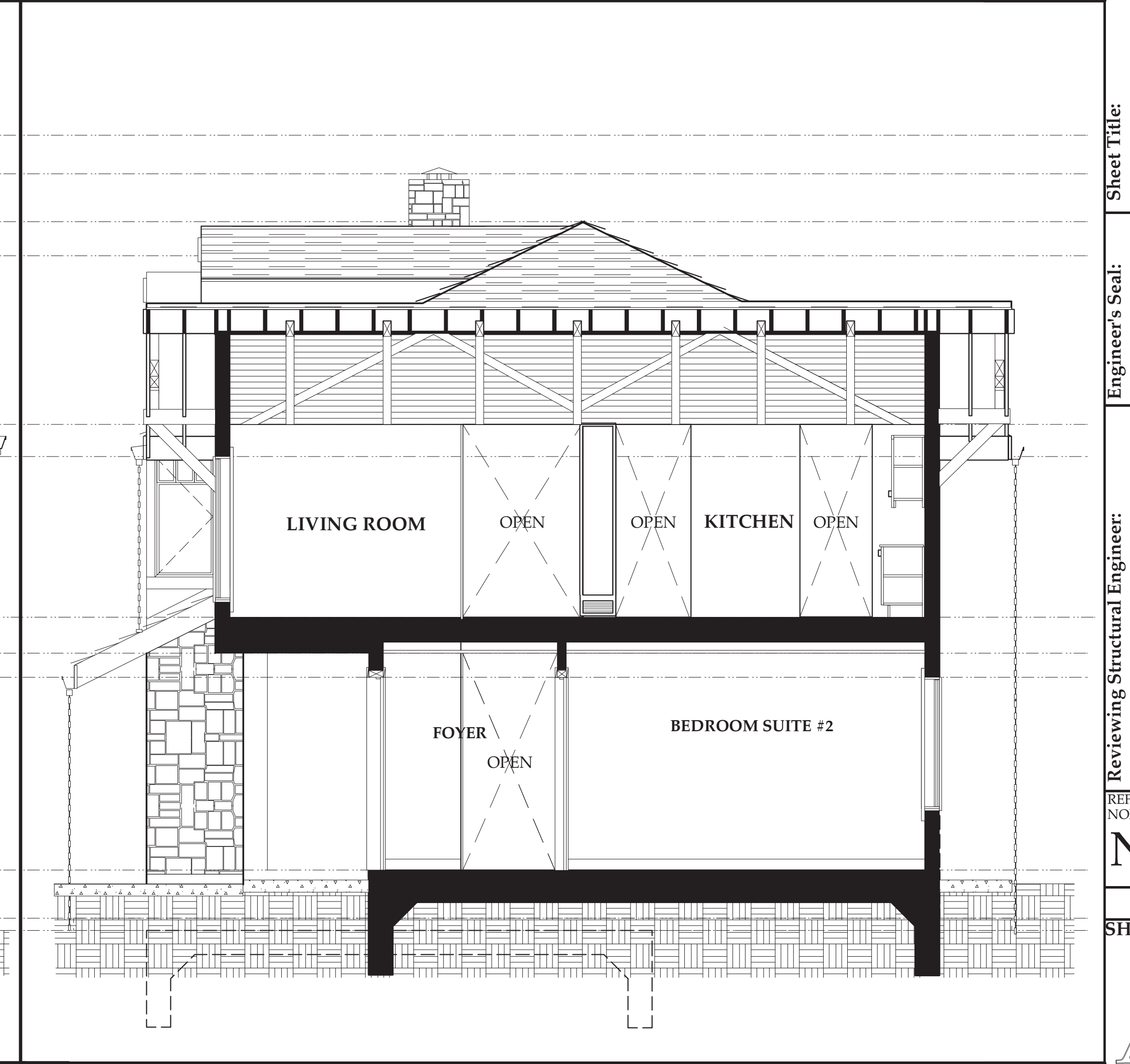
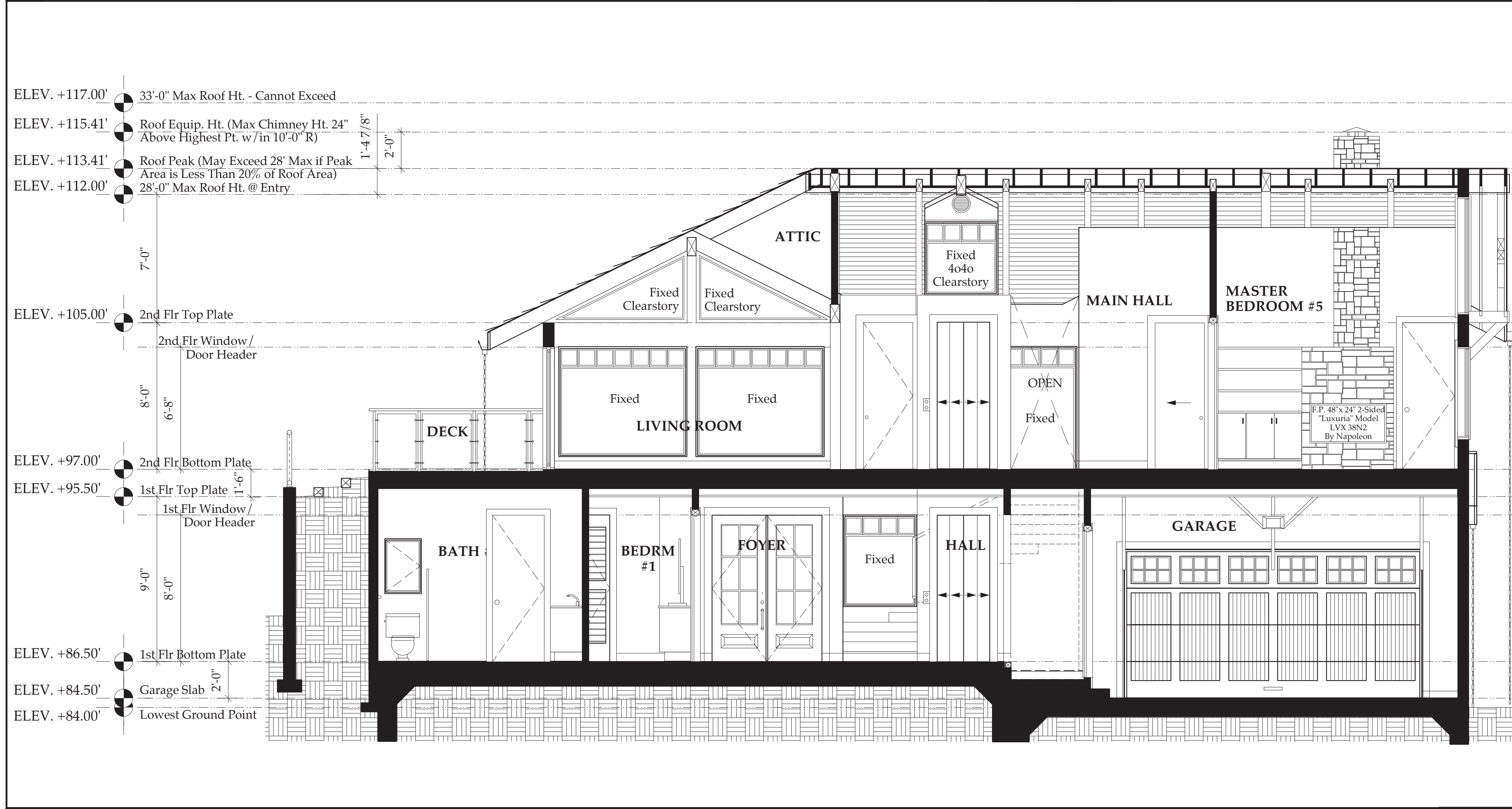
SHEET NUMBER:

A-3



2 SECTION LOOKING EAST THRU STAIR, ELEVATOR & PANTRY 1/4" = 1'-0"

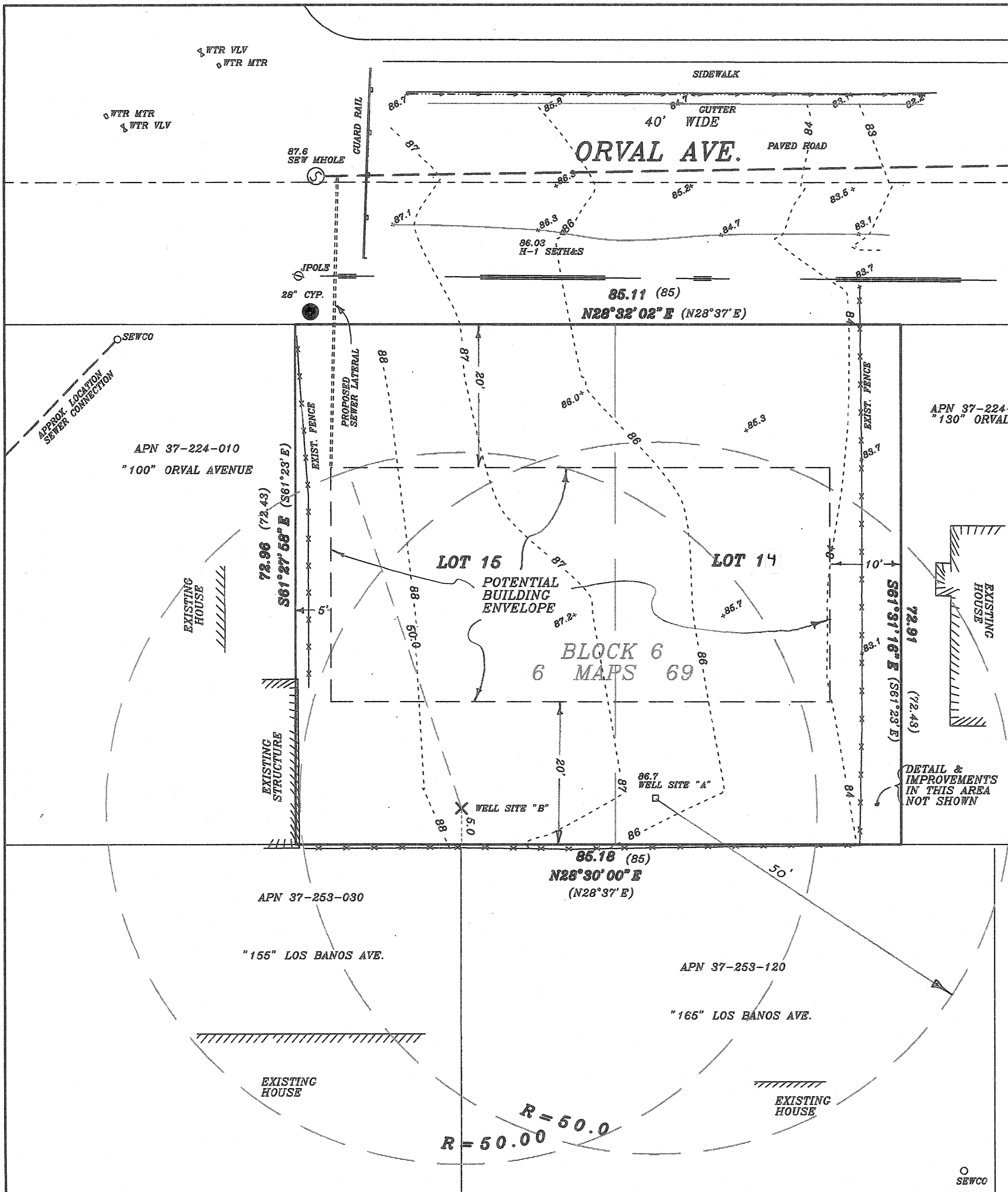
1 SECTION LOOKING SOUTH AT KITCHEN @ RIDGE 1/4" = 1'-0"



4 SECTION LOOKING NORTH AT MAIN STAIRWELL & ENTRANCE @ RIDGE 1/4" = 1'-0"

3 SECTION LOOKING EAST CUT THRU FRONT DOOR 1/4" = 1'-0"





**NOTES:**

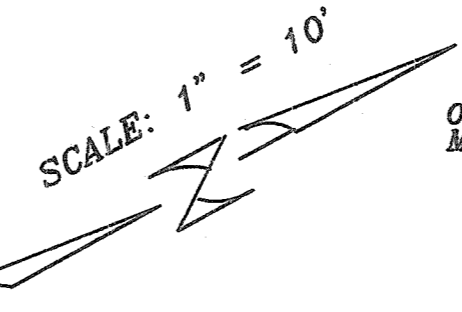
- ELEVATIONS AND CONTOURS SHOWN WERE BASED UPON A HUB SHOWN AS "WELL SITE A" WITH AN ELEVATION OF 86.7 FEET. THE ELEVATION WAS DETERMINED FROM A STATIC GPS OBSERVATION AND IS BASED UPON VGS 84 DATUM.
- SCALE: 1" = 10'; CONTOUR INTERVAL = 1'.
- TOPOGRAPHIC FEATURES SHOWN WERE LOCATED GENERALLY BY THE E.D.M. METHOD. ALTHOUGH THIS METHOD PROVIDES AN ACCURACY OF LESS THAN 0.5' FOOT IN VERTICAL AND 1.0' IN HORIZONTAL ERROR, IN MOST CASES, ANY PROPOSED DEVELOPMENT THAT IS DESIGNED ON (1) SPECIFIC HEIGHT REQUIREMENTS AND/OR (2) CLOSENESS TO SAID FEATURES SHOULD BE CONFIRMED ON THE SITE.
- A PRELIMINARY REPORT PREPARED BY FIRST AMERICAN TITLE DATED MAY 9, 2008 WITH ORDER NUMBER 3804-3082866 REFLECTS NO RECORD EASEMENTS AFFECTING THIS PROPERTY.
- THE TOTAL AREA OF THIS PROPERTY IS 6210 SQ. FT. +/- AS PER THIS SURVEY.
- SEWER MAINS AND OTHER UNDERGROUND UTILITIES ARE APPROXIMATE AND WERE BASED UPON THE VISIBLE, ABOVE GROUND LOCATIONS AS PER THIS SURVEY.
- NO VISIBLE EVIDENCE OF THE LOCATION OF A SEWER CLEAN OUT OR OTHER SEWER FACILITIES WAS FOUND ON THE PROPERTY LOCATED AT 155 LOS BANOS AVENUE.
- THE COORDINATES FOR THE PROPOSED WELL SITES ARE AS FOLLOWS:  
 WELL SITE NO. A = N37.518415 W122.510885  
 WELL SITE NO. B = N37.518420 W122.510925  
 THESE COORDINATES WERE ESTABLISHED VIA STATIC GPS OBSERVATIONS AND ARE BASED UPON THE NAD27 DATUM.
- THIS MAP DOES NOT REPRESENT A COMPLETE BOUNDARY SURVEY. HOWEVER, SUFFICIENT BOUNDARY WORK WAS DONE AND THUS, PROPERTY LINES SHOWN ARE REASONABLY ACCURATE. ADDITIONAL WORK MAY BE REQUIRED TO SET PROPERTY CORNERS AND A RECORD OF SURVEY MAP WOULD NEED TO BE PREPARED.
- ( ) INDICATES DATA AS PER 6 MAPS 69

APPROX. SEWER CONNECTION AS PER SITE PLAN ON FILE AT S.M. CO. PLANNING

10' WIDE SEWER EASE. FOR MONTANA SANITARY DISTRICT PER SITE PLAN

SEWCO

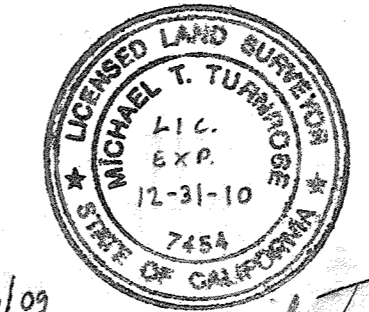
APN 37-253-110  
"185" LOS BANOS AV.



REVISED 3/12/09 ; 4/1/18

# TOPOGRAPHIC MAP

OF LOTS 14 AND 15, BLOCK 6 AS SHOWN ON THAT CERTAIN MAP ENTITLED "MAP OF MARINE VIEW BEACH" BEING FILED IN BOOK 6 OF MAPS AT PAGE 69 BEING MORE COMMONLY KNOWN AS ASSESSORS PARCEL NUMBER 37-224-020, SAN MATEO COUNTY RECORDS, CALIFORNIA.



--FOR--  
 EAMONN HERLIHY  
 2 GATEVIEW COURT  
 SAN FRANCISCO, CA 94116  
 415.566.4555

UNINCORPORATED, SAN MATEO COUNTY CALIFORNIA  
 SCALE: 1" = 10' JANUARY 2009

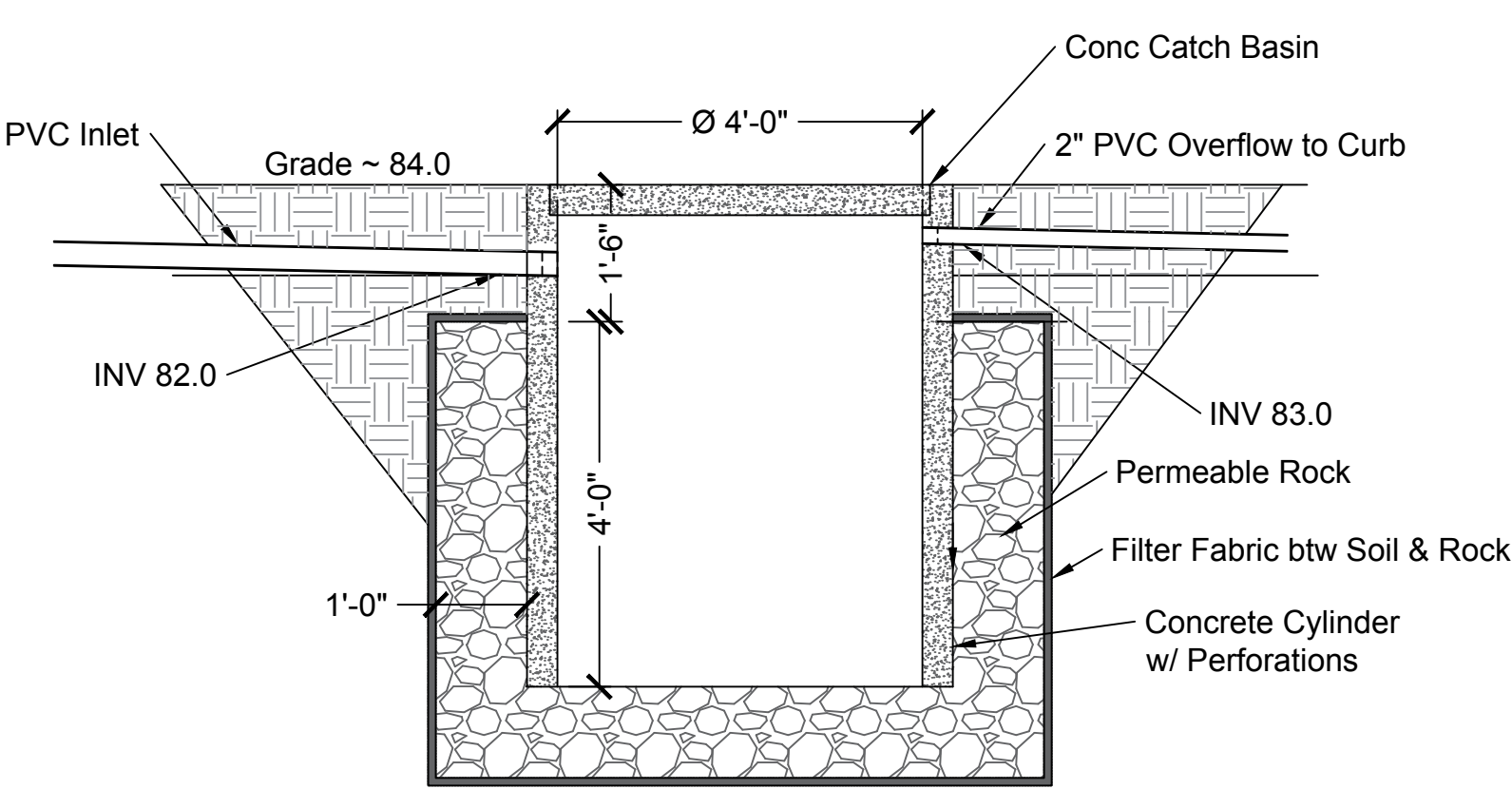
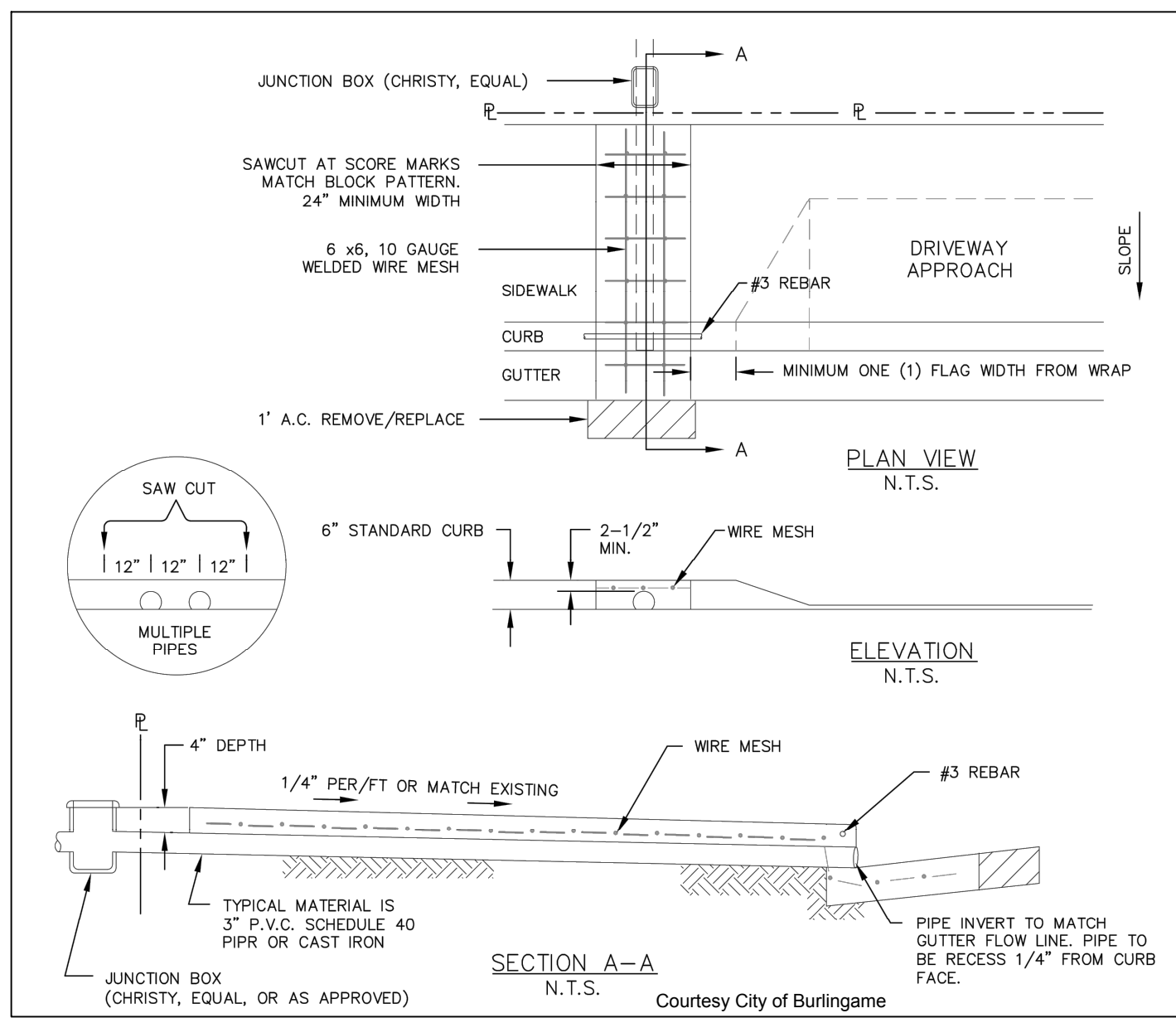
**TURNROSE LAND SURVEYING**  
 P.O. BOX 5648 125 EAST MAIN STREET NO. 4  
 REDWOOD CITY, CA. 94063 RIPON, CA 95366  
 (650) 324-3316 (209) 599-5100  
 FAX (209) 599-5119 JOB NO. 08-36

3/13/09

Michael T. Turnrose

SEWCO





1 Dry Well 1  
1/2"=1'

### STORM WATER DRAINAGE VOLUME

PEAK FLOW RATE DETERMINED BY THE RATIONAL METHOD  
 RETURN PERIOD 10 YEAR  
 DURATION 10 MIN

PEAK FLOW RATE Q= CIA

**ROOF:**  
 C = 0.9  
 I = 2.15 in/hr  
 A = 2377 ft<sup>2</sup> = 0.054 acre  
 Q = 0.9 X 2.15 X 0.054 = 0.105 ft<sup>3</sup>/s  
 V = 0.105 x 600 s = 63 ft<sup>3</sup>

**BACKYARD:**  
 C = 0.2  
 A = 1100 ft<sup>2</sup> = 0.025 acre  
 Q = 0.2 X 2.15 X 0.025 = 0.011 ft<sup>3</sup>/s  
 V = 0.011 x 600 s = 6.6 ft<sup>3</sup>

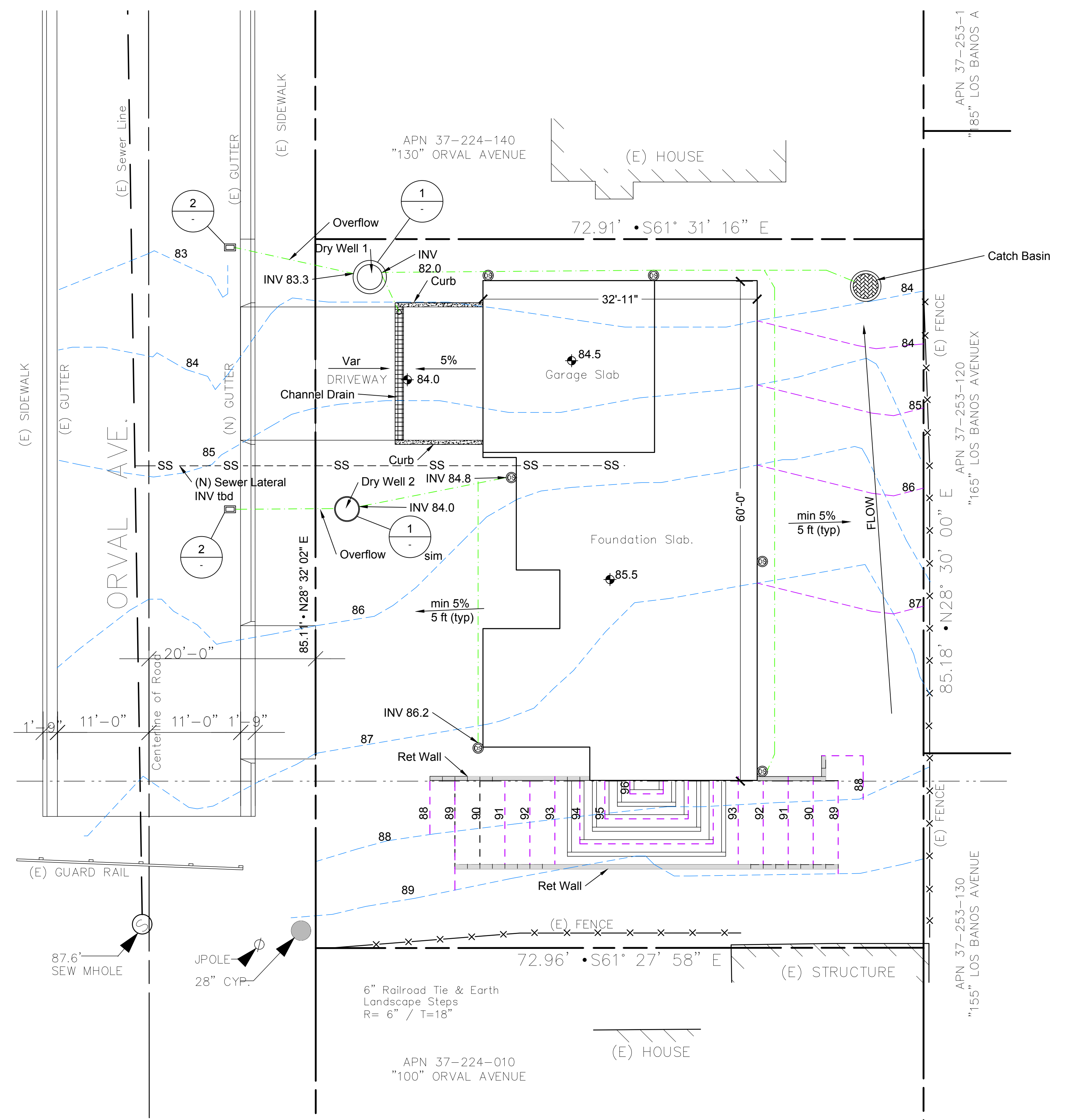
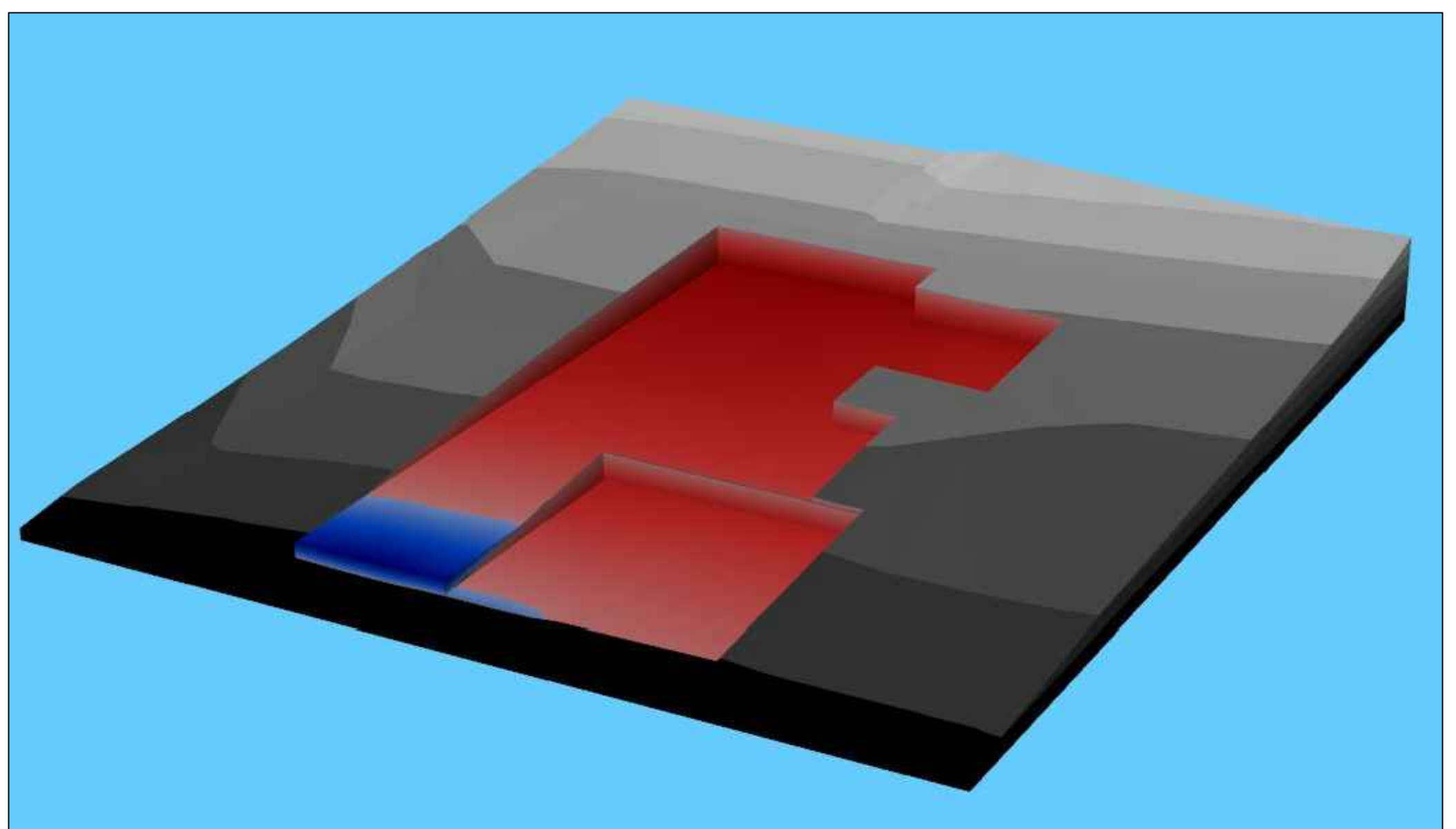
Dry Well 1: 2/3 of Roof + Backyard = 48.6 ft<sup>3</sup>  
 DW Size: Ø4' x 4' = 50.3 ft<sup>3</sup>

Dry Well 2: 1/3 of Roof = 21 ft<sup>3</sup>  
 DW Size: Ø3' x 3' = 21 ft<sup>3</sup>

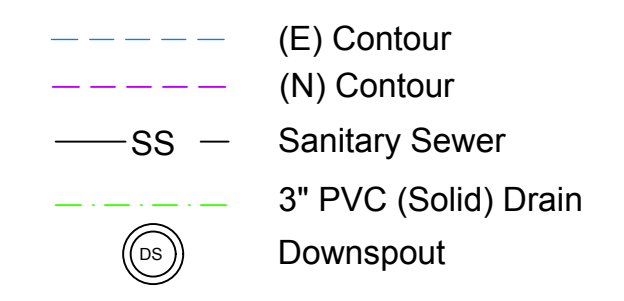
### 2 Curb Drain

#### Drainage Notes:

- Storm water from all roof drains shall be routed to the dry well shown.
- All drainage pipes shall be solid PVC Pipe Sch40 U.N.O.
- All drainage pipes shall be 3", U.N.O.
- All drainage pipes shall slope min 2% (1/4"/ft).
- The grade around the foundation perimeter shall be sloped 5% away from the stem wall.
- Dry well overflow shall be drained to the curb.



Existing Ground Levels	*Min Level (ft)	*Max Level (ft)	*Average Level (ft)			
	83.25	87.89	85.99			
*For earthworks footprint area only						
ALL EARTHWORKS IN PHASE	Cut Depths (ft)	Cut Levels (ft)	Cut 2D Area (yd <sup>2</sup> )	Cut 3D Area (yd <sup>2</sup> )	Cut Volume (yd <sup>3</sup> )	
All Elements	1.89 Av., 3.39Max.	83.5 to 87.89	186.21	235.42	117.46	
	Fill Heights (ft)	Fill Levels (ft)	Fill 2D Area (yd <sup>2</sup> )	Fill 3D Area (yd <sup>2</sup> )	Fill Volume (yd <sup>3</sup> )	
	0.56 Av., 1.25Max.	83.25 to 84.5	13.73	16.67	2.58	
	Net Differences (ft)	Net Levels (ft)	Net 2D Area (yd <sup>2</sup> )	Net 3D Area (yd <sup>2</sup> )	Net Volume (yd <sup>3</sup> )	
	-3.39 to 1.25, -1.72Av	83.25 to 87.89	199.94	252.09	-114.88	



## Grading & Drainage Plan

DATE	REVISION

**HB CAD Design**  
 Herbert Birtelmer, P.E. C78306  
 880 Siliacci Dr  
 Campbell, CA 95008  
 (408) 355-4262 / birtthi@birtthi.com



**Deac Residence**  
 0 Orval Ave  
 Moss Beach, CA 94038

4/10/19  
**C-1**

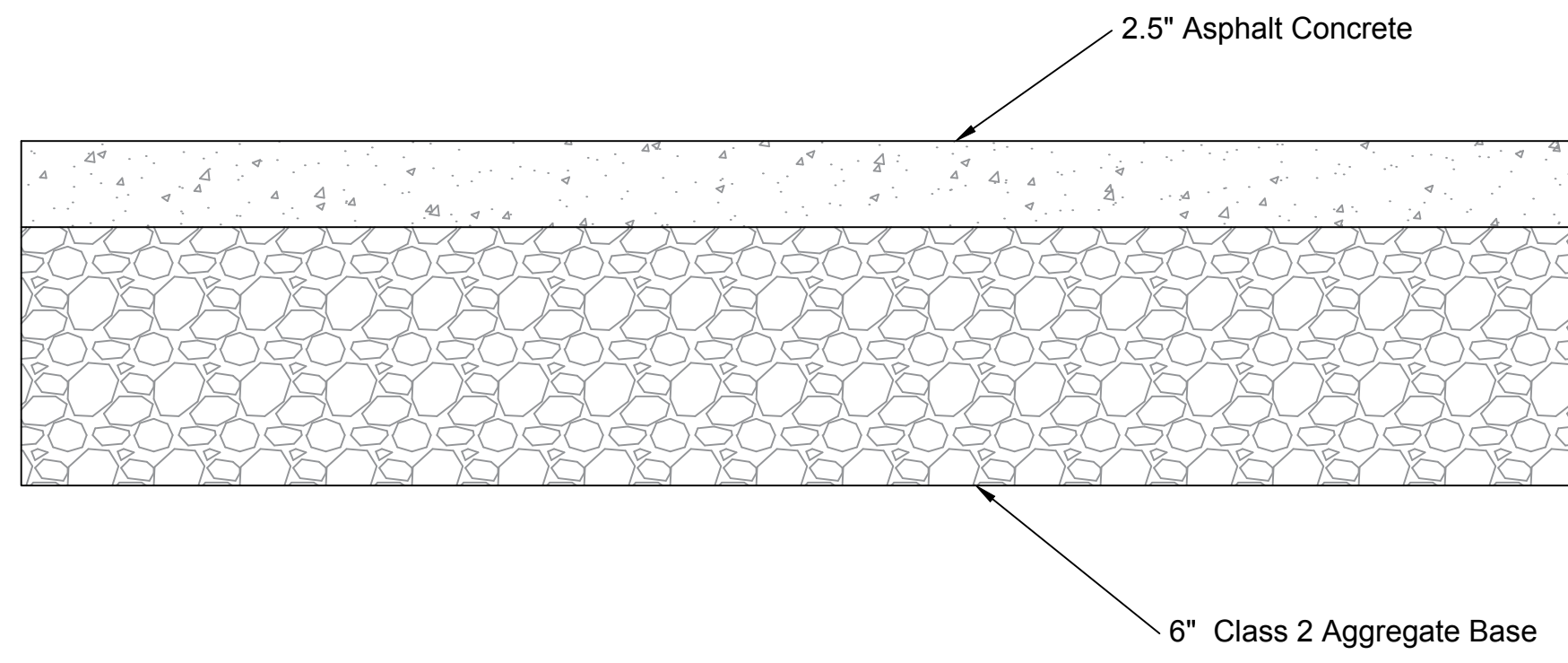
Page of

Electronically applied seal and signature are in conformance with California Code of Regulations §411 (e)

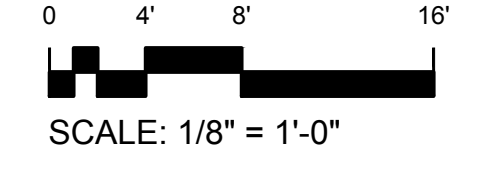
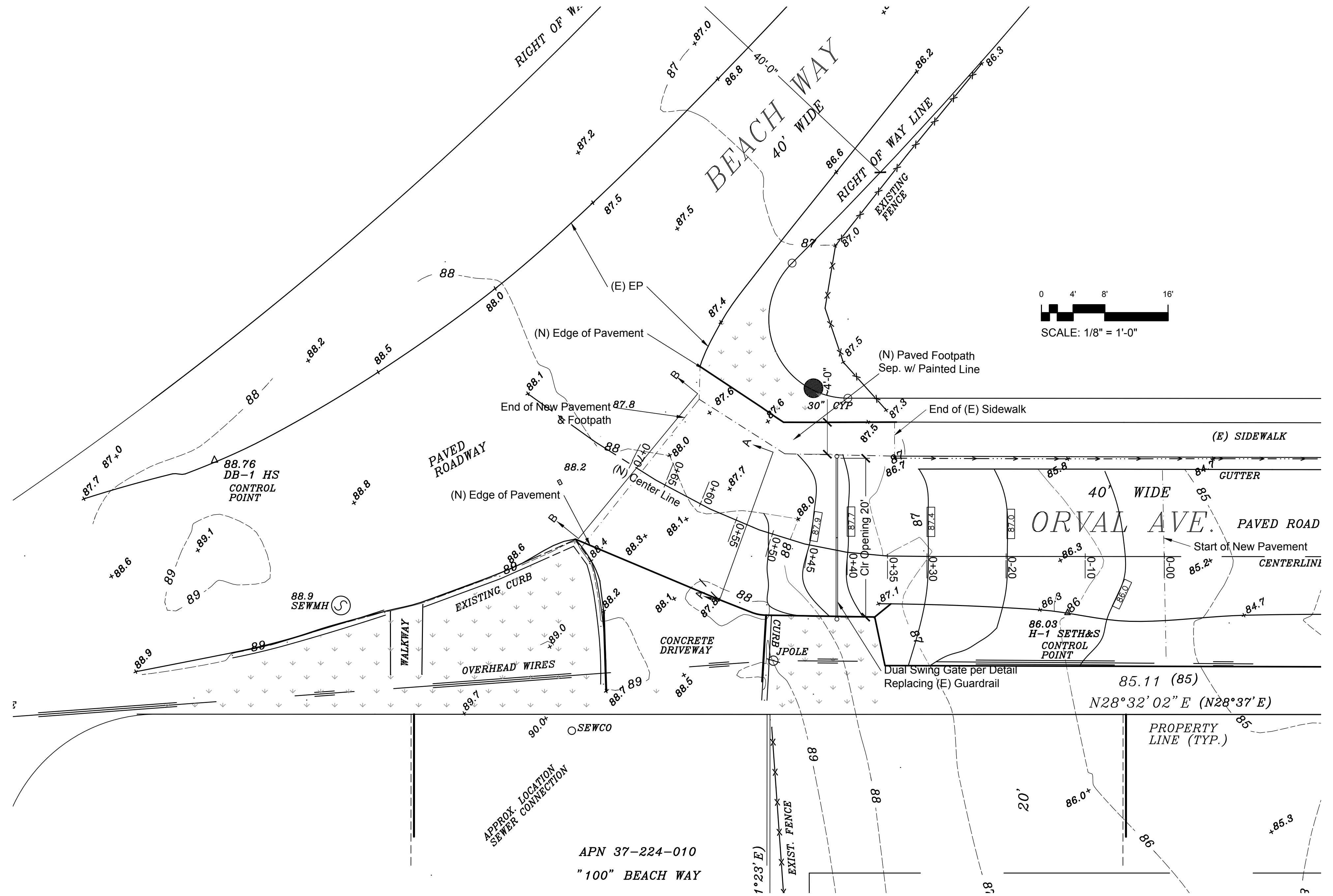
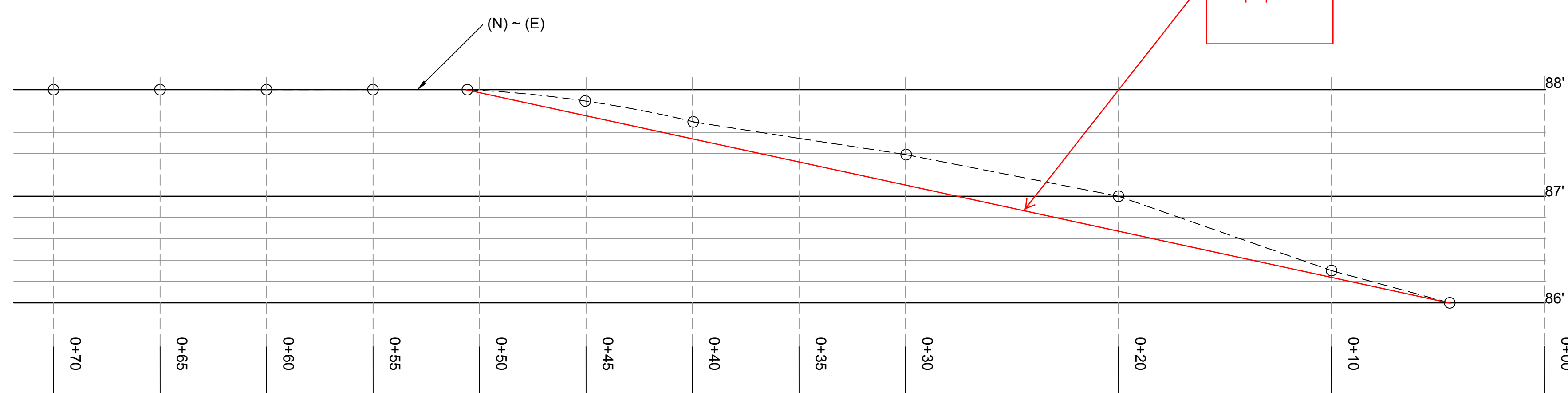
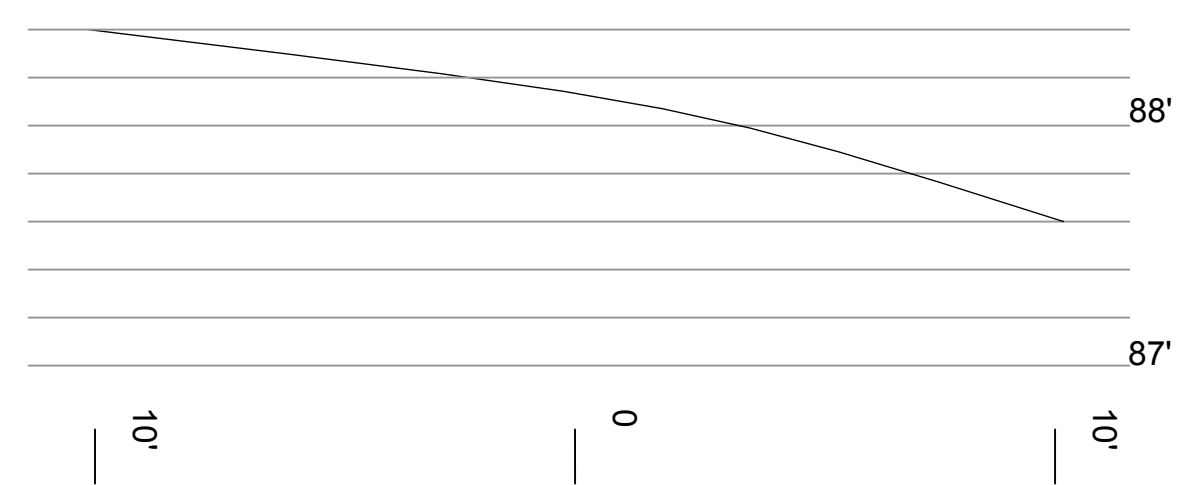
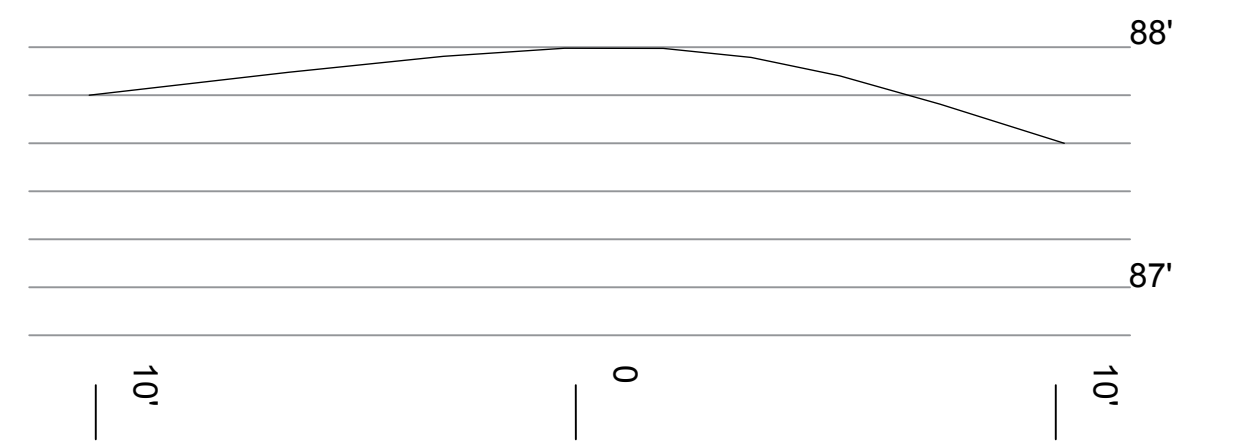
© HB CAD Design

5/16/2019 10:37 PM Grading & Drainage 6





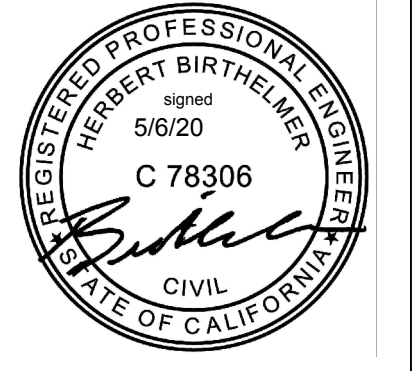
Street Pavement (typ)



- Legend**
- (E) Contour
  - - - Contour Replaced
  - - - (N) Contour
  - - - (E) EP (Edge of Pavement)
  - - - (N) EP
- Scope of Work**
- Clear existing landscaping within the outlined new paved area.
  - Remove deteriorated pavement in outlined area
  - Grade according to specified profile and section.
  - Pave area per detail.

REVISION	DATE
Rev per comments 8/30/19 and before	10/9/2019
Illustration of proposed work per 1/27/20 request	4/15/20
Rev	5/5/2020

**HB CAD Design**  
 Herbert Birtelmer, P.E. C78306  
 880 Sliacci Dr  
 Campbell, CA 95008  
 (408) 355-4262 / birth@birth.com

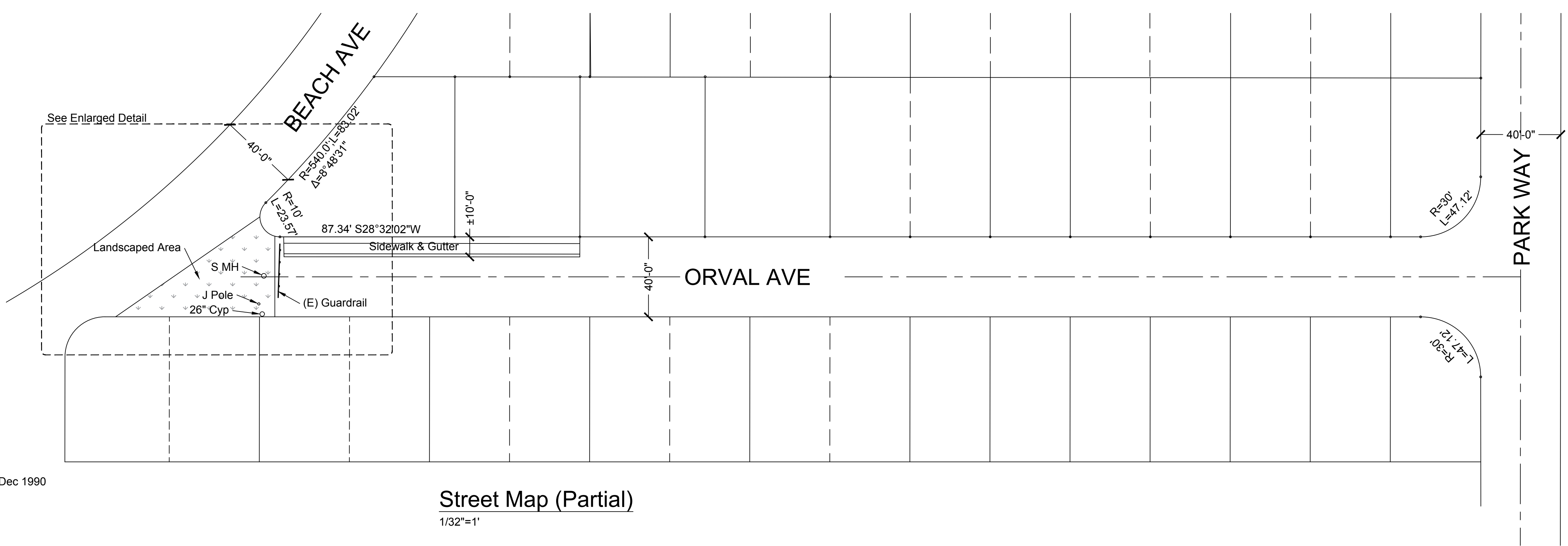


**Deac Residence**  
 0 Orval Ave  
 Moss Beach, CA 94038

4/10/19  
**C-2**  
 Page of

Electronically applied seal and signature are in conformance with California Code of Regulations §411 (e)



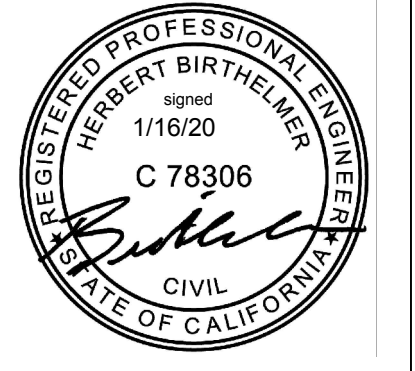


**Street Map (Partial)**  
1/32"=1'

**References:**  
 Maps are based on  
 - Topographic Map, Turnose Land Surveying, 3/12/2009  
 - County of San Mateo Survey Record Vol 13 Pg 37 - McLeod an Associates, Dec 1990  
 - Map Book 6 Pg 69  
 The maps shown are a simplified representation of the above sources, and shall not be used for any other purpose.

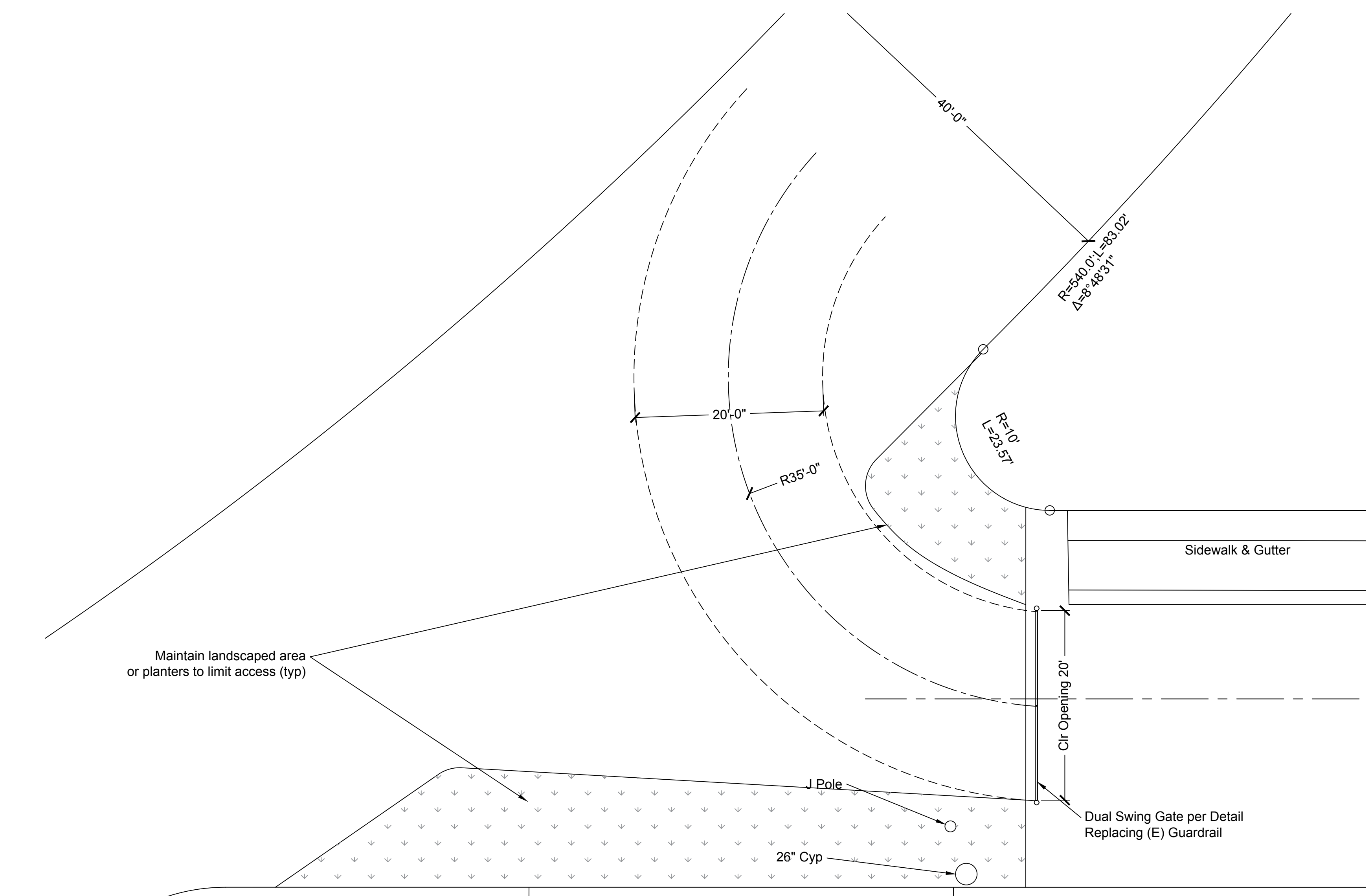
REVISION	DATE

**HB CAD Design**  
 Herbert Birtheimer, P.E. C78306  
 880 Siliacci Dr  
 Campbell, CA 95008  
 (408) 355-4262 / birthi@birthi.com

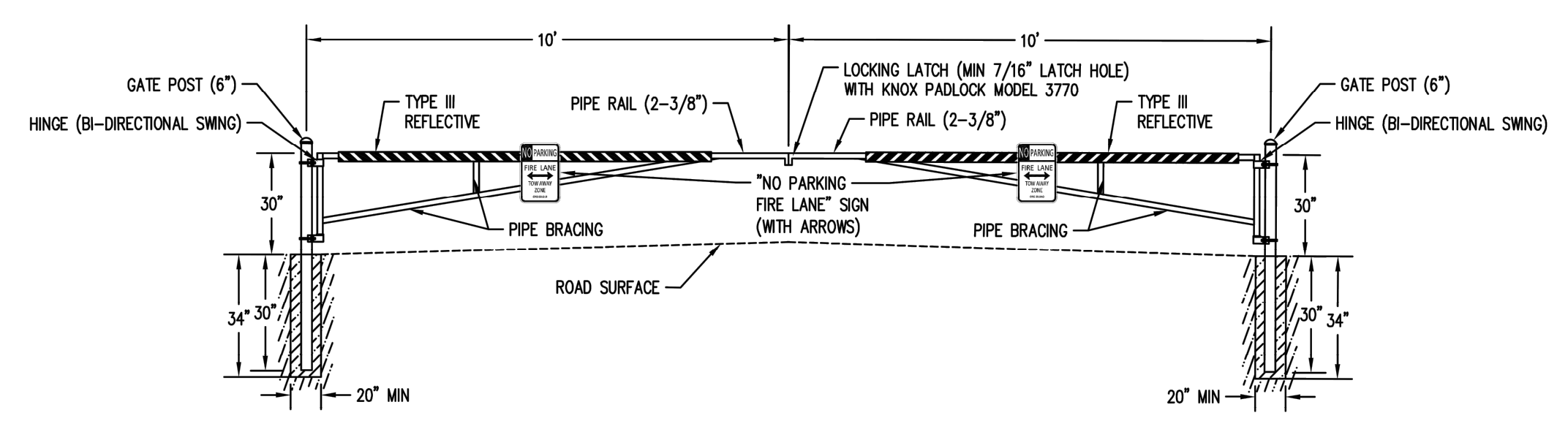


**Deac Residence**  
 0 Orval Ave  
 Moss Beach, CA 94038

1/15/20  
**F-1**  
 Page of



**Gate Area & Turn Radius**  
1/8"=1'



Courtesy of City Of Hillsboro - Oregon

**Dual Swing Gate Detail**  
N.T.S.

- Gate Notes:**
- All materials shall be Sch 40 galvanized steel pipe.
  - Protective finish shall be Hot-Dipped Galvanized.
  - Concrete shall be 2500 psi.
  - Coordinate installation of KNOX padlock with San Mateo County Fire Department.
  - Install signs as shown or per County Fire Department request.

- General Notes:**
- Remove existing guardrail and landscaping to provide a path as shown.
  - Install new pavement in cleared areas per San Mateo County Public Works standards.

**Fire Apparatus Access to Orval Ave**

Electronically applied seal and signature are in conformance with California Code of Regulations §411 (e)