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Home Decor Furniture Wall Decor Kitchen & Dining Bedding & Bath Lighting Window Treatments Shop By Room

Home / Lighting / Outdoor Lighting / Outdoor Wall Lighting / Outdoor Sconces

Model #72211-615B Internet #206039373



Hover Image to Zoom

### Bay Crest 1-Light Dorian Bronze Outdoor Wall Lantern Sconce by the great outdoors by Minka Lavery >

★★★★★ 20

[Write the First Review](#) [Questions & Answers](#)

 **This item:** Bay Crest 1-Light Dorian Bronze Outdoor Wall Lantern Sconce  
 Wall Lantern Sconce  
**\$84.95**

 Home Decorators Collection Greeleyville 2-Light Sand Black Outdoor Integrated LED Wall Lantern Sconce with Etched Glass  
**\$69.97**

 Artika Essence 4.3 in. Chrome LED Sconce with Bubble Glass  
**\$64.97**

### Specifications

#### Sconce Type

Wall Lantern

[See Similar Items](#)

#### Number of Lights

1 Light

[See Similar Items](#)



#### Power Type

Hardwired

[See Similar Items](#)

#### Fixture Material

Aluminum

[See Similar Items](#)

#### Voltage Type

Line Voltage

[See Similar Items](#)

#### Outdoor Lighting Features

Weather Resistant

[See Similar Items](#)

#### Light Bulb Type Included

No Bulbs Included

[See Similar Items](#)

#### Outdoor Lighting Features

Dark Sky

[See Similar Items](#)

### Dimensions

Product Depth (in.)	9.5
---------------------	-----

Product Height (in.)	8.25
Product Width (in.)	8.88

### Details

Compatible Bulb Type	CFL,Incandescent,LED
Exterior Lighting Product Type	Outdoor Sconces
Fixture Color/Finish	Dorian Bronze
Fixture Material	Aluminum
Glass/Lens Type	No Glass/Lens
Included	Hardware Included
Light Bulb Base Code	E26
Light Bulb Type Included	No Bulbs Included
Maximum Bulb Wattage	60 W
Maximum Wattage (watts)	0
Number of Lights	1 Light
Outdoor Lighting Features	Dark Sky,Weather Resistant
Power Type	Hardwired
Product Size	Small
Product Weight (lb.)	0.9
Recommended Light Bulb Shape Code	A19
Returnable	180-Day
Sconce Type	Wall Lantern
Style	Industrial,Modern
Voltage Type	Line Voltage



### Warranty / Certifications

Certifications and Listings	ETL Listed
Manufacturer Warranty	Three (3) year limited warranty

How can we improve our product information? Provide feedback.

### Product Overview



Model #72211-615B Internet #206039373

### Info & Guides

### Customers Who Viewed This Also Viewed




**the great outdoors by Minka Lavery Bay Crest 1-Light Brushed Aluminum Outdoor**

★★★★★ (1)

**\$104<sup>95</sup>**

**Add To Cart**



**HomeSelects Contempo 1-Light Brushed Nickel LED Outdoor Wall Sconce**

~~NOT YET RATED~~

**\$73<sup>99</sup>**

**Add To Cart**



**Sunlite 1-Light 6.5 in. Wide Black LED Modern Indoor Outdoor Wall Sconce with Rain**

~~NOT YET RATED~~

**\$149<sup>00</sup>**

**Add To Cart**



**K... Black Glass**

~~NOT YET RATED~~

**\$70**

**Add To Cart**

### Compare Similar Outdoor Sconces

CURRENT PRODUCT

AS OF JANUARY 1, 2016

CALIFORNIA BUILDING CODE 2016 EDITION
CALIFORNIA PLUMBING CODE 2016 EDITION (CPC)
CALIFORNIA ELECTRICAL CODE 2016 EDITION (CEC)
CALIFORNIA MECHANICAL CODE 2016 EDITION (CMC)
CALIFORNIA ENERGY CODE 2016 EDITION (CEnergyC)
CALIFORNIA RESIDENTIAL CODE 2016 EDITION (CRC)
CALGREEN CODE 2016 EDITION (CRC)
ALONG WITH ANY OTHER LOCAL AND STATE LAWS AND REG.

SCOPE OF WORK

NEW THREE STORY HOME NEW SEWER LINE
NEW PAVED ROAD TO HOUSE NEW WATER LINE

DRAWING INDEX

- A1 THIS SHEET
A2 FLOOR PLANS
A3 GARAGE FLOOR PLAN & ELEVATIONS
A4 ELEVATIONS
A5 ELEVATIONS
A6 FIRE NOTES
C1 GRADING PLAN
C2 CIVIL DETAILS
C3 DRAINAGE PLAN
C4 EROSION CONTROL
C5 UTILITY PLAN
L1 LANDSCAPING PLANS
L2 LANDSCAPING PLANS

BUILDING INFO
APN: 047161100
LAND AREA (SQ. FT.): 8663
YEAR BUILT: TBD
TOTAL ROOMS: 9
NO. OF BEDROOMS: 3
NO. OF BATHROOMS: 3.5
CITY NAME: EL GRANADA (UNINC)

FIRE NOTES:

AUTOMATIC FIRE SPRINKLER SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 13D.
FAST RESPONSE FIRE SPRINKLER HEADS SHALL BE INSTALLED IN HABITABLE SPACES.
THE AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE INSTALLED BY A LICENSED (C-16) CONTRACTOR WHO SHALL HAVE A CITY OF PACIFICA BUSINESS LICENSE AND PROOF OF WORKER'S COMPENSATION INSURANCE.

CALGREEN NOTES

- 1. DIVERT AT LEAST 65% OF ALL CONSTRUCTION DEBRIS AND WASTE TO A RECYCLING OR SALVAGE FACILITY AS PER CALGREEN SEC. A4.400.1
4. PROVIDE A COPY OF ALL OPERATIONAL AND MAINTENANCE MANUALS TO THE BUILDING OCCUPANT.
6. PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS.
7. COVER ALL DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION SYSTEMS DURING CONSTRUCTION.
8. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS.
9. PAINT STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.
10. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS. VERIFICATION VERIFICATION OF COMPLIANCE SHALL BE PROVIDED.
11. CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS.
12. MINIMUM 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH CALGREEN SEC 4.304.4
13. PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.
14. CAPILLARY BREAK SHALL BE INSTALLED IF A SLAB ON GRADE FOUNDATION SYSTEM IS USED. THE USE OF A 4" THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE UNDER A 6" MIL VAPOR RETARDER WITH JOINT LAPPED NOT LESS THAN 6" WILL BE PROVIDED PER CGC 4.305.2 AND CIRC 8506.2.3. SEE 501.5 REPORT
15. CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE.
16. PROVIDE INSULATED LOUVERS/COVER (MIN 4.2) WHICH CLOSE WHEN THE FAN IS 1/2 OFF FOR THE WHOLE HOUSE EXHAUST FANS.
17. INDOOR WATER USE SHALL BE REDUCED BY AT LEAST 20% BY USING WATER SAVING FIXTURES. THE MAXIMUM FLOWRATE AT A KITCHEN SINK FAUCET SHALL NOT BE GREATER THAN 1.5 GALLONS PER MINUTE AT 60 PSI. IN ADDITION TO THE KITCHEN FAUCET REQ'S FOR TIER 1 DISHWASHERS IN TIER 2 BUILDINGS SHALL BE ENERGY STAR QUALIFIED AND NOT USE MORE THAN 5.8 GALLONS OF WATER PER CYCLE SEE TABLE 4.303.1 ON 83.
18. ALL WOOD PRODUCTS & CARBOARD PRODUCTS WILL BE RECYCLED, ALL OTHER WASTE WILL BE TRASHED.
19. ALL RECYCLED MATERIALS WILL BE SORTED ON SITE.
20. ALL RECYCLED MATERIALS WILL BE SENT TO RECYLOGY.
21. TO REDUCED THE AMOUNT OF DEBRIS WORKERS SHALL FOLLOW THE CAL-GREEN GUIDELINES AND GOOD CONSTRUCTION PRACTICES.
22. MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT.
23. PROVIDE DOCUMENTATIONS & RECEIPTS SHOWING COMPLIANCE WITH RECYCLED MATERIALS AND DEBRIS.
24. VERIFICATION OF COMPLIANCE FOR POLLUTANT CONTROL WILL BE PROVIDED BY INCLUDING MANUFACTURER'S PRODUCT SPEC'S OR FIELD VERIFICATION OF ON-SITE PRODUCT CONTAINERS.

NOTES:

- 1. PROVIDE TWO 20-AMP BRANCH CIRCUITS FOR SMALL KITCHEN APPLIANCES.
2. PROVIDE AT LEAST 1 GFCI PROTECTED RECEPTACLE FOR EACH 12-INCH OR WIDER KITCHEN WALL COUNTER SPACE ONLY, INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24 INCHES FROM A RECEPTACLE IN THAT SPACE.
3. RECEPTACLES IN PROPOSED ROOMS SPACED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET.
4. MAX. 1-FACTOR OF 32 ON THE PLANS WHERE THE WINDOWS ARE SPECIFIED
5. MIN. 50% OF KITCHEN LIGHTING WATTAGE SHALL BE HIGH EFFICACY LIGHTING SHALL BE ON A SEPERATE SWITCH.
6. USE HIGH EFFICACY FIXTURES FOR BATHROOMS, LAUNDRY, UTILITY ROOMS AND GARAGE.
7. USE HIGH EFFICACY FOR ALL ROOMS, INCLUDING CLOSETS 10 SQUARE FEET OR LESS.
8. USE HIGH EFFICACY FIXTURES FOR ALL EXTERIOR LIGHTING.
9. ALL LIGHTS TO BE HIGH EFFICACY, OR MANUAL-ON VACANCY SENSOR IN ALL AREAS.
10. BATHROOM VENTILATION FANS SHALL TERMINATE 3' FROM ANY OPENING INTO THE BUILDING.
11. EACH RECEPTACLE OUTLET "AFCI" ARC-FAULT CIRCUIT INTERRUPTER AT ALL HABITABLE ROOMS OUTLETS INSTALLED IN DUELLING UNITS ROOMS SHALL BE ARC-FAULT CIRCUIT INTERRUPTER.
12. ALL OUTLETS IN LAUNDRY TO BE GFI PROTECTED.
13. ALL 125-VOLT, 15- AND 20- AMPERE RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT
14. PROVIDE CARBON MONOXIDE DETECTOR AT AREA NEAR THE BEDROOMS AND AT LEAST ONE IN EACH LEVEL
15. WATER RESISTANT GYPSUM BOARD IS NOT PERMITTED IN SHOWER/TUB AREAS. SHOWER AND TUB WALLS TO BE A SMOOTH, HARD, NON-ABSORB SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF 12" ABOVE DRAIN INLET.
16. ALL TOILETS (DUAL-FLUSH) SHALL HAVE MAX 128 GALLON/FLUSH, SHOWER HEAD TO HAVE MAX FLOW OF 2.0 GPM AND KITCHEN FAUCETS TO HAVE A MAX FLOW OF 1.8 GPM AND BATHROOM FAUCETS 1.2 GPM.
17. KITCHEN FAN TO BE NUTONE QT1100E 100CFM 1 SONE WITH 4" DUCT ON-TIMER FOR 13 HOURS PER DAY OPERATION.
18. EACH APPLIANCE SHALL MEET THE ENERGY STAR IF AN ENERGY STAR IS DESIGNATION IS APPLICABLE.
19. GAS DRYER WILL HAVE ITS OWN DEDICATE 20 AMP OUTLET.
20. ALL RECEPTACLES, LIGHTING CIRCUITS, SWITCHES, AND HARD-WIRED SMOKE DETECTORS INSTALLED IN BEDROOMS SHALL BE PROTECTED WITH AN ARC FAULT CIRCUIT INTERRUPTER
21. STORM WATER RUN OFF SHALL NOT DRAIN ONTO THE ADJACENT PROPERTY, AND SHALL DRAIN AWAY FROM BUILDING FOUNDATION TO AN UNPAVED AREA
22. BEDROOM WINDOWS FOR EMERGENCY ESCAPE AND RESCUE SHALL HAVE A FINISHED SILL HEIGHT OF NOT BE MORE THAN 44" ABOVE THE FLOOR
24. A LABEL OR SIGN IS REQUIRED AT THE CONTROLLER OF SWITCH TO INFORM THE OCCUPANT THAT THE FRESH AIR VENTILATOR IS A WHOLE HOUSE VENTILATION FAN THAT SHOULD OPERATE WHENEVER THE BUILDING IS OCCUPIED.
25. HOURS OF CONSTRUCTION. THE HOURS OF CONSTRUCTION FOR ANY PROJECT FOR WHICH A BUILDING PERMIT IS REQUIRED WITHIN THE COUNTY OF SAN MATEO SHALL BE LIMITED TO THE HOURS OF 1:00 AM TO 1:00 PM, ON MONDAY, TUESDAY, WEDNESDAY, THURSDAY, AND FRIDAY. THE HOURS OF CONSTRUCTION SHALL BE LIMITED TO 3:00 AM TO 5:00 PM, ON SATURDAY AND SUNDAY.
26. ALL NEW RECEPTACLE OUTLETS IN THE KITCHEN (WHERE NOT GFCI), FAMILY ROOMS, HALLWAY, BEDROOMS, OFFICES, AND OTHER SIMILAR ROOMS TO BE AFCI PROTECTED.
27. ALL NEW RECEPTACLE OUTLETS THE BATHROOMS, CRAWLSPACES, KITCHEN COUNTERS, ISLANDS, UET BAR SINKS TO BE GFCI PROTECTED.
28. WATER RESISTANT GYPSUM BOARD IS NOT PERMITTED IN SHOWER/TUB AREAS. SHOWER AND TUB WALLS TO BE A SMOOTH, HARD, NONABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF 12" ABOVE DRAIN INLET.

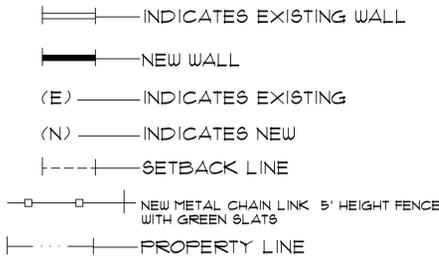
SITE DATA

Table with 2 columns: Category and Value. Includes Lot Size (8663 SQFT), Garage & Rec Room (179 SQFT), First Floor (1379 SQFT), Second Floor (1481 SQFT), Third Floor (951 SQFT), Decks (916 SQFT), Total Floor Area (4590 SQFT), Lot Coverage (3026 SQFT (32%)), ImperVIOUS Structures Less 18" High (9 SQFT), Construction Type (5), Occupancy Group (R-3), Zoning (R-1/S-11/DR/CD), 459139 SQFT MAX FAR

GENERAL NOTES

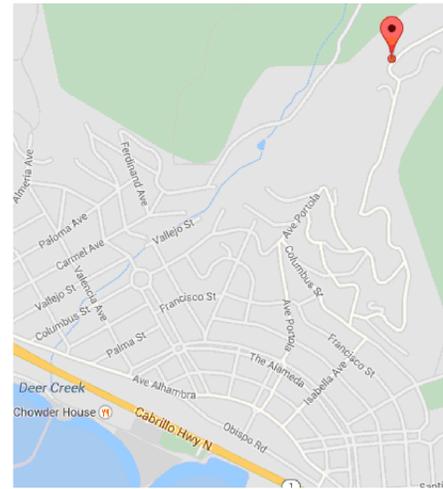
- 1. ALL CONSTRUCTION WORK SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING CODE (CBC), 2016 CALIFORNIA PLUMBING CODE (CPC), 2016 CALIFORNIA MECHANICAL CODE (CMC), 2016 CALIFORNIA ELECTRICAL CODE (CEC), 2016 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS (BEES), AND COUNTY OF SAN MATEO CODE (CSMC) TITLE 15.02.
2. STORM WATER RUN OFF SHALL NOT DRAIN ONTO THE ADJACENT PROPERTY, AND SHALL DRAIN AWAY FROM BUILDING FOUNDATION TO AN UNPAVED AREA
3. ANY WINDOW AT THE STAIRWAY LANDINGS OR WITHIN 5 FEET OF THE BOTTOM AND TOP OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE SHALL BE SAFETY GLASS
4. THE HANDGRIP PORTION OF HANDRAIL SHALL NOT BE LESS THAN 1-1/4" NOR MORE THAN 2" IN CROSS SECTIONAL DIMENSION. HANDRAIL SHALL HAVE A SMOOTH SURFACE WITH NO SHARP EDGES. ENDS SHALL BE RETURNED OR SHALL HAVE ROUNDED TERMINATIONS OR BENDS.
5. SHOWER AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING TYPE.
6. NFRC TEMPORARY LABELING ON NEW WINDOWS AND EXTERIOR DOORS SHALL NOT BE REMOVED UNTIL INSPECTED BY ENFORCEMENT AGENCY.
7. PROVIDE MINIMUM 26 GAUGE, GALVANIZED SHEET METAL HEATING SUPPLY DUCTS BETWEEN THE GARAGE AND RESIDENCE OR PROVIDE FIRE DAMPERS.
8. PROVIDE A MINIMUM OF 6'-8" HEADROOM CLEARANCE FOR THE INTERIOR STAIRWAY.
9. ALL RECESSED LIGHTING FIXTURES INSTALLED IN INSULATED CEILING SHALL BE INSULATION COVER AND AIR TIGHT RATED.
10. WATER HEATER SHALL BE WRAPPED WITH R-12 INSULATION, UNLESS EFFICIENCY RATED AT 58% OR BETTER.
11. PROVIDE 1" INSULATION ON FIRST 5' LENGTH OF HOT AND COLD WATER PIPES FROM THE STORAGE TANK.
12. INSULATE ALL HOT WATER PIPES 3/4" OR GREATER IN DIAMETER, FROM THE WATER HEATER TO THE KITCHEN FIXTURES.
13. PROVIDE A SETBACK THERMOSTAT FOR THE NEW FURNACE.
14. INSULATE NEW HEATING DUCTS TO R-8 IF MORE THAN 40' OF NEW DUCTS ARE INSTALLED IN UNCONDITIONED SPACE.
15. MAIN SERVICE DISCONNECTING MEANS AND METER SHALL BE READILY ACCESSIBLE FROM OUTSIDE OF THE BUILDING.
16. METER AND PANEL SHALL BE SCREENED FROM PUBLIC VIEW BY AN ENCLOSURE.
18. WATER METERS SHALL BE LOCATED IN LANDSCAPED AREAS ONLY. NO WATER METERS SHALL BE LOCATED IN SIDEWALKS OR DRIVEWAYS.
19. CLEANOUT SHALL BE LOCATED 18 TO 24 INCHES FROM THE BUILDING FOUNDATION.
20. FLASHING SHALL BE INSTALLED AS PER CBC 1405.3 AT ALL EXTERIOR WALLS, OPENINGS FOR DOORS AND WINDOWS AND AT INTERSECTIONS WITH OTHER BUILDING COMPONENTS.
21. ALL CONDITIONS OF APPROVAL FOR THIS PROJECT MUST BE MET WHETHER SHOWN ON THE PLANS OR NOT. THESE CONDITIONS OF APPROVAL ARE A PART OF THESE PLANS AND ARE AVAILABLE UPON REQUEST FROM THE BUILDING OWNER, THE DESIGNER OR THE COUNTY OF SAN MATEO.
22. NO HERITAGE TREES ARE PRESENT ON-SITE AND NO CONSTRUCTION WILL OCCUR WITHIN THE DRIP LINES OF ANY HERITAGE TREES LOCATED ON-SITE OR ON AN ADJACENT SITE.
23. ANY DAMAGE TO IMPROVEMENTS WITHIN THE CITY RIGHT-OF WAY OR TO ANY PRIVATE PROPERTY, WHETHER ADJACENT TO SUBJECT PROPERTY OR NOT, THAT IS DETERMINED BY THE CITY ENGINEER TO HAVE RESULTED FROM CONSTRUCTED ACTIVITIES RELATED TO THIS PROJECT SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE CITY ENGINEER.
24. THE CONTRACTOR OR OWNER SHALL CONTACT THE WASTEWATER TREATMENT PLANT 24HRS BEFORE ANY: TRENCHING, BACKFILLING, PAVEMENT RESTORATION, SEWER TAP OR ANY OTHER SEWERAGE WORK.
25. ALL ENGINEERING INSPECTIONS REQUIRE 24HR NOTICE.
26. HOURS OF CONSTRUCTION WITHIN STREET OR SIDEWALK FROM 9AM TO 4PM MONDAY THRU FRIDAY.

GENERAL LEGEND

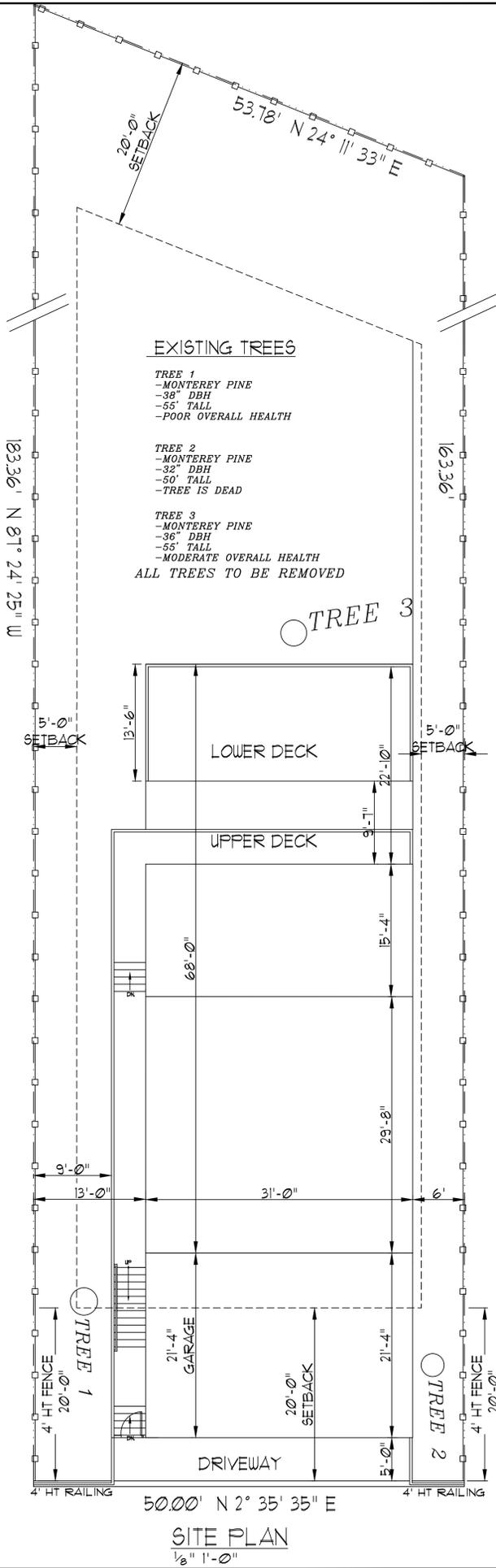


ABBREVIATIONS

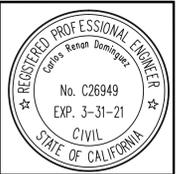
Table of abbreviations and their full names. Includes AND ANGLE, AT CENTER TO CENTER, CASEMENT, CENTER LINE, CEILING, CEILING, CONCRETE, CONTINUOUS, CLOSET, CERAMIC TILE, DIAMETER, DOOR(S), DOWNSPOUT, EXISTING, EACH, ELEVATION, EQUAL, FURNACE, FINISH FLOOR, FLUORESCENT, FLOOR, FACE OF CONC., FACE OF MASONRY, FACE OF STUD, FRONT SETBACK, GAS, GROUND FAULT CIRCUIT INTERRUPTER, GRADE, GALVANIZED, GYPSUM BOARD, GALVANIZED SHEET METAL, GALVANIZED IRON, HOSE BIBB, HANDRAIL, HOUSE METER, LAVATORY, LANDSCAPE ARCHITECTURE, LEFT SIDE SETBACK, METAL, MAXIMUM, MINIMUM, MEDICINE CABINET, METAL EDGE, METAL SPLASH PAN, NUMBER, OBSURE ON CENTERS, OVER, PLASTIC LAMINATE TOP & SPLASH, PROPERTY LINE, RANGE & OVEN, ROD & SHELF, REFRIGERATOR REQUIRED, REDWOOD, REAR SETBACK, RIGHT SIDE SETBACK, RETAINING, SINK OR SLOPE, SOLID CORE, SMOKE DETECTOR, SQUARE FOOT, SIMILAR, SQUARE, SOAP DISH & GRAB BAR, TOWEL BAR, TIME CLOCK, TOP OF PLATE, TOILET PAPER HOLDER, THRESHOLD, TUB & SHOWER, TYPICAL, UNLESS OTHERWISE NOTED, VAPOR BARRIER, VENT THRU ROOF, WITH, WATER CLOSET, WOOD, WALL EXHAUST, WATERPROOF, WINDOW.



VICINITY MAP



SITE PLAN
1/8" = 1'-0"



NEW RESIDENCE FOR LUPE LOPEZ
119 HIGHLAND AVE., EL GRANADA, CA. 94018

DOMINGUEZ ASSOCIATES LLC
40 HUMBOLDT COURT
PACIFICA, CA. 94044
(650) 359-0947 EMAIL carlos@dominguezassociates.com

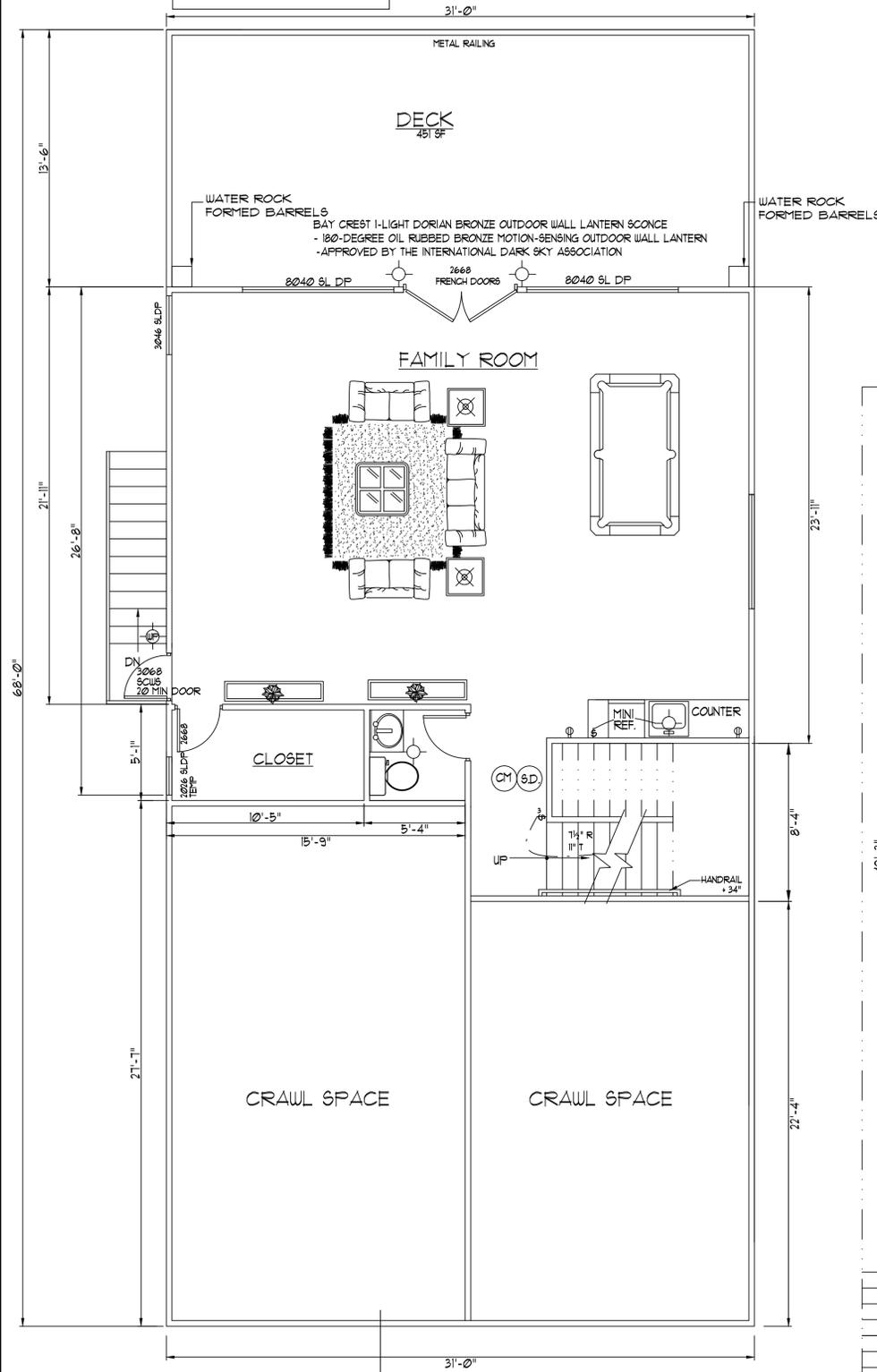
Table with 2 columns: NO. and DATE. Includes a revision entry for 8-24-18.

SCALE
SHEET NUMBER
A1

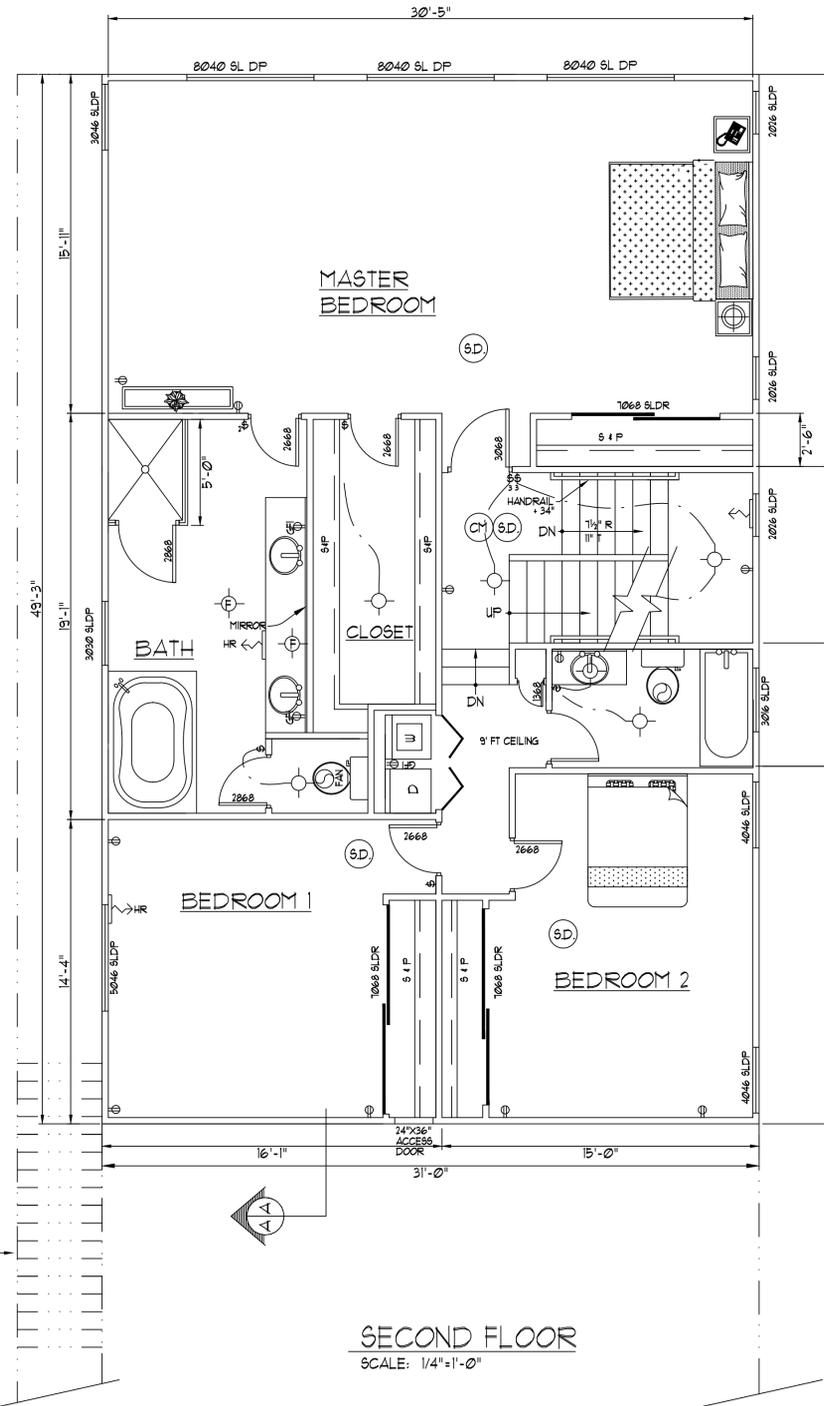
OF SHEETS
DATE 8-24-18
FILE LOP1449

ON-SITE DETENTION

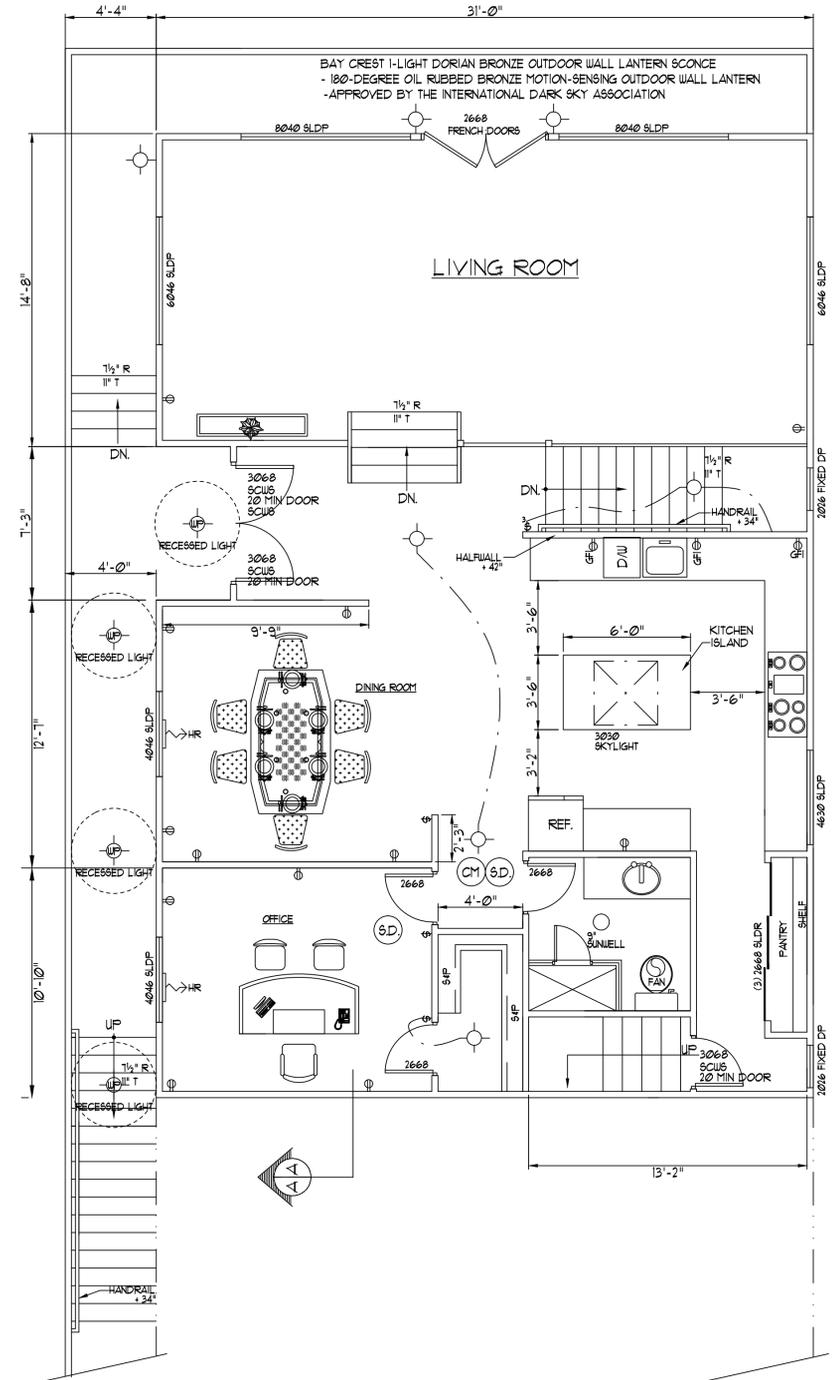
STORMTRAP UNDERGROUND STORMWATER DETENTION SYSTEMS MANAGE AND CONTROL THE VOLUME AND DISCHARGE TIMING OF STORMWATER RUNOFF. OUR DETENTION SOLUTIONS TEMPORARILY STORE RUNOFF IN LARGE UNDERGROUND PRECAST CONCRETE CHAMBERS BEFORE RELEASING IT AT A CONTROLLED RATE. THIS HELPS TO MITIGATE MANY OF THE HARMFUL EFFECTS OF HIGH VOLUMES OF STORMWATER RUNOFF, SUCH AS EROSION AND FLOODING.



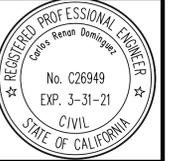
FIRST FLOOR  
SCALE: 1/4"=1'-0"



SECOND FLOOR  
SCALE: 1/4"=1'-0"



THIRD FLOOR PLAN  
SCALE: 1/4"=1'-0"



RESIDENCE FOR LOPEZ RESIDENCE  
119 HIGHLAND AVE., EL GRANADA, CA. 94018

DOMINGUEZ ASSOCIATES LLC 40 HUMBOLDT COURT • PACIFICA, CA. 94044  
(650) 359-0947 EMAIL: carlos@dominguezassociates.com

REVISION	
NO.	DATE

SCALE A5 9H0UN  
SHEET NUMBER

**A2**

OF SHEETS  
DATE 8-24-18

FILE LOP1449



ROOFING MATERIAL:  
 - "CERTAINTED" LANDMARK  
 - TRI LAMINITE SHINGLES  
 - CLASS A COMP  
 - TERRA COTTA COLOR

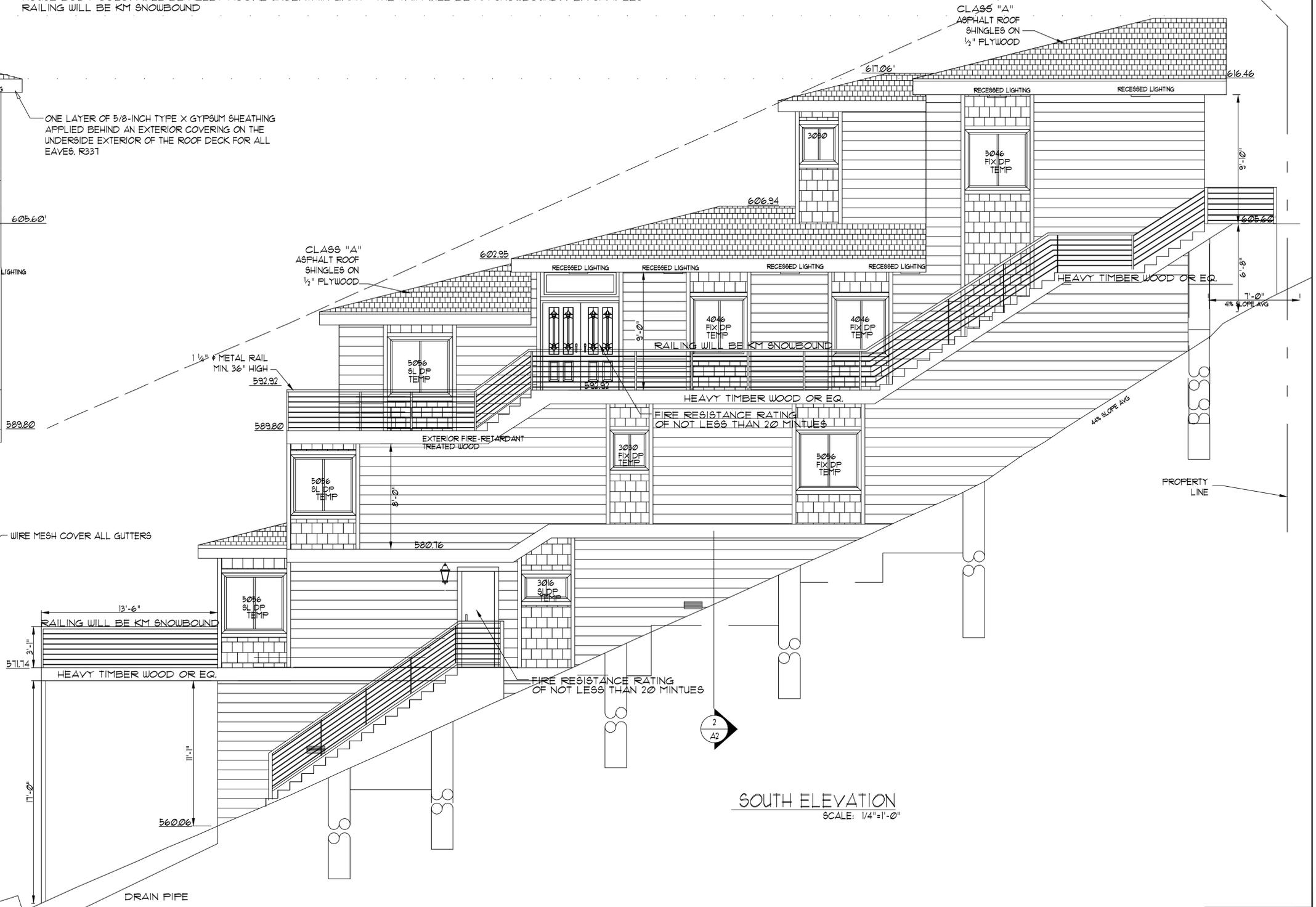
MILGARD TUSCANY VINYL WHITE FOR ALL WINDOWS  
 HOUSE BODY COLOR WILL BE KELLY MOORE UNCERTAIN GRAY -THE TRIM WILL BE KM SNOWBOUND. PER SAMPLES  
 RAILING WILL BE KM SNOWBOUND



WEST ELEVATION  
 SCALE: 1/4"=1'-0"

ON-SITE DETENTION

STORMTRAP UNDERGROUND STORMWATER DETENTION SYSTEMS MANAGE AND CONTROL THE VOLUME AND DISCHARGE TIMING OF STORMWATER RUNOFF. OUR DETENTION SOLUTIONS TEMPORARILY STORE RUNOFF IN LARGE UNDERGROUND PRECAST CONCRETE CHAMBERS BEFORE RELEASING IT AT A CONTROLLED RATE. THIS HELPS TO MITIGATE MANY OF THE HARMFUL EFFECTS OF HIGH VOLUMES OF STORMWATER RUNOFF, SUCH AS EROSION AND FLOODING.



SOUTH ELEVATION  
 SCALE: 1/4"=1'-0"

MILGARD TUSCANY VINYL WHITE FOR ALL WINDOWS  
 HOUSE BODY COLOR WILL BE KELLY MOORE UNCERTAIN GRAY -THE TRIM WILL BE KM SNOWBOUND. PER SAMPLES  
 RAILING WILL BE KM SNOWBOUND

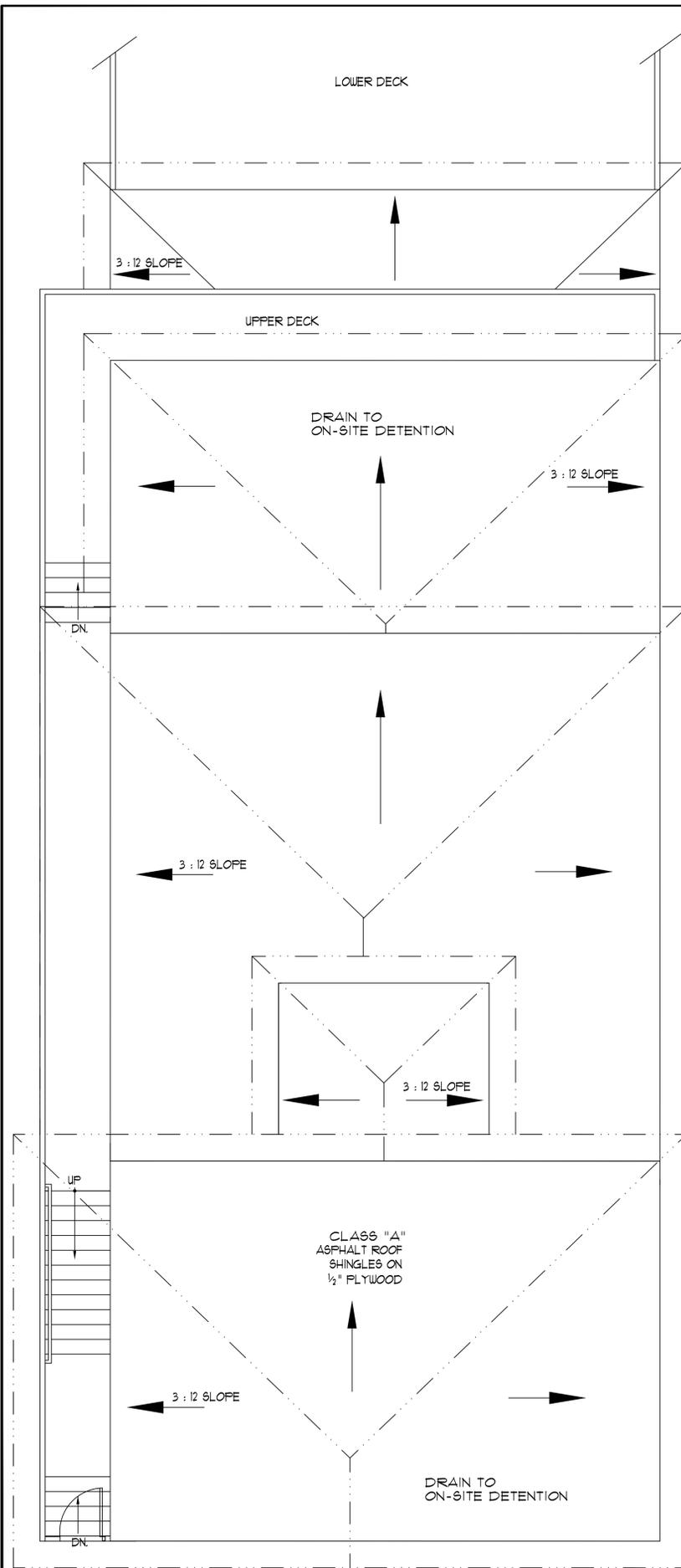
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NO.	DATE



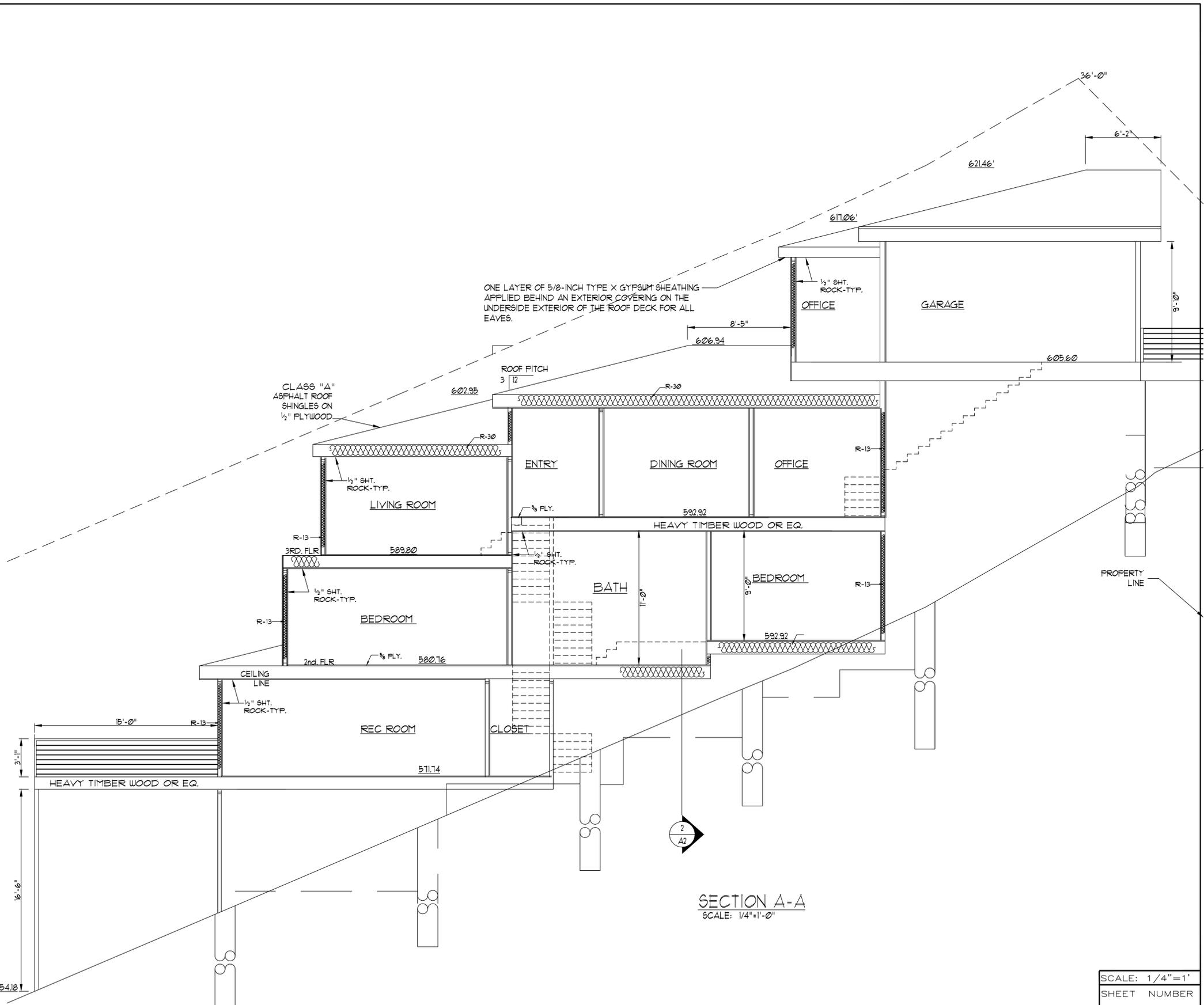
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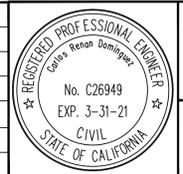
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**A4**  
 OF SHEETS  
 DATE 8-24-18  
 FILE LOP1449



**ROOF PLAN**  
SCALE: 1/4"=1'-0"



REVISION	
NO.	DATE



NEW RESIDENCE FOR LOPEZ  
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(650) 359-0947 EMAIL carlos@dominguezassociates.com

SCALE: 1/4"=1'

SHEET NUMBER

**A5**

OF SHEETS

DATE 8-24-18

FILE LOP1449



Fire Marshal's Office  
San Mateo County Fire  
**CAL FIRE**  
2010 CRC -R327 Development Worksheet

Project is located in State Responsibility Area (SRA):  Yes  No  
If in SRA, is project in a Very High Fire Hazard Severity Zone (VHFHSZ):  Yes  No  
Project is located in Local Responsibility Area (LRA):  Yes  No  
If in LRA, is project in a Very High Fire Hazard Severity Zone (VHFHSZ):  Yes  No

Applicable Code Section(s)	OK	N/A	Approved Material (if applicable)	Location On Plans
<b>Roofing</b> Class B minimum (SM Co Div VII, Sec 9113; 2010 CRC R902.1.2) Class A in VHFHSZ (2010 CRC R902.1.1) Where roof profile allows for a space between the roof covering and deck, the spaces shall be constructed to prevent the intrusion of flames and embers, fire stopped or have one layer of No. 72 ASTM D 3909 cap sheet over the combustible deck (R327.5.2) Valley flashings min. 0.019-inch (No 26 galv.) corrosion resistant metal over 36 inch wide underlayment of No. 72 lb mineral-surfaced nonperforated ASTM D 3909 cap sheet (R327.5.3) Roof gutters shall be provided with the means to prevent the accumulation of debris. (R327.5.4)		x		SEE A3 AND A4

1

Applicable Code Section(s)	OK	N/A	Approved Material (if applicable)	Location On Plans
<b>Doors</b> Exterior door assemblies, including garage doors, shall comply with one of the following (R327.8.3): 1. Surface or cladding be of non-combustible, or ignition-resistant material. 2. Constructed of solid core wood having stiles and rails not less than 1-3/8" with interior field panel thickness no less than 1-1/4" thick. 3. Have a fire resistance rating of not less than 20 minutes. 4. Meet SFM 12-7A-1		x		A3
<b>Decking</b> The walking surface material of decks, porches, balconies and stairs shall be constructed of one of the following where any portion of such surface is within 10 ft. of the structure (R327.9.3): 1. Ignition-resistant materials that complies with SFM 12-7A-4 and 12-7A-5. 2. Exterior fire-retardant-treated wood. 3. Noncombustible material. 4. Material complying with SFM 12-7A-4A when attached to a noncombustible or ignition resistant wall covering. Ex: When decking surface material meets ASTM F 84, Class B flame spread, the wall material can of any that other wise complies with R327.7.3.		x		A3
<b>Accessory Structure</b> Trellises, arbors, patio covers, carports, gazebos and similar structures attached to applicable buildings and detached buildings within 50 ft shall be constructed of noncombustible or ignition resistant material. (R327.10)		NA		

Office of the State Fire Marshal - WUI Products web site: <http://www.osfm.fire.ca.gov/strucfireengineer/pdf/bml/wuiproducts.pdf>  
San Mateo County Fire Marshals Office - (650) 573-3846

4

## FIRE NOTES

ROOFS AND ROOF EDGES. CBC 1028A / CRC R3315

A NONCOMBUSTIBLE (TILE OR METAL) OR CLASS 'A' ROOFING ASSEMBLY IS REQUIRED IN SRA - VERY HIGH FIRE HAZARD SEVERITY ZONES. ALL OTHER AREAS IN SANTA CRUZ COUNTY REQUIRE A CLASS 'A' MINIMUM ROOFING ASSEMBLY, INCLUDING LRA, SRA-MODERATE OR SRA-HIGH AREAS.

WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND THE ROOF DECKING, THE SPACES SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS BE FIRESTOPPED WITH APPROVED MATERIALS OR HAVE ONE LAYER OF NO. 72 CAP SHEET INSTALLED OVER THE COMBUSTIBLE DECKING. WHERE PROVIDED, VALLEY FLASHING MUST BE NOT LESS THAN 26 GAUGE GALVANIZED SHEET METAL OVER A 36-INCH WIDE NO. 72 ASTM CAP SHEET.

EXTERIOR WALLS/SIDING. CBC 101A3 / CRC R33113

NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, HEAVY TIMBER 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING EXTERIOR PORTION OF I-R ASSEMBLY OR LOG WALL CONSTRUCTION IS ALLOWED. THE OSMF WEBSITE (SEE LINK ABOVE) LISTS MANY TYPES OF EXTERIOR WALL COVERINGS THAT ARE APPROVED.

NOTE: IGNITION-RESISTANT MATERIALS ARE THOSE TESTED BY A FACILITY RECOGNIZED BY THE SFM OR ICC-EVALUATION SERVICE TO HAVE A FLAME-SPREAD RATING NOT OVER 25, AND COMPLY WITH ACCELERATED WEATHERING TESTS.

EAVES AND PORCH CEILING. CBC 101A4, A6 / CRC 33114, R33116

THE EXPOSED ROOF DECK UNDER UNENCLOSED EAVES AND UNDERSIDE OF PORCH CEILING SHALL BE NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, OR 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING.

SOLID WOOD RAFTER TAILS ON THE EXPOSED UNDERSIDE OF ROOF EAVES HAVING A MINIMUM 2" NOMINAL DIMENSION MAY BE UNPROTECTED.

VENTS. CBC 106A / CRC R3316

ATTIC VENTS AND UNDERFLOOR VENT OPENINGS MUST RESIST THE INTRUSION OF FLAME AND EMBERS OR SHALL BE A MINIMUM OF 1/8" AND MAXIMUM 1/8" CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH OR EQUIVALENT. COMBUSTIBLE VENTS ON TOP OF ROOFS MAY BE COVERED WITH THIS MATERIAL TO COMPLY. VENTILATION OPENINGS ON THE UNDERSIDE OF EAVES ARE NOT PERMITTED, UNLESS A SFM APPROVED VENT IS INSTALLED, OR EAVES ARE FIRE SPRINKLERED, OR VENT IS 12 FEET ABOVE A WALKING SURFACE OR GRADE BELOW.

WINDOWS AND EXTERIOR DOORS. CBC 108A / CRC R3318

-WINDOWS MUST BE INSULATED GLASS WITH A MINIMUM OF 1 TEMPERED PANE OR 20 MIN RATED OR GLASS BLOCK.  
-EXTERIOR DOORS MUST BE NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL OR 1 3/8" SOLID CORE, OR HAVE A 20 MIN FIRE-RESISTANCE RATING.

EXTERIOR DECKING AND STAIRS. CBC 109A / CRC R3319

WALKING SURFACES OF DECKS, PORCHES, BALCONIES AND STAIRS WITHIN 10 FEET OF THE BUILDING MUST BE CONSTRUCTED OF NONCOMBUSTIBLE, FIRE-RETARDANT TREATED OR HEAVY-TIMBER CONSTRUCTION. ALTERNATE MATERIALS CAN BE USED IF THEY ARE IGNITION-RESISTANT AND PASS PERFORMANCE REQUIREMENTS SPECIFIED BY THE STATE FIRE MARSHAL.

UNDERFLOOR AND APPENDAGES. CBC 101A8 / CRC R33118

EXPOSED UNDERFLOORS, UNDERSIDE OF CANTILEVERED AND OVERHANGING DECKS, BALCONIES AND SIMILAR APPENDAGES SHALL BE NONCOMBUSTIBLE, IGNITION RESISTANT, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF I-R ASSEMBLY, MEET PERFORMANCE CRITERIA SFM STANDARD 12-1A-3 OR BE ENCLOSED TO GRADE.

Applicable Code Section(s)	OK	N/A	Approved Material (if applicable)	Location On Plans
<b>Vents</b> Ventilation openings for attics, enclosed eave soffits, enclosed rafter spaces and underfloor areas shall be non-combustible, corrosion resistant, and have wire mesh with 1/16" to 1/8" inch (1.6-3.2 mm) openings or its equivalent. (R327.6.2)		x		FIRE NOTES A6

Applicable Code Section(s)	OK	N/A	Approved Material (if applicable)	Location On Plans
<b>Eave Vents</b> Vents shall not be installed in eaves and cornices. Exceptions: 1. Approved flame and ember resistant vents. 2.1 Attic is fully protected by an automatic fire sprinkler system, and 2.2 Exterior wall and underside of eave is non-combustible, and is more than 12 ft from ground, patio, porch, deck or similar surface. (R327.6.3)		x		FIRE NOTES A6

Applicable Code Section(s)	OK	N/A	Approved Material (if applicable)	Location On Plans
<b>Exterior Coverings</b> Exterior walls shall comply with one of the following (R327.7.3): 1. Noncombustible material 2. Ignition-resistant material 3. One layer of 5/8" type X gypsum sheathing behind exterior covering. 4. 1-hour fire resistant exterior assembly. 5. Heavy-timber exterior wall assembly 6. Log wall construction. 7. Wall assemblies meeting SFM 12-7A-1 Open Roof Eaves: The exposed roof deck on the underside of the roof eave shall comply with one of 1 through 4 as for exterior walls above (R327.7.4). Ex: 1. 2" nominal solid wood rafter tails. 2. 2" nominal solid wood blocking between rafter tails. 3. Fascia and other architectural trim boards.		x		A3 AND A4

Applicable Code Section(s)	OK	N/A	Approved Material (if applicable)	Location On Plans
<b>Exterior Coverings (continued)</b> The exposed underside of enclosed roof eaves and roof eave soffits shall be protected by one of the 1 through 4 items as for exterior walls or have boxed in soffits meeting SFM 7A-3 (R327.7.5). Ex: Fascia and other architectural trim boards. Exterior porch ceilings shall be protected by one of the 1 through 4 items as for exterior walls or have porch ceiling assemblies meeting SFM 7A-3 (R327.7.6). Ex: Architectural trim boards. Exposed underside of floor projections shall be protected by one of the 1 through 4 items as for exterior walls or have an underside assembly meeting SFM 7A-3 (R327.7.7). Ex: Architectural trim boards. The underfloor area of overhangs, or elevated buildings, and underside of appendages shall be enclosed to grade or the underside shall be protected by one of the 1 through 4 items as for exterior walls or have an assembly meeting SFM 7A-3 (R327.7.8 & R327.7.9). Ex: Heavy-timber structural columns and beams do not require protection.				

Applicable Code Section(s)	OK	N/A	Approved Material (if applicable)	Location On Plans
<b>Exterior Glazing</b> Exterior windows, glazed doors, glazed openings within exterior doors and structural glass veneer shall be constructed of one of the following: Note - Provide on window schedule and call out on floor plan. (R327.8.2) 1. Multipane glass units with a minimum of one tempered pane meeting Section 2406 Safety Glazing. 2. Glass block units. 3. 20 minute minimum Fire Rated Window. 4. Meet SFM 12-7A-2.				

3

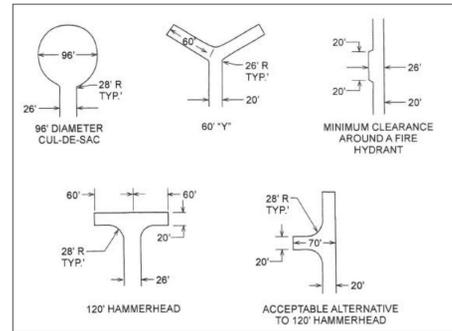
**Bridges:**  
When a bridge is used as a part of emergency access, it shall be constructed and maintained in accordance with AASHTO HB-17. The bridge shall be designed for a live load sufficient to carry the imposed loads of fire apparatus as stated herein:

- Weight: Every private bridge hereafter constructed or re-constructed due to damage, deterioration, or obsolescence shall be designed to support an imposed load of fire apparatus weighing at least 75,000 lbs. Vehicle loads shall be posted and dated at both entrances to bridges. (HS20-44 Highway loading)
- Height: A minimum clear vertical clearance of 13 1/2 feet as measured from the driving surface of the bridge shall be provided. In situations where a grade change occurs which might require a greater vertical clearance, such additional clearance shall be determined on a case-by-case basis by the Fire Marshal.
- Width: All bridges must be a minimum of 20 feet clear width. The Fire Marshal may allow the width to be reduced for a bridge providing access to R-3, U-1, or U-2 occupancies. One-way bridges, and bridges with less than 20' of clear width, require a turnout at both ends of the bridge.
- Certification: Every private bridge providing fire apparatus access hereinafter constructed or re-constructed shall be engineered by a licensed civil or structural engineer and approved by the Fire Marshal. Certification that the bridge complies with the design standards required in sub-section (a) of this section must be provided by the design engineer, to the Fire Chief.
- Re-certification: Every private bridge shall be re-certified every ten (10) years or whenever deemed necessary by the Fire Marshal.

**Gates:**  
Gates shall be a minimum of 2 feet wider than the roadway they serve. Overhead gate structures shall have a minimum of 15 1/2 feet of vertical clearance. Locked gates shall be provided with a Knox Box or Knox Padlock for fire department access. Electric gates shall be provided with a Knox Box and automatically open during power failures unless equipped with manual override capability (when authorized by Coastside Fire Dist.). Gates providing fire access to a driveway or other roadway shall be located at least 35 feet from the primary road or street and shall open to allow a vehicle to stop without obstructing traffic on the adjoining roadway.

Contact Coastside Fire District for Knox Box application.

a maximum longitudinal slope no greater than eight percent (8%). The longitudinal slope is defined as the slope corresponding to the long axis of a vehicle as it travels into, out of, and through a turnaround. This slope shall be maintained beginning at and ending at the point of tangency of the edge of pavement curves for the turnaround. The cross slope perpendicular to the longitudinal slope shall not exceed five percent (5%).



- Road Grade:**
- Road grades shall not exceed 15% without the approval of the Fire Marshal. (See surface requirements above.)
  - Road grades shall not exceed 20%.
  - Grades 15% to 20% shall be limited to 150 ft. in length.

- Parking:**  
Parking on emergency access roads shall be as follows:
- 20-26 feet road width - no parking on either side of the roadway.
  - 26-35 feet road width - parking is allowed on only one side of roadway.
  - 36 feet road width - parking is not restricted.
  - Turnaround bulbs - no parking is allowed in bulb if diameter is less than 96 feet.
  - The posting of no parking signs may be required on roadways where parking is restricted.

Smoke alarm/detector are to be hardwired, interconnected, or with battery back-up  
Escape or rescue windows shall have a minimum net clear openable area of 5.7 square feet, 5.0 sq. ft. allowed at night. The minimum net clear openable height dimension shall be 24 inches. The net clear openable width dimension shall be 20 inches. Finished sill height shall be not more than 44 inches above the finished floor.  
• Identify rescue windows in each bedroom and verify that they meet all requirements. Add this to plans.  
New attached garage to meet occupancy separation requirements. Provide note/detail. CRC R302.3

New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. Residential address numbers shall be at least six feet above the finished surface of the driveway. Where buildings are located remotely to the public roadway, additional signage at the driveway/roadway entrance leading to the building and/or on each individual building shall be required by the Coastside Fire District. This remote signage shall consist of a 6 inch by 18 inch green reflective metal sign with 3 inch reflective Numbers/ Letters similar to Hy-Ko 911 or equivalent.  
Roof Covering: As per Coastside Fire District Ordinance 2016-01, the roof covering of every new building or structure, and materials applied as part of a roof covering assembly, shall have a minimum fire rating of Class "A" or higher as defined in the current edition of the California Building Code.  
• The building is in a Very High Fire Hazard Severity Zone and will require a Class A roof.

• Vegetation Management: The Coastside Fire District Ordinance 2016-01, the 2013 California Fire Code and Public Resources Code 4291. A fuel break of defensible space is required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. In SRA (State Responsible Area) the fuel break is 100 feet or to the property line. Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 to 10 feet above the ground. New trees planted in the defensible space shall be located no closer than 10 feet to adjacent trees when fully grown or at maturity. Remove that portion of any existing tree, which extends within 10 feet of the chimney or stovepipe or is within 5 feet of any structure.  
A fuel break or defensible space is required around the perimeter of all structures, existing and new, to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. This is neither a requirement nor authorization for the removal of living trees.

Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 feet above the ground. New trees planted in the defensible space shall be located no closer than 10 to adjacent trees when fully grown or at maturity.

Fire Access Roads: The applicant must have a maintained asphalt surface road for ingress and egress of fire apparatus. The San Mateo County Department of Public

Works, the Coastside Fire District Ordinance 2016-01, and the California Fire Code shall set road standards. As per the 2013 CFC, dead-end roads exceeding 150 feet shall be provided with a turnaround in accordance with Coastside Fire District specifications. As per the 2013 CFC, Section Appendix D, road width shall not be less than 20 feet. Fire access roads shall be installed and made serviceable prior to combustibles being placed on the project site and maintained during construction. Approved signs and painted curbs or lines shall be provided and maintained to identify fire access roads and state the prohibition of their obstruction. If the road width does not allow parking on the Street (20 foot road) and on-street parking is desired, an additional improved area shall be developed for that use.

Fire Hydrant: As per 2016 CFC, Appendix B and C, a fire district approved fire hydrant (Clow 960) must be located within 250 feet of the proposed single-family dwelling unit measured by way of drivable access. As per 2016 CFC, Appendix B the hydrant must produce a minimum fire flow of 1,000 gallons per minute at 20 pounds per Square inch residual pressure for 2 hours. Contact the local water purveyor for water flow details.

Show location of fire hydrant on a site plan. A fire hydrant is required within 500 feet of the building and flow a minimum of 1000 gpm at 20 psi. This information is to be verified by the water purveyor in a letter initiated by the applicant and sent to San Mateo County Fire/CAL Fire or Coastside Fire District. If there is not a hydrant within 500 feet with the required flow, one will have to be installed at the applicant's expense.

Automatic Fire Sprinkler System: As per San Mateo County Building Standards and Coastside Fire District Ordinance Number 2016-01, the applicant is required to install an automatic fire sprinkler system throughout the proposed or improved dwelling and garage. All attic access locations will be provided with a pilot head on a metal upright. All areas that are accessible for storage purposes shall be equipped with fire sprinklers including closets and bathrooms. The only exception is small linen closets less than 24 Square feet with full depth shelving. The plans for this system must be submitted to the San Mateo County Planning and Building Division or The City of HMB. A building permit will not be issued until plans are received, reviewed and approved. Upon submission of plans, the County or City will forward a complete set to the Coastside Fire District for review. The fee schedule for automatic fire sprinkler systems shall be in accordance with Half Moon Bay Ordinance No. 2006-01. Fees shall be paid prior to plan review. Installation of underground sprinkler pipe shall be flushed and visually inspected by Fire District prior to hook-up to riser. Any soldered fittings must be pressure tested with trench open. Please call Coastside Fire District to schedule an inspection.

Exterior bell and interior horn/strobe: are required to be wired into the required flow Switch on your fire sprinkler system. The bell, horn/strobe and flow Switch, along with the garage door opener are to be wired into a separate circuit breaker at the main electrical panel and labeled.

Add note to the title page that the building will be protected by an automatic fire sprinkler system.



PACIFICA, CA. 94044  
(650) 359-0947 EMAIL [carlos@dominguezassociates.com](mailto:carlos@dominguezassociates.com)

NEW RESIDENCE FOR LUPE LOPEZ  
119 HIGHLAND AVE., EL GRANADA, CA. 94018  
DOMINGUEZ ASSOCIATES LLC 40 HUMBOLDT COURT

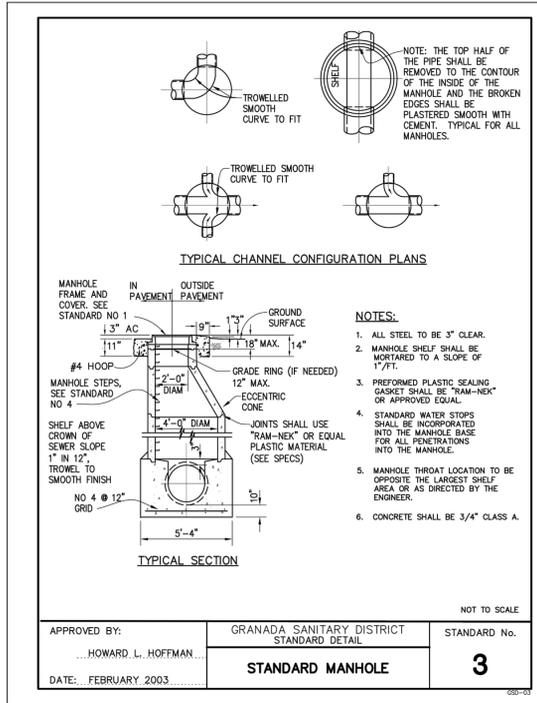
REVISION	
NO.	DATE

SCALE  
SHEET NUMBER  
**A6**  
OF SHEETS  
DATE 8-24-18  
FILE LOP1449

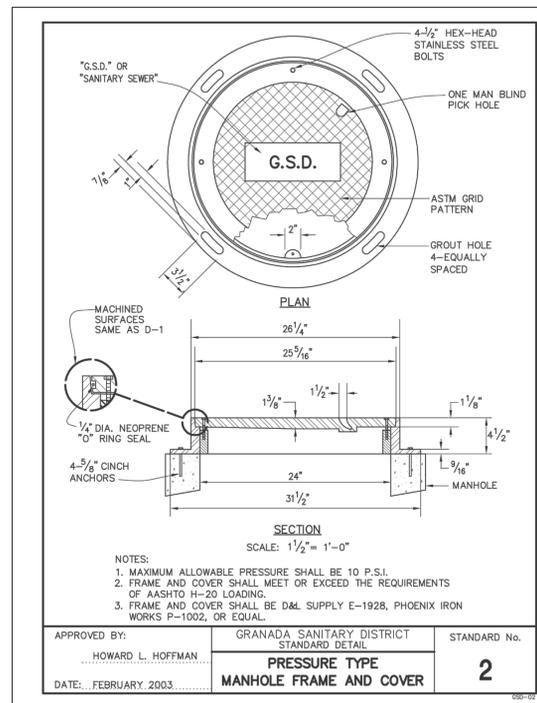


**SEWER NOTES:**

- YOUR ATTENTION IS DIRECTED TO THE TECHNICAL SPECIFICATIONS AND STANDARD DETAILS OF THE GRANADA SANITARY DISTRICT BEING APPLICABLE TO THIS PROJECT.
- ALL TRENCH BEDDING AND STRUCTURAL BACKFILL MATERIAL SHALL BE AS SPECIFIED ON THE STANDARD DETAIL SHEET NO. 13.
- PIPE SHALL BE BEDDED IN SAND CONFORMING TO CALTRANS SPECIFICATION JULY 1992, SECTION 19 PARAGRAPH 19-3.025B SAND BEDDING.
- TESTING AND CLEANING OF THE CONSTRUCTED PIPELINE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE GRANADA SANITARY.
- THE CONTRACTOR IS EXPECTED TO COMPLETE CONSTRUCTION OF THE MAIN SEWER WITHIN A CONTINUOUS 10 CALENDAR DAY PERIOD. NO TRENCH SECTION SHALL BE LEFT UNCOVERED AT THE END OF EVERY WORKING DAY.
- THE CONTRACTOR SHALL SUBMIT RECORD DRAWINGS (AS-BUILT) TO DISTRICT UPON COMPLETION OF CONSTRUCTION.
- THE CONTRACTOR SHALL SUBMIT TO THE DISTRICT SUFFICIENT CONSTRUCTION PHOTOGRAPHS OF THE PROJECT'S CONSTRUCTION.
- THE CONTRACTOR SHALL NOT ALLOW THE SITE TO BE LITTERED WITH TRASH AND WASTE MATERIAL. UPON COMPLETION OF WORK, THE SITE SHALL BE CLEANED AND RESTORED TO A CONDITION ACCEPTABLE TO THE DISTRICT.
- THE CONTRACTOR SHALL CONDUCT HIS OPERATION TO OFFER LEAST POSSIBLE OBSTRUCTION AND INCONVENIENCE TO THE PUBLIC. THE CONTRACTOR SHALL MAINTAIN ALL ACCESS TO AND FROM PUBLIC STREETS MID SHALL TAKE ALL NECESSARY PRECAUTIONS TO MINIMIZE CONSTRUCTION DUST AND NOISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO ANY EXISTING UTILITIES. ALL REPAIRS SHALL BE DONE BY CONTRACTOR AT HIS EXPENSE.
- COSTS FOR TRENCH BACKFILL TESTING SHALL BE BORNE BY THE CONTRACTOR/DEVELOPER.
- COPIES OF CERTIFIED COMPACTION TESTS SHALL BE FORWARDED TO SAN MATEO COUNTY PUBLIC WORKS AND DISTRICT ENGINEER, PRIOR TO FINAL APPROVAL OF THE PROJECT BY THE COUNTY.
- CONTRACTOR/OWNER TO RETAIN SURVEYOR/ENGINEER TO PLACE CONSTRUCTION STAKES REQUIRED FOR THE WORK, PRIOR TO COMMENCEMENT OF WORK MID FOR REVIEW BY THE PUBLIC.



DETAIL 1  
C2

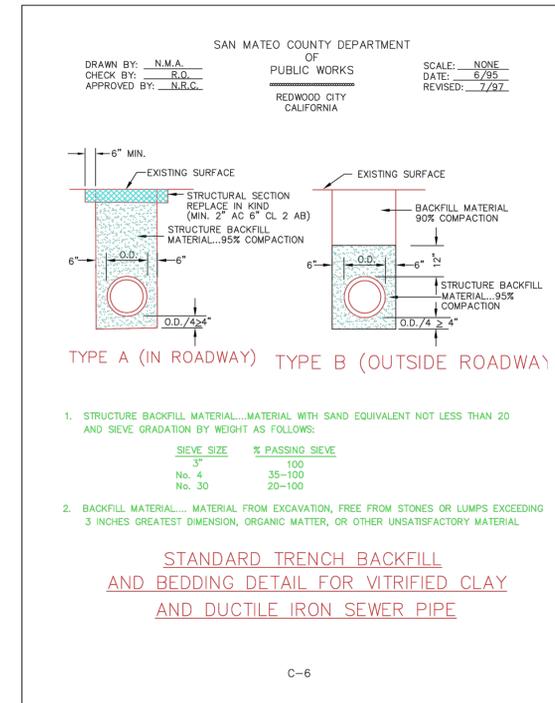


DETAIL 5  
C2

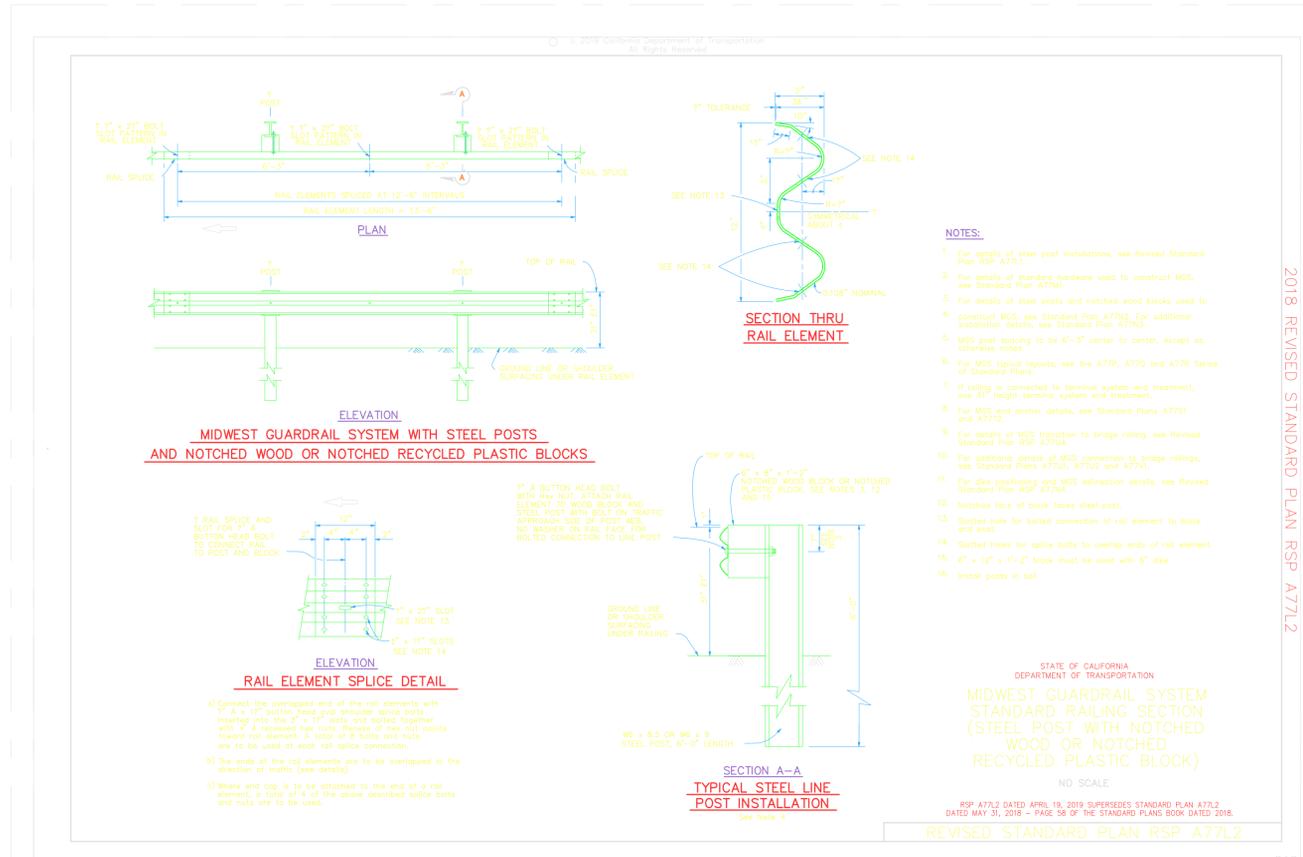
**MANHOLE FRAME AND COVER**

SEE GRANADA SANITARY DISTRICT STANDARD DETAIL #2 MANHOLE FRAME AND COVER

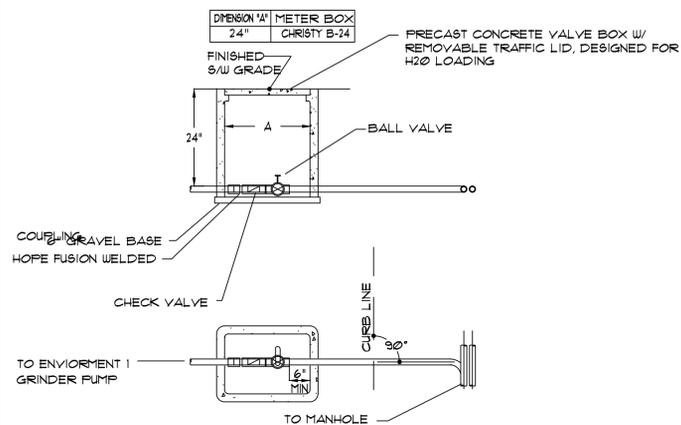
- NOTE:
- BASE SHALL BE CLASS "B" (5 SACK) CONCRETE PLACED AGAINST UNDISTURBED EARTH.
  - CONDUIT SHALL BE LAID THROUGH MANHOLE WHENEVER POSSIBLE.
  - CONCRETE CHANNELS SHALL BE BRUSH FINISHED.
  - PRECAST BARREL AND ECCENTRIC CONE SHALL CONFORM TO ASTM SPECIFICATION C-418 EXCEPT THAT TYPE II CEMENT SHALL BE USED.
  - MORTAR JOINTS SHALL USE "RAM-NEK" OR EQUAL PLASTIC MATERIAL (SEE SPECS).
  - MANHOLE FRAME MAY BE ADJUSTED EITHER BEFORE OR AFTER PAVING, BUT THE FINAL GRADE OF THE FRAME MUST MATCH THAT OF THE PAVING WITHIN 1/8".
  - WHERE FRAME IS SET AFTER PAVING, EXPOSED CONCRETE SURFACES SHALL BE COLORED, WITH 95% PAVING OIL BEFORE THE CONCRETE HAS SET.
  - COLLAR SHALL BE CLASS "B" (5 SACK) CONCRETE.
  - NO CONCRETE SHALL BE PLACED PRIOR TO FORM INSPECTION BY THE AGENCY ENGINEER.



DETAIL 2  
C2



DETAIL 3  
C2  
ONLY ON WEST STREET



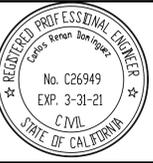
TYPICAL CONNECTION STUB AND VALVE BOX  
NOTE: 4  
C2

PAOQUA, CA. 94044  
(650) 359-0947 FAX (650) 355-2445

NEW RESIDENCE FOR LUPE LOPEZ  
119 HIGHLAND AVE. EL GRANADA, CA. 94018  
DOMINGUEZ ASSOCIATES  
40 HUMBOLDT COURT

REVISION	
NO.	DATE
1	6-19-20

SCALE  
SHEET NUMBER  
C2  
OF SHEETS  
DATE 8-24-18  
FILE LOP1449



NEW RESIDENCE FOR LUPE LOPEZ  
 119 HIGHLAND AVE. EL GRANADA, CA. 94018

PACIFICA, CA 94044  
 (650) 359-8947 FAX (650) 355-2445

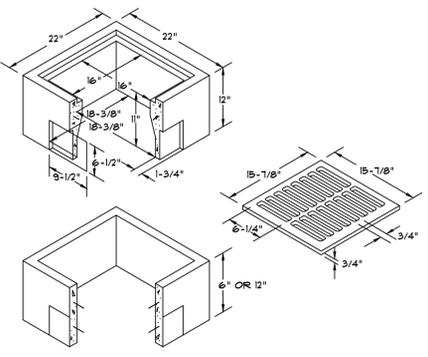
DOMINGUEZ ASSOCIATES LLC 40 HUMBOLDT COURT

REVISION	
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△	9-24-19
△	6-19-20

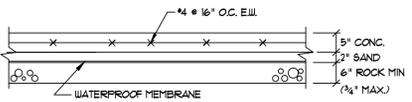
SCALE AS SHOWN  
 SHEET NUMBER

C3

OF SHEETS  
 DATE 8-24-18  
 FILE LOP1443



V64 DRAIN BOX (1) C3



TYPICAL GROUND SLAB (2) C3

EROSION CONTROL NOTES

FIBER ROLL  
 INSTALL AT LOCATIONS SHOWN.  
 AFFIX AS SHOWN IN DETAIL 2/C4

FOR CONSTRUCTION DURING DRY SEASON, ALL EXPOSED SURFACES SHALL BE WETTED PERIODICALLY TO PREVENT SIGNIFICANT DUST.

BETWEEN OCT 15 AND APRIL 15 ALL EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. SUCH PROTECTION SHALL CONSIST OF COIR LOGS, AS SHOWN.

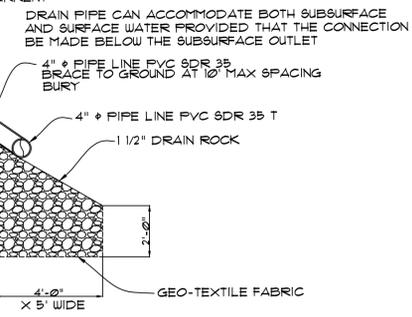
ALL STOCKPILED SOIL SHALL BE COVERED DURING PERIODS OF RAIN.

BEFORE COMPLETION OF PROJECT ALL EXPOSED OR DISTURBED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION, USING JUTE NETTING AND/OR SEED.

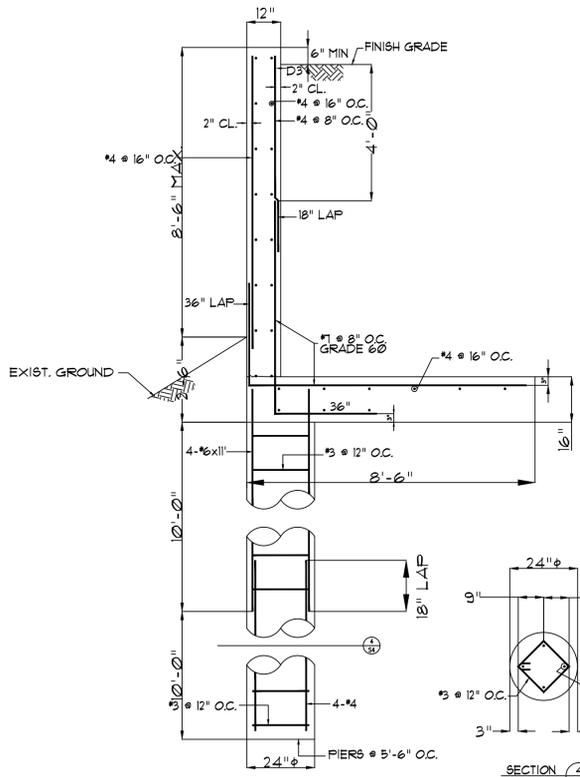
LEGEND

- SHEET FLOW
- WATER FLOW
- PIPE LINE
- MINOR 1' CONTOURS
- MAJOR 5' CONTOURS
- SANITARY SEWER LINE
- PROPERTY LINE
- BUILDING
- DOWNSPOUT
- 100 GALLON RAIN BARREL

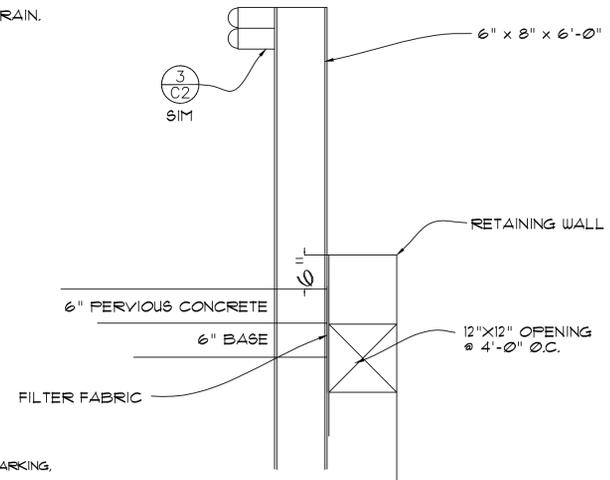
1. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO
2. THE PERMEABLE PAVING IS UTILIZED FOR NOT LESS THAN 20% OF THE TOTAL PARKING, WALKING, OR PATIO SURFACES PER THE CALGREEN SECTION A4.106.4
3. PERMEABLE PAVERS ARE 100%.
4. ALL UNPAVED AREAS SHALL BE GRADED TO SLOPE 1% OR MORE. ALL PAVED AREAS SHALL BE GRADED TO SLOPE AT 5% OR MORE. ALL GRADING AND DRAINAGE WORK SHALL CONFORM WITH THE CURRENT NPDES REQUIREMENTS, 8.B.M.C.12.16.020



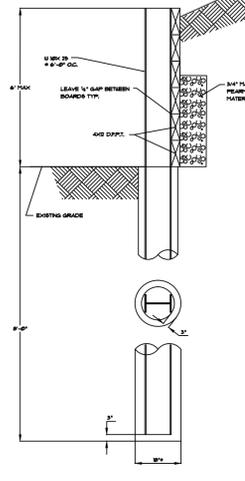
DISSIPATOR DETAIL (9) C3



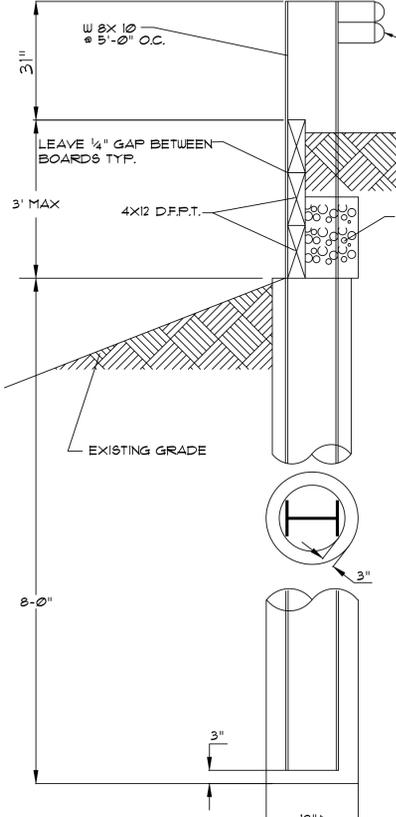
RETAINING WALL SECTION (4) C3



SECTION (8) C3

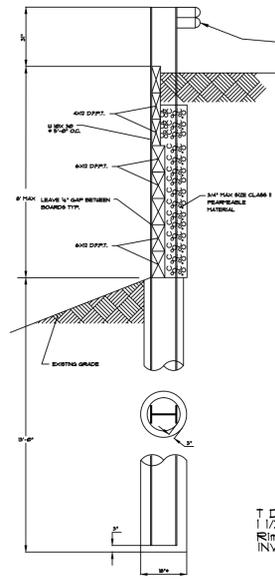


RETAINING WALL SECTION (5) C3

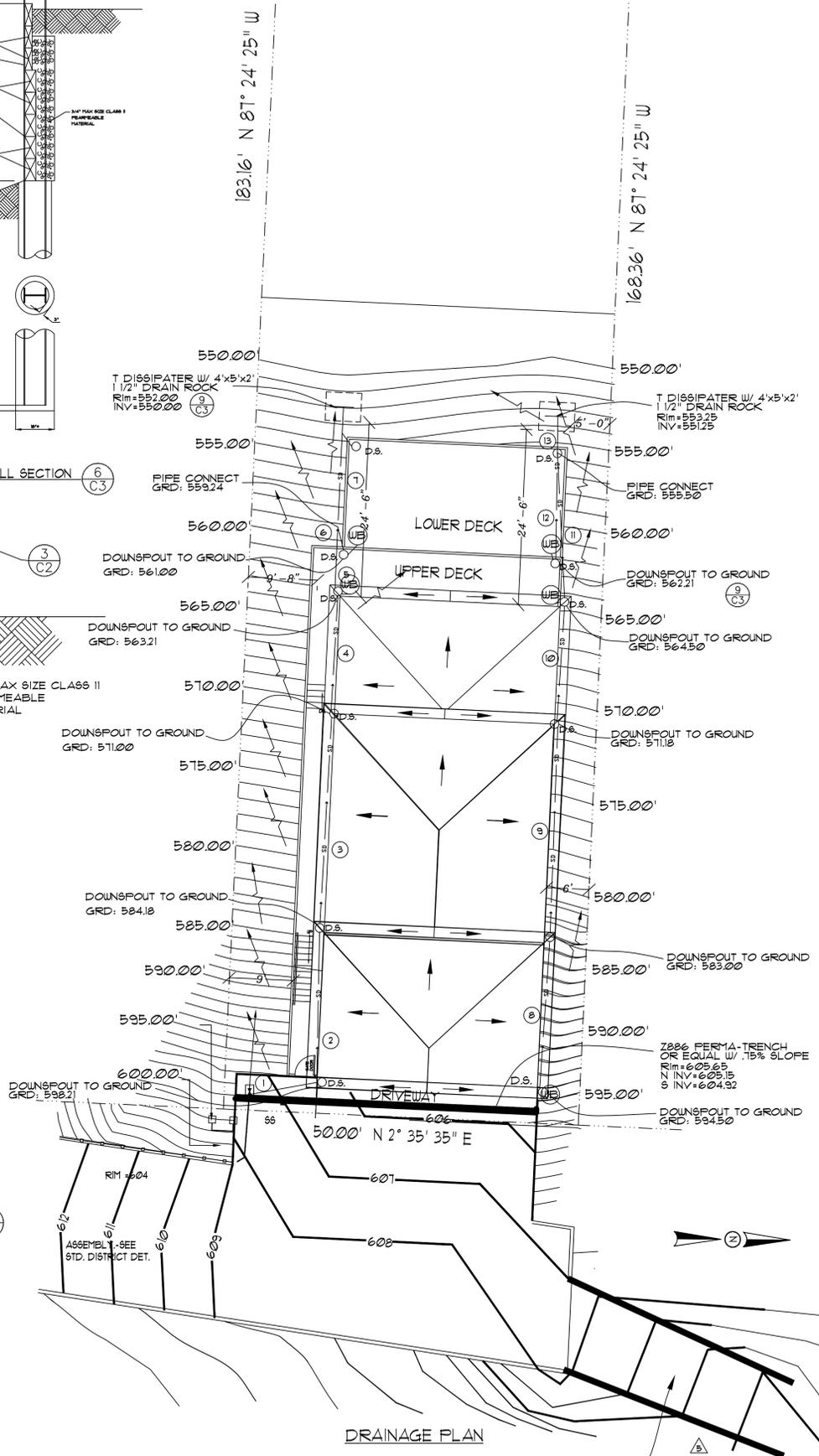


RETAINING WALL SECTION (7) C3

PIPE KEY				
KEY	TYPE	LENGTH	SLOPE	
(1)	4" φ PIPE LINE PVC SDR 35	2.50'	31%	
(2)	4" φ PIPE LINE PVC SDR 35	21.50'	65%	
(3)	4" φ PIPE LINE PVC SDR 35	30.25'	44%	
(4)	4" φ PIPE LINE PVC SDR 35	17.00'	46%	
(5)	4" φ PIPE LINE PVC SDR 35	8.50'	47%	
(6)	4" φ PIPE LINE PVC SDR 35	3.25'	54%	
(7)	4" φ PIPE LINE PVC SDR 35 T	16.75'	43%	
(8)	4" φ PIPE LINE PVC SDR 35	21.00'	55%	
(9)	4" φ PIPE LINE PVC SDR 35	30.00'	40%	
(10)	4" φ PIPE LINE PVC SDR 35	17.00'	53%	
(11)	4" φ PIPE LINE PVC SDR 35	20.50'	32%	
(12)	4" φ PIPE LINE PVC SDR 35	15.00'	45%	
(13)	4" φ PIPE LINE PVC SDR 35 T	5.00'	45%	



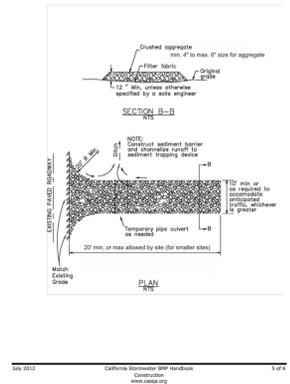
RETAINING WALL SECTION (6) C3



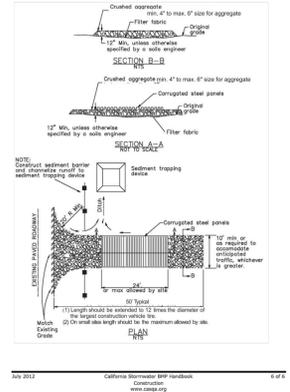
DRAINAGE PLAN

95% COMPACTION ON EXISTING DIRT W/ HYDRO SEED

**Stabilized Construction Entrance/Exit TC-1**



**Stabilized Construction Entrance/Exit TC-1**

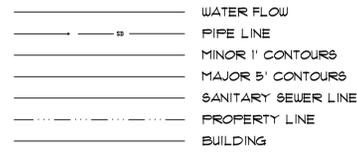


**1 C4 STABILIZED CONSTRUCTION ENTRANCE**

**EROSION CONTROL NOTES**

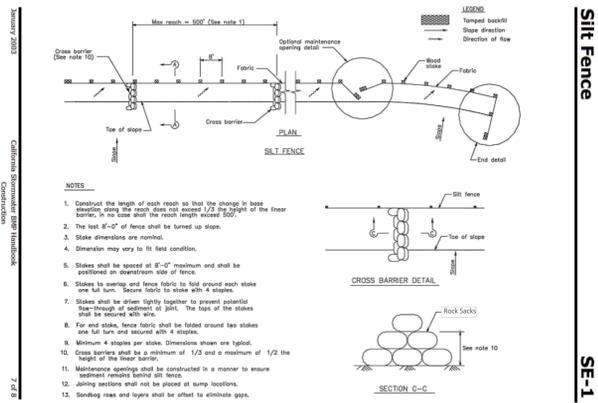
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO
- THE PERMEABLE PAVING IS UTILIZED FOR NOT LESS THAN 20% OF THE TOTAL PARKING, WALKING, OR PATIO SURFACES PER THE CALGREEN SECTION A4106.4
- PERMEABLE PAVERS ARE 100%.
- ALL UNPAVED AREAS SHALL BE GRADED TO SLOPE 1% OR MORE. ALL PAVED AREAS SHALL BE GRADED TO SLOPE AT 5% OR MORE. ALL GRADING AND DRAINAGE WORK SHALL CONFORM WITH THE CURRENT NPDES REQUIREMENTS, 9.B.M.C.12.16.020
- PERFORM CLEARING AND EARTH-MOVING ACTIVITIES ONLY DURING DRY WEATHER. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH-MOVING ACTIVITIES AND CONSTRUCTION.
- MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL ARE REQUIRED YEAR-ROUND. STABILIZE ALL DENUDED AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.
- STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
- STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
- CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
- USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITE AND OBTAIN REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) PERMIT(S) AS NECESSARY.
- USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITE AND OBTAIN REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) PERMIT(S) AS NECESSARY.
- AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.
- LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
- LIMIT CONSTRUCTION ACCESS ROUTES TO STABILIZED, DESIGNATED ACCESS POINTS.
- AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
- TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
- PLACEMENT OF EROSION MATERIALS AT THESE LOCATIONS ARE REQUIRED ON WEEKENDS AND DURING RAIN EVENTS: NORTH, SOUTH, EAST, AND WEST OF PROPERTY. SEE PLANS FOR EXACT LOCATIONS
- PLACEMENT OF EROSION MATERIALS AT THESE LOCATIONS ARE REQUIRED ON WEEKENDS AND DURING RAIN EVENTS: NORTH, SOUTH, EAST, AND WEST OF PROPERTY. SEE PLANS FOR EXACT LOCATIONS
- THE AREAS DELINEATED ON THE PLANS FOR PARKING, GRUBBING, STORAGE, ETC., SHALL NOT BE ENLARGED OR "RUN OVER"
- CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE "OFF-SEASON."
- DUST CONTROL IS REQUIRED YEAR-ROUND.
- EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.
- USE OF PLASTIC SHEETING BETWEEN OCTOBER 1 AND APRIL 30 IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.
- TREE PROTECTION SHALL BE IN PLACE BEFORE ANY DEMOLITION, GRADING, EXCAVATING OR GRUBBING IS STARTED.

**LEGEND**



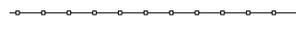
**CONSTRUCTION SCHEDULE:**

BEGIN	ESTIMATE COMPLETION
SEPT 2020	SEPT 2021



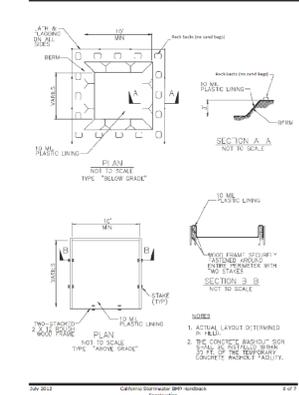
**SILT FENCE**

**2 C4 SILT FENCE DETAIL**

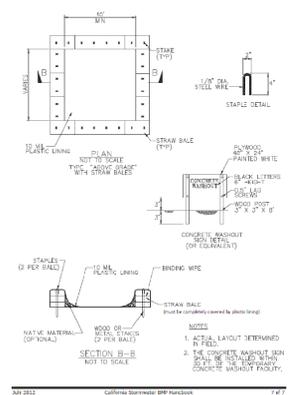


**SILT FENCE**

**Concrete Waste Management WM-8**

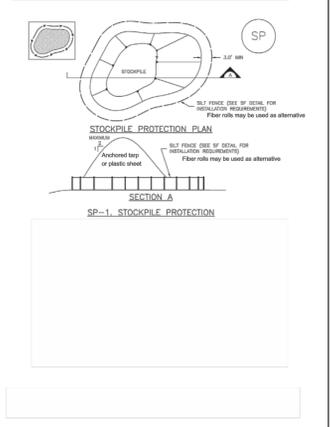


**Concrete Waste Management WM-8**

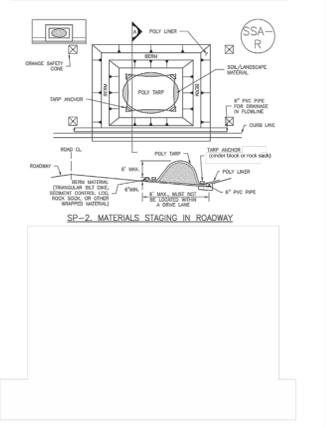


**3 C4 CONCRETE WASTE MANAGEMENT**

**Stockpile Management (SP)**



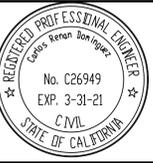
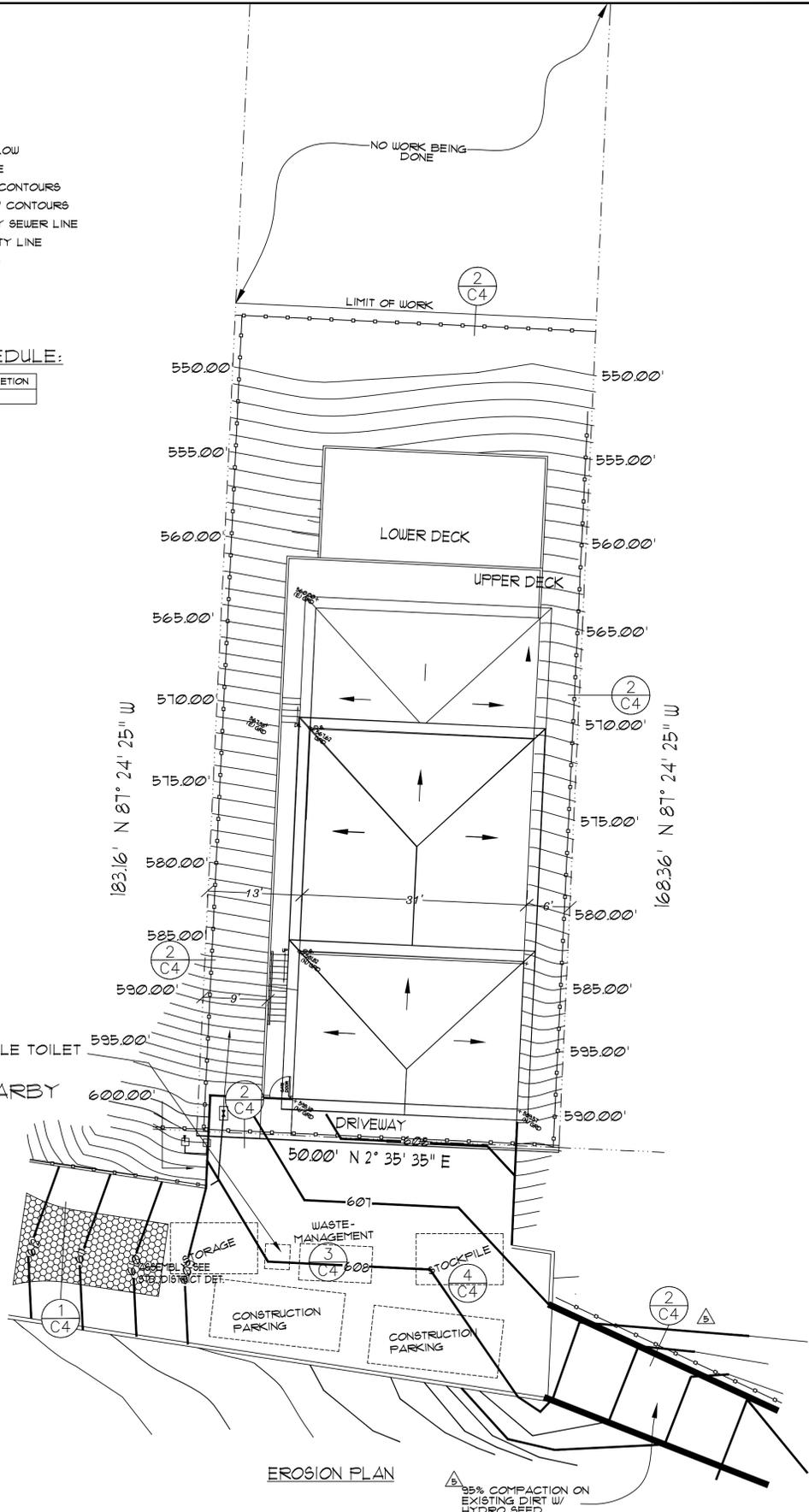
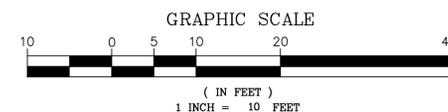
**Stockpile Management (SP)**



**4 C4 STOCKPILE DETAIL**

NO STORM DRAIN INLETS NEARBY

- NOTES:**
- NO STORM DRAIN INLETS NEARBY
  - DEBRIS WILL BE HAULED OFF-SITE IMMEDIATELY



NEW RESIDENCE FOR LUPE LOPEZ  
119 HIGHLAND AVE. EL GRANADA, CA. 94018

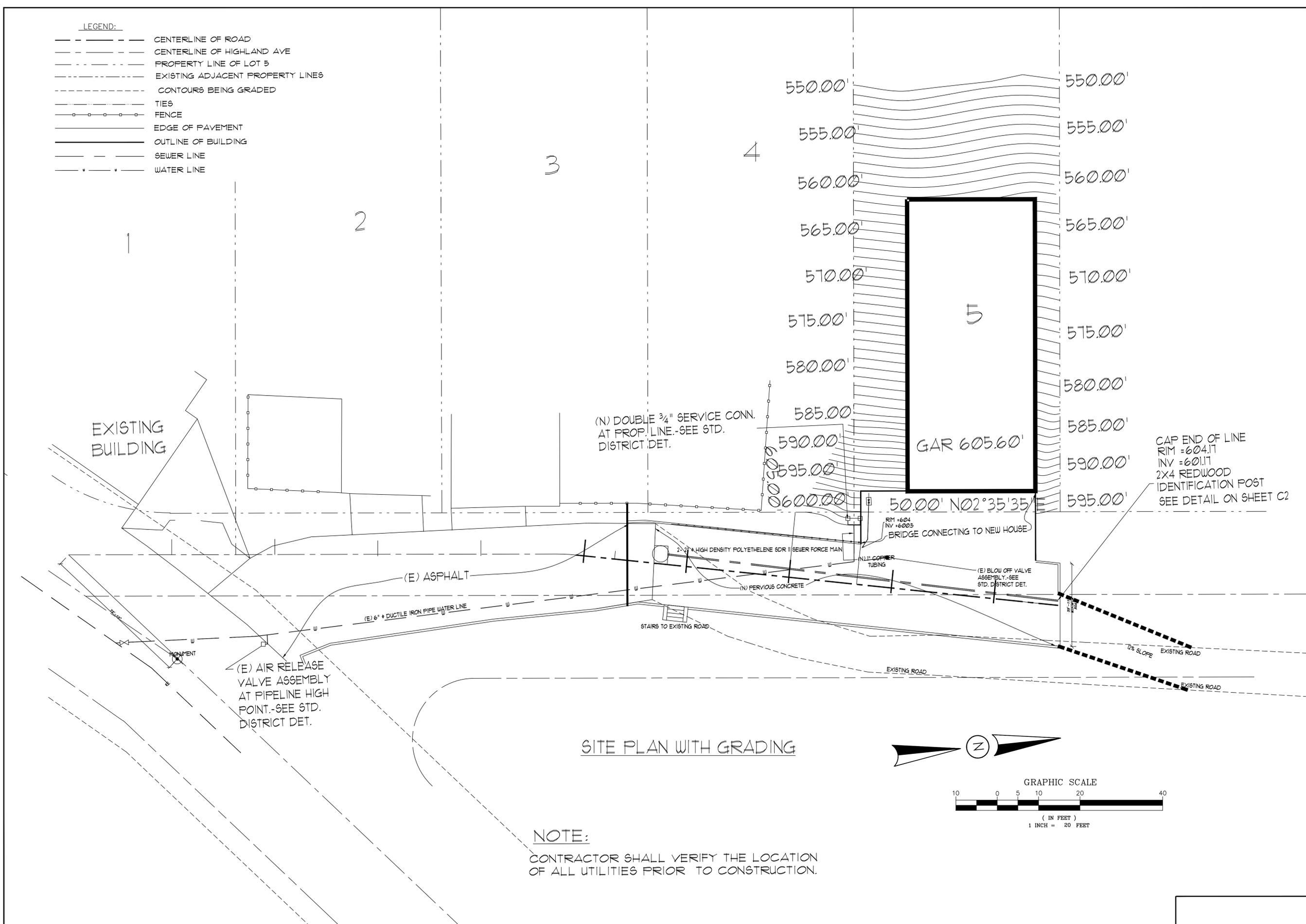
REVISION	
NO.	DATE
1	6-19-20

SCALE AS SHOWN  
SHEET NUMBER  
**C4**  
OF SHEETS  
DATE 8-24-18  
FILE LOP1443

DOMINGUEZ ASSOCIATES  
40 HUMBOLDT COURT  
PACIFICA, CA 94044  
(650) 359-8947 FAX (650) 355-2445

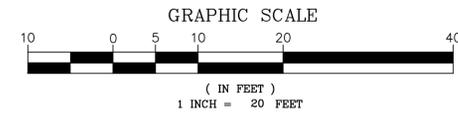


- LEGEND:**
- CENTERLINE OF ROAD
  - CENTERLINE OF HIGHLAND AVE
  - PROPERTY LINE OF LOT 5
  - EXISTING ADJACENT PROPERTY LINES
  - CONTOURS BEING GRADED
  - TIES
  - FENCE
  - EDGE OF PAVEMENT
  - OUTLINE OF BUILDING
  - SEWER LINE
  - WATER LINE



**SITE PLAN WITH GRADING**

**NOTE:**  
 CONTRACTOR SHALL VERIFY THE LOCATION  
 OF ALL UTILITIES PRIOR TO CONSTRUCTION.



NEW RESIDENCE FOR LUPE LOPEZ  
 119 HIGHLAND AVE., EL GRANADA, CA. 94018  
 DOMINGUEZ ASSOCIATES LLC  
 40 HUMBOLDT COURT  
 PACIFICA, CA. 94044  
 (650) 359-0947 EMAIL carlos@dominguezassociates.com

REVISION	
NO.	DATE

SCALE AS SHOWN  
 SHEET NUMBER

C5

OF SHEETS  
 DATE 8-24-18  
 FILE LOP1449

REV:	DESCRIPTION AND DATE:

**eclastUDIO**  
landscape architecture  
850 STANNAGE AVE. #4  
ALBANY, CA 94706  
(510) 528-8701  
eddie@eclastudio.com  
www.eclastudio.com  
PLA 4408

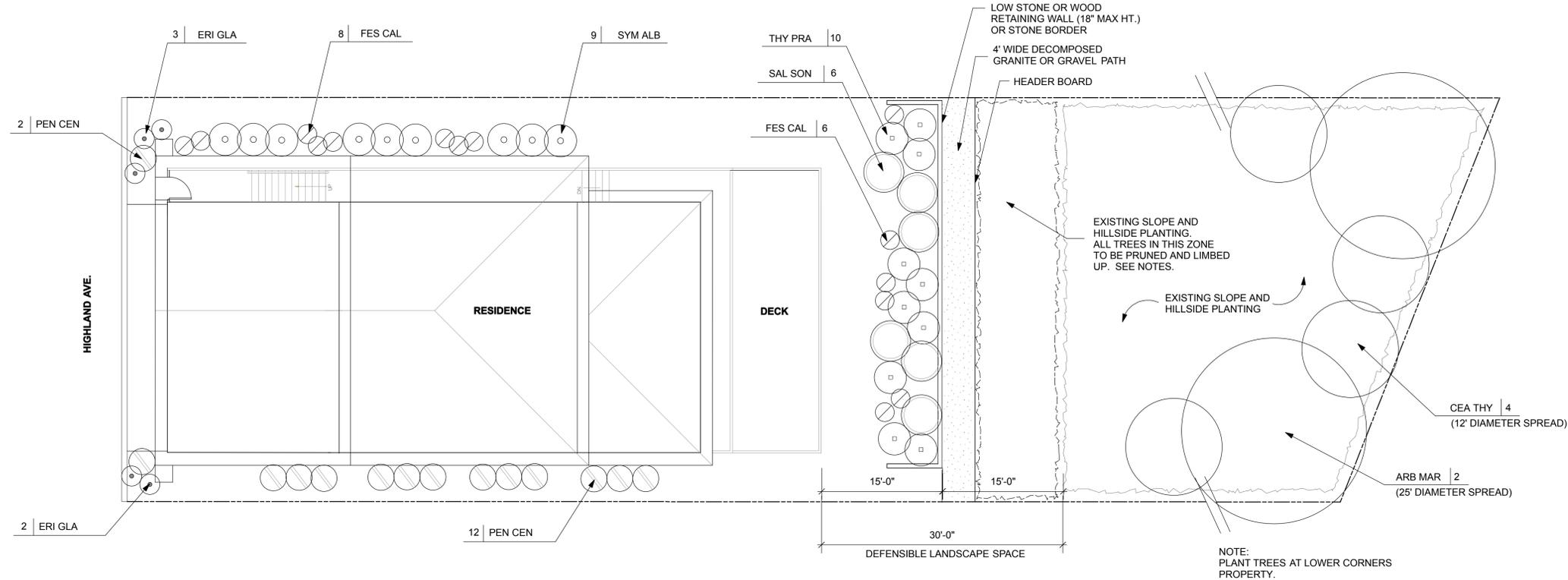
**LOPEZ RESIDENCE**  
119 HIGHLAND AVE.  
EL GRANADA, CA

PLANTING PLAN

FOR PLANNING REVIEW

DATE: 12/21/18  
SCALE: 1/8" = 1'-0"  
DRAWN:

L1



**PLANT LIST**

QTY.	CONTAINER	SPREAD	BOTANIC NAME	COMMON NAME	WUCOLS WATER FACTOR	SUNSET ZONE
<b>TREES:</b>						
2	24" B	25" DIA	ARBUTUS MARINA	STRAWBERRY TREE	LOW (2)	8,9, 14-24
4	24" B	12" DIA	CEANOTHUS THYRSIFLORUS 'SNOW FLURRY'	SNOW FLURRY CEANOTHUS	LOW (2)	5,7,8,9,14-17,19-42
<b>SHRUBS AND PERENNIALS:</b>						
5	1G		ERIGERON GLAUCUS	SEASIDE DAISY	LOW (2)	4-6,15-17, 22-24
14	1G		PENSTEMON CENTRANTHIFOLIUS	SCARLET BUGLER	LOW (2)	7-23
6	5G		SALVIA SONOMENSIS	CREeping SAGE	LOW (2)	7,9,14-24
9	1G		SYMPHORICARPUS ALBUS	COMMON SNOWBERRY	LOW (2)	1-11, 14-21
<b>GRASSES AND GROUNDCOVERS:</b>						
6	1G		FESTUCA CALIFORNICA	CALIFORNIA FESCUE	LOW (2)	4-9, 14-24
10	1G		THYMUS PRAEcox	MOTHER OF THYME	LOW (2)	1-24

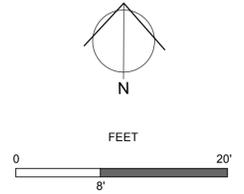
**NOTES:**

- SEE IRRIGATION PLAN FOR LANDSCAPE AREA SQUARE FOOTAGES.
- ALL WUCOLS PLANT FACTORS ARE UNDER 0.3
- NO TURF IS TO BE PLANTED IN THIS PLANTING PLAN
- TURF SHALL NOT EXCEED 25% OF LANDSCAPE AREA IN RESIDENTIAL AREAS
- NO TURF PERMITTED IN NON-RESIDENTIAL AREAS
- TURF NOT PERMITTED ON SLOPES GREATER THAN 25%
- TURF IS PROHIBITED IN PARKWAYS LESS THAN 10 FEET WIDE

**PLANT NOTES:**

- LAYOUT IN ADVANCE ALL PLANT MATERIAL PER PLANTING PLAN. LANDSCAPE ARCHITECT TO APPROVE LOCATION OF PLANT MATERIAL PRIOR TO PLANTING. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT A MINIMUM OF ONE WEEK IN ADVANCE OF PLANTING DATES.
- AMENDMENT or APPROVED EQUAL: "DIESTEL STRUCTURED COMPOST" 50/50 RATIO, 4 CUBIC FEET PER 1000 SF. SOURCE: LYNGSO GARDEN MATERIALS, SAN CARLOS (650)364-1730
- PLANTING HOLES FOR TREES AND SHRUBS TO BE TWICE ROOTBALL WIDTH AND EQUAL TO ROOTBALL DEPTH. ALL 15G AND LARGER PLANTS TO BE PLANTED ON NATIVE SOIL, EXCEPT WHERE PLANTING IN FILL.
- FOR TOP OF ROOTBALLS: PLANT ALL 1 AND 5 GALLON CANS 1/2" ABOVE THE GROUND. PLANT ALL 15 GALLONS, 2" ABOVE THE GROUND. BRING MULCH AND SOIL AMENDMENT AROUND AND OVER EXPOSED ROOT BALL. KEEP MULCH AWAY FROM BASE OF TRUNKS AND STEMS.
- FERTILIZER: FERTILIZE WITH AGRIFORM TABLETS (20-10-5). USE ONE TABLET FOR ONE GALLON, THREE TABLETS FOR FIVE GALLON, FIVE TABLETS FOR 15 GALLON, EIGHT TABLETS FOR 24" BOX, TWELVE TABLETS FOR 36" BOX PLANTS. (GLACIAL ROCK DUST MAY BE SUBSTITUTED FOR FERTILIZER TABLETS. APPLY AT SUPPLIER RECOMMENDED RATES.)
- MULCH: APPLY 1/4" FIR CHIP MULCH OVER ALL SHRUB AND GROUND COVER AREAS TO A DEPTH OF THREE INCHES. PULL BARK 2-3" AWAY FROM BASE OF ALL PLANTS.  
  
A MINIMUM OF 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
- LANDSCAPE CONTRACTOR WILL REPLACE ALL DEAD PLANTS AND PLANTS NOT IN VIGOROUS CONDITION AS DIRECTED BY LANDSCAPE ARCHITECT. PLANTS USED FOR REPLACEMENT SHALL BE OF THE SAME KIND AND SIZE SPECIFIED AND PLANTED AS SPECIFIED ABOVE. ALL REPLACEMENT OF PLANTS SHALL BE DONE BEFORE FINAL ACCEPTANCE.
- PROVIDE PLANT GUARANTEE PROPOSAL WITH BID. (MINIMUM 6 MONTHS FOR PLANTS UP TO 15 GALLON, 1 YEAR FOR 24" BOX OR LARGER.
- VEGETATION MANAGEMENT:** MAINTAIN DEFENSIBLE VEGETATIVE FUEL BREAK MIN. 30' AROUND STRUCTURE. TREES WITHIN DEFENSIBLE SPACE TO BE PRUNED TO REMOVE DEAD AND DYING PORTIONS, AND LIMBED UP 6'-10' ABOVE GROUND. NEW TREES PLANTED IN DEFENSIBLE SPACE SHALL BE LOCATED NO CLOSER THAN 10' TO ADJACENT TREES WHEN FULL GROWN OR AT MATURITY.

NOT FOR CONSTRUCTION



REV.	DESCRIPTION AND DATE

**ecla**STUDIO  
landscape architecture  
850 STARBUCK AVE. #4  
ALBANY, CA 94706  
(510) 538-8701  
ec@eclastudio.com  
www.eclastudio.com  
FLA 4408

**LOPEZ RESIDENCE**  
119 HIGHLAND AVE.  
EL GRANADA, CA

IRRIGATION PLAN

FOR PLANNING REVIEW

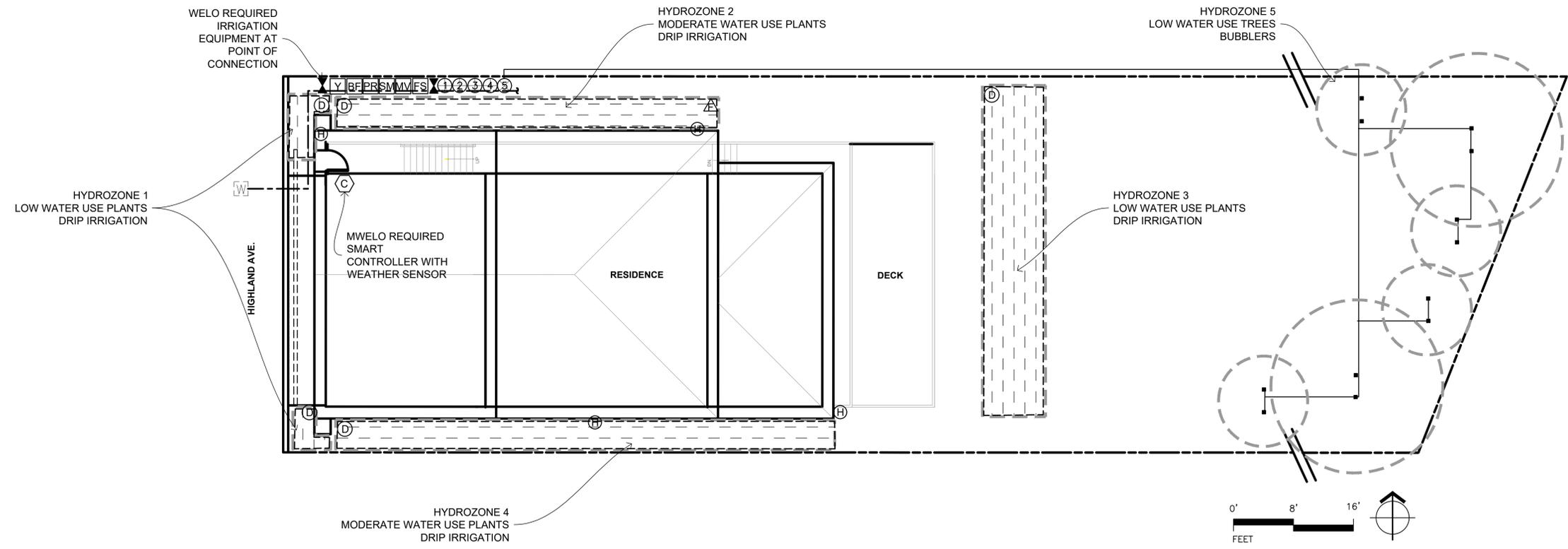
DATE: 12/21/18  
SCALE: 1/8" = 1'-0"  
DRAWN:

**L2**

WATER EFFICIENT LANDSCAPE WORKSHEET									
Lopez Residence									
Reference Evapotranspiration (ET0)		33.70							
ETWU: ESTIMATED TOTAL WATER USE									
ETWU=ET0 X 0.62 X [(PF X HA) / IE] + SLA]									
HYDROZONE	PLANTING DESCRIPTION	PLANT FACTOR	IRRIGATION METHOD	IRRIGATION EFFICIENCY (IE)	ETAF (PF/IE)	LANDSCAPE AREA (SF)	ETAF X AREA	ETWU (GAL/YR)	
<b>Regular Landscape Areas</b>									
1	SHRUBS	0.20	DRIP	0.81	0.25	60.00	14.81	309.54	
2	SHRUBS	0.20	DRIP	0.81	0.25	214.00	52.84	1,104.03	
3	SHRUBS	0.20	DRIP	0.81	0.25	370.00	91.36	1,908.83	
4	SHRUBS	0.20	DRIP	0.81	0.25	268.00	66.17	1,382.62	
5	TREES	0.20	BUBBLERS	0.81	0.25	1,434.00	354.07	7,398.02	
SUBTOTAL					0.25	2,346.00	NA	12,103.04	
<b>Special Landscape Areas</b>									
SUBTOTAL					1.00		0.00	0.00	
TOTALS						2,346.00			
ETWU TOTAL							ETWU	12,103.04	
MAWA: MAXIMUM ALLOWED WATER USE									
MAWA = (ET0)(0.62) [(ETAF X LA) + ((1-ETAF) X SLA)]									
ET0	CONVERSION FACTOR	ETAF	ETAF X LA = D	1-ETAF X SLA = E	D+E			MAWA (GAL/YR)	
33.7	0.62	0.55	1,290.30	0.00	1,290.30			26,959.53	
							ETWU COMPLIES WITH MAWA		
ETWU AVERAGE ETAF MUST BE: RESIDENTIAL: < .55, N: MAWA ETAF: RESIDENTIAL= 0.55, NON-RESIDENTIAL= 0.45									
PLANT FACTOR: VL=0-0.1, L=0.1-0.3, M=0.4-0.6, H=0.7-1.0									
IRRIGATION EFFICIENCY (IE): SPRAY=.75, DRIP=.81									
MAX LAWN AREA = 25%									

IRRIGATION LEGEND				
SYMBOL	COMPONENT	MANUFACTURER	MODEL	NOTES / SIZE / COLOR
W	WATER METER-EXISTING			VERIFY SIZE IN FIELD
MWEO REQUIRED WEATHER BASED CONTROLLER:				
C	CONTROLLER	HUNTER	I-CORE IC-600-PL 6-STATION WIRELESS SOLAR SYNC, WSS-SEN	
	WEATHER SENSOR	HUNTER		
MWEO REQUIRED EQUIPMENT AT THE POINT OF CONNECTION:				
Y	GATE VALVE	NIBCO	T-113	LEAD FREE LINE SIZE
Y	WYE STRAINER	WILKINS	SXL	1"
BF	BACKFLOW PREVENTER	FEBCO	LF825Y	1" LEAD FREE REDUCED PRESSURE ASSEMBLY
PR	PRESSURE REDUCER	WATTS	LFN	1"
SM	SUBMETER	BADGER		METER SIZE
MV	MASTER VALVE	HUNTER	ICV-101G	1"
FS	FLOW METER	CST	FSI-T10-001	1"
TREE BUBBLER SYSTEM TO INCLUDE:				
	REMOTE CONTROL VALVE	HUNTER	ICV-151G	1"
	BUBBLER	RAINBIRD	1402	GPM: 0.5
DRIP SYSTEM TO INCLUDE:				
DRIP IRRIGATION CONTROL VALVE ASSEMBLY TO INCLUDE:				
	REMOTE CONTROL VALVE	HUNTER	ICV-101G	1"
	FILTER & PRESSURE REGULATOR	HUNTER	PCZ DRIP CONTROL ZONE KIT	1"
D	TRANSITION TO DRIP ZONE			
A	DRIP FLUSHOUT			RE
H	HOSE BIBB			SEE PLUMBING DRAWINGS
=====	SLEEVE		SCH 40 WITH SCH 80 SOLVENT WELD FITTINGS	PIPE SIZE: 1.5X COMBINED SIZE OF ENCLOSED PIPES
---	MAINLINE			PIPE SIZE: 0-12 GPM: 1" PIPE
---	LATERAL PIPE			
---	INLINE EMITTER TUBING	NETAFIM	TECHLINE CV, 17MM	0.4 GPH EMITTERS EMITTER SPACING: 18 INCHES ROW SPACING: 18 INCHES
HYDROZONE				
SYMBOLS FOR COMPONENTS ARE LARGER THAN ACTUAL SIZE AND MAY BE SHOWN IN PAVED AREAS FOR GRAPHIC CLARITY.				
COORDINATE LOCATION OF EQUIPMENT WITH PLUMBER				
ALL PIPE RUNS UNDER PAVING ARE IN SLEEVES, INSTALL SLEEVES PRIOR TO POURING CONCRETE				

- IRRIGATION DESIGN INTENT**
- THE DRIP IRRIGATION SYSTEM IS DESIGNED TO REDUCE WATER USE TO THE LOWEST PRACTICAL AMOUNT TO PROVIDE HEALTHY PLANT GROWTH. IT IS DESIGNED TO PREVENT RUNOFF, LOW HEAD DRAINAGE AND OVERSPRAY. SEPARATE VALVES ARE USED TO IRRIGATE EACH HYDROZONE. THE SYSTEM INCORPORATES HIGH QUALITY, HEAVY DUTY, WATER CONSERVING EQUIPMENT. BACKFLOW PROTECTION IS PROVIDED AT THE POINT OF CONNECTION. A SMART CONTROLLER PROVIDES EVAPOTRANSPIRATION SENSOR DATA FOR SCHEDULING.
- CONTROLLER**
1. AUTOMATIC WEATHER-BASED IRRIGATION CONTROLLER SHALL BE INSTALLED ON THE IRRIGATION SYSTEM
  2. IRRIGATION CONTROLLER USES EVAPOTRANSPIRATION DATA AND UTILIZES A RAIN SENSOR.
  3. IRRIGATION CONTROLLER PROGRAMMING DATA WILL NOT BE LOST DUE TO AN INTERRUPTION IN THE PRIMARY POWER SOURCE.
- IRRIGATION NOTES**
1. CONTRACTOR TO HAVE C-27 LICENSE
  2. AREAS LESS THAN 10 FEET IN ANY DIRECTION SHALL BE IRRIGATED WITH SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVERSPRAY.
  3. FOR NON-RESIDENTIAL PROJECTS WITH LANDSCAPE AREAS OF 1,000 SQ. FT. OR MORE, PRIVATE SUBMETER(S) TO MEASURE LANDSCAPE WATER USE SHALL BE INSTALLED.
  4. A PRIVATE LANDSCAPE SUBMETER IS INSTALLED AT NON-RESIDENTIAL LANDSCAPE AREAS OF 1,000 SQ. FT. OR MORE
  5. A PRESSURE REGULATOR IS INSTALLED ON THE IRRIGATION SYSTEM TO ENSURE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN THE MANUFACTURER'S RECOMMENDED PRESSURE RANGE
  6. A MANUAL SHUTOFF VALVE SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION TO THE WATER SUPPLY
  7. FOR GRAPHIC CLARITY SYMBOLS ARE NOT TO SCALE AND PLACEMENT IS DIAGRAMMATIC
  8. ALL EQUIPMENT TO BE FIELD LOCATED BY OWNER
  9. CONTRACTOR TO FIELD VERIFY PSI AT POC
  10. CONTRACTOR TO FIELD VERIFY ALL EQUIPMENT
  11. CONTRACTOR TO ENSURE THAT THE SYSTEM IS FULLY FUNCTIONAL AND HYDRAULICALLY SOUND
  12. AT THE TIME OF FINAL INSPECTION THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE
  13. UNLESS CONTRAINDICATED BY A SOILS TEST, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQ. FT. OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL



NOT FOR CONSTRUCTION