



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT A

County of San Mateo
Planning and Building Department

RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL

Permit or Project File Number: PLN 2018-00401

Hearing Date: May 27, 2019

Prepared By: Laura Richstone
Project Planner

For Adoption By: Planning Commission

Regarding the Environmental Review, Find:

1. That this Mitigated Negative Declaration reflects the independent judgement of San Mateo County.
2. That the Mitigated Negative Declaration is complete, correct, and adequate and prepared in accordance with the California Environmental Quality Act and applicable State and County Guidelines.
3. That, on the basis of the Initial Study, comments received hereto, and testimony presented and considered at the public hearing, there is no substantial evidence that the project will have a significant effect on the environment.
4. That the mitigation measures in the Mitigated Negative Declaration and agreed to by the owner and placed as conditions of approval have been incorporated into the Mitigation Monitoring and Reporting Plan in conformance with the California Public Resources Code Section 21081.6

Regarding the Coastal Development Permit, Find:

5. That the project, as described in the application and accompanying materials required by Zoning Regulations Section 6328.7, and as conditioned in accordance with Section 6328.14 of the Zoning Regulations, conforms to the plans, policies, requirements and standards of the San Mateo County Local Coastal Program as described in the staff report.
6. That the project conforms to the specific findings required by the policies of the San Mateo County Local Coastal Program for the reasons detailed in the staff report, specifically in regard to the Agriculture, Scenic Corridors and Visual Resources Components. That single-family residences are conditionally permitted with the issuance of a Planned Agricultural District Permit when it is determined that the conversion of agricultural lands is minimal. The project is

proposed in an area that has been defined as “Lands Suitable” for agriculture and that there are no other suitable locations on the site given that the soil type is consistent throughout the parcel and the constraints posed by the presence of sensitive habitats. That the project is in scale with adjacent development and will be screened from scenic roadways or corridors.

Regarding the Planned Agricultural District Permit, Find:

7. That the project, as described in the application and accompanying materials, complies with all applicable General Criteria for the issuance of a Planned Agricultural District Permit contained in Section 6355.A of the County Zoning Regulations, as the project will maintain development near the rear of the property to ensure the flattest acreage is available for agriculture. Furthermore, the project is located more than 200-feet from the nearest waterway and will be screened from public views along La Honda Road by the existing topography and planned screening vegetation.
8. That the project conforms to the Development Review Criteria contained in Chapter 20A.2 of the San Mateo County Ordinance Code. The project complies with Section 6324.1 and Section 6324.4, which respectively address the potential for environmental impacts and water resources, as the project will not introduce noxious odors, chemical agents, or long-term noise levels. The project also complies with Sections 6324.2 and 6325.1, which address site design criteria and primary scenic resources areas, as the project is located to avoid sensitive habitats, waterways, mature trees, or dominant vegetation and designed to be least visually impactful when seen from the La Honda Road County Scenic Corridor.
9. That the project will not diminish water supplies for agricultural activities or sensitive habitat protection on or adjacent to the subject property as the project will have adequate water supply to serve the potable water demands of the new residence. Conversion of the agricultural well for domestic use will not impact intended agricultural activities on the property or degrade air or water quality. Furthermore, the project will be located over 200-feet from the nearest waterway, 90 feet from the edge of an oak woodland, and will not result in any impacts to sensitive habitats with the mitigation measures contained in the Mitigated Negative Declaration incorporated.
10. That all agriculturally unsuitable lands on the parcel have been developed or determined to be undeveloped. The parcel been identified as having soils suitable for agriculture. Given the fact that the parcel is vacant, any development would result in the conversion of soils to a non-agricultural use. There are no agriculturally unsuitable lands on which to locate the proposed house. The parcel does, however, support a number of sensitive habitats, which prevents residential structures from being located in those areas. Therefore, the applicant has chosen

to locate the proposed development in a steeper portion of the parcel to preserve the flattest front portion of the parcel for future agricultural activities.

11. That the continued or renewed agricultural use of the soils is not capable of being accomplished in a successful manner within a reasonable period of time, taking into account economic, environmental, social, and technological factors. The parcel has been identified as suitable for grazing. However, given the size of the parcel and presence of sensitive habitats, the likelihood of any large-scale agricultural activities is limited. The applicant has reserved the front of the parcel for a future dry hay farming operation.
12. That clearly defined buffer areas are developed between agricultural and non-agricultural uses. The proposed developed area (i.e. house and driveway) will be surrounded by retaining walls ranging in 1 to 9.5 feet in height. These retaining walls provide a clear distinction between agricultural and non-agricultural areas on the parcel. At its closest point the future agricultural fields will be located 25 feet from the driveway and 70 feet from the single-family residence.
13. That the productivity of any adjacent agricultural lands is not diminished, including the ability of the land to sustain dry farming or animal grazing. The proposed development is limited to the project site. There will be no impact on the productivity of the adjacent agricultural lands.
14. That the public service, facility expansions, and permitted uses do not impair agricultural viability, either through increased assessment costs or degraded air and water quality. The proposed house will be served by a private well and septic system that are located on-site and will only serve the proposed development. These items have been reviewed by the County's Environmental Health Services and have been found to be in compliance with current health standards and thus pose no threat to air or water quality.

Regarding the Grading Permit, Find:

15. That the project, as conditioned, will not have a significant adverse effect on the environment. The project has been reviewed by the Current Planning Section, Geotechnical Section, and Drainage Section, which found that the project can be completed without significant harm to the environment, as conditioned.
16. That the project, as conditioned, conforms to the criteria of the San Mateo Grading Ordinance and is consistent with the General Plan. The Current Planning Section and the Geotechnical Section have reviewed the project and have determined it conforms to the criteria of Chapter 8, Division VII, of the San Mateo County Ordinance Code, including the standards referenced in Section 9285 and the San Mateo County General Plan.

RECOMMENDED CONDITIONS OF APPROVAL

Current Planning Section

1. This approval applies only to the proposed project as described in this report and materials submitted for review and approval by the Planning Commission on May 27, 2020. The Community Development Director may approve minor revisions or modifications to the project if they are found to be consistent with the intent of and in substantial conformance with this approval.
2. These permits shall be valid for one year from the date of approval in which time a building permit shall be issued. If after one year from the date of approval, the applicant has not obtained all other necessary permits and made substantial progress towards completing the proposed development, the Grading, PAD, and CD permits shall expire. These permits may be extended with a one-year extension if the applicant requests an extension in writing and pays the applicable extension fees at least sixty calendar days before the expiration date.
3. The Department of Fish and Wildlife has determined that this project is not exempt from the Department of Fish and Wildlife California Environmental Quality Act filing fees per Fish and Wildlife Code Section 711.4. The applicant shall pay to the San Mateo County Recorder's Office an amount of \$2,406.75 plus a \$50.00 recording fee at the time of filing the Notice of Determination by the County Planning and Building Department staff within five (5) business days of this approval (by June 3, 2020). Please be aware that the Department of Fish and Wildlife environmental filing fee increases starting the 1st day of each new calendar year (i.e., January 1, 2020).
4. No grading shall be allowed during the winter grading season (October 1 to April 30) to avoid potential erosion. No grading activities, site preparation (excluding installation of erosion control measures and wildlife exclusionary fencing), or storage of materials shall commence until a building permit has been issued.
5. No grading activities shall commence until the property owner has been issued a grading permit (issued as the "Hard Card" with all necessary information filled out and signatures obtained) by the Current Planning Section and the building permit shall be issued at the same time. No grading activities shall commence until all permits have been issued.
6. The San Mateo County Grading Ordinance shall govern all grading associated with this project. Per Grading Ordinance Section 9296.5, all equipment used in grading operations shall meet spark arrester and firefighting tool requirements, as specified in the California Public Resources Code.

7. The engineer who prepared the approved grading plan shall be responsible for the inspection and certification of the grading as required by Section 9297 of the Grading Ordinance. The engineer's responsibilities shall include those relating to non-compliance detailed in Section 9297.4 of the Grading Ordinance.
8. Erosion and sediment control during the course of grading work shall be installed and maintained according to a plan prepared and signed by the engineer of record and approved by the Department of Public Works and the Current Planning Section. Revisions to the approved erosion and sediment control plan shall be prepared and signed by the engineer and must be reviewed and approved by the Drainage Section and Current Planning Section.
9. It shall be the responsibility of the engineer of record to regularly inspect the erosion control measures for the duration of all grading activities, especially after major storm events, and determine that they are functioning as designed and that proper maintenance is being performed. Deficiencies shall be immediately corrected, as determined by and implemented under the observation of the engineer of record.
10. For the final approval of the grading permit, the property owner shall ensure the performance of the following activities within thirty (30) days of the completion of grading at the project site:
 - a. The engineer shall submit written certification that all grading has been completed in conformance with the approved plans, conditions of approval, and the Grading Regulations, to the Drainage Section's and Planning and Building Department's Geotechnical Engineer.
 - b. The geotechnical consultant shall observe and approve all applicable work during construction and sign Section II of the Geotechnical Consultant Approval form, for submittal to the Planning and Building Department's Geotechnical Engineer and Current Planning Section.
11. No trees are approved for removal as part of this permit approval. A separate permit shall be required for the removal of any trees. An application and processing, including applicable fees, shall be required prior to any tree removal.
12. Staging of construction material shall be prohibited within 30 feet of the oak woodlands located at the rear of the parcel.
13. All utilities shall be installed underground.

Mitigation Measures from the Initial Study/Mitigated Negative Declaration:

14. **Mitigation Measure 1:** All proposed development shall utilize earth tone colors to further blend in with the surrounding grassland vegetation and topography.

15. **Mitigation Measure 2:** All proposed exterior lighting shall be designed and located so as to confine direct rays to the subject property and prevent glare to the surrounding area. Manufacture cut sheets for any exterior light fixtures shall be submitted for review and approval to the Planning Department prior to the issuance of a building permit. All fixtures shall be rated dark-sky compliant and designed to minimize light pollution beyond the confines of the subject premises.
16. **Mitigation Measure 3:** The finishes of all exterior materials and/or colors shall be non-reflective.
17. **Mitigation Measure 4:** The applicant shall require construction contractors to implement all the Bay Area Air Quality Management District's Basic Construction Mitigation Measures, listed below:
 - a. Water all active construction areas at least twice daily.
 - b. Apply water two times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking, and staging areas at construction sites. Also, hydroseed or apply non-toxic soil stabilizers to inactive construction areas.
 - c. Sweep daily all paved adjacent public streets daily (preferably with water sweepers) if visible soil material is carried onto them.
 - d. Limit traffic speeds on unpaved roads within the project parcel to 15 miles per hour.
 - e. All construction equipment shall be maintained and properly tuned in accordance with manufacturers' specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
 - f. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxics Control Measure Title 13, Section 2485, of the California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
 - g. Enclose, cover, water twice daily, or apply non-toxic soil binders to exposed stockpiles (dirt, sand etc.) that can be blown by the wind.
 - h. Replant vegetation in disturbed areas as quickly as possible.
 - i. Install erosion control measures to prevent silt runoff to public roadway and/or into the unnamed intermittent creek at the rear of the property.

- j. All haul trucks transporting soil, sand, or other loose material on and off site shall be covered.
 - k. Roadways and building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
 - l. A publicly visible sign with the telephone number and person to contact at the project site regarding dust complaints shall be posted. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.
18. **Mitigation Measure 5:** Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 5:00 p.m., Saturdays. Said activities are prohibited on Sundays, Thanksgiving, and Christmas (San Mateo Ordinance Code Section 4.88.360).
19. **Mitigation Measure 6:** Habitat Restoration-- To mitigate for the loss of 0.03 acres of Baccharis scrub habitat, the applicant shall implement a restoration plan approved by the San Mateo County Department. The restoration plan shall provide for the restoration of 0.09 acres (3,920 sq. ft.) of Baccharis scrub habitat on the project parcel. The restoration plan shall include defined success criteria and a minimum 5-year mitigation monitoring program with yearly reports submitted to the County of San Mateo Planning and Building Department.
20. **Mitigation Measure 7:** Birds—If grading is scheduled during the active nesting season (March through August), a qualified wildlife biologist shall conduct a pre-construction nesting survey of the property, including large trees within 250 feet of the property for nesting raptors, and any vegetation within 50 feet of the proposed development for other nesting birds. This survey shall occur no more than 30 days prior to initiation of grading activities to provide an accurate measure of the presence or absence of active nests within the project vicinity.
21. **Mitigation Measure 8:** Birds—If active nests are encountered, grading activities shall not commence until species-specific protection measures are prepared by a qualified biologist and submitted to the Planning and Building Department for approval to prevent nest abandonment.
22. **Mitigation Measure 9:** Birds—If nests are encountered during project construction grading within a 100-foot radius of the nest shall be halted and no construction related activities shall occur within this 100-foot buffer zone. The perimeter of said buffer zone shall be fenced or adequately demarcated and construction personnel shall be restricted from such areas until all young have fledged.

23. **Mitigation Measure 10:** Birds—if avoidance of nests are not feasible, disturbance within the 100 foot nest buffer zone shall be prohibited until a qualified biologist can verify that the birds have either (a) not begun egg laying and incubation, or (b) that the juveniles from the nest are foraging independently and capable of independent survival. A report prepared by a qualified biologist verifying that the young have fledged or that egg laying activities have no occurred shall be submitted to the Planning and Building Department for review and approval prior to initiation of grading or construction activities within a 100- foot nest buffer zone.
24. **Mitigation Measure 11:** California Red-Legged Frog – A qualified biologist capable of monitoring projects shall be present on site prior to any disturbance activities as follows:
- a. An exclusion fence shall be installed along the edges of the proposed driveway and along the locations of the side and rear retaining walls (within 20 feet of proposed grading activities). Installation of the exclusionary fencing shall be overseen by a qualified biologist. The fence shall be at least 3 feet in height and trenched 6 inches deep. Furthermore, the fence shall be installed so that there are no openings or gaps through which a frog or small mammals could move into the project area. The exclusionary fencing shall have escape funnels in the fence every 100 feet or less for trapped small mammals and/or frogs to exit the project area. A cut sheet of the proposed exclusionary fencing shall be provided to the Planning and Department for approval prior to the issuance of any building permits.
 - b. A pre-construction survey for CRLFs and SF DFWs shall be conducted no less than 72 hours prior to the start of project activities (including the installation of the exclusionary fencing and equipment and materials staging) by a California Department of Fish and Wildlife (CDFW) certified biologist.
 - c. Should any burrows be observed within the project area during the pre-construction survey by the CDFW certified biologist, the burrows shall be inspected to determine if they are being used by the CRLF. If CRLFs are present, the area shall be vacated and re-inspected in one week. If no animal use is noted, the burrows shall be carefully excavated using a small trowel or shovel and carefully prodded using a blunt object to determine the course of the tunnel such that the tunnel is excavated from the sides rather than the top, reducing the potential for any injury to an animal if present. Excavated burrows with no CRLFs shall be left open so they cannot be reoccupied. If non-listed species are located within the burrows, they shall be translocated outside of the construction zone by the biologist.
 - d. If any life stage of the CRLF is found during the pre-construction survey and/or burrow excavation, the biologist shall immediately contact the CDFW

and USFW and cease work until appropriate actions (approved by CDFW, USFW, and the Planning and Building Department) are agreed upon.

- e. Immediately following the installation of the exclusionary fencing, the biological monitor shall survey the enclosed construction area for the presence of CRLF.
 - f. All crewmembers shall attend an Environmental Awareness Training presented by a qualified biologist. The training shall include a description of the special-status species that may occur in the region, the project Avoidance and Minimization Measures, Mitigation Measures, the limits of the project work areas, applicable laws and regulations, and penalties for non-compliance. Colored photocards of CRLFs and SF DFWs shall remain on the project site during construction. Upon completion of training, crewmembers shall sign a training form indicating they attended the program and understood the measures. Completed training form(s) shall be provided to the Project Planner before the start of project activities.
 - g. Following the start of construction activities, a qualified biologist or trained biological monitor shall inspect the site weekly to monitor the integrity of the exclusionary fencing, confirm the limit of work and equipment is within the project boundaries, and assess the overall project adherence to the mitigation measures. A daily monitoring report shall be completed for each day the biologist is on site and shall include the date and time of work, weather conditions, biologist's name, construction activities performed that day, any listed species observed, and any measures taken to repair and/or maintain the exclusionary fencing. These logs shall be available to the County upon request and a logbook of complied reports shall be submitted to the Planning and Building Department prior to building permit final approval.
 - h. The biological monitor has the authority to halt all or some of the grading or construction activities to protect habitat and/or individual sensitive species.
 - i. The biological monitor shall complete daily monitoring reports for each day present on site, to be maintained in a monitoring logbook. Reports shall contain
25. **Mitigation Measure 12:** Wildlife Encounters – If any wildlife is encountered during Project activities, said encounter shall be reported to a qualified biologist and wildlife shall be allowed to leave the work area unharmed. Animals shall be allowed to leave the work area of their own accord and without harassment. Animals shall not be picked up or moved in any way

26. **Mitigation Measure 13:** San Francisco Dusky-Footed Woodrat – The construction contractor shall install woodrat exclusion fencing along the southern and easterly property lines in accordance with Drawing No. A112 on the site plan.
- a. Woodrat exclusion fencing shall be installed prior to the start of construction including equipment and materials staging.
 - b. Woodrat exclusion fencing shall be the same exclusion fencing that will be installed for the California red-legged frog. The escape funnel provided for the snakes and frogs shall have a small enough escape funnel (i.e., less than 3" x 3" exit) to prevent woodrats from passing through.
 - c. If woodrat nests are observed within the project area outside of the breeding season (February to July) the project biologist may dismantle the nest (outside of the breeding season), allowing individuals to relocate to suitable habitat within the adjacent open space areas.
 - d. If woodrat nests with young are observed within the project site, an exclusion fence shall be erected around the nest site. The fencing shall provide adequate enough area to provide foraging habitat for the woodrats at the discretion of the project biologist. Site preparation (i.e., grubbing and grading) within the fenced area shall be postponed or halted until young have left the nest. A biological monitor shall be onsite during periods when disturbance activities occur near the active nest to ensure no inadvertent impacts will occur to the nests.
27. **Mitigation Measure 14:** The restoration plan shall be overseen by a qualified restoration ecologist as recommended by the project applicant and approved by the County of San Mateo Planning and Building Department.
28. **Mitigation Measure 15:** Propagules -- All plant propagules except erosion control seed shall be collected from a local genetic source using Best Management Practices that control or eliminate for the sudden oak death pathogen (*Phytophthora ramorum*). Ideally, propagules shall be collected from the project site. In the event that this is not feasible, materials shall be collected from San Mateo County within a 2-mile radius from the coast and below 1,000 feet in elevation.
29. **Mitigation Measure 16:** Site Preparation -- As necessary, soils at planting locations shall be de-compacted as to allow for root growth.
30. **Mitigation Measure 17:** Planting Layout -- Planting layout shall avoid a grid pattern in order to mimic a more random, natural distribution of plants. Plants shall be laid out in the field by the project Restoration Ecologist.

31. **Mitigation Measure 18:** Irrigation – Each plant shall be watered with two gallons per week during the dry season (June – October) with adjustments as deemed necessary by the project Restoration Ecologist to ensure plant survival.
32. **Mitigation Measure 19:** Irrigation System – A temporary irrigation system shall be designed and installed by a qualified landscape contractor. The irrigation system and all associated parts shall be removed upon plant establishment (typically two years).
33. **Mitigation Measure 20:** Performance Criteria – The restoration plan shall adhere to the performance criteria below. Failure to meet these criteria during the 5-year monitoring period may require additional restoration activities.
 - a. Year 1: Minimum 80% plant survival.
 - b. Year 2- 4: Minimum 60% plant survival.
 - c. Year 5: Minimum 50% plant survival.
 - d. Year 1-5: Less than 5% invasive exotic plant cover permitted within the restoration area.
34. **Mitigation Measure 21:** Reporting -- A Biological as Built Report shall be submitted to the County of San Mateo within 30 days of completion of the restoration plan implementation. This report shall include final maps indicating the restoration and planting areas, along with the final numbers of plants installed.
35. **Mitigation Measure 22:** Reporting – By December 31 of each year of the restoration plan a Mitigation Monitoring Report shall be submitted to the San Mateo County Planning and Building Department and shall include the following information:
 - a. Dates monitoring occurred.
 - b. Adherence to the performance criteria to include results of quantitative monitoring including copies of field data sheets.
 - c. Photos.
 - d. Summary of restoration actions taken during the reporting period.
 - e. Any changes proposed or implemented to the project as a result of monitoring including but not limited to: invasive exotic control techniques, plant replacement, and watering schedules.

36. **Mitigation Measure 23:** Initiation of the habitat restoration plan shall occur prior to final building approval for the proposed residence.
37. **Mitigation Measure 24:** In the event that cultural, paleontological, or archaeological resources are encountered during site grading or other site work, such work shall immediately be halted in the area of discovery and the project sponsor shall immediately notify the Community Development Director of the discovery. The applicant shall be required to retain the services of a qualified archaeologist who meets the Secretary of the Interiors' Professional Qualification Standards for the purpose of recording, protecting, or curating the discovery as appropriate. The cost of the qualified archaeologist and of any recording, protecting, or curating shall be borne solely by the project sponsor. The archaeologist shall be required to submit to the Community Development Director for review and approval a report of the findings and methods of curation or protection of the resources. In addition, an archaeological report meeting the Secretary of the Interior's Standards detailing the findings of the monitoring will be submitted to the Northwest Information Center after monitoring has ceased. No further grading or site work within the area of discovery shall be allowed until the preceding has occurred.
38. **Mitigation Measure 25:** If a newly discovered resource is, or is suspected to be, Native American in origin, the resource shall be treated as a significant Tribal Cultural Resource, pursuant to Public Resources Code 21074, until the County has determined otherwise with the consultation of a qualified archaeologist and local tribal representative.
39. **Mitigation Measure 26:** In the event of discovery or recognition of any human remains during project construction, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent remains and State of California Health and Safety Code Section 7050.5 shall be followed. The applicant shall then immediately notify the County Coroner's Office, the County Planning and Building Department, and possibly the State Native American Heritage Commission to seek recommendations from a Most Likely Descendant (Tribal Contact) before any further action at the location of the find can proceed. All contractors and sub-contractors shall be made aware of these requirements and shall adhere to all applicable laws including State Cultural Preservation laws. Disposition.
40. **Mitigation Measure 27:** The project shall comply with all State and Local building energy efficiency standards, appliance efficiency regulations, and green building standards.
41. **Mitigation Measure 28:** The design of the proposed development (upon submittal of the Building Permit) on the subject parcel shall generally follow the recommendations cited in the geotechnical report prepared by Murray Engineers Inc regarding seismic criteria, grading, drilled piers, slab-on grade construction,

and surface drainage. Any such changes to the recommendations by the project geotechnical engineer cited in this report and subsequent updates shall be submitted for review and approval by the County's Geotechnical Engineer.

42. **Mitigation Measure 29:** The applicant shall submit an erosion control plan in compliance with the County's General Erosion and Sediment Control Plan Guidelines Checklist for review and approval as part of the building permit plans submittal.
43. **Mitigation Measure 30:** No grading shall be allowed during the wet weather season (October 1 through April 30) to avoid increased potential soil erosion, unless the applicant applies for an Exception to the Winter Grading Moratorium and the Community Development Director grants the exception. Exceptions will only be granted if dry weather is forecasted during scheduled grading operations, and the erosion control plan includes adequate winterization measures (amongst other determining factors).
44. **Mitigation Measure 31:** An Erosion Control and Tree Protection Pre-Site Inspection shall be conducted prior to the issuance of a grading permit "hard card" and building permit to ensure the approved erosion control measures are installed per the plans.
45. **Mitigation Measure 32:** To reduce erosion, the applicant shall reseed disturbed areas not planned for landscaping with native grasses at the end of construction. These grasses will cover the exposed dirt areas and reduce erosion and loss of topsoil during rain events.
46. **Mitigation Measure 33:** The applicant shall implement dust control measures, as listed below. Measures shall be included on plans submitted for the building permit and encroachment permit applications. The measures shall be implemented for the duration of any grading, demolition, and construction activities that generate dust and other airborne particles. The measures shall include the following:
 - a. Water all active construction areas at least twice daily.
 - b. Water or cover stockpiles of debris, soil, sand, or other materials that can be blown by the wind.
 - c. Cover all trucks hauling soil, sand, and other loose materials, or require all trucks to maintain at least 2 feet of freeboard.
 - d. Apply water three times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking, and staging areas at the construction sites. Also, hydroseed or apply non-toxic soil stabilizers to inactive construction areas.

- e. Sweep daily (preferably with water sweepers) all paved access roads, parking, and staging areas at the construction sites.
 - f. Sweep adjacent public streets daily (preferably with water sweepers) if visible soil material is carried onto them.
 - g. Enclose, cover, water twice daily, or apply non-toxic soil binders to exposed stockpiles (dirt, sand, etc.).
 - h. Limit traffic speeds on unpaved roads within the project parcel to 15 miles per hour (mph).
 - i. Install sandbags or other erosion control measures to prevent silt runoff to public roadways.
 - j. Replant vegetation in disturbed areas as quickly as possible.
47. **Mitigation Measure 34:** Should any traditionally or culturally affiliated Native American Tribe respond to the County's issued notification for consultation, such process shall be completed and any resulting agreed upon measures for avoidance and preservation of identified resources be taken prior to project implementation.
48. **Mitigation Measure 35:** In the event that tribal cultural resources are inadvertently discovered during project implementation, all work shall cease within a 50-meter radius of the find, the Planning Department shall be notified, and a qualified archaeologist retained to examine the find and provide appropriate recommendations. These measures shall be approved by the County Planning Department prior to implementation and prior to the continuation of any work in the subject area.
49. **Mitigation Measure 36:** Any inadvertently discovered tribal cultural resources shall be treated with culturally appropriate dignity taking into account the tribal cultural values and meaning of the resource, including, but not limited to, protecting the confidentiality of the resource.

Cal-Fire

50. Fire Department access shall be to within 150 feet of all exterior portions of the facility and all portions of the exterior walls of the first story of the buildings as measured by an approved access route around the exterior of the building or facility. Access shall be a minimum of 20 feet wide, all weather capability, and able to support a fire apparatus weighing 75,000 lbs. Where a fire hydrant is located in the access, a minimum of 26 ft. is required for a minimum of 20 feet on each side of the hydrant. This access shall be provided from a publicly

maintained road to the property. Grades over 15% shall be paved and no grade shall be over 20%. When gravel roads are used, it shall be Class 2 base or equivalent compacted to 95%. Gravel road access shall be certified by an engineer as to the material thickness, compaction, all weather capability, and weight it will support.

51. A fire flow of 500 gallons per minute (gpm) for 2 hours with a 20 pounds per square inch (psi) residual operating pressure must be available as specified by additional project conditions to the project site. The applicant shall provide documentation including hydrant location, main size, and fire flow report at the building permit application stage. Inspection required prior to Fire's final approval of the building permit or before combustibles are brought on site.
52. Maintain around and adjacent to such buildings or structures a fuelbreak/firebreak made by removing and clearing away flammable vegetation for a distance of not less than 30 feet and up to 100 feet around the perimeter of all structures, or to the property line, if the property line is less than 30 feet from any structure.
53. The standpipe/hydrant shall be capable of a minimum fire flow of 1000 GPM.
54. The required fire flow shall be available from a County Standard 6" Wet Barrel Fire Hydrant. The configuration of the hydrant shall have a minimum of one each 4-1.5-inch outlet and one each 2-1.5-inch outlet located not more than 250 feet from the building measured by way of approved drivable access to the project site.
55. An approved Automatic Fire Sprinkler System meeting the requirements of NFPA-13D shall be required to be installed for your project. Plans shall be submitted to the San Mateo County Building Department for review and approval by the authority having jurisdiction.
56. An interior and exterior audible alarm activated by automatic fire sprinkler system water flow shall be required to be installed in all residential systems. All hardware must be included on the submitted sprinkler plans.
57. A statement that the building will be equipped and protected by automatic fire sprinklers must appear on the title page of the building plans.
58. This project is located in a wildland urban interface area. Roofing, attic ventilation, exterior walls, windows, exterior doors, decking, floors, and underfloor protection to meet CRC R327 or CBC Chapter 7A requirements.

Environmental Health Services

59. The proposed dispersal trenches depicted on sheets C1.1 and SS-1 shall comply with the min/max lengths (25 LF/125 LF) specified in Section 3 (E)(g) of the OSM.

Appropriate trench lengths within the area tested must be reconciled at building permit stage.

Building Inspection Section

60. A building permit is required for the proposed project.
61. The property is located in an SRA Moderate Fire Hazard Severity Zone and shall be designed and constructed according to the CRC or CBC provisions, as applicable.

Public Works

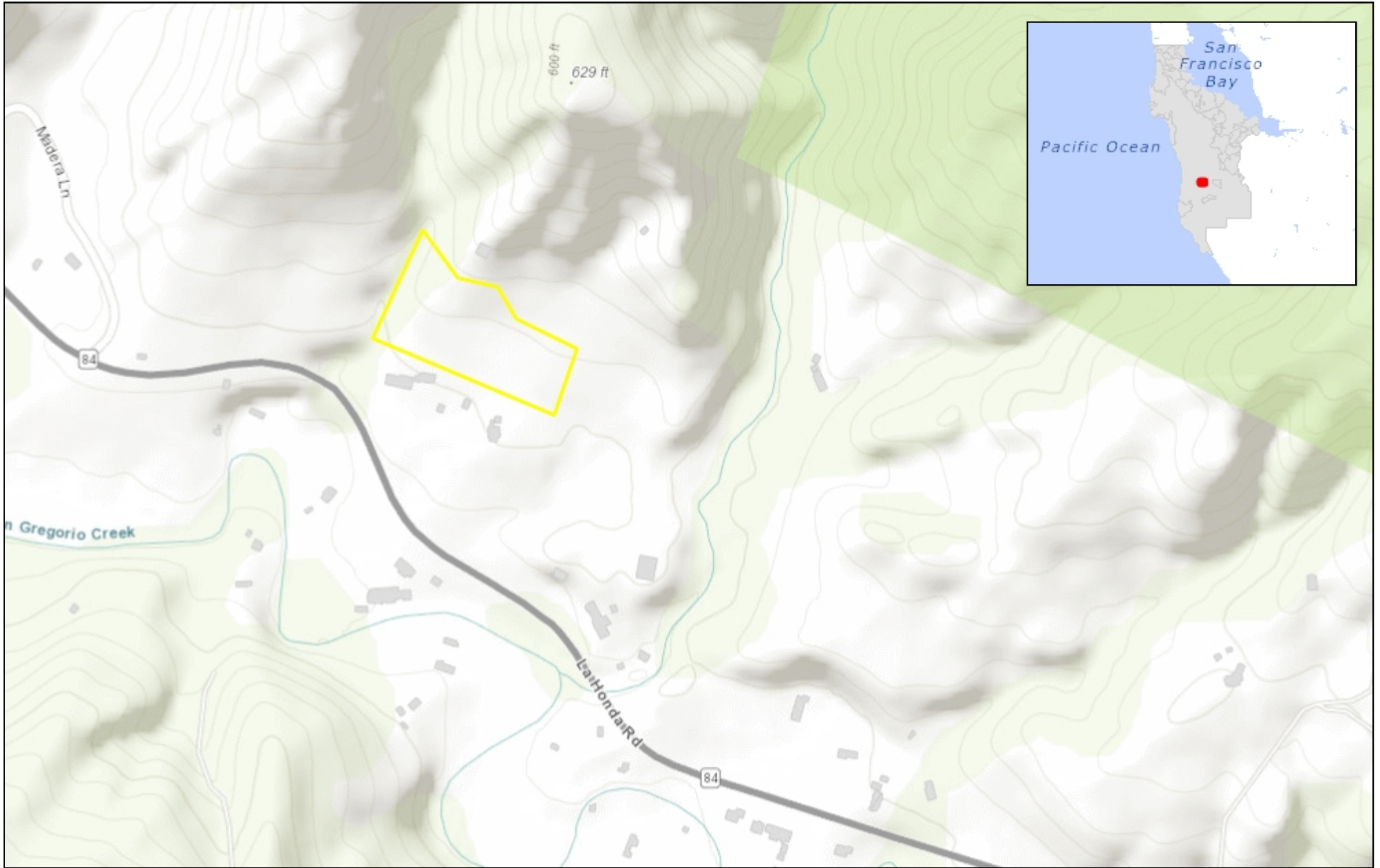
62. Prior to the issuance of the building permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance No. 3277

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COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT B



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0.24 0 0.12 0.24 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

1:7,703



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THIS MAP IS NOT TO BE USED FOR NAVIGATION



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT C

NEW SINGLE FAMILY HOME: VERDURA RESIDENCE

TBD LA HONDA ROAD, SAN GREGORIO,

BRIAN BRINKMAN
DRAFTING & DESIGN
1690 Francisco Blvd.
Pacifica, CA 94044
(650) 922-7993



ABBREVIATIONS

@	AT NUMBER	N	NORTH
#	NUMBER	(N)	NEW
AB	ANCHOR BOLT	N/A	NOT APPLICABLE
A/C	AIR CONDITIONER	NA	NOT AVAILABLE
AFF	ABOVE FINISHED FLOOR	NIC	NOT IN CONTRACT
APPROX	APPROXIMATE	NOM	NOMINAL
ASF	ABOVE SUBFLOOR	NR	NON-RATED
AS	ABOVE SLAB	NSF	NET SQUARE FEET
		NTS	NOT TO SCALE
BLDG	BUILDING	O	OVEN
BLK	BLOCK	OA	OVERALL
BLKG	BLOCKING	OC	ON CENTER
BM	BEAM	OD	OUTSIDE DIAMETER OR OVERFLOW DRAIN
BOT	BOTTOM	OFF	OFFICE
CAB	CABINET	OPNG	OPENING
CB	CATCH BASIN	OH	OVERHANG
CL	CENTERLINE	O/H	OVERHEAD
CLG	CEILING	OPP	OPPOSITE
CLST	CLOSET		
CMU	CONCRETE MASONRY UNIT	R	RADIUS
CO	CLEAN OUT	RAG	RETURN AIR GRILLE
COL	COLUMN	RD	ROOF DRAIN
CONC	CONCRETE	REF	REFRIGERATOR
CONT	CONTINUOUS	REINF	REINFORCED OR REINFORCEMENT
		REQD	REQUIRED
D	DRYER	REV	REVISION
DBL	DOUBLE	RHB	RADIANT HEATING BOILER
DEPT	DEPARTMENT	RM	ROOM
DEG	DEGREES	RO	ROUGH OPENING
DIA	DIAMETER	ROW	RIGHT-OF-WAY
DIM	DIMENSION	S	SOUTH
DN	DOWN	SB	SETBACK
DR	DOOR	SCHED	SCHEDULE
DS	DOWNSPOUT	SD	SMOKE DETECTOR/STORM DRAIN
DW	DISHWASHER	SF	SQUARE FEET OR SQUARE FOOT
DWG	DRAWING	SH	SHOWER HEAD
		SHT	SHEET
(E)	EXISTING	SHWR	SHOWER
EA	EACH	SHTG	SHEATHING
ELEC	ELECTRICAL	SIM	SIMILAR
ELEV	ELEVATION	SL	SLIDING
ENG	ENGINEER	SPEC	SPECIFICATION
EQPT	EQUIPMENT	SQ	SQUARE
EXT	EXTERIOR	SS	SANITARY SEWER
		STL	STEEL
FAU	FORCED AIR UNIT	STOR	STORAGE
FAR	FLOOR AREA RATIO	STRUCT	STRUCTURAL
FD	FLOOR DRAIN	SUB	SUBCONTRACTOR
FF	FINISHED FLOOR	SUBFLR	SUBFLOOR
FIN	FINISH	SW	SHEAR WALL
FL	FLOOR	SYM	SYMMETRICAL
FLUOR	FLUORESCENT	T	TILE, TREAD, TOP, OR TRANSFORMER
FOUND	FOUNDATION	T & G	TONGUE AND GROOVE
FP	FIREPLACE	TBD	TO BE DETERMINED
FT	FOOT OR FEET	TEL	TELEPHONE
FTG	FOOTING	THK	THICK
FURN	FURNACE	TO	TOP OF
		TOC	TOP OF CURB
G	GAS	TOP	TOP OF PLATE
GA	GAUGE	TOS	TOP OF SUBFLOOR
GALV	GALVANIZED	TOW	TOP OF WALL
GC	GENERAL CONTRACTOR	TP	TOP OF PAVEMENT
GD	GARBAGE DISPOSAL	TV	TELEVISION
GL	GLASS	TYP	TYPICAL
GR	GRADE	UNO	UNLESS NOTED OTHERWISE
GYP BD	GYPSUM BOARD	VERT	VERTICAL
		W	WEST, WASHER, OR WATER
HC	HANDICAP	W	WITH
HDR	HEADER	WC	WATER CLOSET
HDWD	HARDWOOD	WD	WOOD
HT	HEIGHT	WH	WATER HEATER
HORIZ	HORIZONTAL	W x H	WIDTH BY HEIGHT
HR	HOUR	WNDW	WINDOW
INSUL	INSULATION	W/O	WITHOUT
INT	INTERIOR	WP	WATERPROOF
		WR	WATER RESISTANT
JT	JOINT OR JOINT TRENCH	WT	WEIGHT
LINEN	LINEN CLOSET		
LAM	LAMINATE		
LAV	LAVATORY		
LT	LIGHT		
MAX	MAXIMUM		
MECH	MECHANICAL		
MFR	MANUFACTURER		
MH	MANHOLE		
MIN	MINIMUM		
MISC	MISCELLANEOUS		
MLDG	MOULDING		
MTD	MOUNTED		
MTL	METAL		

PROJECT SCOPE

NEW TWO-STORY, SINGLE-FAMILY HOME WITH 3-CAR ATTACHED GARAGE, WITH GRADING FOR NEW HOME, DRIVEWAY, AND FIRE TRUCK TURN AROUND. (N) APPROX. 2.5-ACRE HAY HARVESTING AREA.

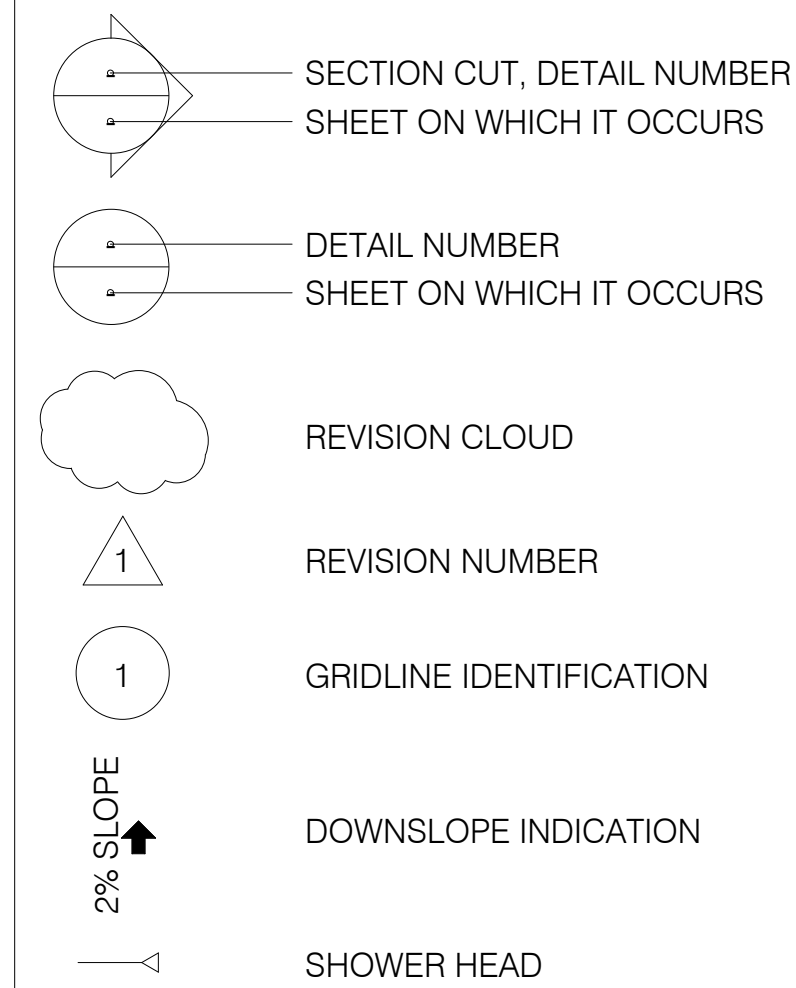
PLANNING DATA

PROJECT COMMON ADDRESS:
TBD LA HONDA RD
SAN GREGORIO, CA 94074
ASSESSOR'S PARCEL NUMBER: 082-160-130
ZONING: PAD/CD

BUILDING CODE DATA

TYPE OF OCCUPANCY: R3/U
CONSTRUCTION TYPE: VB
BEARING AND NON-BEARING WALLS (LESS THAN 5' FROM PROPERTY LINE): 1-HOUR
OPENINGS NOT PERMITTED LESS THAN 3" FROM PROPERTY LINE
NUMBER OF STORIES: 2
ALL WORK TO CONFORM TO 2016 CRC, CBC, CFC, CPC, CMC, CEC, 2016 CALIFORNIA ENERGY CODE, AND 2016 CGBC

SYMBOLS



PROJECT INFORMATION

LOT SIZE	7.85 ACRES (342,000 SF)
LEVEL 1 LIVING AREA	3,254 SF (CONDITIONED)
LEVEL 2 LIVING AREA	1,034 SF (CONDITIONED)
(N) TOTAL LIVING AREA	3,254 + 1,034 = 4,388 SF (CONDITIONED)
(N) GARAGE	947 SF (UN-CONDITIONED)
(N) UTIL	32 SF (UN-CONDITIONED)
(N) TRASH	90 SF (UN-CONDITIONED)
(N) COVERED FRONT ENTRY	94 SF (UN-CONDITIONED)
(N) REAR COVERED OUTDOOR LIVING AREA	387 SF (UN-CONDITIONED)
(N) TOTAL FLOOR AREA	3,254+1,034+947+32+90+94+387= 5,938 SF
FLOOR AREA RATIO	5,938 SF / 342,000 SF = 1.74%
(N) LOT COVERAGE	3,254+947+32+90+94+387 = 4,804 SF / 342,000 SF = 1.40%
NEW HARDSCAPED AREAS	5,175 SF
NEW TOTAL IMPERVIOUS SURFACES	3,254+947+32+90+94+387+5,175= 9,979 SF
NEW GRAVEL DRIVEWAY	9,962 SF
NEW ALTERED LANDSCAPE AREA	7,214 SF
NEW IRRIGATED LANDSCAPE AREA	0 SF
NEW ALTERED LANDSCAPE AREA	109,700 SF
AREA OF NATURAL VEGETATION TO REMAIN	205,145 SF

DRAWING INDEX

ARCHITECTURAL/CIVIL	DESCRIPTION	DATE	REV
A0.0	TITLE SHEET / PROJECT INFO	6/14/2017	0
A0.1	3D VIEWS	9/17/2018	1
A0.2	MATERIALS PERSPECTIVE	10/09/2018	2
A0.3	PROPOSED RENDERINGS	04/29/2019	3
1 of 3	ORIGINAL TOPOGRAPHIC SURVEY SHEET 1		
2 of 3	ORIGINAL TOPOGRAPHIC SURVEY SHEET 2		
3 of 3	ORIGINAL TOPOGRAPHIC SURVEY SHEET 3		
C1.1	PRELIMINARY GRADING AND DRAINAGE PLAN		
C1.2	PRELIMINARY GRADING AND DRAINAGE PLAN		
C1.3	PRELIMINARY DRIVEWAY PROFILE		
C2.1	PRELIMINARY DETAILS		
SS-1	SEPTIC AND LEACH SYSTEM PLAN		
SS-2	DETAIL SHEET		
A1.0	OVERALL SITE PLAN		
A1.1	PARTIAL SITE PLAN 1 OF 3		
A1.2	PARTIAL SITE PLAN 2 OF 3		
A1.3	PARTIAL SITE PLAN 3 OF 3		
A1.4	PROPOSED LANDSCAPE PLAN		
A1.5	EROSION CONTROL PLAN		
A2.1	LEVEL 1 FLOOR PLAN		
A2.2	LEVEL 2 FLOOR PLAN		
A2.3	ROOF PLAN		
A3.1	EAST ELEVATION		
A3.2	SOUTH ELEVATION		
A3.3	WEST ELEVATION		
A3.4	NORTH ELEVATION		
A4.1	TRANSVERSE SECTIONS		
A4.2	LONGITUDINAL SECTIONS		

PROJECT DIRECTORY

SERVICE	COMPANY	CONTACT	TELEPHONE
APPLICANT / OWNER	-	JAMIE VERDURA	(650) 455-0799
CIVIL ENGINEER	ROUND HOUSE INDUSTRIES	MIKE O'CONNELL	(650) 303-0495
DRAFTING/DESIGN	BRIAN BRINKMAN DRAFTING & DESIGN INC.	BRIAN BRINKMAN	(650) 922-7993
SURVEYOR	SAVIOR P. MICALLEFF LAND SURVEYING	SAVIOR MICALLEFF	(805) 709-2423
SOILS ENGINEER	MURRAY ENGINEERS INC.	-	-

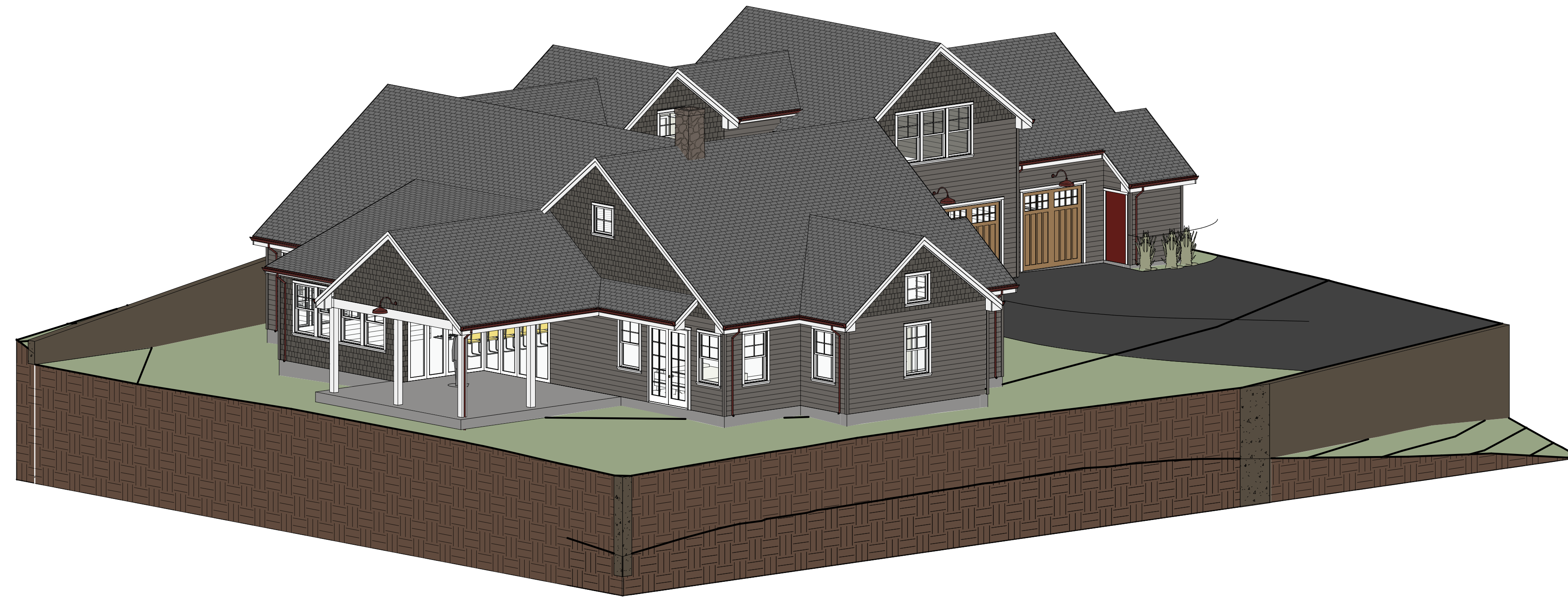
PROJECT NOTES

* FIRE SPRINKLERS ARE REQUIRED UNDER A SEPARATE PERMIT. THE FIRE SPRINKLER SYSTEM SHALL BE DESIGNED AND INSTALLED PER NFPA 13D STANDARDS.

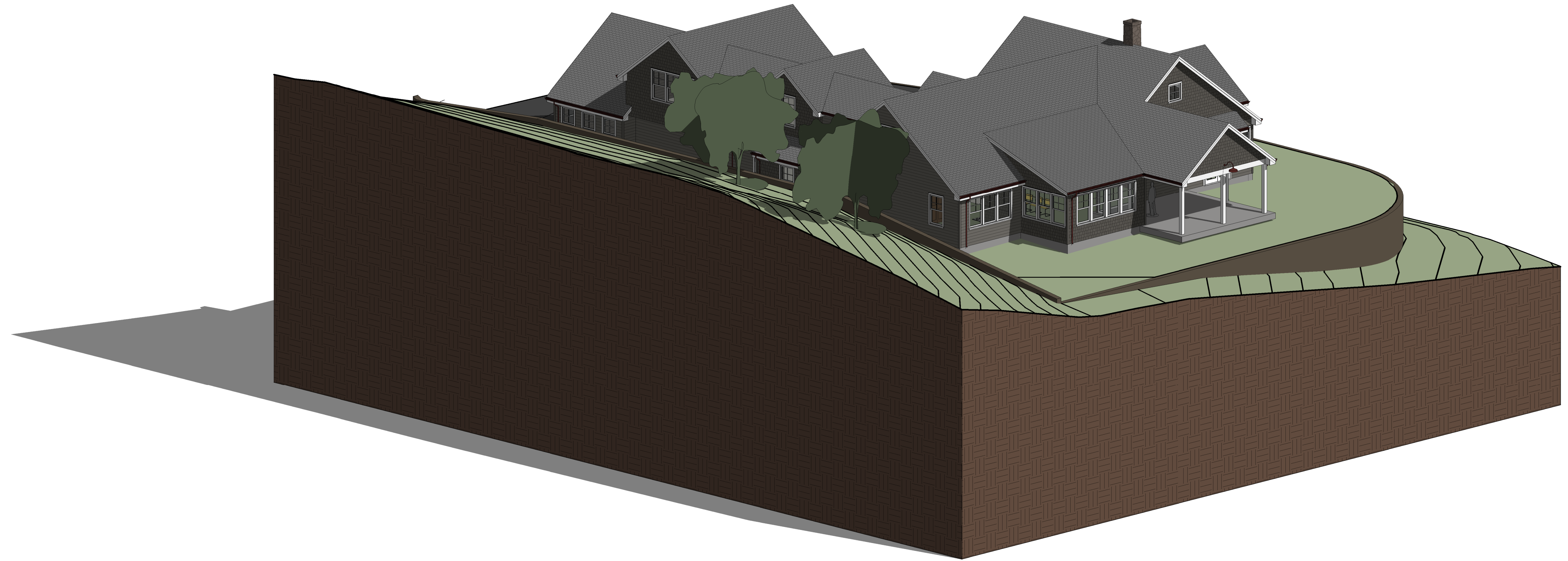
CALGREEN CONSTRUCTION REQUIREMENTS

* CONTRACTOR SHALL PROVIDE, AT THE TIME OF FINAL INSPECTION, AN OPERATION AND MAINTENANCE MANUAL TO THE OWNER OR OCCUPANT, ADDRESSING ITEMS 1 THROUGH 10 IN CALGREEN SECTION 4.410.1.
* PER CALGREEN SECTION 4.408.2, CONTRACTOR SHALL PROVIDE AND SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN, DIVERTING A MINIMUM OF 65% OF WASTE GENERATED AT THE SITE TO RECYCLE OR SALVAGE, TO THE BUILDING DEPARTMENT. THE FOLLOWING INFORMATION SHALL BE PROVIDED IN THE PLAN:
· IDENTIFY MATERIALS TO BE RECYCLED, REUSED, OR SALVAGED
· SPECIFY IF MATERIALS WILL BE SORTED ON SITE OR MIXED FOR TRANSPORTATION
· IDENTIFY THE DIVERSION FACILITY(IES) TO BE USED
· IDENTIFY CONSTRUCTION METHODS TO BE USED TO LIMIT WASTE GENERATION
· SPECIFY THAT THE AMOUNT OF MATERIALS DIVERTED ARE TO BE CALCULATED BY WEIGHT OR VOLUME
* AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER-BASED.
* PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, AND CONDUITS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS.
* COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION.
* ADHESIVES, SEALANTS, AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS.
* PAINTS, STAINS, AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.
* AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS.
VERIFICATION OF COMPLIANCE SHALL BE PROVIDED.
* CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS.
* MINIMUM OF 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH SECTION 4.504.4.
* PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD, AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.
* INSTALL CAPILLARY BREAK AND VAPOR RETARDER AT SLAB ON GRADE FOUNDATIONS.
* CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE.
* EACH BATHROOM SHALL BE MECHANICALLY VENTILATED WITH AN ENERGY STAR EXHAUST FAN, AND FAN MUST BE CONTROLLED BY A HUMIDITY CONTROL.

PROJECT NAME:	NEW SINGLE FAMILY HOME: VERDURA RESIDENCE
PROJECT ADDRESS:	TBD LA HONDA ROAD SAN GREGORIO, CA 94074
PROJECT SCOPE:	CONSTRUCTION OF (N) SINGLE FAMILY HOME W/ ATTACHED GARAGE
SHEET TITLE	TITLE SHEET/ PROJECT INFO
SHEET	A0.0



① 3D VIEW 1



② 3D VIEW 2

**BRIAN BRINKMAN
DRAFTING & DESIGN**

B-B-D
 1690 Francisco Blvd.
 Pacifica, CA 94044
 (650) 922-7993

REV	DATE	DESCRIPTION
0	6/14/2017	PRELIMINARY DESIGN
1	9/17/2018	REVIEW SET
2	10/09/2018	PLANNING SUBMITTAL SET
3	04/29/2019	PLANNING RESUBMITTAL
4		

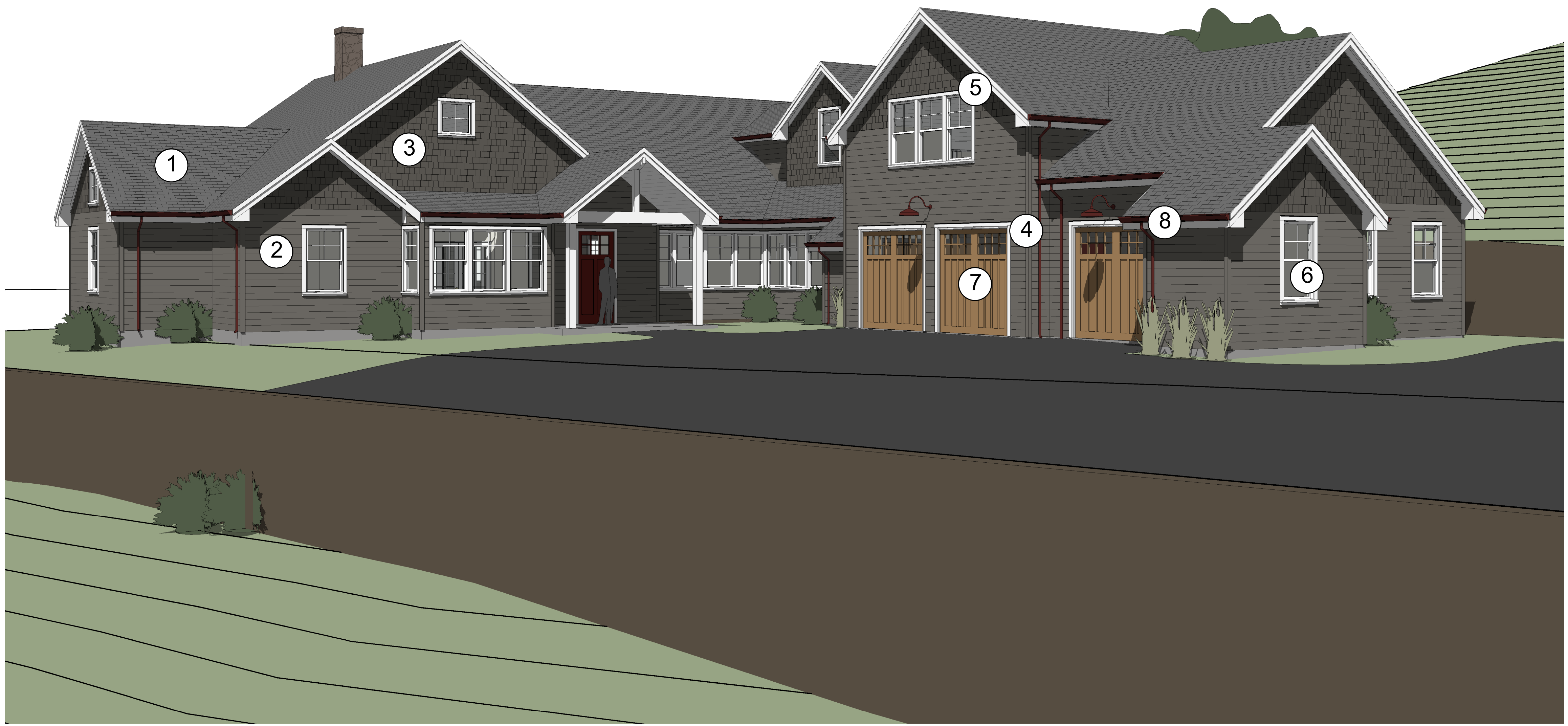
PROJECT NAME:
**NEW SINGLE FAMILY HOME:
 VERDURA RESIDENCE**

PROJECT ADDRESS:
 TBD LA HONDA ROAD
 SAN GREGORIO, CA 94074

PROJECT SCOPE:
 CONSTRUCTION OF (N) SINGLE
 FAMILY HOME W/ ATTACHED
 GARAGE

SHEET TITLE
3D VIEWS

SHEET
A0.1



① MATERIALS PERSPECTIVE

- 1 ROOFING: GAF TIMBERLINE HD COMPOSITION ASPHALT ROOFING SHINGLES - 'SLATE'
- 2 HOUSE SIDING MATERIAL: 6" COURSE HARDIEPLANK LAP SIDING PAINTED 'SECRET' BY BENJAMIN MOORE
- 3 HOUSE SIDING IN GABLES: HARDIESHINGLE STRAIGHT EDGE PANEL SIDING PAINTED 'KENDALL CHARCOAL' BY BENJAMIN MOORE
- 4 CORNER TRIM: WOOD PAINTED 'SECRET' BY BENJAMIN MOORE
- 5 WINDOW TRIM AND FASCIA: WOOD PAINTED 'WHITE WISP' BY BENJAMIN MOORE
- 6 WHITE MILGARD VINYL WINDOWS
- 7 GARAGE DOOR: FINISHED WOOD
- 8 GUTTERS & DOWNSPOUTS: PRE-PATINATED COPPER

REV	DATE	DESCRIPTION
0	6/14/2017	PRELIMINARY DESIGN
1	9/17/2018	REVIEW SET
2	10/09/2018	PLANNING SUBMITTAL SET
3	04/29/2019	PLANNING RESUBMITTAL
4		

PROJECT NAME:
**NEW SINGLE FAMILY HOME:
 VERDURA RESIDENCE**

PROJECT ADDRESS:
 TBD LA HONDA ROAD
 SAN GREGORIO, CA 94074

PROJECT SCOPE:
 CONSTRUCTION OF (N) SINGLE
 FAMILY HOME W/ ATTACHED
 GARAGE

SHEET TITLE

**MATERIALS
PERSPECTIVE**

SHEET

A0.2



PROPOSED RENDERING FROM LA HONDA ROAD AT DRIVEWAY



PROPOSED RENDERING FROM LA HONDA ROAD FURTHER WEST

**BRIAN BRINKMAN
DRAFTING & DESIGN**

 1690 Francisco Blvd.
 Pacifica, CA 94044
 (650) 922-7993



REV	DATE	DESCRIPTION
0	6/14/2017	PRELIMINARY DESIGN
1	9/17/2018	REVIEW SET
2	10/09/2018	PLANNING SUBMITTAL SET
3	04/29/2019	PLANNING RESUBMITTAL
4		

PROJECT NAME:
**NEW SINGLE FAMILY HOME:
 VERDURA RESIDENCE**

PROJECT ADDRESS:
 TBD LA HONDA ROAD
 SAN GREGORIO, CA 94074

PROJECT SCOPE:
 CONSTRUCTION OF (N) SINGLE
 FAMILY HOME W/ ATTACHED
 GARAGE

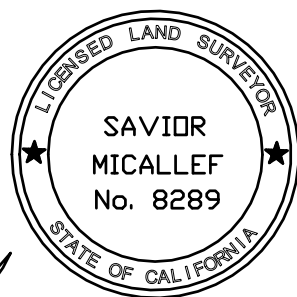
SHEET TITLE
**PROPOSED
 RENDERINGS**

SHEET
A0.3

BENCHMARK STATEMENT:
THE ELEVATIONS SHOWN ARE ON AN ASSUMED DATUM.

NOTE: CREEK LOCATION
SURVEYOR COULD NOT GET INTO CREEK BECAUSE SIDE SLOPE IS TOO STEEP SO TO THE BEST OF SURVEYOR ABILITY SURVEYOR TRAVERSED TO SAFE LOCATION NEAR CREEK AND APPROXIMATE CREEK ALIGNMENT VIA INFERRED OBSERVATION.

SURVEYOR'S STATEMENT:
THIS TOPOGRAPHIC SURVEY WAS MADE BY ME OR UNDER MY DIRECTION ON THE GROUND AND REPRESENTS MEASUREMENTS MADE MARCH 2017. THE BOUNDARY SHOWN IS A RECORD BOUNDARY ONLY. A TITLE REPORT WAS PROVIDED TO THE SURVEYOR/BY THE CLIENT. PROPERTY CORNERS WERE FOUND ON THE SUBJECT PROPERTY. EASEMENTS SHOWN ARE FROM RECORD MAP ONLY.

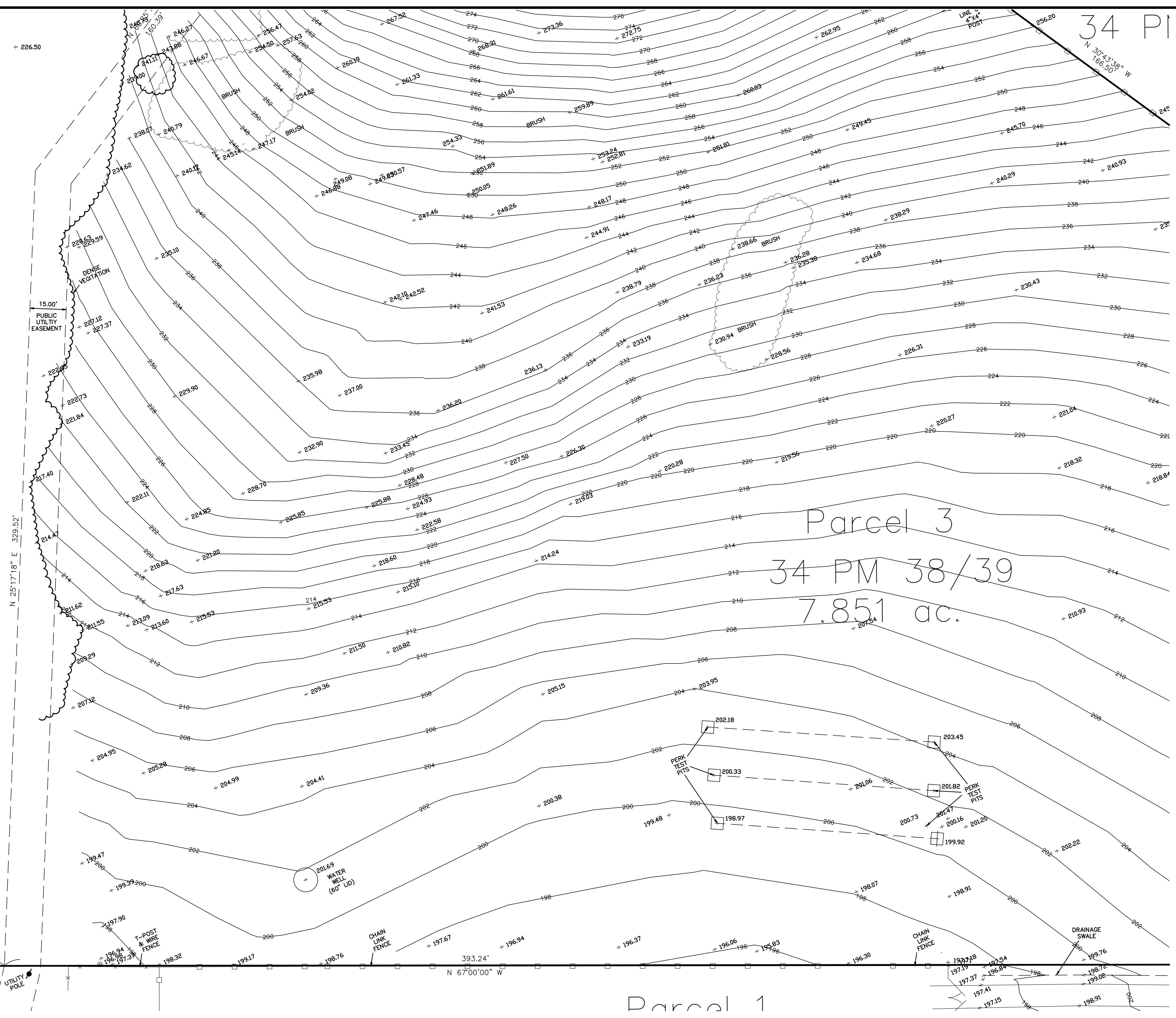


SAVOR P. MICALLEF
LAND SURVEYOR, LS 8289
(805) 709-2423

03-21-19
DATE

CREEK FLOW LINE
MEASURED 12-2017
BY SEE NOTE: CREEK LOCATION
ON COVER SHEET.

CREEK FLOW LINE
MEASURED 12-2017
BY SEE NOTE: CREEK LOCATION
ON COVER SHEET.



34 PI
N 30°13'39" W
166.50'

Parcel 3
34 PM 38/39
7.851 ac.

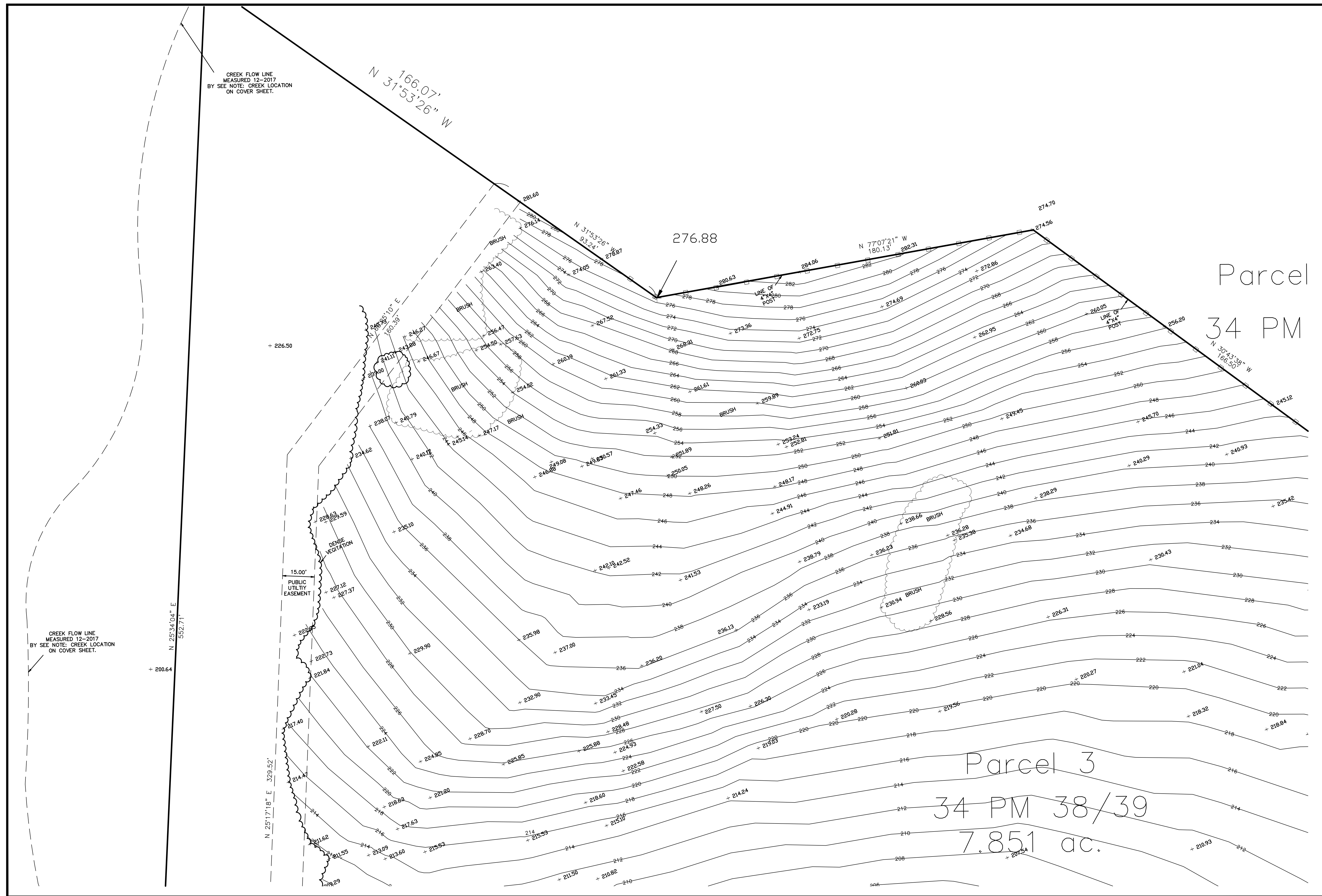
Parcel 1

SAVOR P. MICALLEF LAND SURVEYING
421 WILDWOOD DRIVE
SOUTH SAN FRANCISCO, CA 94080
650/808-0238 805/709-2423

TOPOGRAPHIC SURVEY OF PARCEL 3,
BOOK 34 OF PARCEL MAPS AT PAGES 38&39
SAN MATEO COUNTY RECORDS

UNINCORPORATED SAN MATEO COUNTY
CALIFORNIA

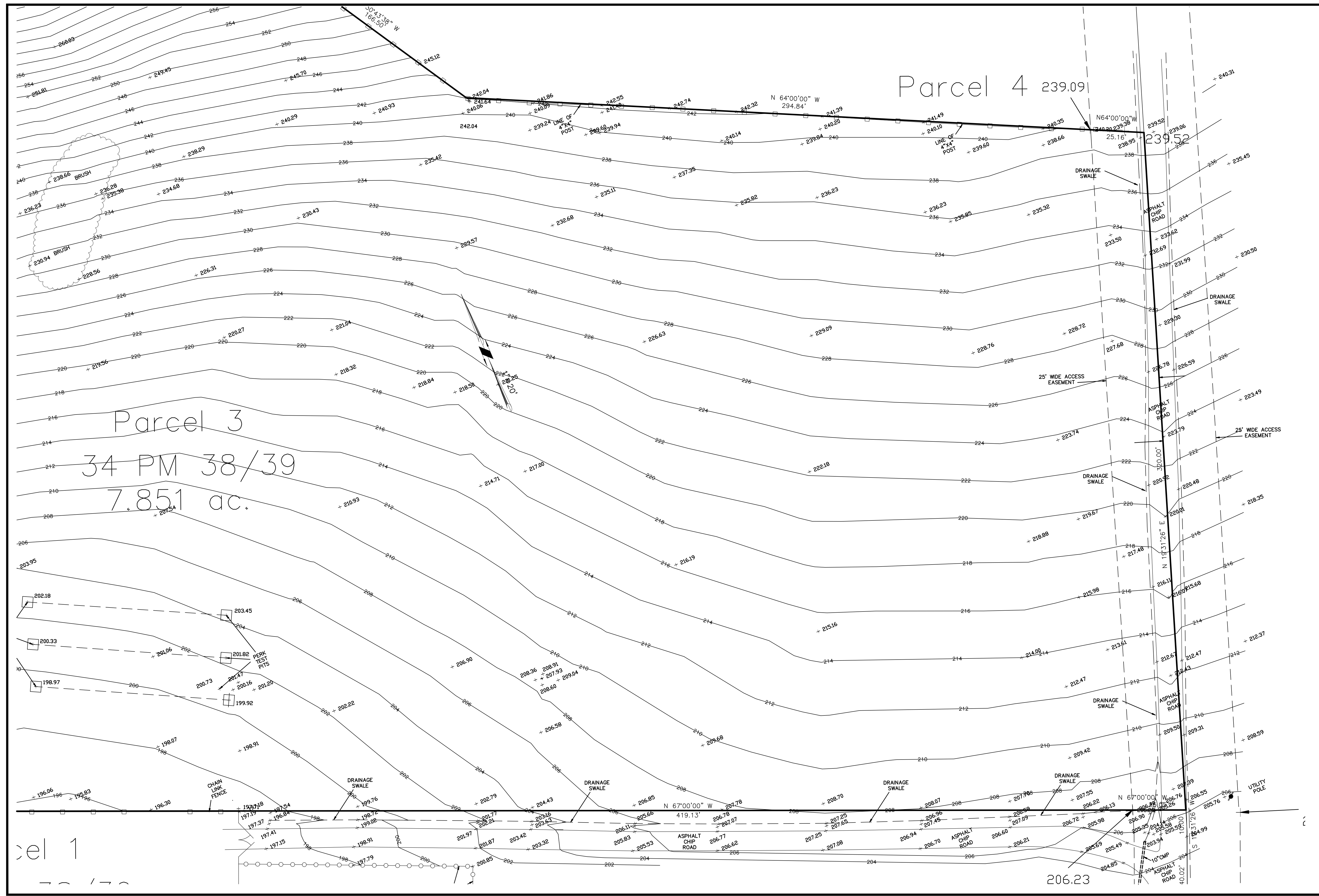
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Scale	1"=20'			12-2017 survey location of creek	
Design					
Drawn	SPM				
Approved	SPM				
Job No.					
Drawing Number:	1 OF 3				



SAVIORE P. MICALLEF LAND SURVEYING
 421 WILDWOOD DRIVE
 SOUTH SAN FRANCISCO, CA 94080
 805/709-2423

CALIFORNIA
 UNINCORPORATED SAN MATEO COUNTY
 SAN MATEO COUNTY RECORDS
 BOOK 34 OF PARCEL MAPS AT PAGES 38&39
 TOPOGRAPHIC SURVEY OF PARCEL 3,

Date	04-18-17	No.		Revisions
Scale	1"=20'			12-2017 survey location of creek
Design	SPM			
Drawn	SPM			
Approved	SPM			
Job No.				
Drawing Number:				



Parcel 3
 34 PM 38/39
 7.851 ac.

Parcel 4 239.09

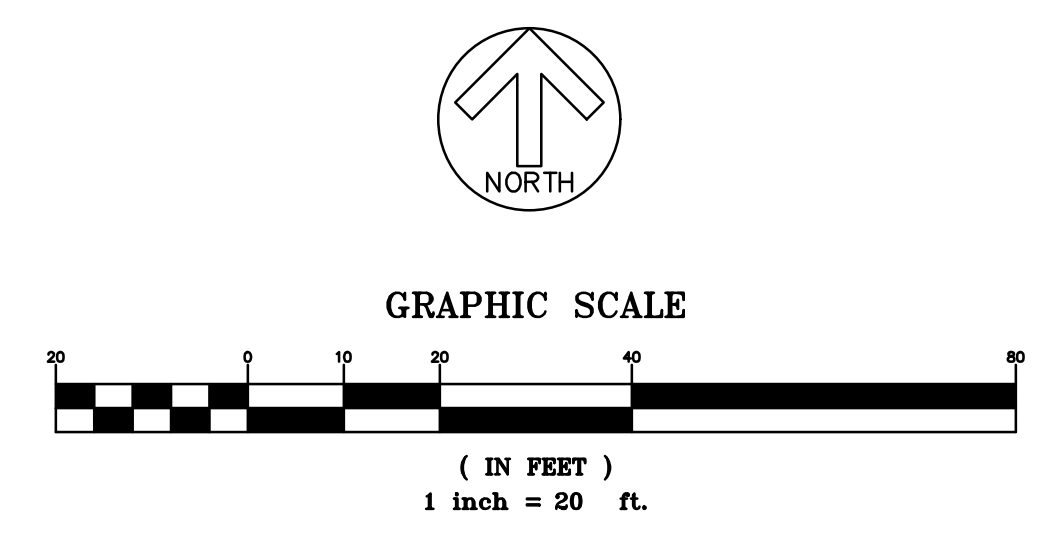
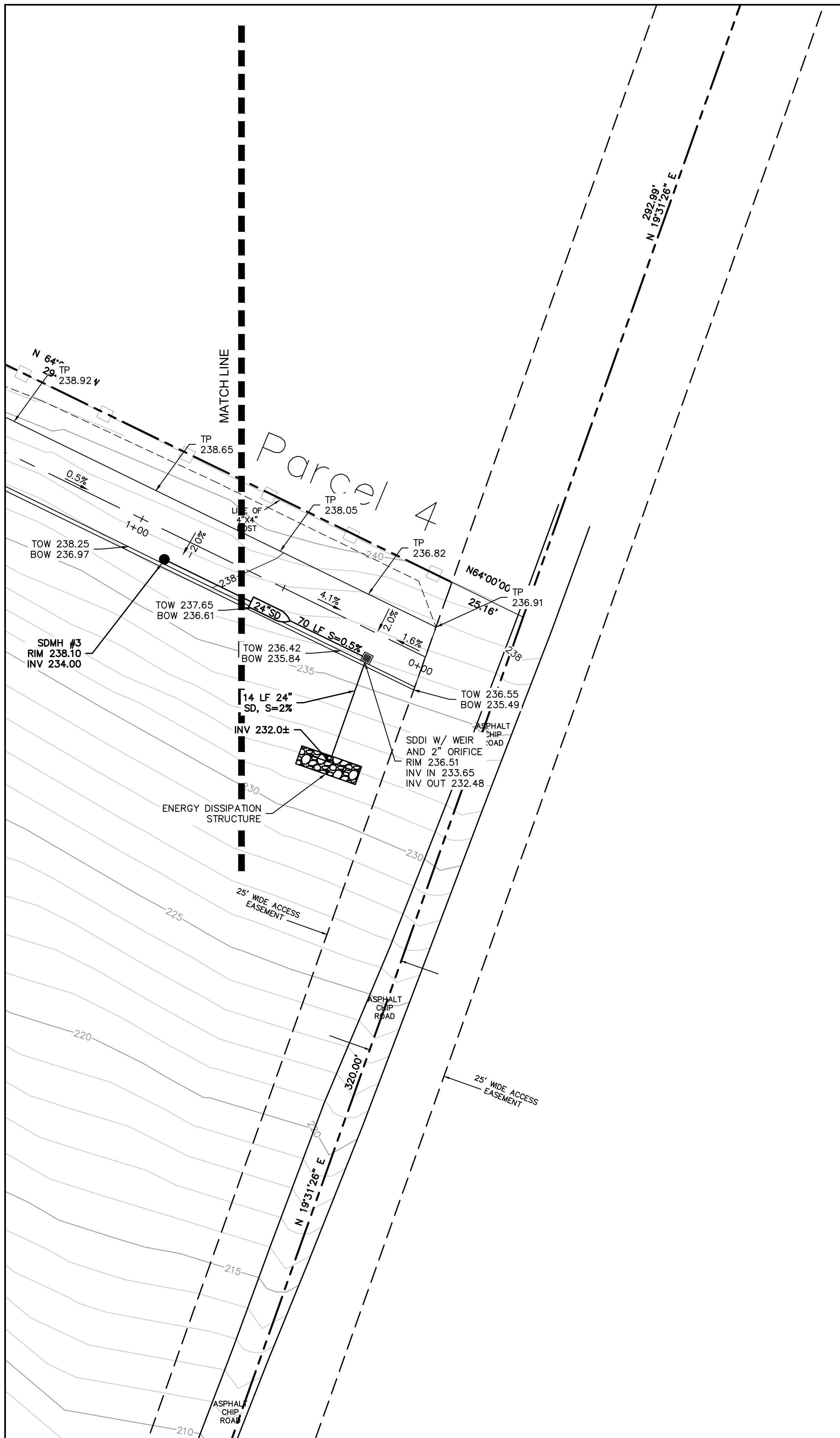
SAVIORE P. MICALLEF LAND SURVEYING
 421 WILDWOOD DRIVE
 SOUTH SAN FRANCISCO, CA 94080
 805/709-2423

CALIFORNIA

TOPOGRAPHIC SURVEY OF PARCEL 3,
 BOOK 34 OF PARCEL MAPS AT PAGES 38&39
 SAN MATEO COUNTY RECORDS
 UNINCORPORATED SAN MATEO COUNTY

Date	04-18-17	No.	
Scale	1"=20'	12-2017 survey location of creek	
Design	SPM		
Drawn	SPM		
Approved	SPM		
Job No.			

Drawing Number:
 3 OF 3



ROUND HOUSE INDUSTRIES, INC.
 900 ROSITA ROAD
 PACIFICA, CA 94044
 650.303.0495

PRELIMINARY GRADING & DRAINAGE PLAN

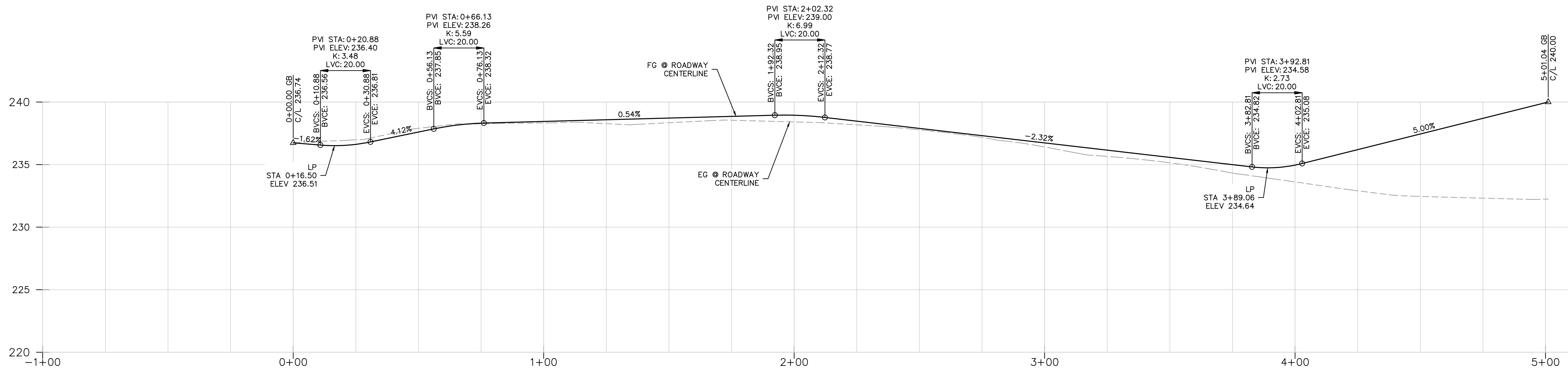
No.	Revisions

VERDURA RESIDENCE
 TBD LA HONDA ROAD
 LA HONDA, CA 94020



DATE:	9.15.18
SCALE:	1"=20'
DRAWN:	MO
JOB NO:	2018-018

SHEET
C1.1



PROFILE
 SCALE: 1" = 20' HORIZ.
 1" = 4' VERT.

ROUND HOUSE INDUSTRIES, INC.
 900 ROSITA ROAD
 PACIFICA, CA 94044
 650.303.0495

PRELIMINARY DRIVEWAY PROFILE

No.	Revisions

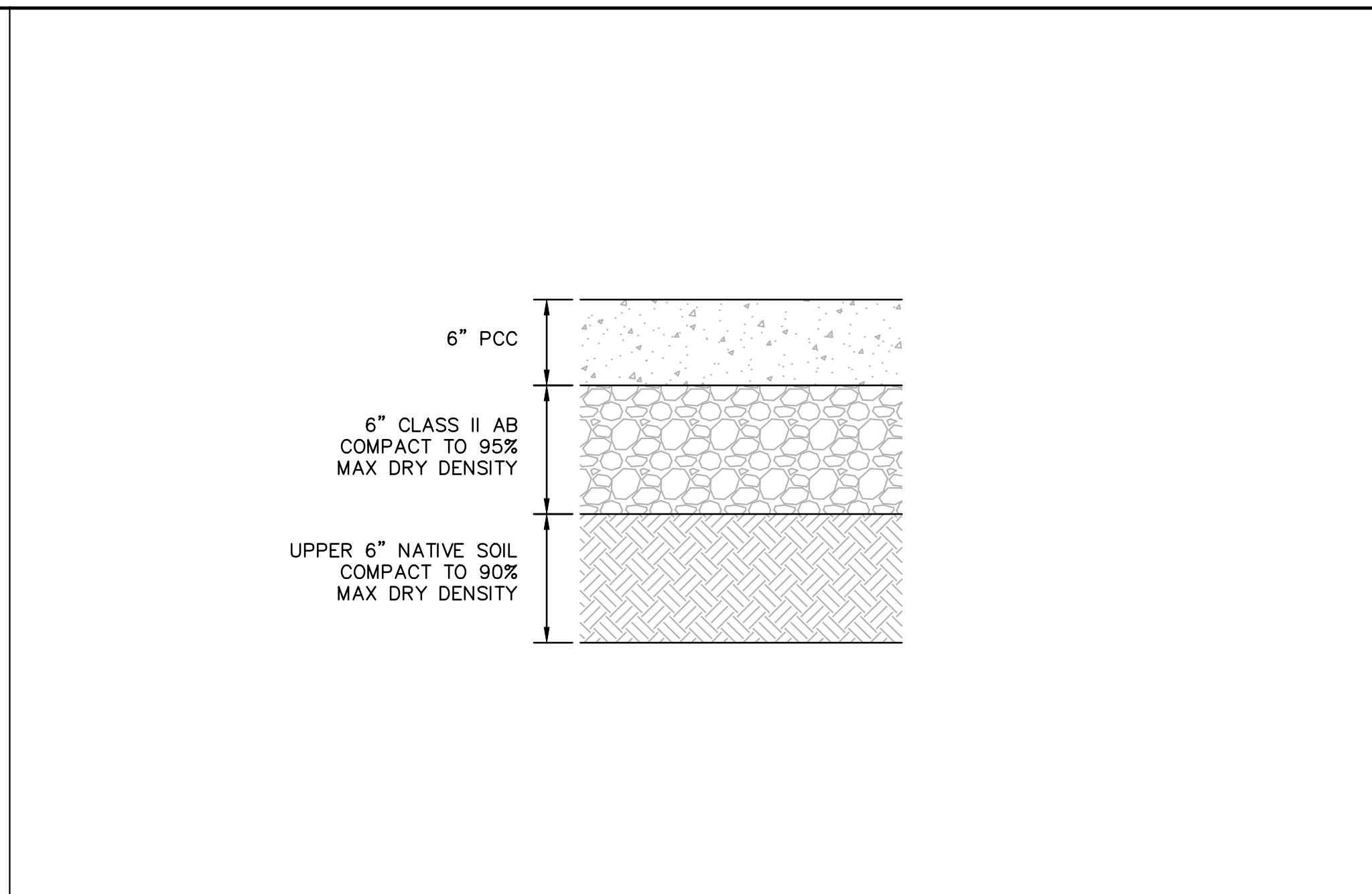
**VERDURA RESIDENCE
 TBD LA HONDA ROAD
 LA HONDA, CA 94020**



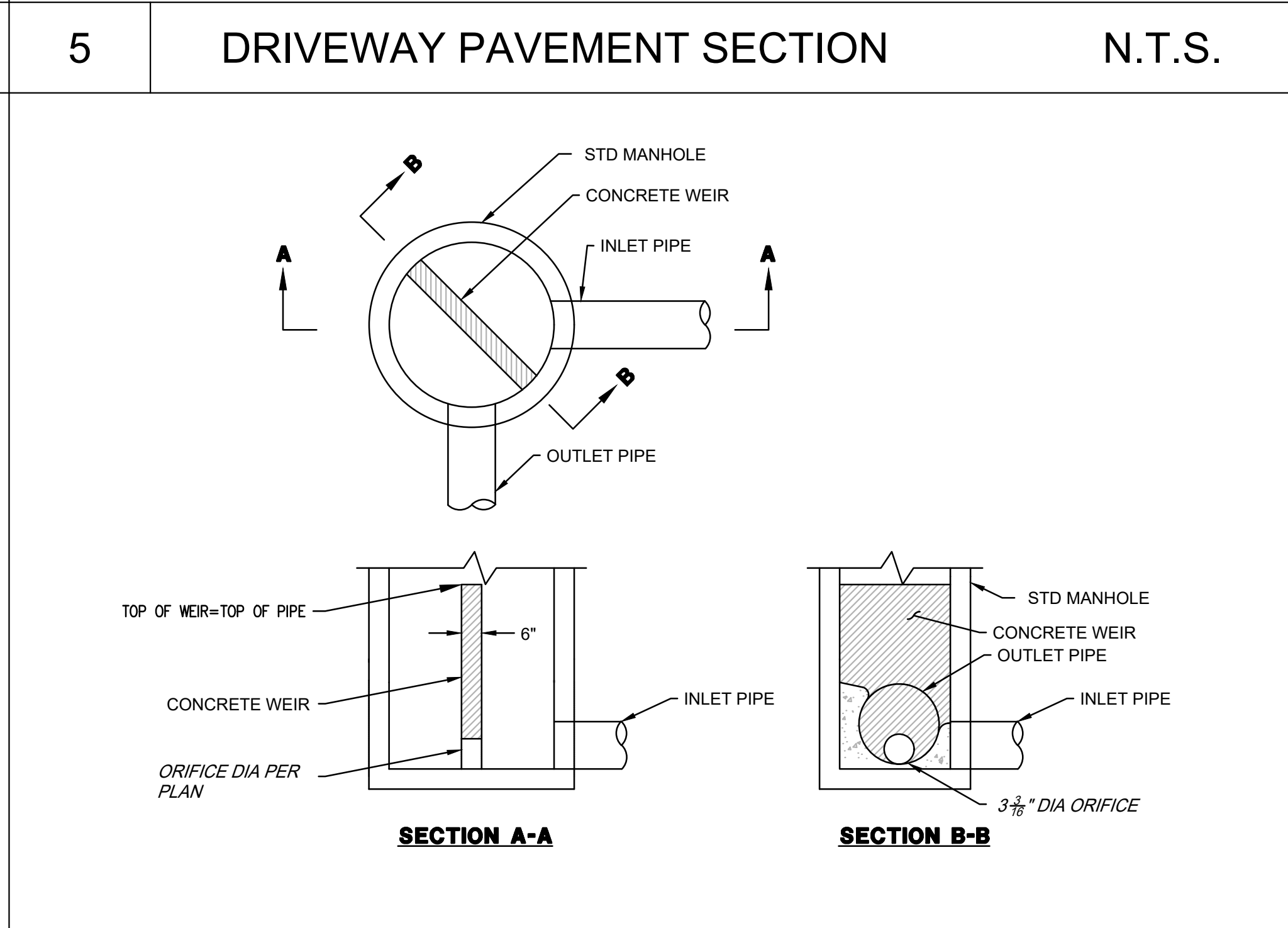
DATE:	9.15.18
SCALE:	1"=20'
DRAWN:	MO
JOB NO:	2018-018

SHEET
C1.3

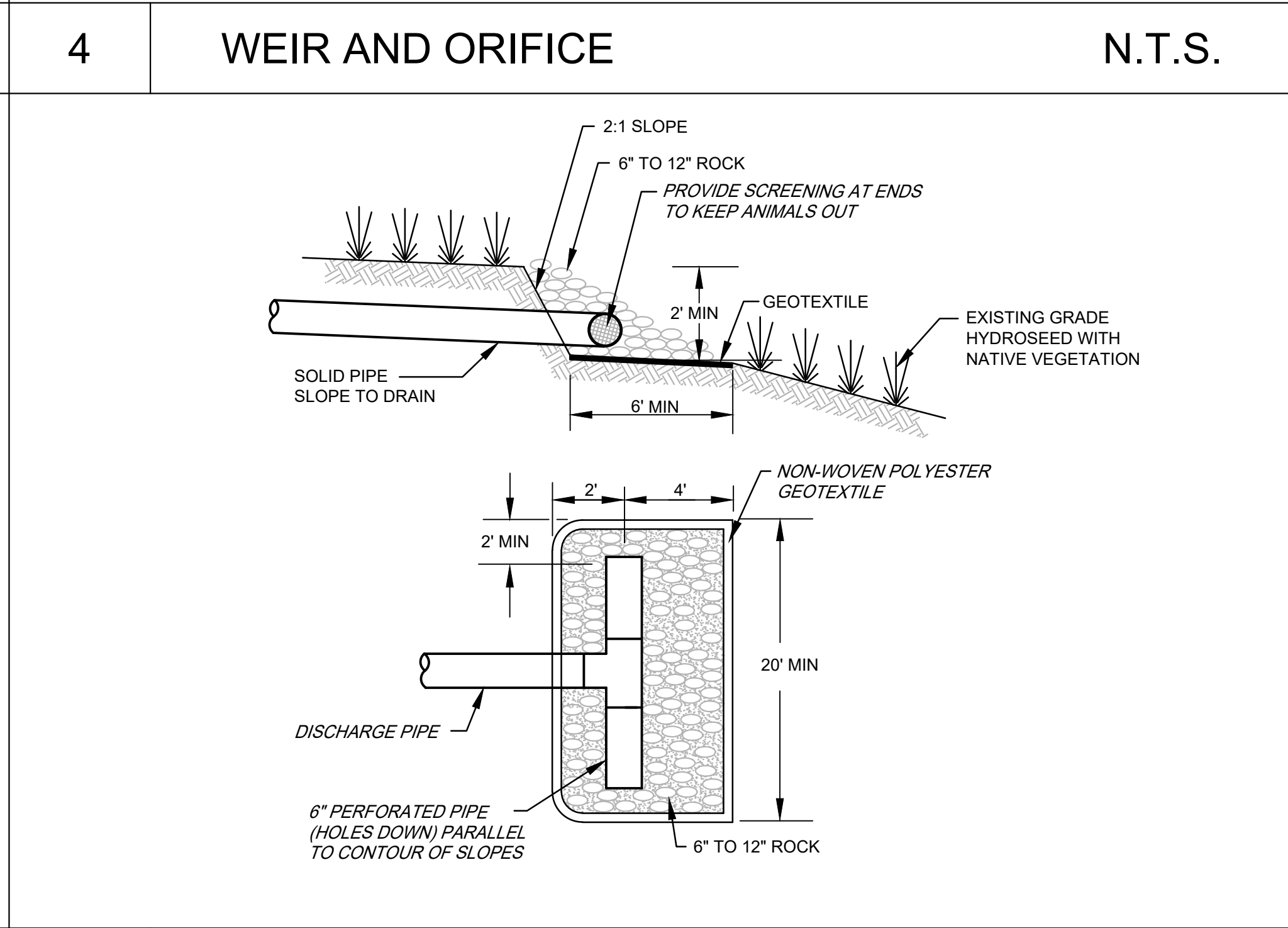
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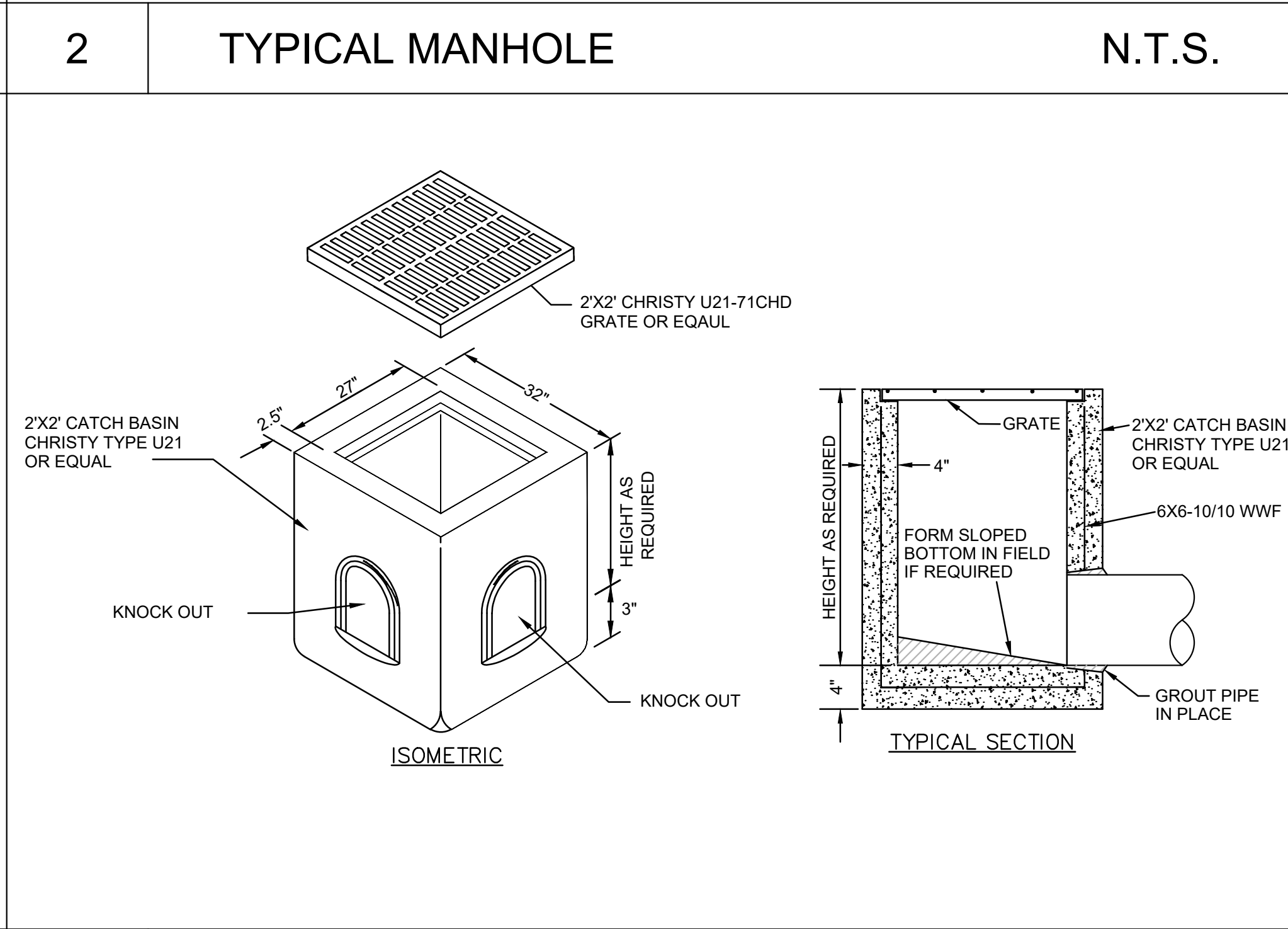
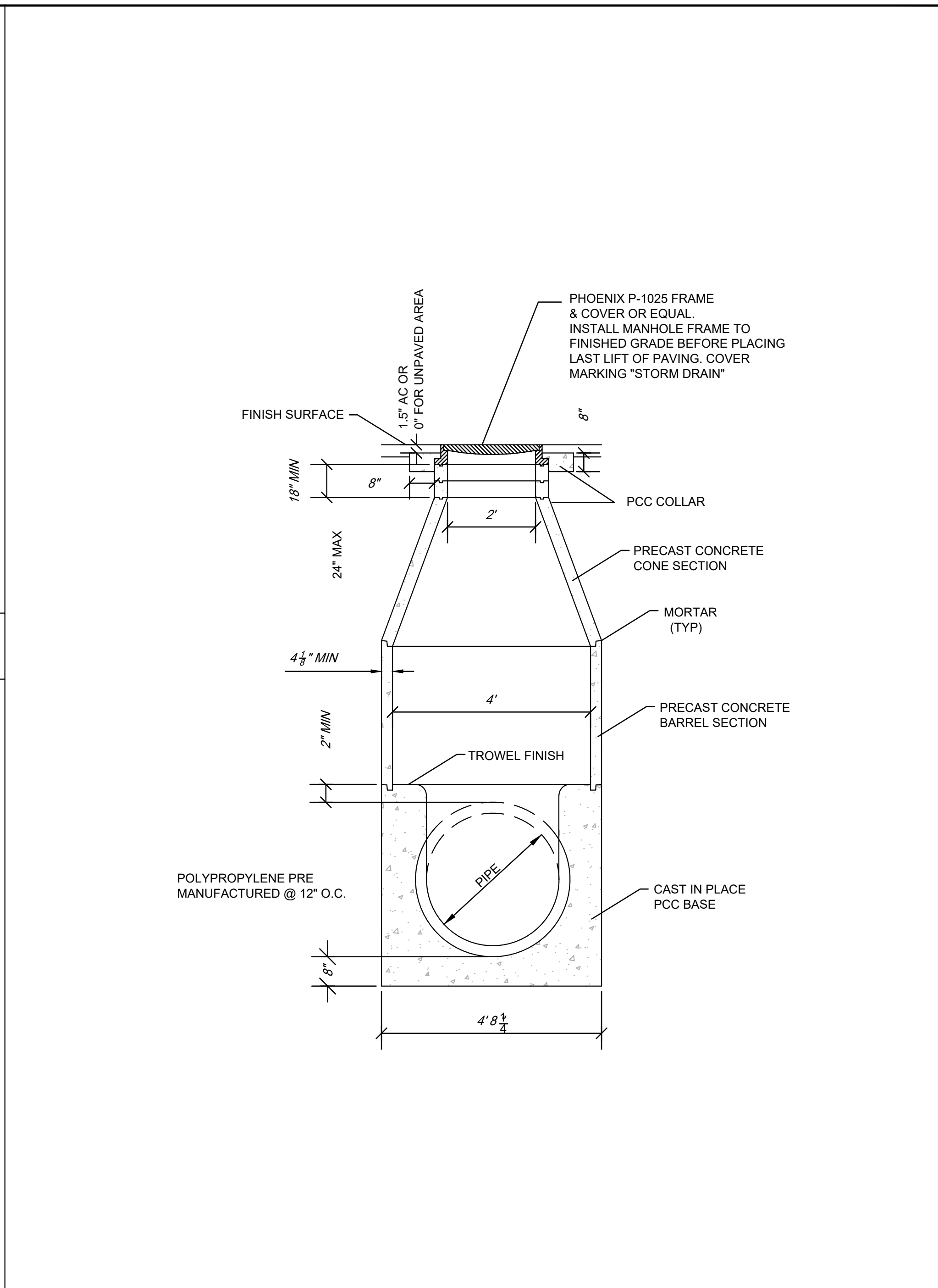
8	NOT USED	N.T.S.	5	DRIVEWAY PAVEMENT SECTION	N.T.S.
---	----------	--------	---	---------------------------	--------



7	NOT USED	N.T.S.	4	WEIR AND ORIFICE	N.T.S.
---	----------	--------	---	------------------	--------



6	NOT USED	N.T.S.	3	ENERGY DISSIPATION STRUCTURE	N.T.S.
---	----------	--------	---	------------------------------	--------

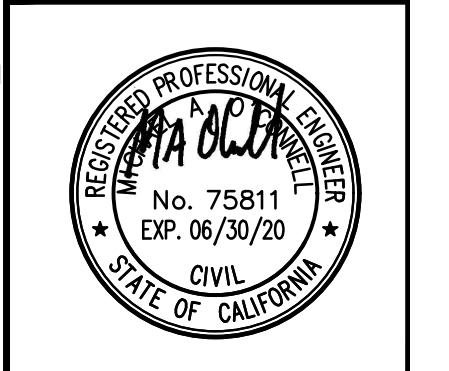


1	CATCH BASIN	N.T.S.
---	-------------	--------

ROUND HOUSE INDUSTRIES, INC.
900 ROSITA ROAD
PACIFICA, CA 94044
650.303.0495

PRELIMINARY DETAILS	
No.	Revisions
	Approved

VERDURA RESIDENCE
TBD LA HONDA ROAD
LA HONDA, CA 94020



DATE:	9.15.18
SCALE:	AS SHOWN
DRAWN:	MO
JOB NO:	2018-018
SHEET	

C2.1

PROJECT DESCRIPTION:

THE PROPERTY OWNER(S) WOULD LIKE TO BUILD A NEW 3 BEDROOM HOME AND FUTURE 4 BEDROOM ADU UNIT. IN ORDER TO DO SO, A NEW SEPTIC SYSTEMS THAT MEETS CURRENT REGULATIONS TO SERVE A TOTAL OF 7 BEDROOMS IS REQUIRED.

A NEW SEPTIC TANK WITH A CAPACITY OF 2,500 GALLONS IS REQUIRED TO SERVE THE NEW 3 BEDROOM HOME AND FUTURE 4 BEDROOM ADU UNIT.

THE LEACH FIELDS FOR THE HOUSE ARE SIZED BY THE NUMBER OF PROPOSED BEDROOMS (7 TOTAL) AND THE PERCOLATION RATE ("A" COPY OF TEST ATTACHED). THE COUNTY REQUIRES FOUR SEPARATE LEACH FIELDS. EACH LEACH FIELD SHALL HAVE 70' MINIMUM OF TRENCH TO SERVE THE FIRST THREE BEDROOMS AND 20' MORE LEACH TRENCH FOR EACH ADDITIONAL BEDROOM (LEACH LENGTH = 70' + 20' + 20' + 20' + 20' = 150'). TWO OF THESE LEACH FIELDS, (DESIGNATED AS PRIMARY ON THIS PLAN) MUST BE INSTALLED AND THE AREA FOR THE OTHER TWO LEACH FIELDS (DESIGNATED AS RESERVE ON THIS PLAN) MUST BE RESERVED FOR FUTURE USE IF EVER NEEDED.

APPLICABLE SETBACKS FOR SEPTIC AND LEACH SYSTEMS:

SECTION 9321 LOCATIONS

1. NO SEPTIC, PUMPING, OR HOLDING TANK SHALL BE LOCATED CLOSER THAN:
 - 1.1. FIVE (5) FEET OF ANY BUILDING.
 - 1.2. FIFTY (50) FEET OF ANY PROPERTY LINE FOR PARCELS WITHOUT AVAILABLE PUBLIC WATER SUPPLY. TEN (10) FEET OF ANY PROPERTY LINE FOR PARCELS WITH APPROVED PUBLIC WATER SUPPLY.
 - 1.3. ONE HUNDRED (100) FEET OF THE TOP OF BANK OF A STREAM AS DEFINED BY THE MOST RECENT U.S. GEOLOGICAL SURVEY TOPOGRAPHICAL MAP (7½ ACRES, OR EQUIVALENT SCALE) OF THE AREA.
 - 1.4. TWENTY-FIVE (25) FEET OF A SWIMMING POOL.
2. NO DRAIN FIELD OR OTHER LEACHING SYSTEM SHALL BE LOCATED CLOSER THAN:
 - 2.1. TEN (10) FEET OF ANY BUILDING.
 - 2.2. FIFTY (50) FEET OF ANY PROPERTY LINE FOR PARCELS WITHOUT AVAILABLE PUBLIC WATER SUPPLY. TEN (10) FEET OF ANY PROPERTY LINE FOR PARCELS WITH APPROVED PUBLIC WATER SUPPLY.
 - 2.3. ONE HUNDRED (100) FEET OF ANY WELL.
 - 2.4. ONE HUNDRED (100) FEET OF THE TOP BANK OF A STREAM.
 - 2.5. SETBACK EQUAL TO 4 X THE HEIGHT OF A CUT OR EMBANKMENT; THE REQUIRED SETBACK DISTANCE SHALL BE AT LEAST TWENTY FIVE (25) FEET AND NO MORE THAN FIFTY (50) FEET.
 - 2.6. SETBACK FROM SLOPES OF 50% OR GREATER SHALL BE AT LEAST TWENTY FIVE (25) FEET WHERE THE HEIGHT OF THE SLOPE 50% OR GREATER IS LESS THAN TWELVE (12) FEET, AND AT LEAST FIFTY (50) FEET WHERE THE HEIGHT OF THE SLOPE 50% OR GREATER IS GREATER THAN TWELVE (12) FEET.
 - 2.7. SETBACK OF ONE HUNDRED (100) FEET FROM AN UNSTABLE LAND MASS.
 - 2.8. TWENTY-FIVE (25) FEET OF A SWIMMING POOL.
 - 2.9. TWO HUNDRED (200) FEET OF A DOMESTIC WATER SUPPLY RESERVOIR.
 - 2.10. ONE HUNDRED (100) FEET OF A RESERVOIR, OTHER THAN A DOMESTIC WATER SUPPLY RESERVOIR.
3. THE SEPTIC TANK, DRAIN FIELD, AND OTHER COMPONENTS OF THE SEPTIC SYSTEM SHALL BE LOCATED WITHIN THE BOUNDARIES OF THE PARCEL UPON WHICH THE STRUCTURE REQUIRING THE SYSTEM IS BUILT.
4. NO DRAIN FIELD OR OTHER LEACHING SYSTEM SHALL BE LOCATED IN SLOPES OF FIFTY PERCENT (50%) OR GREATER.

NOTE: WORK SHALL NOT TO BE DONE WHEN SOIL IS "WET"

INDIVIDUAL ONSITE WASTEWATER AND TREATMENT DISPOSAL SYSTEM AND SEPTIC TANK NOTES:

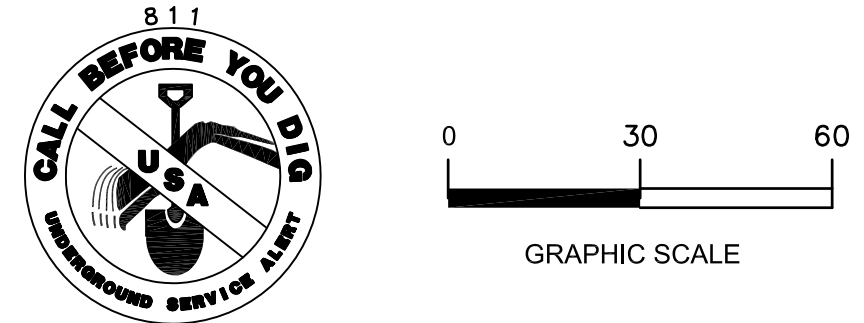
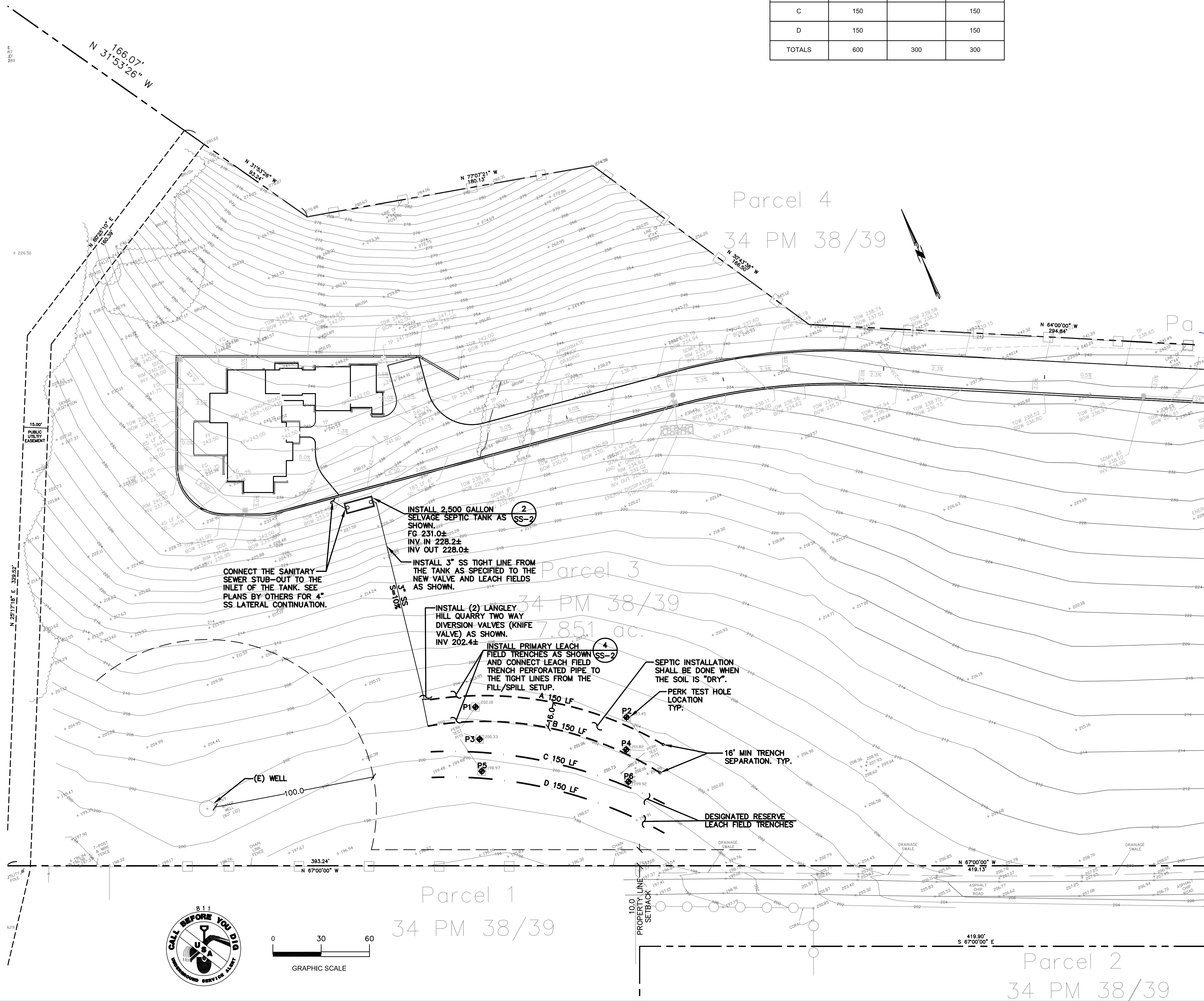
1. FOLLOWING SUBMITTAL OF A SEPTIC TANK DESTRUCTION PERMIT APPLICATION WITH APPROPRIATE FEE, AN INSPECTION OF THE INDIVIDUAL ONSITE WASTEWATER AND TREATMENT DISPOSAL SYSTEM/SEPTIC TANK WILL BE CONDUCTED BY COUNTY STAFF TO ASCERTAIN THE EXTENT OF SUCH DESTRUCTION.
2. SEPTIC TANKS CAN EITHER BE REMOVED COMPLETELY, OR CAN BE DESTROYED IN PLACE IN THE FOLLOWING MANNER:
 - 2.1. BOTH CHAMBERS OF THE SEPTIC TANK MUST BE PUMPED OUT BY A PERMITTED PUMPING COMPANY, AND THE SEWAGE DISPOSED OF IN AN APPROVED MANNER.
 - 2.2. IF THE TANK CANNOT BE COMPLETELY REMOVED, THE BOTTOM OF THE EMPTY SEPTIC TANK MUST BE BROKEN OR PERFORATED TO ALLOW FOR DRAINAGE.
 - 2.3. THE SEPTIC TANK CAN THEN BE FILLED WITH SAND, NATIVE SOIL, OR OTHER APPROVED MATERIAL, AND THE MATERIAL APPROPRIATELY COMPACTED.
 - 2.4. THE TOP OF THE SEPTIC TANK MUST THEN BE COLLAPSED.
3. DRAINFIELDS MAY BE REMOVED, ALTHOUGH SUCH REMOVAL MAY NOT BE NECESSARY (IF THERE IS TO BE NO CONSTRUCTION ON THE SITE OF THE DRAINFIELD). IF DRAINFIELD REMOVAL IS NECESSARY, SUCH REMOVAL MUST BE CONDUCTED IN THE FOLLOWING MANNER:
 - 3.1. THE PERFORATED DRAINPIPE MUST BE REMOVED AND PROPERLY DISPOSED.
 - 3.2. THE DRAINROCK MUST BE REMOVED AND PROPERLY DISPOSED.
 - 3.3. THE TRENCH MUST BE BACKFILLED WITH NATIVE SOIL, AND THE SOIL COMPACTED TO AS CLOSE TO THE ORIGINAL STATE OF THE SOIL AS POSSIBLE.
4. ALL MATERIAL AND METHODS SHALL COMPLY WITH SAN MATEO COUNTY REGULATIONS AND POLICIES. ALL WORK MUST BE INSPECTED AND APPROVED BEFORE IT IS COVERED.
5. THIS SYSTEM WAS DESIGNATED TO HANDLE A LIMITED AMOUNT OF WASTEWATER. SINCE ANY ADDITIONAL WATER COULD CAUSE THE SYSTEM TO FAIL, ALL WATER LEAKS NEED TO BE REPAIRED AS SOON AS POSSIBLE AND ALL STORMWATER DRAINAGE FEATURES SHOULD BE DESIGNED TO DIRECT SAID WATER AWAY FROM THE LEACH FIELD TRENCH AREA. IRRIGATION LEACH FIELD AREAS SHOULD NOT EXCEED THE EVAPOTRANSPIRATION CAPACITY OF THE VEGETATION IN QUESTION.
6. THE OWTs WILL NEED TO BE STAKED OUT BY THE SEPTIC CONTRACTOR AND FIELD VERIFIED WITH ENVIRONMENTAL HEALTH. ALLOW A MINIMUM OF 48 HOURS' NOTICE FOR INSPECTION REQUEST.

LEACH TRENCH LAYOUT

TRENCH	LENGTH (LINEAR FEET)	P1	E1
A	150	150	
B	150	150	
C	150		150
D	150		150
TOTALS	600	300	300

LEGEND:

- PRIMARY LEACH TRENCH
- EXPANSION LEACH TRENCH



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 Belmont, CA 94002
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 Travis@Precision-EC.com

DATE: _____

REVISIONS:



SEPTIC AND LEACH SYSTEM PLAN
NEW RESIDENCE
OLD LA HONDA ROAD
SAN GREGORIO, CA 94074
 APN 082-160-130

Date: 04/08/2019

Scale: 1" = 30'

Design: TRL

Check: TRL

Drawing Number: SS-1

PEC Job No.: PEC 18-134

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READ AND RECEIVED BY:
 Initials: _____ Date: _____ No. Pgs: 2

**SAN MATEO COUNTY
 ENVIRONMENTAL HEALTH SERVICES DIVISION**

MEASUREMENTS

1/2 HOUR INTERVALS	READINGS	HOLE #1	HOLE #2	HOLE #3	HOLE #4	HOLE #5	HOLE #6
12:00	FINISH	5'-11"	3'-11"	8'-11"	8'-11"	6'-11"	5'-11"
	START	2'-11"	2'-11"	2	4'-11"	5'-11"	3'-11"
	DIFF.	3'-11"	1'-11"	6'-11"	3'-11"	1'-11"	2'-11"
12:30	FINISH	8'-11"	8'-11"	8'-11"	8'-11"	6'-11"	4'-11"
	START	2'-11"	2'-11"	4'-11"	4'-11"	2'-11"	2'-11"
	DIFF.	6'-11"	6'-11"	4'-11"	4'-11"	4'-11"	2'-11"
1:00	FINISH	5'-11"	5	8'-11"	8'-11"	6'-11"	4'-11"
	START	2'-11"	1'-11"	2	4	2'-11"	2'-11"
	DIFF.	3'-11"	4	6'-11"	4'-11"	4'-11"	2'-11"
1:30	FINISH	5'-11"	3'-11"	8'-11"	8'-11"	5'-11"	4'-11"
	START	2'-11"	1'-11"	4'-11"	4'-11"	1'-11"	2'-11"
	DIFF.	3'-11"	2'-11"	4'-11"	4'-11"	4'-11"	2'-11"
2:00	FINISH	4'-11"	3'-11"	8'-11"	8'-11"	5'-11"	4'-11"
	START	2'-11"	1'-11"	4'-11"	4'-11"	1'-11"	2'-11"
	DIFF.	2'-11"	2'-11"	4'-11"	4'-11"	4'-11"	2'-11"
2:30	FINISH	4'-11"	3'-11"	8'-11"	8'-11"	5'-11"	4'-11"
	START	2'-11"	1'-11"	4'-11"	4'-11"	1'-11"	2'-11"
	DIFF.	2'-11"	2'-11"	4'-11"	4'-11"	4'-11"	2'-11"
3:00	FINISH	4'-11"	3'-11"	8'-11"	8'-11"	5'-11"	4'-11"
	START	2'-11"	1'-11"	4'-11"	4'-11"	1'-11"	2'-11"
	DIFF.	2'-11"	2'-11"	4'-11"	4'-11"	4'-11"	2'-11"
3:30	FINISH	4'-11"	3'-11"	8'-11"	8'-11"	5'-11"	4'-11"
	START	2'-11"	1'-11"	4'-11"	4'-11"	1'-11"	2'-11"
	DIFF.	2'-11"	2'-11"	4'-11"	4'-11"	4'-11"	2'-11"
4:00	FINISH	4'-11"	3'-11"	8'-11"	8'-11"	5'-11"	4'-11"
	START	2'-11"	1'-11"	4'-11"	4'-11"	1'-11"	2'-11"
	DIFF.	2'-11"	2'-11"	4'-11"	4'-11"	4'-11"	2'-11"

SITE INFORMATION

Site Address: 4645 LA HONDA RD APN: 082-160-130

Size Of Parcel: 7.5 acres +/- Subdivision Number: _____

Soil Log: 11845 12/10/11 brookwood Rock Water Source: WELL

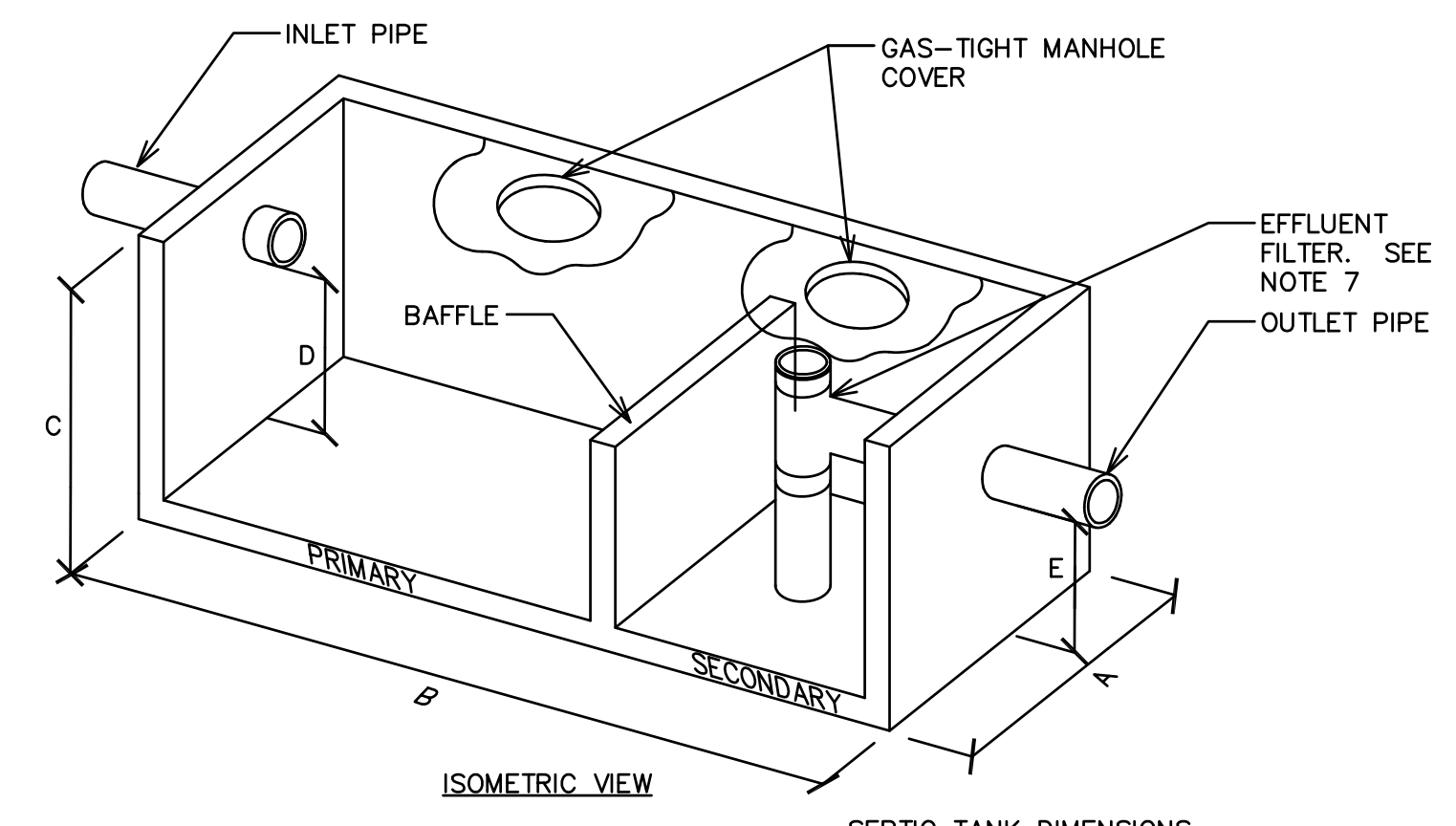
Depth To Ground Water: N/A DRU

Wet Weather Testing Required? YES NO

Tested By: [Signature] Tester #: 017

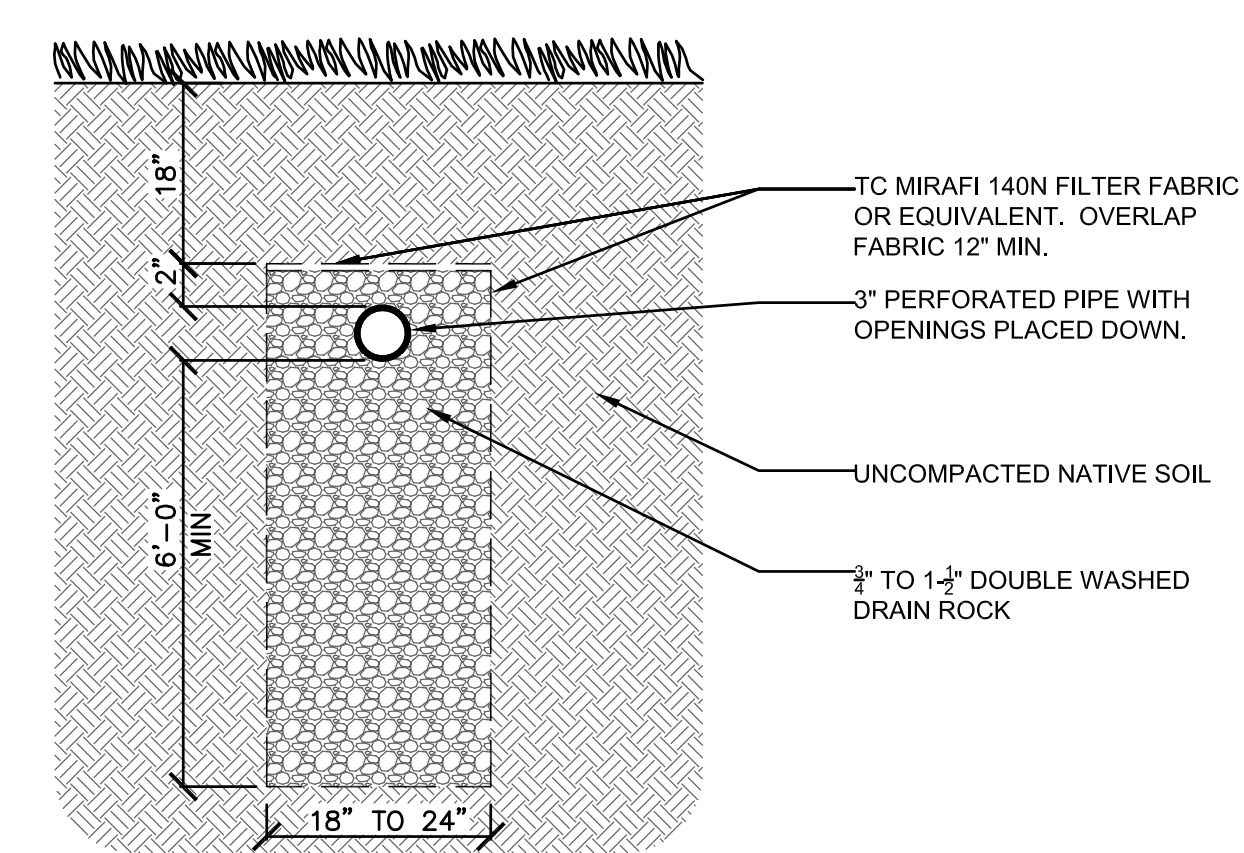
Observed in Field By: [Signature] Date: 9/23/14

rev. 09/18/97



- NOTES:**
- SEPTIC TANK SHALL BE LOCATED IN A PLACE THAT IS ACCESSIBLE FOR VACUUM PUMPING.
 - SEPTIC TANK SHALL BE COMPRISED OF TWO COMPARTMENTS. THE PRIMARY COMPARTMENT SHALL CONTAIN TWO THIRDS OF THE TOTAL TANK VOLUME.
 - EACH COMPARTMENT SHALL BE PROVIDED WITH AN ACCESS PORT EXTENDING TO GRADE AND COVERED WITH WATERTIGHT, WEIGHT BEARING COVERS.
 - SEPTIC TANKS LOCATED UNDER DRIVEWAYS SHALL BE TRAFFIC RATED TO H20-44 TRUCK LOADING STANDARDS AND PROVIDED WITH METAL SEWER ACCESS RINGS AND COVERS OVER BOTH COMPARTMENTS.
 - NO PUMPING OF SEWAGE FROM HOUSE TO SEPTIC TANK SHALL BE PERMITTED; ONLY GRAVITY FLOW SHALL BE UTILIZED.
 - TANKS SHALL HAVE A MINIMUM 8 INCHES OF SOIL COVER.
 - THE OUTLET OF THE SEPTIC TANK SHALL BE FITTED WITH AN EFFLUENT FILTER CONFORMING TO NSF/ANSI STANDARD 46.

2 SEPTIC TANK SCALE: NO SCALE
CATCH BASIN -02-MSTR



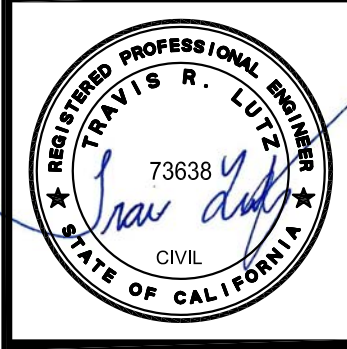
- NOTES:**
- DRAINFIELD TRENCHES SHALL BE SIZED ACCORDING TO THE SITE PERCOLATION RATES AS DETERMINED BY A SAN MATEO COUNTY APPROVED SOIL PERCOLATION TESTER.
 - DRAINFIELD TRENCH LENGTHS SHALL BE A MINIMUM OF 25 FEET AND A MAXIMUM OF LENGTH OF 125 FEET FOR GRAVITY FLOW SYSTEMS.
 - DRAINFIELD TRENCH DEPTH SHALL INCREASE WHERE NECESSARY IN AREAS OF FILL, SUCH THAT A MINIMUM 6'-0" DEPTH OF DRAINROCK BELOW THE PERFORATED PIPE IS MAINTAINED IN NATIVE, UNCOMPACTED SOIL.
 - PERFORATED PIPE SHALL BE A MINIMUM 2000 LB STANDARD CRUSH WEIGHT ASTM F810-8149232 OR GREATER AND SHALL BE CAPPED AT THE ENDS.
 - BOTH THE DRAINFIELD PERFORATED PIPE AND THE TRENCH BOTTOM SHALL BE LEVEL.
 - ALL PIPE CONNECTING SEPTIC TANK TO DRAINFIELD AND BETWEEN UNITS OF DRAINFIELD SHALL BE 3 INCH MINIMUM DIAMETER SOLID PIPE SCHEDULE 40 PVC OR STRONGER.
 - CAPPED OBSERVATION STANDPIPES SHALL BE INSTALLED AT THE END OF EACH DRAINFIELD TRENCH, AND EXTEND FROM THE BOTTOM OF THE TRENCH TO GRADE. THE STANDPIPE SHALL NOT BE CONNECTED TO THE DRAIN LINE.

4 TRENCH DRAINFIELD SCALE: 1'-0"=1'-0"
-02/14/05 -012 -SUBRRAN -MSTR

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 Travis@Precision-EC.com

DATE: _____

REVISIONS:



APN 082-160-130

**DETAIL SHEET
 NEW RESIDENCE
 OLD LA HONDA ROAD
 SAN GREGORIO, CA 94074**

Date: **04/08/2019**

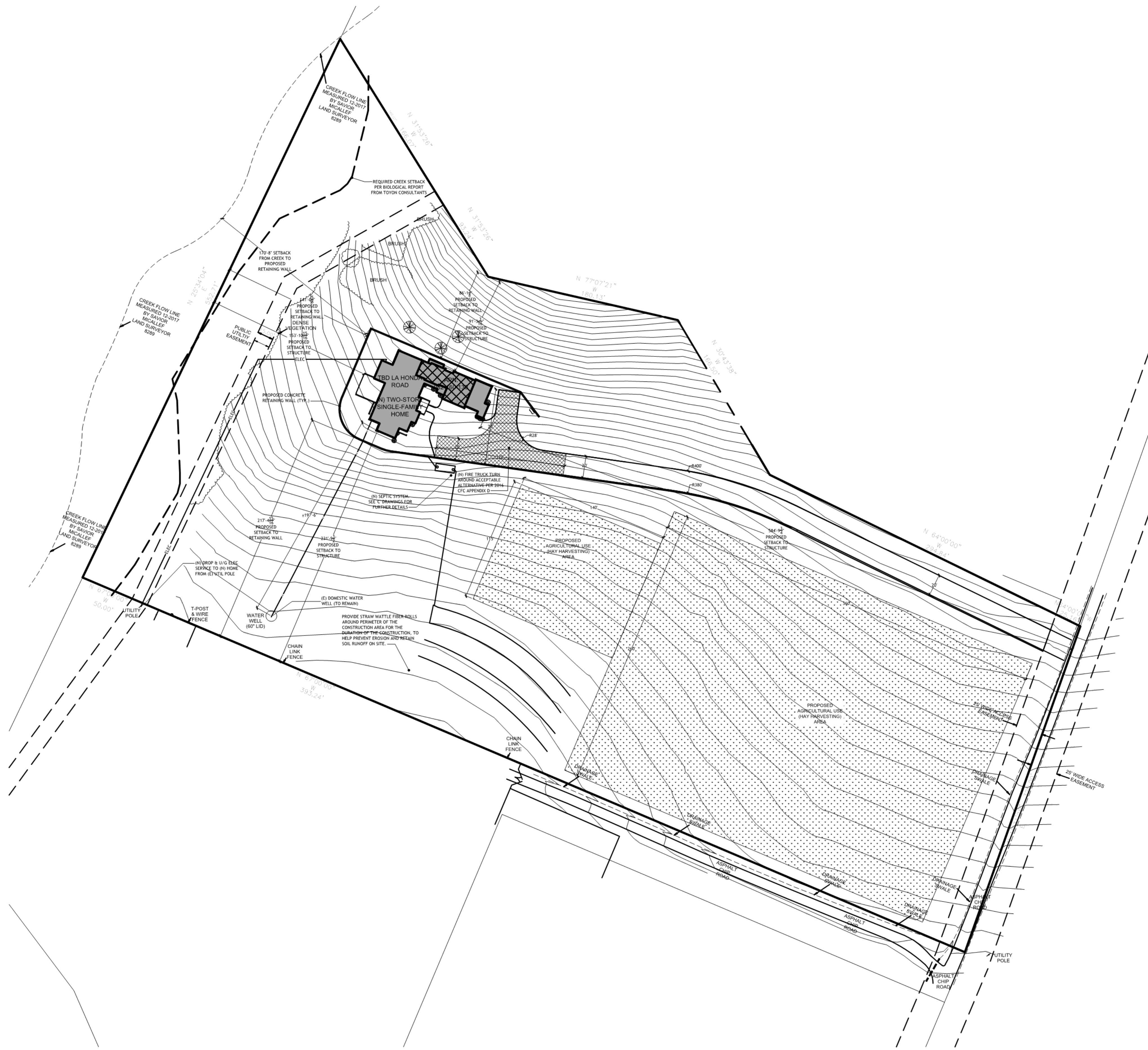
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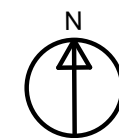
Design: **TRL**

Check: **TRL**

Drawing Number: **SS-2**

PEC Job No.: **PEC 18-134**




 ① OVERALL SITE PLAN
 1" = 50'-0"

REV	DATE	DESCRIPTION
0	6/14/2017	PRELIMINARY DESIGN
1	9/17/2018	REVIEW SET
2	10/09/2018	PLANNING SUBMITTAL SET
3	04/29/2019	PLANNING RESUBMITTAL
4		

PROJECT NAME:
**NEW SINGLE FAMILY HOME:
 VERDURA RESIDENCE**

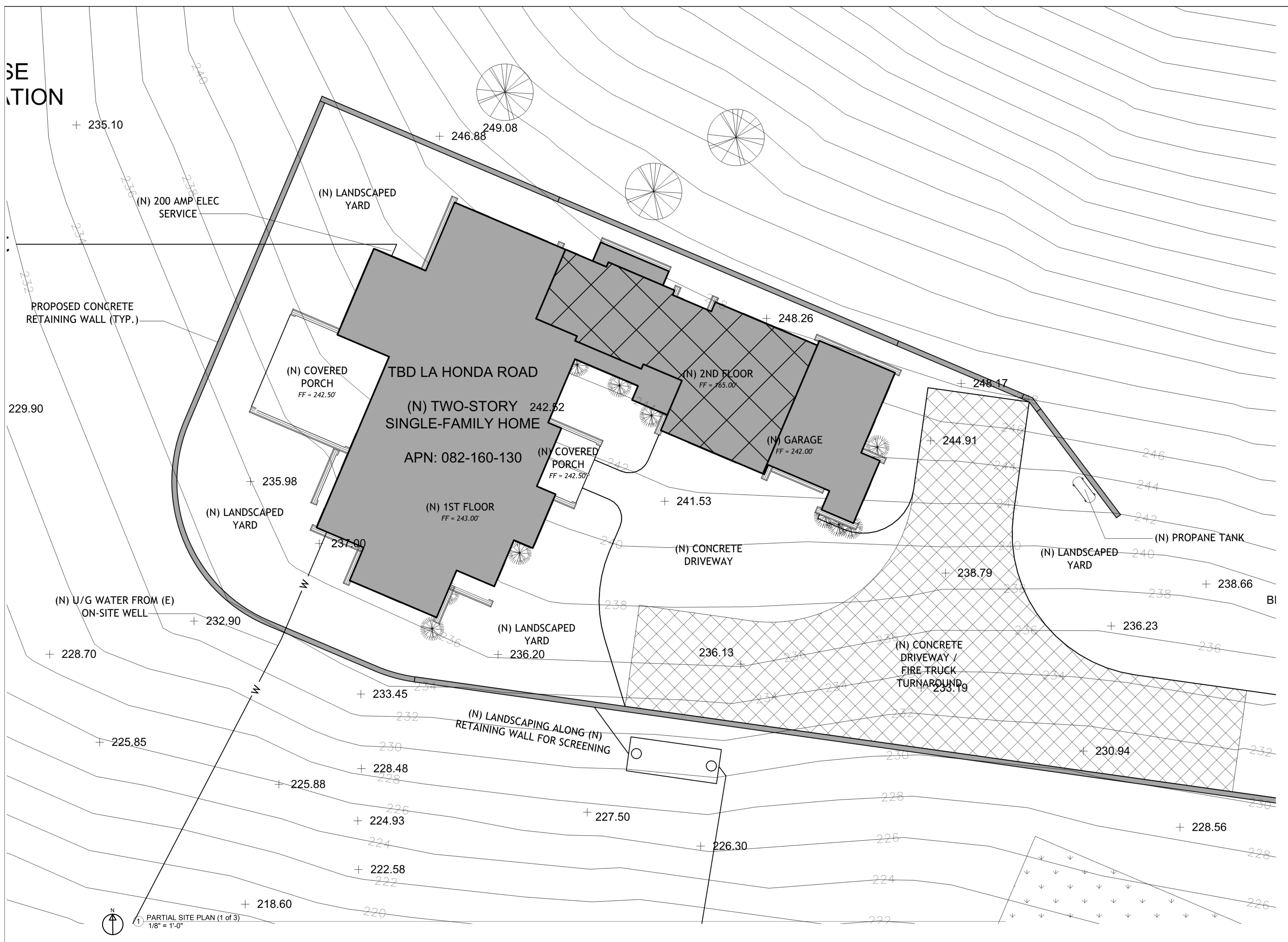
PROJECT ADDRESS:
**TBD LA HONDA ROAD
 SAN GREGORIO, CA 94074**

PROJECT SCOPE:
**CONSTRUCTION OF (N) SINGLE
 FAMILY HOME W/ ATTACHED
 GARAGE**

SHEET TITLE
**OVERALL
 SITE PLAN**

SHEET
A1.0

SECTION



REV	DATE	DESCRIPTION
0	6/14/2017	PRELIMINARY DESIGN
1	9/17/2018	REVIEW SET
2	10/09/2018	PLANNING SUBMITTAL SET
3	04/29/2019	PLANNING RESUBMITTAL
4		

PROJECT NAME:
**NEW SINGLE FAMILY HOME:
 VERDURA RESIDENCE**

PROJECT ADDRESS:
 TBD LA HONDA ROAD
 SAN GREGORIO, CA 94074

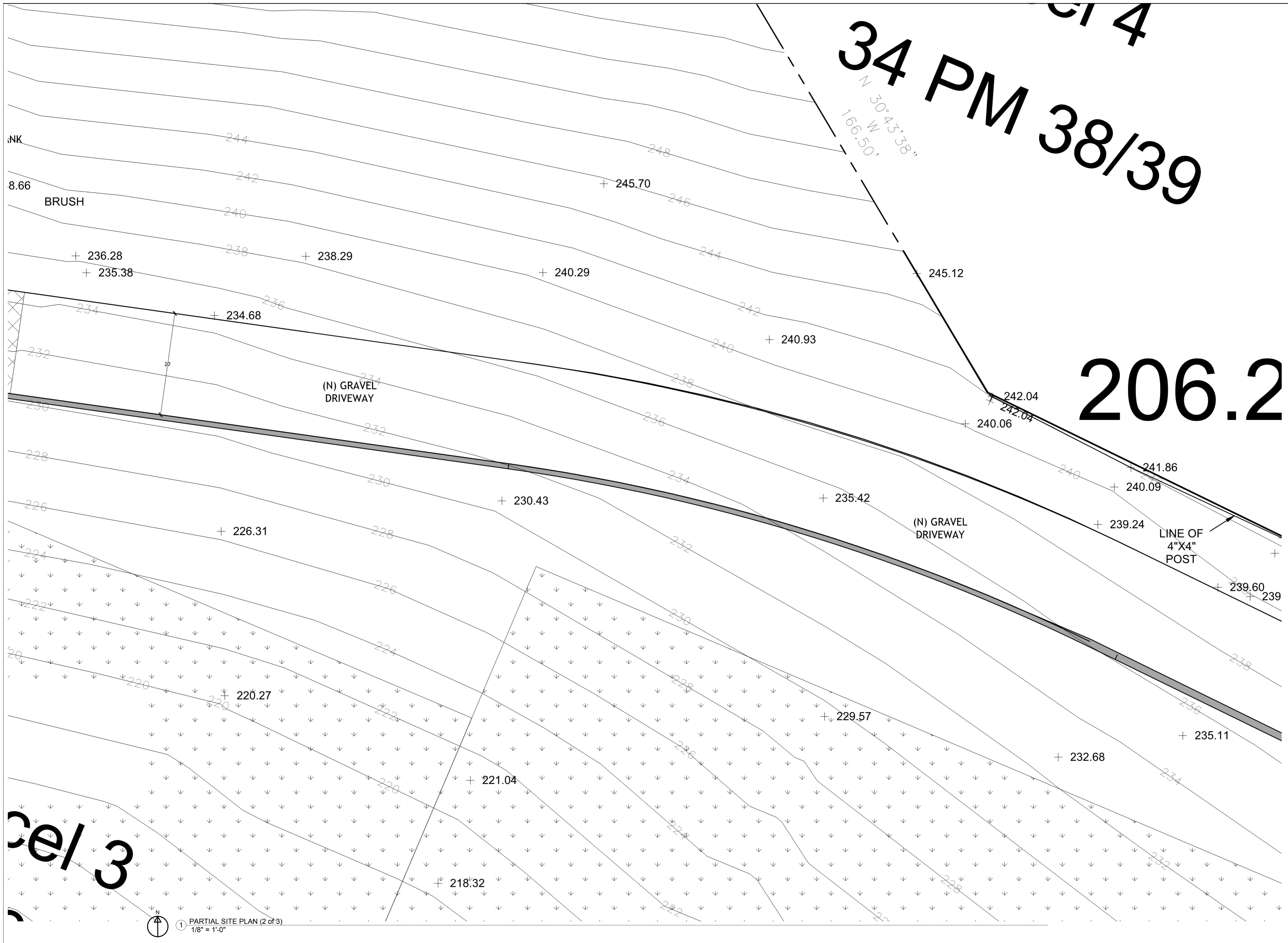
PROJECT SCOPE:
 CONSTRUCTION OF (N) SINGLE
 FAMILY HOME W/ ATTACHED
 GARAGE

SHEET TITLE
**PARTIAL
 SITE PLAN 1
 of 3**

SHEET
A1.1

1 PARTIAL SITE PLAN (1 of 3)
 1/8" = 1'-0"

4/30/2019 4:38:29 PM



34 PM 38/39

206.2

3e/3

1 PARTIAL SITE PLAN (2 of 3)
1/8" = 1'-0"

**BRIAN BRINKMAN
DRAFTING & DESIGN**

 1690 Francisco Blvd.
 Pacifica, CA 94044
 (650) 922-7993

REV	DATE	DESCRIPTION
0	6/14/2017	PRELIMINARY DESIGN
1	9/17/2018	REVIEW SET
2	10/09/2018	PLANNING SUBMITTAL SET
3	04/29/2019	PLANNING RESUBMITTAL
4		

PROJECT NAME:
 NEW SINGLE FAMILY HOME:
 VERDURA RESIDENCE

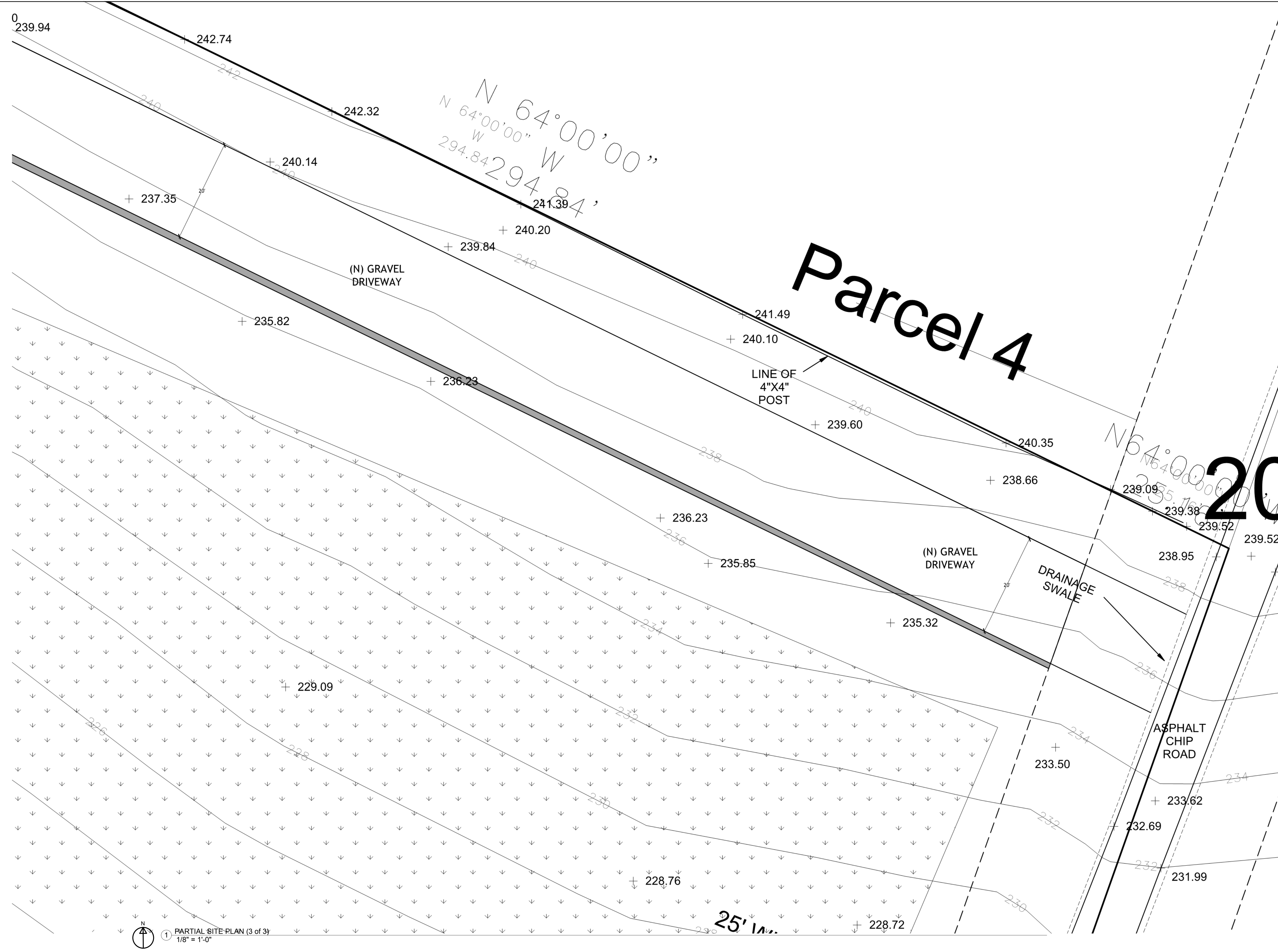
PROJECT ADDRESS:
 TBD LA HONDA ROAD
 SAN GREGORIO, CA 94074

PROJECT SCOPE:
 CONSTRUCTION OF (N) SINGLE
 FAMILY HOME W/ ATTACHED
 GARAGE

SHEET TITLE
 PARTIAL
 SITE PLAN 2
 of 3

SHEET
 A1.2

4/30/2019 4:38:29 PM



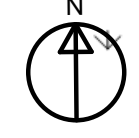
N 64°00'00"
 W 294.84'
 294.84'

Parcel 4

N 64°00'00"
 W 235.16'
 235.16'

20'

25' 1/4"



1 PARTIAL SITE PLAN (3 of 3)
 1/8" = 1'-0"

BRIAN BRINKMAN
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 B-B-D
 1690 Francisco Blvd.
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REV	DATE	DESCRIPTION
0	6/14/2017	PRELIMINARY DESIGN
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4		

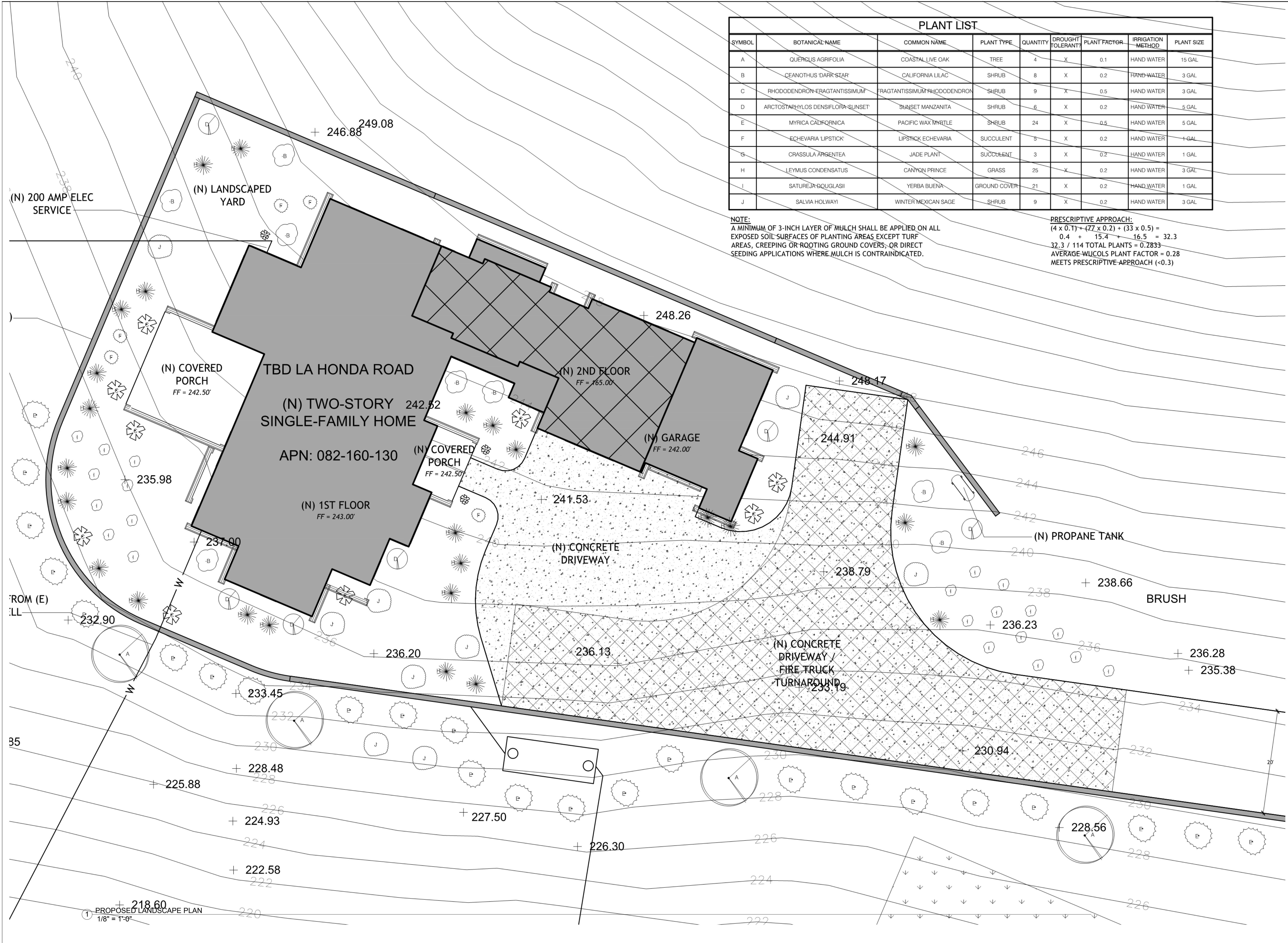
PROJECT NAME:
**NEW SINGLE FAMILY HOME:
 VERDURA RESIDENCE**

PROJECT ADDRESS:
 TBD LA HONDA ROAD
 SAN GREGORIO, CA 94074

PROJECT SCOPE:
 CONSTRUCTION OF (N) SINGLE
 FAMILY HOME W/ ATTACHED
 GARAGE

SHEET TITLE
**PARTIAL
 SITE PLAN 3
 of 3**

SHEET
A1.3



PLANT LIST								
SYMBOL	BOTANICAL NAME	COMMON NAME	PLANT TYPE	QUANTITY	DROUGHT TOLERANT	PLANT FACTOR	IRRIGATION METHOD	PLANT SIZE
A	QUERCUS AGRIFOLIA	COASTAL LIVE OAK	TREE	4	X	0.1	HAND WATER	15 GAL
B	CEANOTHUS DARK STAR	CALIFORNIA LILAC	SHRUB	8	X	0.2	HAND WATER	3 GAL
C	RHODODENDRON ERAGTANTISSIMUM	FRAGRANTISSIMUM RHODODENDRON	SHRUB	9	X	0.5	HAND WATER	3 GAL
D	ARCTOSTAPHYLOS DENSIFLORA 'SUNSET'	SUNSET MANZANITA	SHRUB	6	X	0.2	HAND WATER	5 GAL
E	MYRICA CALIFORNICA	PACIFIC WAX MYRTLE	SHRUB	24	X	0.5	HAND WATER	5 GAL
F	ECHVEARIA LIPSTICK	LIPSTICK ECHEVARIA	SUCCULENT	5	X	0.2	HAND WATER	1 GAL
G	CRASSULA ARGENTEA	JADE PLANT	SUCCULENT	3	X	0.2	HAND WATER	1 GAL
H	LEYMUS CONDENSATUS	CANYON PRINCE	GRASS	25	X	0.2	HAND WATER	3 GAL
I	SATUREJA BOUGLASII	YERBA BUENA	GROUND COVER	21	X	0.2	HAND WATER	1 GAL
J	SALVIA HOLWAYI	WINTER MEXICAN SAGE	SHRUB	9	X	0.2	HAND WATER	3 GAL

NOTE:
 A MINIMUM OF 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUND COVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.

PRESCRIPTIVE APPROACH:
 $(4 \times 0.1) + (77 \times 0.2) + (33 \times 0.5) = 0.4 + 15.4 + 16.5 = 32.3$
 $32.3 / 114 \text{ TOTAL PLANTS} = 0.2833$
 AVERAGE WUCOLS PLANT FACTOR = 0.28
 MEETS PRESCRIPTIVE APPROACH (<0.3)

BRIAN BRINKMAN
 DRAFTING & DESIGN
 1690 Francisco Blvd.
 Pacifica, CA 94044
 (650) 922-7993



REV	DATE	DESCRIPTION
0	6/14/2017	PRELIMINARY DESIGN
1	9/17/2018	REVIEW SET
2	10/09/2018	PLANNING SUBMITTAL SET
3	04/29/2019	PLANNING RESUBMITTAL
4		

PROJECT SCOPE:
 CONSTRUCTION OF (N) SINGLE FAMILY HOME W/ ATTACHED GARAGE

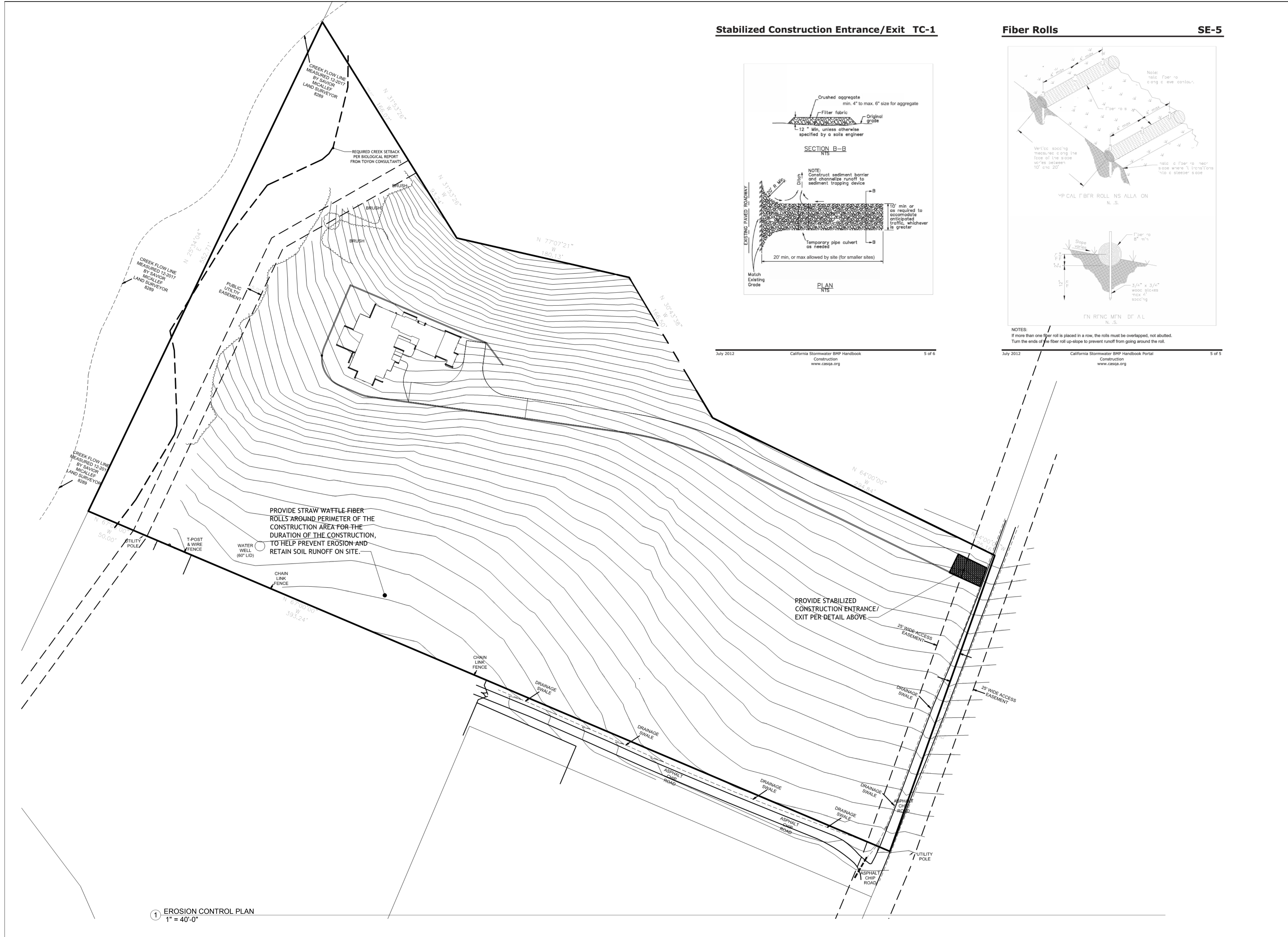
PROJECT NAME:
 NEW SINGLE FAMILY HOME:
 VERDURA RESIDENCE

PROJECT ADDRESS:
 TBD LA HONDA ROAD
 SAN GREGORIO, CA 94074

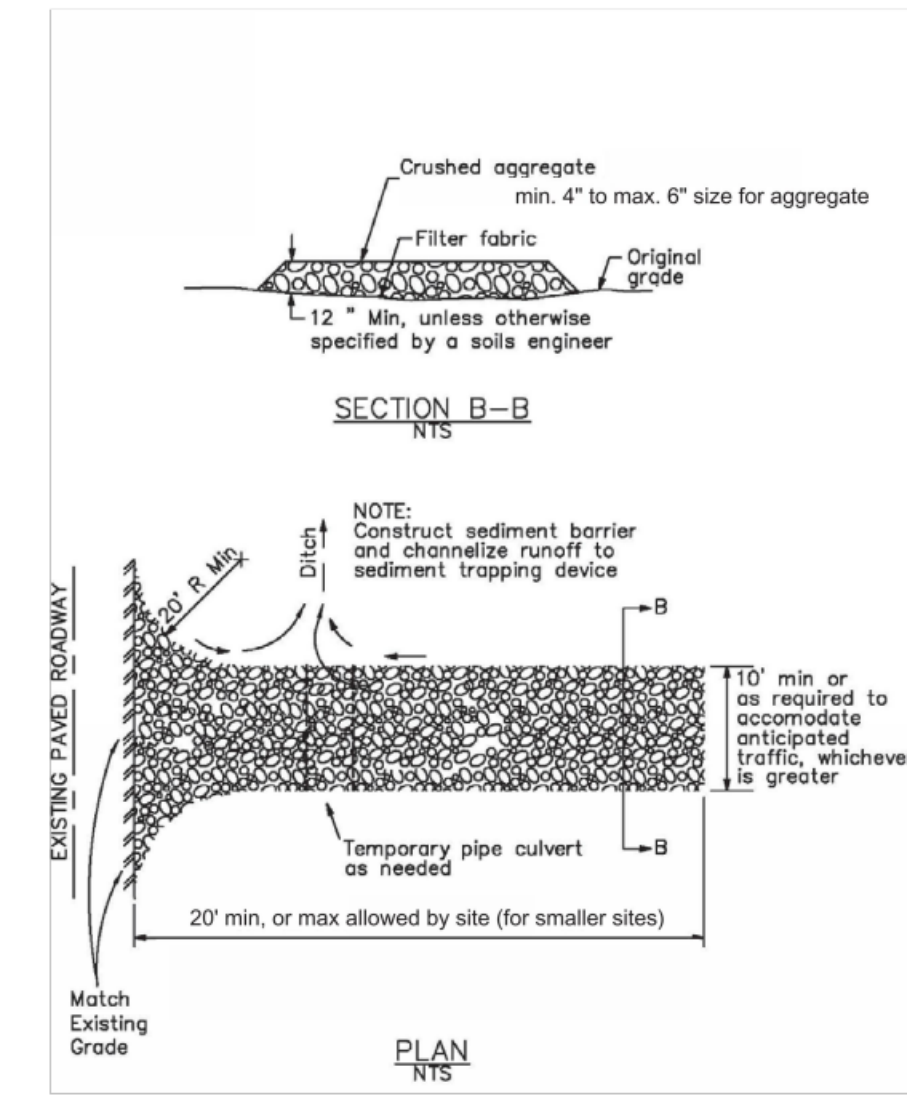
SHEET TITLE
 PROPOSED LANDSCAPE PLAN

SHEET
 A1.4

PROPOSED LANDSCAPE PLAN
 1/8" = 1'-0"

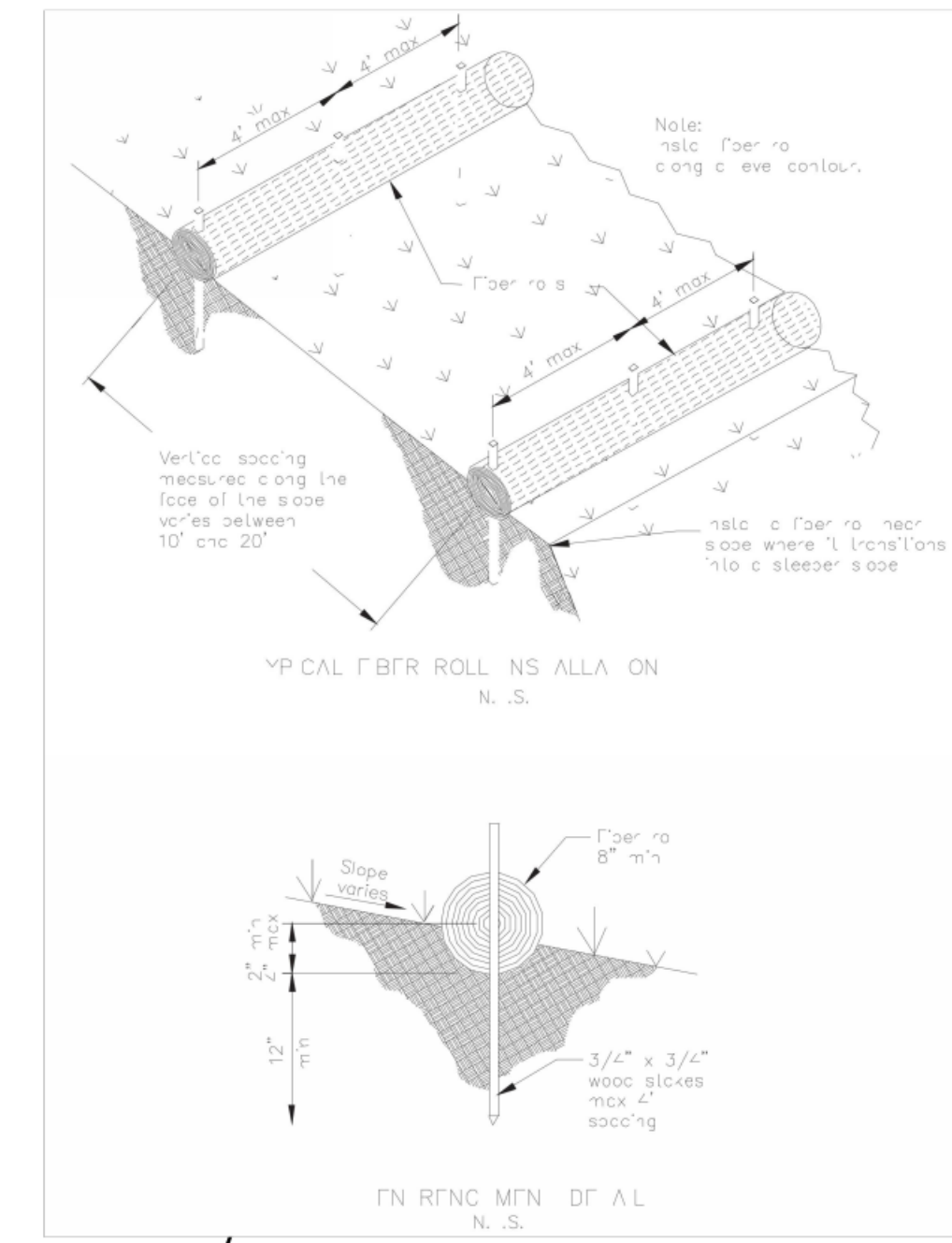


Stabilized Construction Entrance/Exit TC-1



July 2012 California Stormwater BMP Handbook Construction www.cdegs.org 5 of 6

Fiber Rolls SE-5



July 2012 California Stormwater BMP Handbook Portal Construction www.cdegs.org 5 of 6

1 EROSION CONTROL PLAN
1" = 40'-0"

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DRAFTING & DESIGN**

 1690 Francisco Blvd.
 Pacifica, CA 94044
 (650) 922-7993

REV	DATE	DESCRIPTION
0	6/14/2017	PRELIMINARY DESIGN
1	9/17/2018	REVIEW SET
2	10/09/2018	PLANNING SUBMITTAL SET
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4		

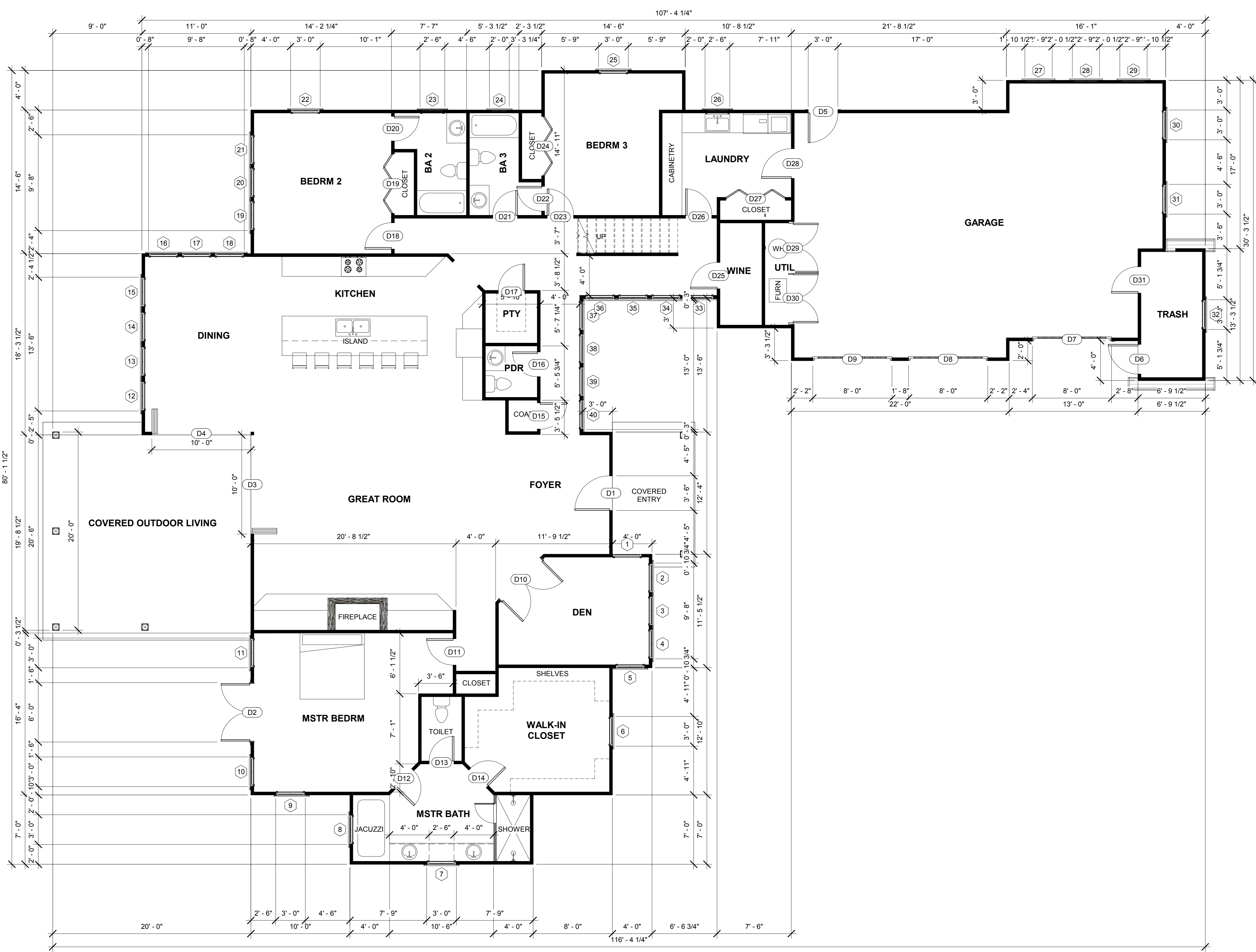
PROJECT NAME:
 NEW SINGLE FAMILY HOME:
 VERDURA RESIDENCE

PROJECT ADDRESS:
 TBD LA HONDA ROAD
 SAN GREGORIO, CA 94074

PROJECT SCOPE:
 CONSTRUCTION OF (N) SINGLE
 FAMILY HOME W/ ATTACHED
 GARAGE

SHEET TITLE
EROSION CONTROL PLAN

SHEET
A1.5



LEVEL 1 DOOR SCHEDULE

Mark	Level	Width	Height	Operation	Comments
D1	LEVEL 1 FF	3'-6"	8'-0"		
D2	LEVEL 1 FF	6'-0"	8'-0"		
D3	LEVEL 1 FF	10'-0"	8'-0"		
D4	LEVEL 1 FF	10'-0"	8'-0"		
D5	LEVEL 1 FF	3'-0"	7'-0"		
D6	LEVEL 1 FF	3'-0"	7'-0"		
D7	LEVEL 1 FF	8'-0"	8'-0"		
D8	LEVEL 1 FF	8'-0"	8'-0"		
D9	LEVEL 1 FF	8'-0"	8'-0"		
D10	LEVEL 1 FF	6'-0"	7'-2"		
D11	LEVEL 1 FF	2'-8"	7'-0"		
D12	LEVEL 1 FF	2'-6"	7'-0"	SINGLE	
D13	LEVEL 1 FF	2'-6"	7'-0"	SINGLE	
D14	LEVEL 1 FF	2'-6"	7'-0"	SINGLE	
D18	LEVEL 1 FF	2'-8"	7'-0"		
D19	LEVEL 1 FF	6'-0"	6'-8"		
D20	LEVEL 1 FF	2'-6"	7'-0"	SINGLE	
D21	LEVEL 1 FF	2'-6"	7'-0"	SINGLE	
D22	LEVEL 1 FF	2'-6"	7'-0"	SINGLE	
D23	LEVEL 1 FF	2'-8"	7'-0"		
D24	LEVEL 1 FF	6'-0"	6'-8"		
D25	LEVEL 1 FF	2'-8"	7'-0"		
D26	LEVEL 1 FF	2'-8"	7'-0"		
D27	LEVEL 1 FF	6'-0"	6'-8"		
D28	LEVEL 1 FF	3'-0"	7'-0"		
D29	LEVEL 1 FF	5'-0"	7'-0"		
D30	LEVEL 1 FF	5'-0"	7'-0"		
D31	LEVEL 1 FF	2'-8"	7'-0"		

LEVEL 1 WINDOW SCHEDULE

Mark	Level	Width	Height	Sill Height	Head Height	Operation	Comments
1	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
2	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
3	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
4	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
5	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
6	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
7	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
8	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
9	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
10	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
11	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
12	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
13	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
14	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
15	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
16	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
17	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
18	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
19	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
20	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
21	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
22	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
23	LEVEL 1 FF	2'-6"	4'-0"	4'-0"	8'-0"		
24	LEVEL 1 FF	2'-0"	2'-0"	6'-0"	8'-0"		
25	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
26	LEVEL 1 FF	2'-6"	4'-0"	4'-0"	8'-0"		
27	LEVEL 1 FF	2'-9"	2'-9"	5'-3"	8'-0"		
28	LEVEL 1 FF	2'-9"	2'-9"	5'-3"	8'-0"		
29	LEVEL 1 FF	2'-9"	2'-9"	5'-3"	8'-0"		
30	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
31	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
32	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
33	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
34	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
35	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
36	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
37	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
38	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
39	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
40	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		

1 LEVEL 1 FLOOR PLAN
3/16" = 1'-0"

REV	DATE	DESCRIPTION
0	6/14/2017	PRELIMINARY DESIGN
1	9/17/2018	REVIEW SET
2	10/09/2018	PLANNING SUBMITTAL SET
3	04/29/2019	PLANNING RESUBMITTAL
4		

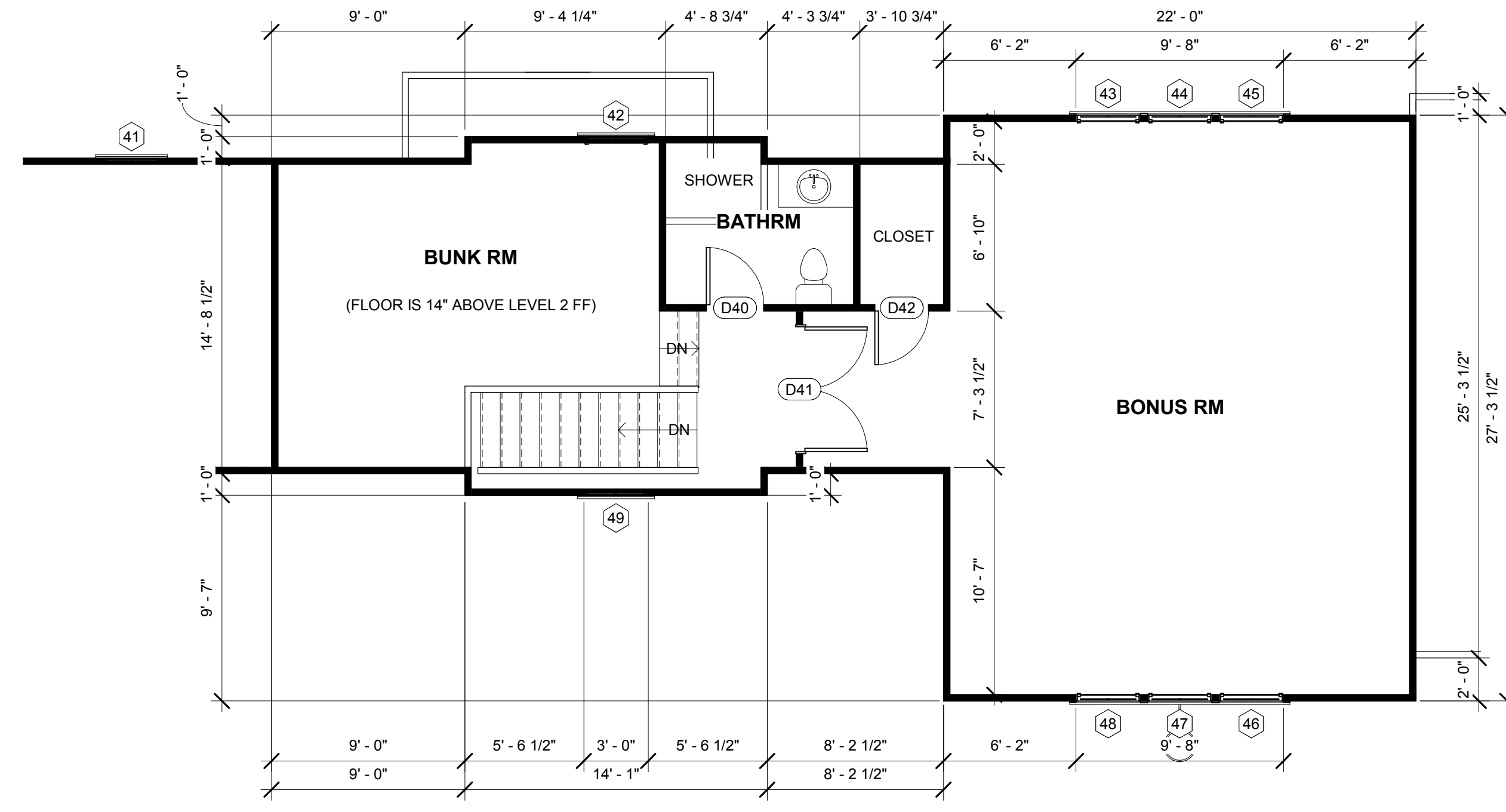
PROJECT NAME:
**NEW SINGLE FAMILY HOME:
VERDURA RESIDENCE**

PROJECT ADDRESS:
TBD LA HONDA ROAD
SAN GREGORIO, CA 94074

PROJECT SCOPE:
CONSTRUCTION OF (N) SINGLE
FAMILY HOME W/ ATTACHED
GARAGE

SHEET TITLE
**LEVEL 1
FLOOR PLAN**

SHEET
A2.1



1 LEVEL 2 FLOOR PLAN
3/16" = 1'-0"

REV	DATE	DESCRIPTION
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3	04/29/2019	PLANNING RESUBMITTAL
4		

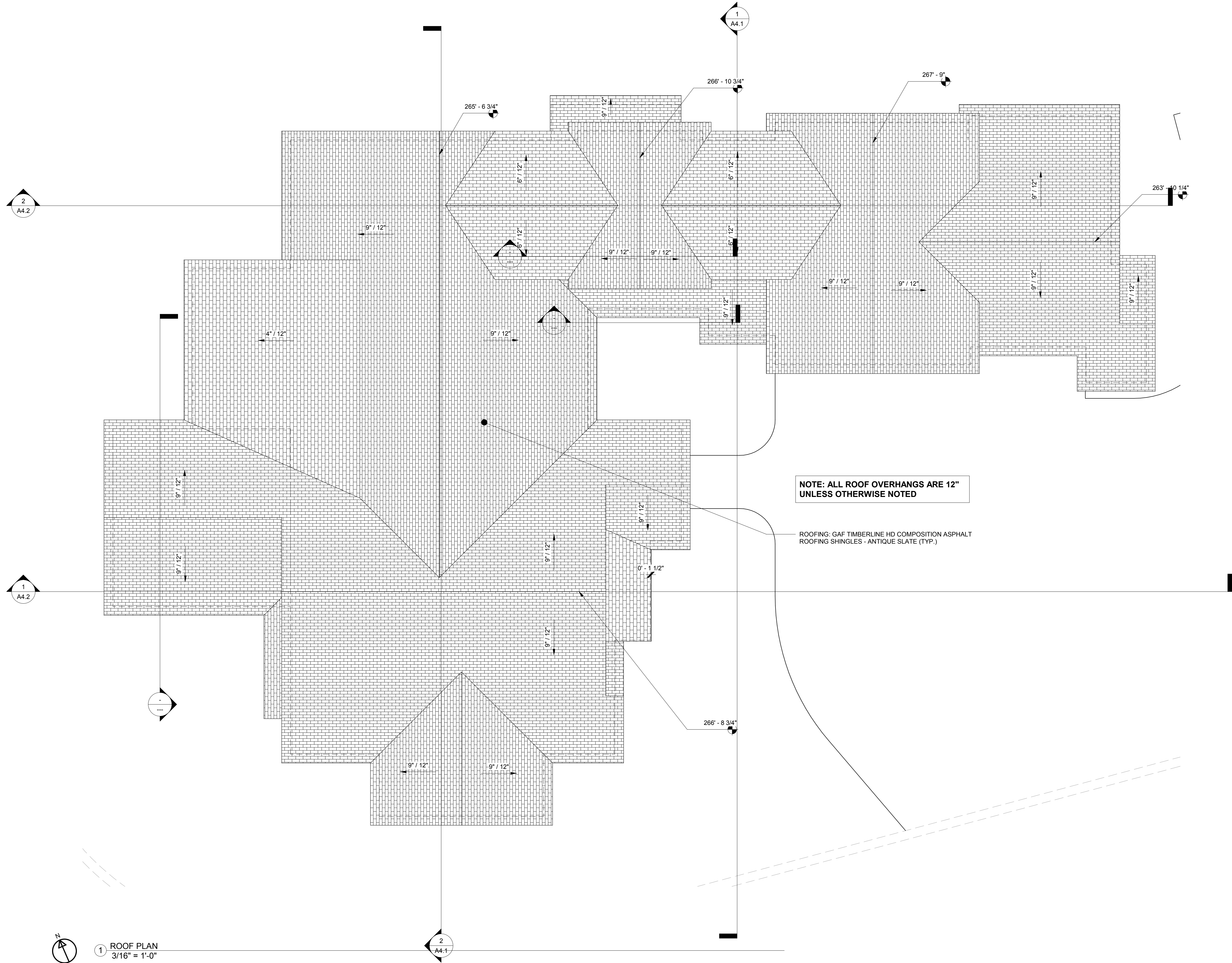
PROJECT NAME:
**NEW SINGLE FAMILY HOME:
 VERDURA RESIDENCE**

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 TBD LA HONDA ROAD
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PROJECT SCOPE:
 CONSTRUCTION OF (N) SINGLE
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 GARAGE

SHEET TITLE
**LEVEL 2
 FLOOR PLAN**

SHEET
A2.2



1 ROOF PLAN
3/16" = 1'-0"

NOTE: ALL ROOF OVERHANGS ARE 12"
UNLESS OTHERWISE NOTED

ROOFING: GAF TIMBERLINE HD COMPOSITION ASPHALT
ROOFING SHINGLES - ANTIQUE SLATE (TYP.)



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4		

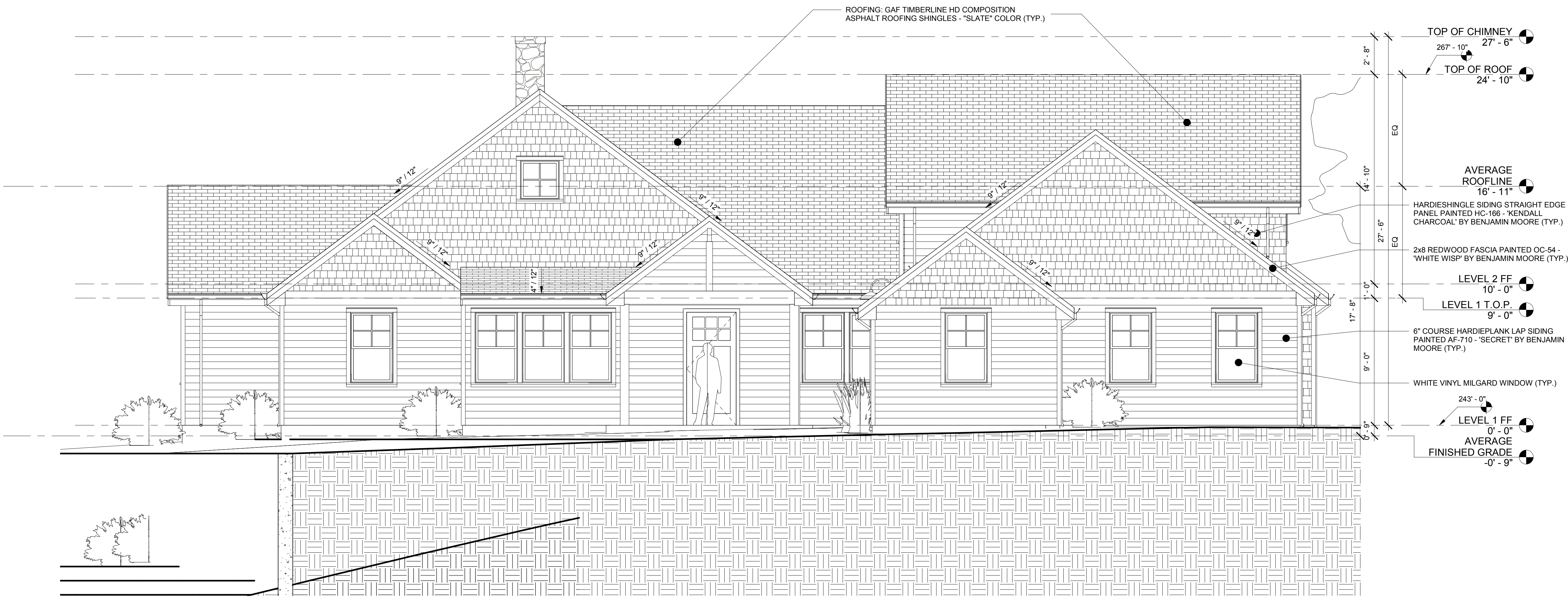
PROJECT NAME:
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PROJECT SCOPE:
CONSTRUCTION OF (N) SINGLE
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SHEET TITLE
ROOF PLAN

SHEET
A2.3



1 EAST ELEVATION
1/4" = 1'-0"

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0	6/14/2017	PRELIMINARY DESIGN
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3	04/29/2019	PLANNING RESUBMITTAL
4		

PROJECT NAME:
**NEW SINGLE FAMILY HOME:
VERDURA RESIDENCE**

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SAN GREGORIO, CA 94074

PROJECT SCOPE:
CONSTRUCTION OF (N) SINGLE
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GARAGE

SHEET TITLE

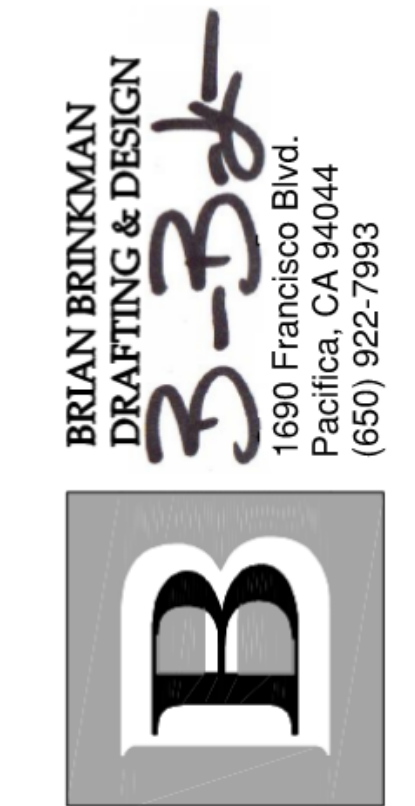
**EAST
ELEVATION**

SHEET

A3.1



1 SOUTH ELEVATION
3/16" = 1'-0"



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3	04/29/2019	PLANNING RESUBMITTAL
4		

PROJECT NAME:
**NEW SINGLE FAMILY HOME:
VERDURA RESIDENCE**

PROJECT ADDRESS:
TBD LA HONDA ROAD
SAN GREGORIO, CA 94074

PROJECT SCOPE:
CONSTRUCTION OF (N) SINGLE
FAMILY HOME W/ ATTACHED
GARAGE

SHEET TITLE
**SOUTH
ELEVATION**

SHEET
A3.2



① WEST ELEVATION
3/16" = 1'-0"

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3	04/29/2019	PLANNING RESUBMITTAL
4		

PROJECT NAME:
**NEW SINGLE FAMILY HOME:
 VERDURA RESIDENCE**

PROJECT ADDRESS:
 TBD LA HONDA ROAD
 SAN GREGORIO, CA 94074

PROJECT SCOPE:
 CONSTRUCTION OF (N) SINGLE
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SHEET TITLE
**WEST
 ELEVATION**

SHEET
A3.3



1 NORTH ELEVATION
3/16" = 1'-0"



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PROJECT NAME:
**NEW SINGLE FAMILY HOME:
VERDURA RESIDENCE**

PROJECT ADDRESS:
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SAN GREGORIO, CA 94074

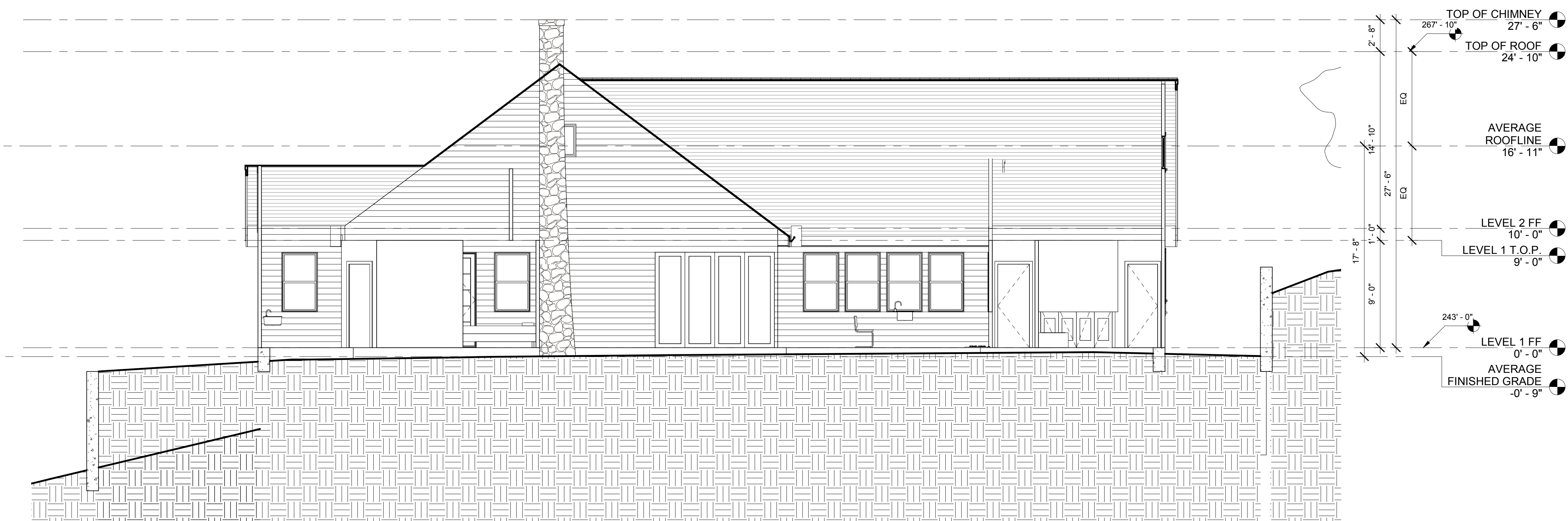
PROJECT SCOPE:
CONSTRUCTION OF (N) SINGLE
FAMILY HOME W/ ATTACHED
GARAGE

SHEET TITLE
**NORTH
ELEVATION**

SHEET
A3.4



1 TRANSVERSE SECTION 1
3/16" = 1'-0"



2 TRANSVERSE SECTION 2
3/16" = 1'-0"



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3	04/29/2019	PLANNING RESUBMITTAL
4		

PROJECT NAME:
**NEW SINGLE FAMILY HOME:
VERDURA RESIDENCE**

PROJECT ADDRESS:
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SAN GREGORIO, CA 94074

PROJECT SCOPE:
CONSTRUCTION OF (N) SINGLE
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GARAGE

SHEET TITLE
**TRANSVERSE
SECTIONS**



① LONGITUDINAL SECTION 1
3/16" = 1'-0"



② LONGITUDINAL SECTION 2
3/16" = 1'-0"

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3	04/29/2019	PLANNING RESUBMITTAL
4		

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 VERDURA RESIDENCE**

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 SAN GREGORIO, CA 94074

PROJECT SCOPE:
 CONSTRUCTION OF (N) SINGLE
 FAMILY HOME W/ ATTACHED
 GARAGE

SHEET TITLE
**LONGITUDINAL
 SECTIONS**