

December 6, 2019

Jen Jacinto  
303 Twin Dolphin Drive  
Redwood City, CA 94065

Dear Mr. Jacinto:

SUBJECT: Coastside Design Review Continuance  
1120 Columbus Drive, El Granada  
APN 047-275-050; County File No. PLN 2017-00296

At its November 14, 2019 meeting, the San Mateo County Coastside Design Review Committee (CDRC) considered your application for a Design Review Permit to allow a Major Modification to a residence (2,428 sq. ft.) previously recommended for approval by the CDRC on February 8, 2018 and approved by the Planning Department on March 2, 2018. The proposed modification includes raising the ground level elevation of the rear yard by 4.5 to 5 feet, removing and replacing the approved trees and bushes in the rear yard with low ground cover, removing the approved rear yard landscape wall, reducing the quantity of side yard landscaping, orienting the rear deck stairs towards the left side yard, and adding metal railings along the side yard retaining walls. The project would involve 450 cubic yards (c.y.) of grading (285 c.y. cut, 165 c.y. fill), an increase of 165 c.y. of fill from the original approval. This project qualifies for a Coastal Development Permit Exemption and is not appealable to the California Coastal Commission. Due to the associated staff level Grading Permit, the CDRC will not render a decision, but will make a recommendation regarding the project's compliance with the Design Review Standards.

The CDRC was unable to make the findings for a design review approval based on certain design deficiencies. In order to resolve these deficiencies in the project's design, a more thorough review of "Standards for Design for One-Family and Two-Family Residential Development in the Midcoast" manual is required. As such, requirements from the CDRC for further project redesign are as follows:

1. Recommendations Discussed Include:
  - a. Submit plans to include as-built plans that clearly illustrate deviations from the approved plan set. Deviations shall be shown in clouding and tagging notations.
  - b. A survey of the as-built conditions that clearly illustrates the new grades and extent of grading that occurred on the neighboring (Adams) property shall be provided.



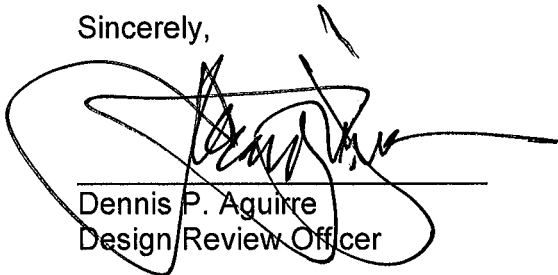
- c. Revised Civil and architectural drawings to reflect as-built conditions shall be provided. These drawings shall include the intended design, the retaining walls, proposed cut and fill quantities, the finished grade from both the subject property and the Adams property, updated erosion control measures, and any changes to the drainage plan.
- d. Provide a copy of the agreement with the adjacent property owner (Ms. Erica Adams) to the left permitting access and grading on the adjacent property.
- e. An arborist report shall be required. The report shall assess all trees on the property and all adjacent trees that have been affected by construction activities. The report shall clearly discuss the health of the trees, how (or if) the trees have been impacted by the development and provide recommended tree protection measures.

As such, you were presented with the following available options at the end of the CDRC's deliberation of the project: (1) request for a decision from the CDRC on the plans presented or (2) request that the project be considered at the next meeting to provide you with ample time to consider and incorporate the elements recommended for project redesign. You chose the second option, and the CDRC directed staff to schedule your project for consideration at a later date.

Please contact Laura Richstone, Project Planner, at 650/363-1829 or [lrichstone@smcgov.org](mailto:lrichstone@smcgov.org), if you have any questions.

To provide feedback, please visit the Department's Customer Survey at the following link: <http://planning.smcgov.org/survey>.

Sincerely,



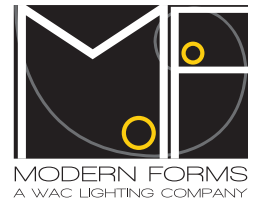
Dennis P. Aguirre  
Design/Review Officer

cc: Bahram Abolmoluki, Owners  
Bruce Chan, Member Landscape Architect  
Katie Kostiuik, Member Architect  
Chris Johnson, El Granada Community Representative  
Ed Abell, Interested Member of the Public

DPA:LAR;cmc – LARDD0631\_WCN.DOCX

# URBAN – model: WS-W11

## LED Outdoor Sconce Luminaire

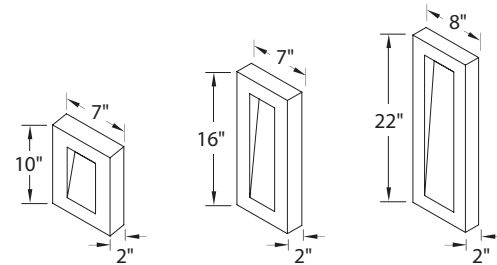


Fixture Type:

Catalog Number:

Project: \_\_\_\_\_

Location: \_\_\_\_\_



### PRODUCT DESCRIPTION

Like urban renewal, the Urban sconce gives new life to the conventional step baffle. Form follows function in this simplified indirect wall sconce. Clean styling and robust LED performance are combined in this modern dark sky luminaire.

### FEATURES

- ETL & cETL listed for wet locations. IP65
- Interior light and down light
- Low profile design
- Replaceable LED module
- 277V option available *special order*
- 50,000 hour potential life
- **Color Temp: 3000K**
- **CRI: 85**

### SPECIFICATIONS

**Construction:** Aluminum.

**Power:** No driver or transformer required.

**Light Source:** High output LED.

**Dimming:** Dims to 10% with an electronic low voltage (ELV) dimmer.

**Mounting:** Mounts directly to junction box.

**Finish:** Black (BK), Bronze (BZ), Graphite (GH), White (WT).

**Standards:** ETL & cETL listed. ADA compliant. Dark Sky friendly. IP65. Wet location.

### ORDER NUMBER

Model	Height	Watt	# of LEDs	LED Lumens	Photometric Lumens	Finish
WS-W11	10	10"	12W	3	720	370
	16	16"	16W	4	960	490
	22	22"	20W	5	1200	610
						<b>BK</b> Black <b>BZ</b> Bronze <b>GH</b> Graphite <b>WT</b> White

### REPLACEMENT GLASS

Model	Fixture	Description
<b>RPL-GLA-1110-01</b>	WS-W1110	Top Lens
<b>RPL-GLA-1110-02</b>		Bottom Lens
<b>RPL-GLA-1116-01</b>	WS-W1116	Top Lens
<b>RPL-GLA-1116-02</b>		Bottom Lens
<b>RPL-GLA-1122-01</b>	WS-W1122	Top Lens
<b>RPL-GLA-1122-02</b>		Bottom Lens

### Back Plate Dimensions:

Model	Dimension
<b>WS-W1110</b>	10"L x 7"W x 2"H
<b>WS-W1116</b>	18"L x 7"W x 2"H
<b>WS-W1122</b>	22"L x 8"W x 2"H

**WS-W11**  -

Example: **WS-W1116-GH**

For 277V special order, add an "F" before the finish: **WS-W1116F-GH**

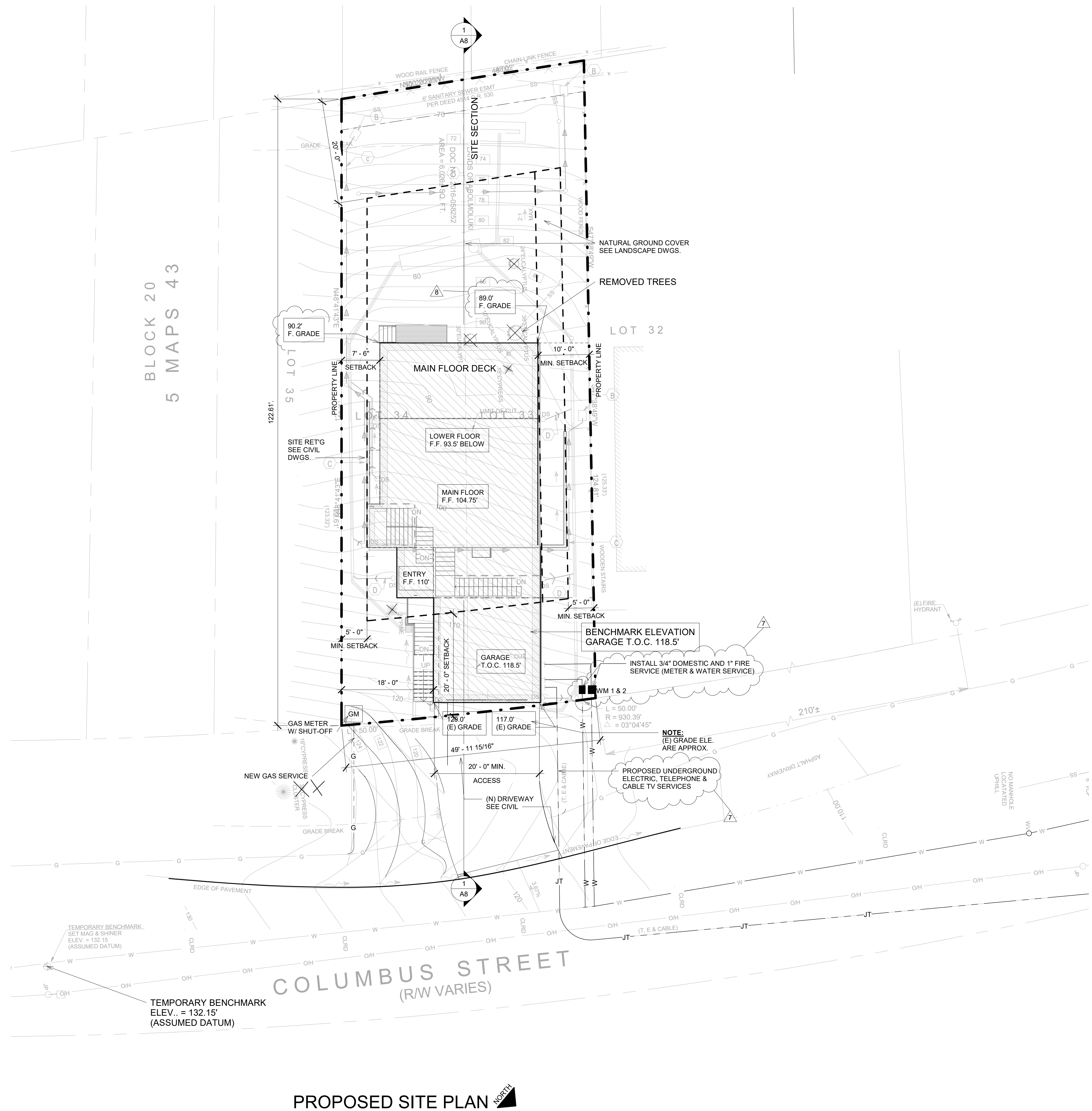
modernforms.com  
Phone (800) 526.2588  
Fax (800) 526.2585

Headquarters/Eastern Distribution Center  
44 Harbor Park Drive  
Port Washington, NY 11050

Central Distribution Center  
1600 Distribution Ct  
Lithia Springs, GA 30122

Western Distribution Center  
1750 Archibald Avenue  
Ontario, CA 91760





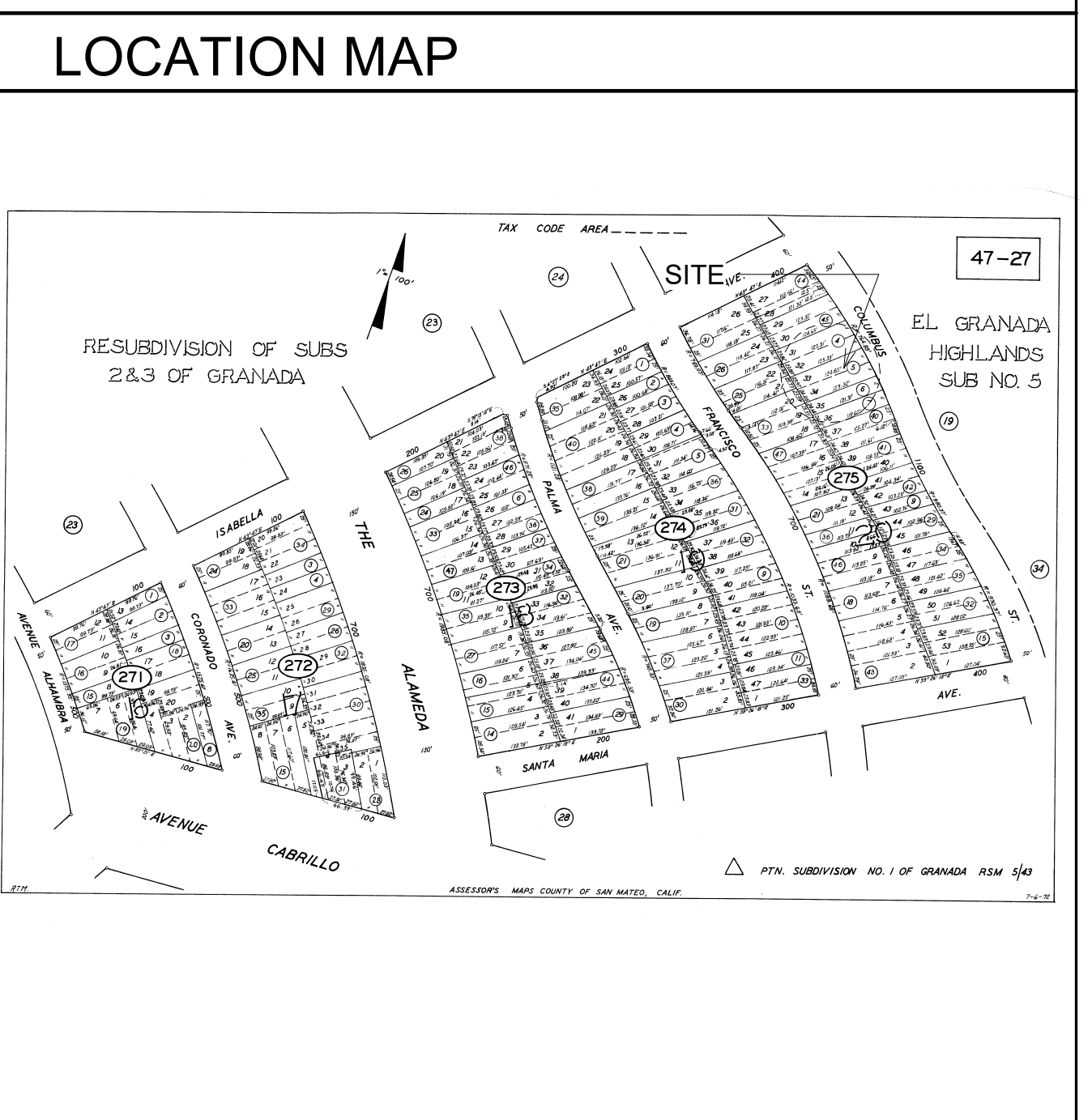
BLOCK 20  
5 MAPS 43

COLUMBUS STREET  
(R/W VARIES)

PROPOSED SITE PLAN

### PLANNING DATA

GROSS LOT AREA	=	6026 SF	
ZONING-S-17 COMBING DISTRICT(MID COAST)			
ALLOWABLE FLOOR AREA	=	3193.78 SF	
<b>PROPOSED FLOOR AREAS</b>			
MAIN LEVEL		1081 SF	}
LOWER LEVEL	=	1281 SF	
LIVING SUBTOTAL	=	2362 SF	
FRONT PORCH	=	25 SF	
GARAGE	=	437 SF	
TOTAL	=	2824 SF	
FLOOR AREA RATIO	=	46.86%	
<b>SETBACKS</b>			
FRONT	=	20'	}
SIDES COMBINED TOTAL OF 15'	=	5' MIN.	
REAR	=	20'	
PARCEL COVERAGE 35% MAX.	=	2109.1 SF	} 34.4%
PROPOSED COVERAGE	=	2074 SF	
HEIGHT LIMIT	=	28'	

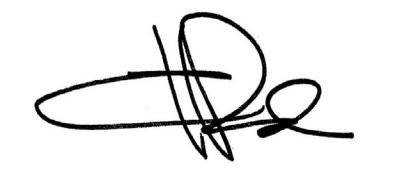


### SITE PLAN NOTES

- SEE CIVIL DRAWINGS FOR ALL SITE GRADING ETC. TYPICAL.



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WEB CHRISTIANRUFFAT.COM  
LIC. # 48803



**ABOLMOLUKI  
RESIDENCE**  
APN 047-275-050  
COLUMBUS ST.  
EL GRANADA, CA.

REVISIONS	DESCRIPTION	DATE	BY
1	PLANNING	8-24-17	CR
2	PLANNING 2	9-25-17	CR
3	PLANNING 3	12-15-17	CR
4	PLANNING 4	1-2-18	CR
5	PLAN CHECK RESPONSES	7-1-18	CR
6			
7	OWNER REVISION	10/21/19	CR
8	OWNER REVISION	5/20/20	CR

DATE 10/8/18 Drawing Number  
Scale 1" = 10'-0" **A1**  
Project Number  
AB03





August 15, 2017

Jen Jacinto  
680 Walnut Street  
San Carlos, CA 94070

Dear Applicant,

After reviewing the planning application for a new Single Family Residence with an attached garage at 0 Columbus Street, Assessor's Parcel Number 047-275-050 in El Granada (San Mateo County Permit No. PLN2017-00296) I offer the following comments/conditions, which will be applied to this project:

Your building plans have been **conditionally approved** subject to the following conditions completed prior to a final inspection by the fire department. It is your responsibility to make contact with the fire department if you do not understand any of the following project conditions.

- **Smoke Detectors which are hard wired:** As per the California Building Code, State Fire Marshal regulations, and Coastside Fire District Ordinance 2016-01, the applicant is required to install State Fire Marshal approved and listed smoke detectors which are **hard wired, interconnected, and have battery back-up**. These detectors are required to be placed in each new and reconditioned sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. In existing sleeping rooms, areas may have battery powered smoke alarms. A minimum of one detector shall be placed on each floor. Smoke detectors shall be tested and approved prior to the building final.
- Add note to plans smoke alarm/detector are to be hardwired, interconnected, or with battery back-up. Smoke alarms to be installed per manufactures instruction and NFPA 72
- Add note: Escape or rescue windows shall have a minimum net clear openable area of 5.7 square feet, 5.0 sq. ft. allowed at grade. The minimum net clear openable height dimension shall be 24 inches. The net clear openable width dimension shall be 20 inches. Finished sill height shall be not more than 44 inches above the finished floor.

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1

- Identify rescue windows in each bedroom and verify that they meet all requirements. Add this to plans.
- **Occupancy Separation:** As per the 2016 CBC, Section 406.1.4, a one-hour occupancy separation wall shall be installed with a solid core, 20-minute fire rated, self-closing door assembly w/ smoke gasket between the garage and the residence. All electrical boxes installed in rated walls shall be metal or protected.
- **Address Numbers:** As per Coastside Fire District Ordinance 2016-01, building identification shall be conspicuously posted and visible from the street. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE). The letters/numerals for permanent address signs shall be **4 inches** in height with a minimum 3/4-inch stroke. Such letters/numerals shall be internally illuminated and facing the direction of access. Finished height of bottom of address light unit shall be greater than or equal to 6 feet from finished grade. When the building is served by a long driveway or is otherwise obscured, a 6 inch by 18 inch green reflective metal sign with 3 inch reflective Numbers/ Letters similar to Hy-Ko 911 or equivalent shall be placed at the entrance from the nearest public roadway. See Fire Ordinance for standard sign.
- **Roof Covering:** As per Coastside Fire District Ordinance 2016-01, the roof covering of every new building or structure, and materials applied as part of a roof covering assembly, shall have a minimum fire rating of Class "B" or higher as defined in the current edition of the California Building Code.

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D, road width shall not be less than 20 feet. Fire access roads shall be installed and made serviceable prior to combustibles being placed on the project site and maintained during construction. Approved signs and painted curbs or lines shall be provided and maintained to identify fire access roads and state the prohibition of their obstruction. If the road width does not allow parking on the street (20 foot road) and on-street parking is desired, an additional improved area shall be developed for that use.

- Fire apparatus access roads to be an approved all weather surface. Grades 15% or greater to be surfaced w/ asphalt, or brushed concrete. Grades 15 % or greater shall be limited to 150 ft. in length with a minimum of 500 ft. between the next section. For roads approved less than 20 ft., 20 ft. wide turnouts shall be on each side of 15% or greater section. No grades over 20%. (Plan and profile required) CFC 503
- **Fire Hydrant:** As per 2016 CFC, Appendix B and C, a fire district approved fire hydrant (Clow 960) must be located within 500 feet of the proposed single-family dwelling unit measured by way of drivable access. As per 2016 CFC, Appendix B the hydrant must produce a minimum fire flow of 1,000 gallons per minute at 20 pounds per square inch residual pressure for 2 hours. Contact the local water purveyor for water flow details.
- **Automatic Fire Sprinkler System:** As per San Mateo County Building Standards and Coastside Fire District Ordinance Number 2016-01, the applicant is required to install an automatic fire sprinkler system **throughout** the proposed or improved dwelling and garage. All attic access locations will be provided with a pilot head on a metal upright. All areas that are accessible for storage purposes shall be equipped with fire sprinklers including closets and bathrooms. The only exception is small linen closets less than 24 square feet with full depth shelving. The plans for this system must be submitted to the San Mateo County Planning and Building Division or The City of HMB. A building permit **will not** be issued until plans are received, reviewed and approved. Upon submission of plans, the County or City will forward a complete set to the Coastside Fire District for review. The fee schedule for automatic fire sprinkler systems shall be in accordance with Half Moon Bay Ordinance No. 2006-01. Fees shall be paid prior to plan review.
- Installation of underground sprinkler pipe shall be flushed and visually inspected by Fire District prior to hook-up to riser. Any soldered fittings must be pressure tested with trench open.
- **Exterior bell and interior horn/strobe:** are required to be wired into the required flow switch on your fire sprinkler system. The bell, horn/strobe and flow switch, along with the garage door opener are to be wired into a separate circuit breaker at the main electrical panel and labeled.

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- Add note to the title page that the building will be protected by an automatic fire sprinkler system.
- All fire conditions and requirements must be incorporated into your building plans, (see attached conditions) prior to building permit issuance. It is your responsibility to notify your contractor, architect and engineer of these requirements.

Our review is not construed as encompassing the structural integrity of the facility nor abrogating more restrictive requirements by other agencies having responsibility. Final acceptance is subject to field inspection and necessary tests.

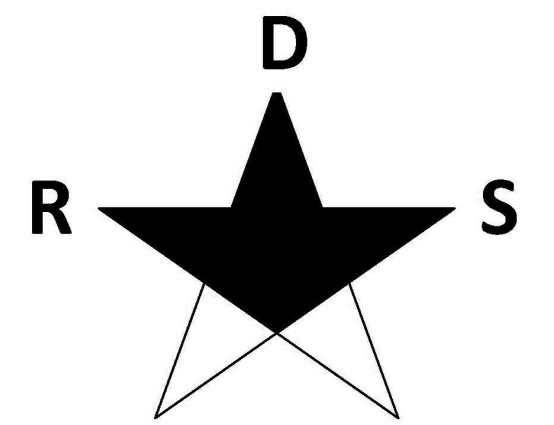
If you have any questions regarding the above conditions, please call the administration office during normal working hours.

Respectfully,  
Randy Amores  
Deputy Fire Marshal  
CAL FIRE/Coastside Fire Protection District

cc: San Mateo County Planning & Building  
File

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4



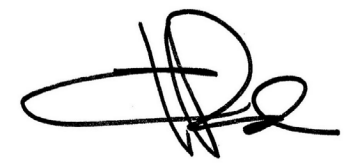
## RESIDENTIAL DESIGN SOLUTIONS

406 LA JOLLA AVENUE  
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(650) 218-8161

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WEB CHRISTIANRUFFAT.COM

LIC. # 48803



# ABOLMOLUKI RESIDENCE

APN 047-275-050  
COLUMBUS ST.  
EL GRANADA, CA.

	DESCRIPTION	DATE	BY
REVISIONS	1		
	2		
	3		
	4		
	5		
	6		
	7		
	8		

DATE

10/8/18

Scale

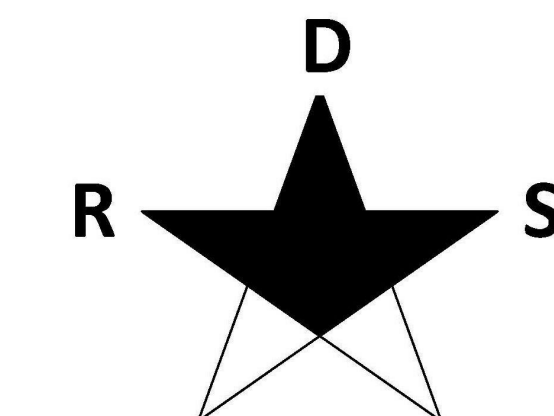
Drawing Number

# A1.2

Project Number

AB03



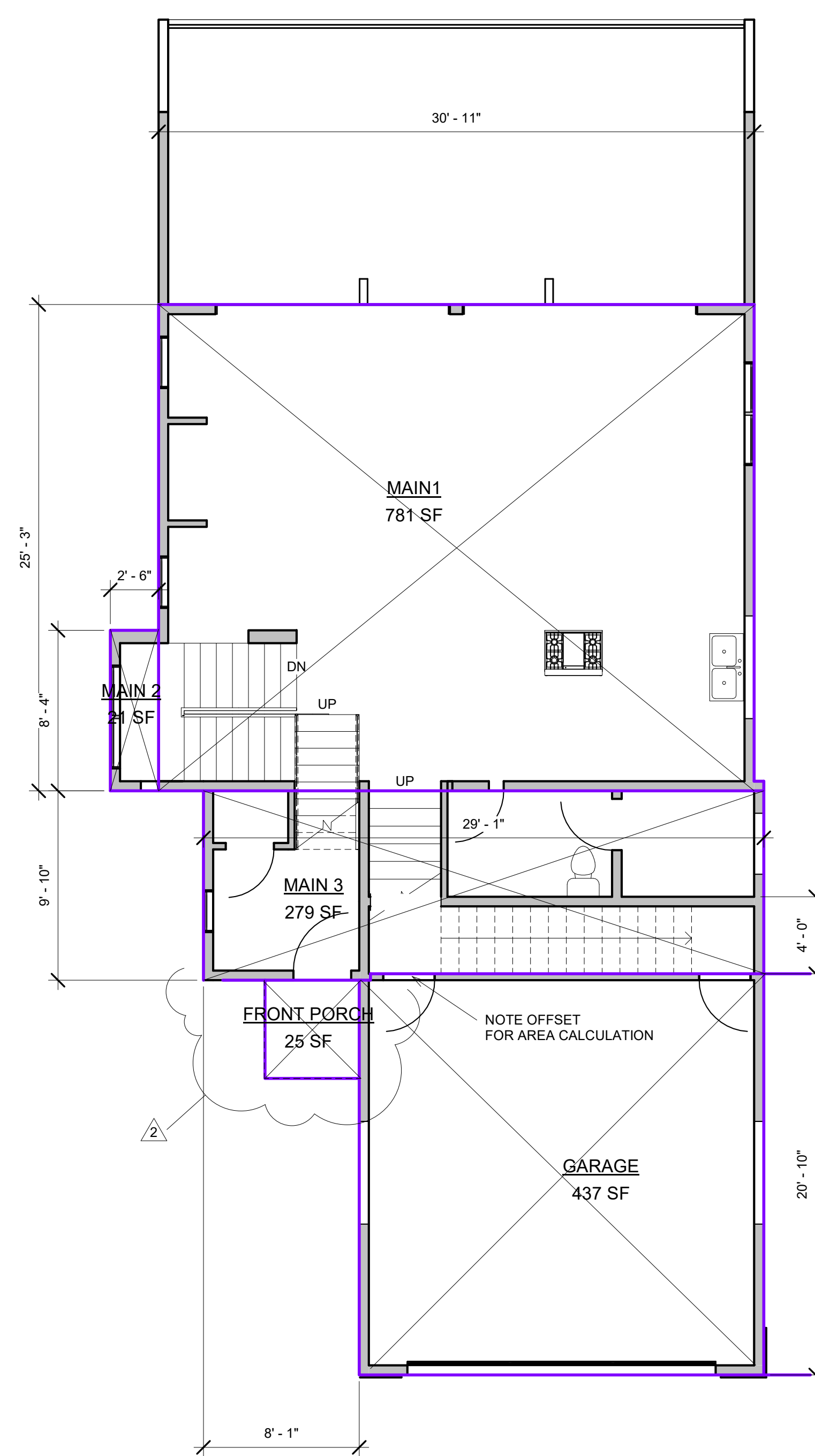


**RESIDENTIAL  
DESIGN SOLUTIONS**

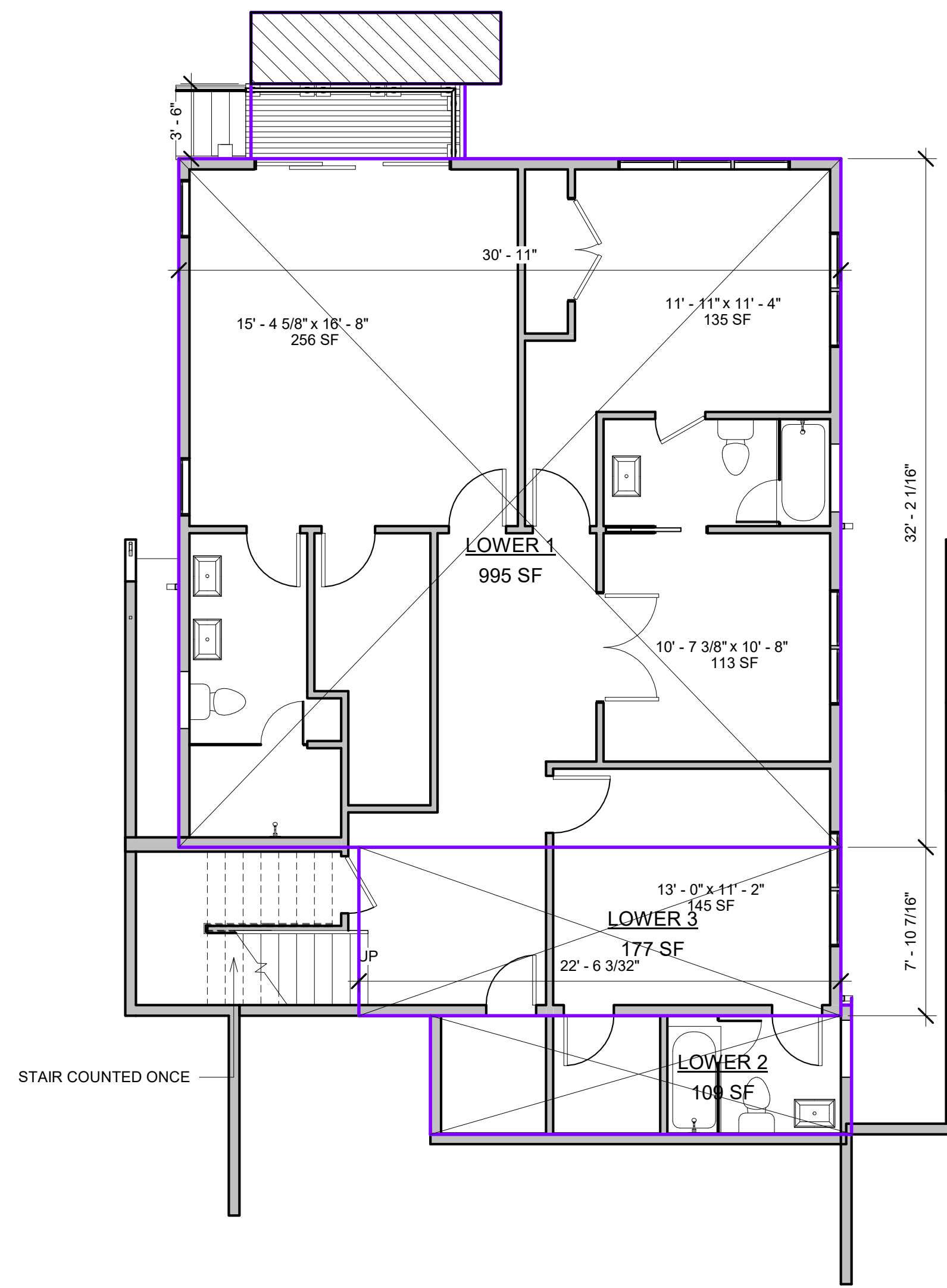
406 LA JOLLA AVENUE  
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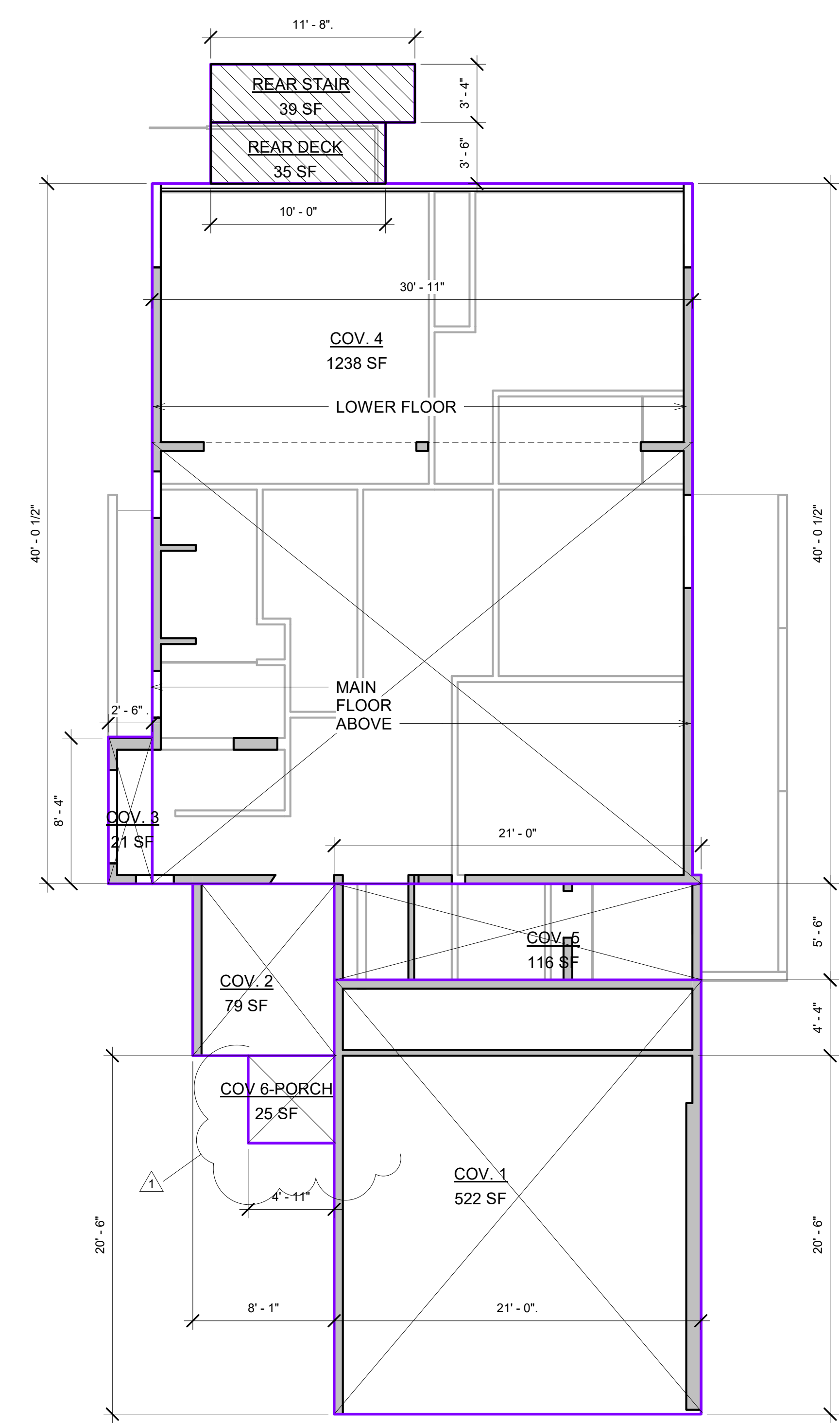


MAIN FLOOR AREAS



GROSS BUILDING AREA		
Area	Size	Name
25 SF	5'X5'	FRONT PORCH
437 SF	21'X20'10"	GARAGE
995 SF	30'11"x32'2"+	LOWER 1
109 SF	19'8"x5'6.5"	LOWER 2
177 SF	22'6"x7'10"+	LOWER 3
781 SF	30'11'X25'3"	MAIN1
21 SF	2.5'X8'4.75"	MAIN 2
279 SF	29'1'X9'8"	MAIN 3
2824 SF		

LOWER FLOOR AREAS



LOT COVERAGE

LOT COVERAGE		
Area	Size	Name
25 SF	5'X5'	COV 6-PORCH
522 SF	21'X24'10"	COV. 1
79 SF	8'2"X9'10"	COV. 2
21 SF	2'6"X8'4"+	COV. 3
1238 SF	30'11'X40'+	COV. 4
116 SF	21'X5'6"	COV. 5
35 SF	10'X3'6"	REAR DECK
39 SF	11'8'X3'4"	REAR STAIR
2074 SF		

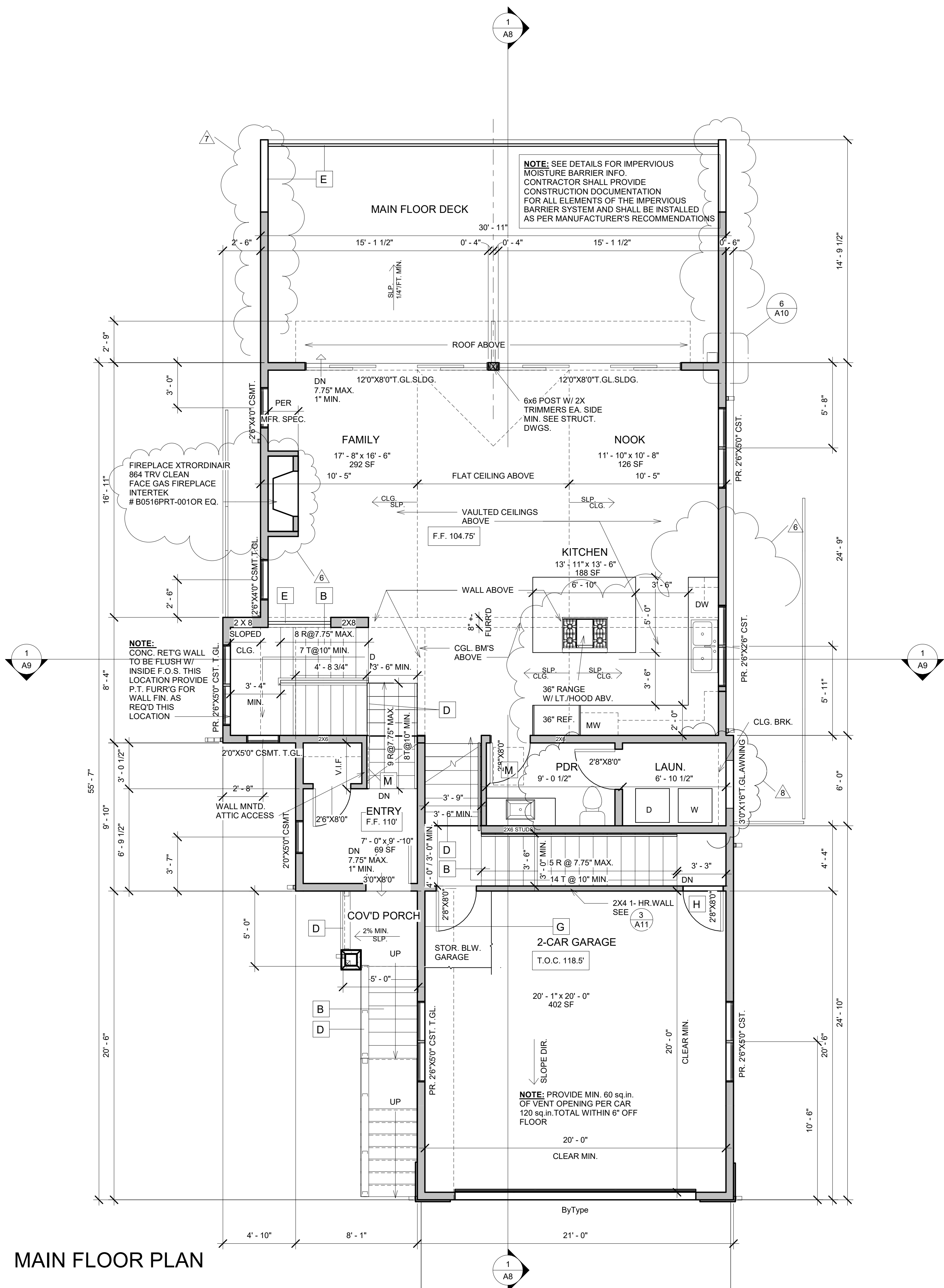
REVISIONS	DESCRIPTION	DATE	BY
1	PLANNING	8-24-17	CR
2	PLANNING 2	9-25-17	CR
3	PLANNING 3	12-15-17	CR
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5			
6			
7			
8			

DATE 10/8/18 Drawing Number

Scale 3/16" = 1'-0" **A1.3**

Project Number AB03

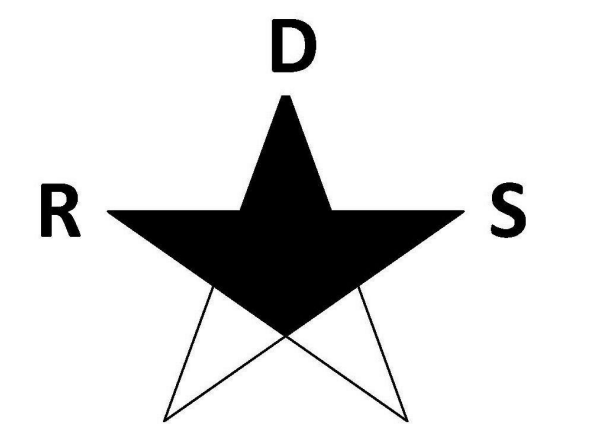




**CONDENSED PLAN SYMBOLS:**

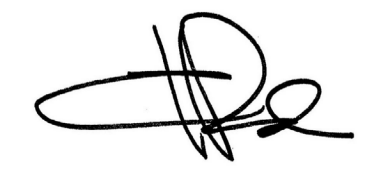
- A** PROVIDE SWIMMING POOL BARRIERS AT ALL DOORS WITH DIRECT ACCESS TO SWIMMING POOL, WITH AN AUDIBLE ALARM W/ A DISCONNECT MOUNTED 54" ABOVE THRESHOLD OR APPROVED SELF-CLOSING SELF LATCHING DEVICE (CRC - AG105.2.29)
- B** STAIR RISERS AND TREADS: MAXIMUM RISER HEIGHT SHALL BE 7.75", MINIMUM TREAD SHALL BE 10" NOSING TO BE 3/4" MIN. 1 1/4" MAX.
- C** HEADROOM CLEARANCE ABOVE ANY STAIR RUN SHALL BE 6' - 8" MIN.
- D** HANDRAILS-STAIR WITH MORE THAN 4 OR MORE RISERS SHALL HAVE AT LEAST ONE HANDRAIL AND HANDRAIL EXTENSIONS SHALL NOT BE PLACED LESS THAN 34" NOR MORE THAN 38" ABOVE LANDING AND NOSING OF TREADS. HANDGRIPS SHALL BE 1 1/4" MIN 2" MAX. CROSS DIM. AREA PER CRC-R311.7.8.
- E** GUARDRAILS-42" MIN. HEIGHT TO BE PLACED ALONG OPEN SIDES OF WALKING AREAS, STAIRS AND LANDINGS LOCATED 30" ABOVE FLOOR OF EXTERIOR GRADE.
- F** ALL UNDER STAIR AREAS USED AS STORAGE OR IS ACCESSIBLE SHALL BE PROTECTED W/ 1/2" GYP. BD. (MIN.) ON ALL SURFACES. (CRC-R302.7).
- G** GARAGE WALLS AND CEILINGS SEPARATING THE GARAGE AND THE DWELLING UNIT SHALL HAVE 1 LAYER (MIN.) OF 1/2" GYP. BD. APPLIED ON THE GARAGE SURFACE (ALL SURFACES) CEILINGS BELOW HABITABLE ROOMS IN THE GARAGE SHALL BE PROTECTED BY LAYER OF 5/8" TYPE "X" GYP. BD. (CRC-R302.6).
- H** DOORS TO THE GARAGE SHALL BE 1 3/8" MIN. SOLID CORE (RATED) W/ CLOSER IF APPLICABLE.
- I** GARAGE SLABS ARE TO SLOPED TOWARDS GARAGE DOORS 1/8" PER FOOT MIN. OR AS PER CIVIL DRAWINGS
- J** TEMPERED GLASS ENCLOSURE WITH MIN. 2'-0" DOOR AS SELECTED.
- K** NEW OR RECONFIGURED SHOWER STALLS SHALL BE MIN. FINISHED INTERIOR OF 1,024 S.I. AND CAPABLE OF ENCOMPASSING A 30" DIM. CIRCLE
- L** SHOWER STALLS AND BATHTUBS INSTALLED SHALL HAVE WALLS FINISHED WITH A NON-ABSORBENT SURFACE TO A MINIMUM OF 6' - 0" ABOVE THE FLOOR (CBC 1210 & R307.2).
- M** 22" X 30" ATTIC ACCESS PANEL IF THE ATTIC CONTAINS MECHANICAL EQUIPMENT SIZE IS TO BE 30" X 30" OR AS REQUIRED FOR EQUIPMENT REMOVAL.
- N** 18" X 24" UNDER FLOOR ACCESS PANEL W/ WEATHER STRIPPING AND OR LOCKING MECHANISM.

**NOTE:** SEE WINDOW AND DOOR NOTES SHEET GN AND TITLE 24 FOR WINDOW U VALUES



**RESIDENTIAL DESIGN SOLUTIONS**

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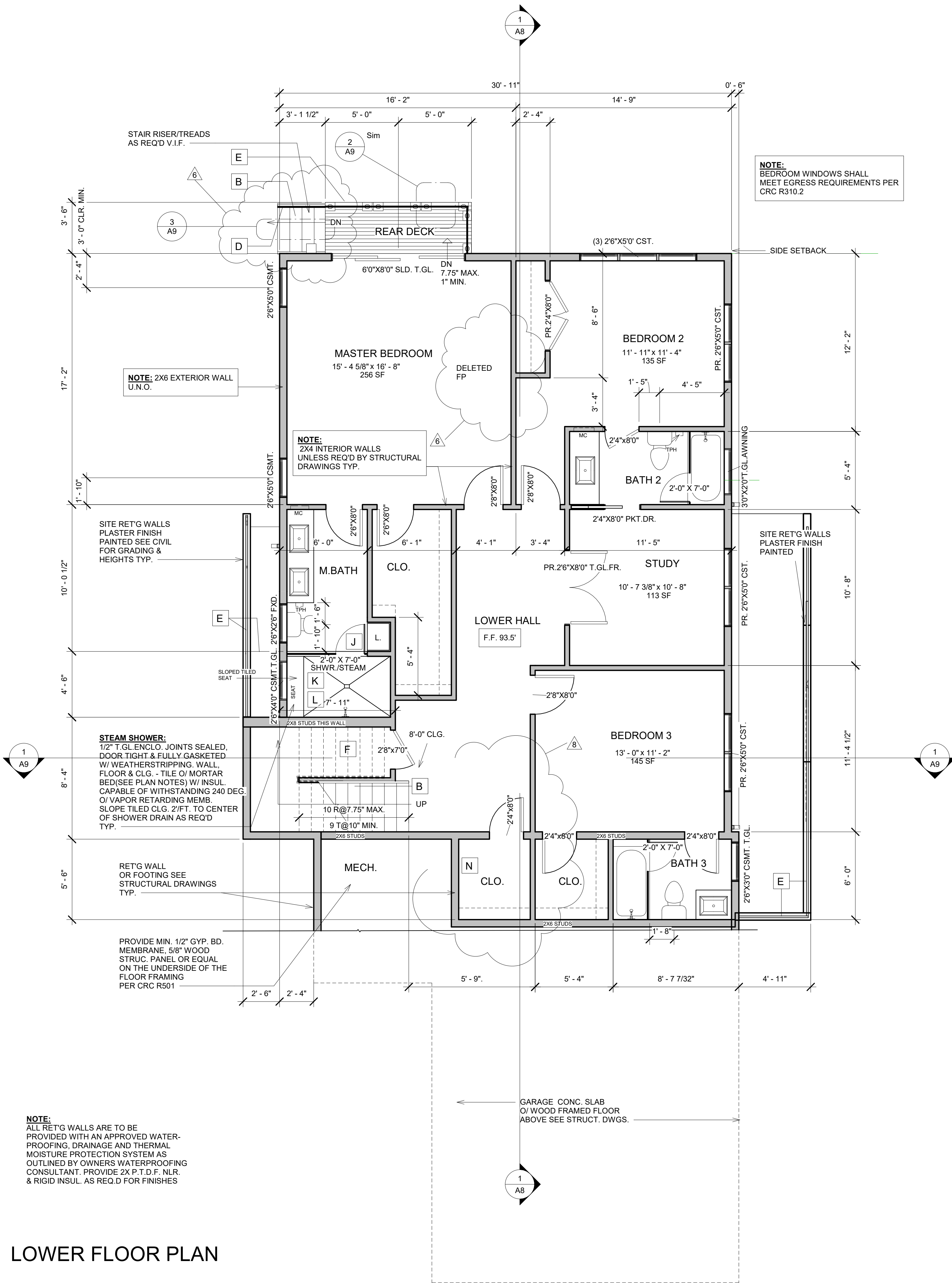


**ABOLMOLUKI RESIDENCE**  
 APN 047-275-050  
 COLUMBUS ST.  
 EL GRANADA, CA.

REVISIONS	DESCRIPTION	DATE	BY
1	PLANNING	8-24-17	CR
2	PLANNING 2	9-25-17	CR
3	PLANNING 3	12-15-17	CR
4			
5	PLAN CHECK RESPONSES	7-1-18	CR
6	OWNER	1-28-19	CR
7	OWNER REVISION	10-21-19	CR
8	OWNER REVISION	7-26-20	CR

DATE 10/8/18 Drawing Number  
 Scale 1/4" = 1'-0" **A2**  
 Project Number AB03





LOWER FLOOR PLAN

CONDENSED PLAN SYMBOLS:

- A PROVIDE SWIMMING POOL BARRIERS AT ALL DOORS WITH DIRECT ACCESS TO SWIMMING POOL, WITH AN AUDIBLE ALARM W/ A DISCONNECT MOUNTED 54" ABOVE THRESHOLD OR APPROVED SELF-CLOSING SELF LATCHING DEVICE (CRC - A6105.2.29)
- B STAIR RISERS AND TREADS: MAXIMUM RISER HEIGHT SHALL BE 7.75", MINIMUM TREAD SHALL BE 10" NOSING TO BE 3/4" MIN. 1 1/4" MAX.
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- I GARAGE SLABS ARE TO SLOPED TOWARDS GARAGE DOORS 1/8" PER FOOT MIN. OR AS PER CIVIL DRAWINGS
- J TEMPERED GLASS ENCLOSURE WITH MIN. 2' - 0" DOOR AS SELECTED.
- K NEW OR RECONFIGURED SHOWER STALLS SHALL BE MIN. FINISHED INTERIOR OF 1,024 S.I. AND CAPABLE OF ENCOMPASSING A 30" DIM. CIRCLE
- L SHOWER STALLS AND BATHTUBS INSTALLED SHALL HAVE WALLS FINISHED WITH A NON-ABSORBENT SURFACE TO A MINIMUM OF 6' - 0" ABOVE THE FLOOR (CBC 1210 & R307.2).
- M 22" X 30" ATTIC ACCESS PANEL IF THE ATTIC CONTAINS MECHANICAL EQUIPMENT SIZE IS TO BE 30" X 30" OR AS REQUIRED FOR EQUIPMENT REMOVAL.
- N 18" X 24" UNDER FLOOR ACCESS PANEL W/ WEATHER STRIPPING AND OR LOCKING MECHANISM.

CRAWL SPACE VENTING:

1/1500 X UNDERFLOOR AREA = REQUIRED VENTILATION

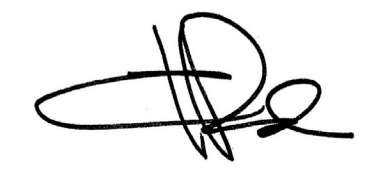
$$X \frac{1300 \text{ SF UNDERFLOOR AREA}}{0.87 \text{ SF VENTING REQUIRED}} = \frac{0.87 \text{ SF REQUIRED VENTING}}{0.45 \text{ SF}} = 2 \text{ \# OF VENTS REQUIRED MIN.}$$

PER CRC R408  
**NOTE:** PROVIDE A MECHANICAL IN-LINE CABINET FAN UNIT WITH A HUMIDISTAT CONTROLLED FAN LOCATE AND PROVIDE POWER AS REQUIRED.

**NOTE:** VENTING TO BE 3'-0" MIN. FROM BLDG. CORNERS TYP.



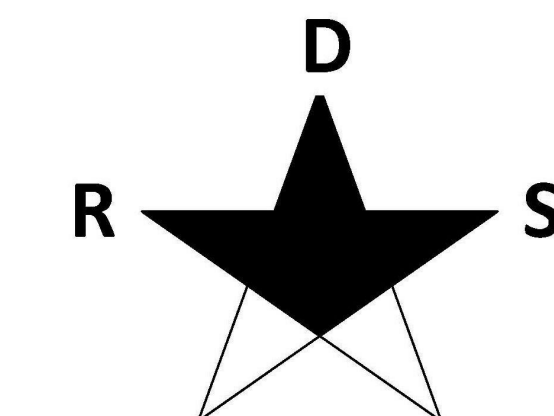
406 LA JOLLA AVENUE  
 SAN MATEO, CA 94403  
 (650) 218-8161  
 EMAIL RDS@CHRISTIANRUFFAT.COM  
 WEB CHRISTIANRUFFAT.COM  
 LIC. # 48803



ABOLMOLUKI RESIDENCE  
 APN 047-275-050  
 COLUMBUS ST.  
 EL GRANADA, CA.

REVISIONS	DESCRIPTION	DATE	BY
1	PLANNING	8-24-17	CR
2	OWNER REVISIONS	10-25-17	CR
3	PLANNING 3	12-15-17	CR
4			
5	PLAN CHECK RESPONSES	7-1-18	CR
6	OWNER REVISION	7/31/19	CR
7			
8	OWNER REVISION	7-26-20	CR





**RESIDENTIAL  
DESIGN SOLUTIONS**

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SAN MATEO, CA 94403  
(650) 218-8161  
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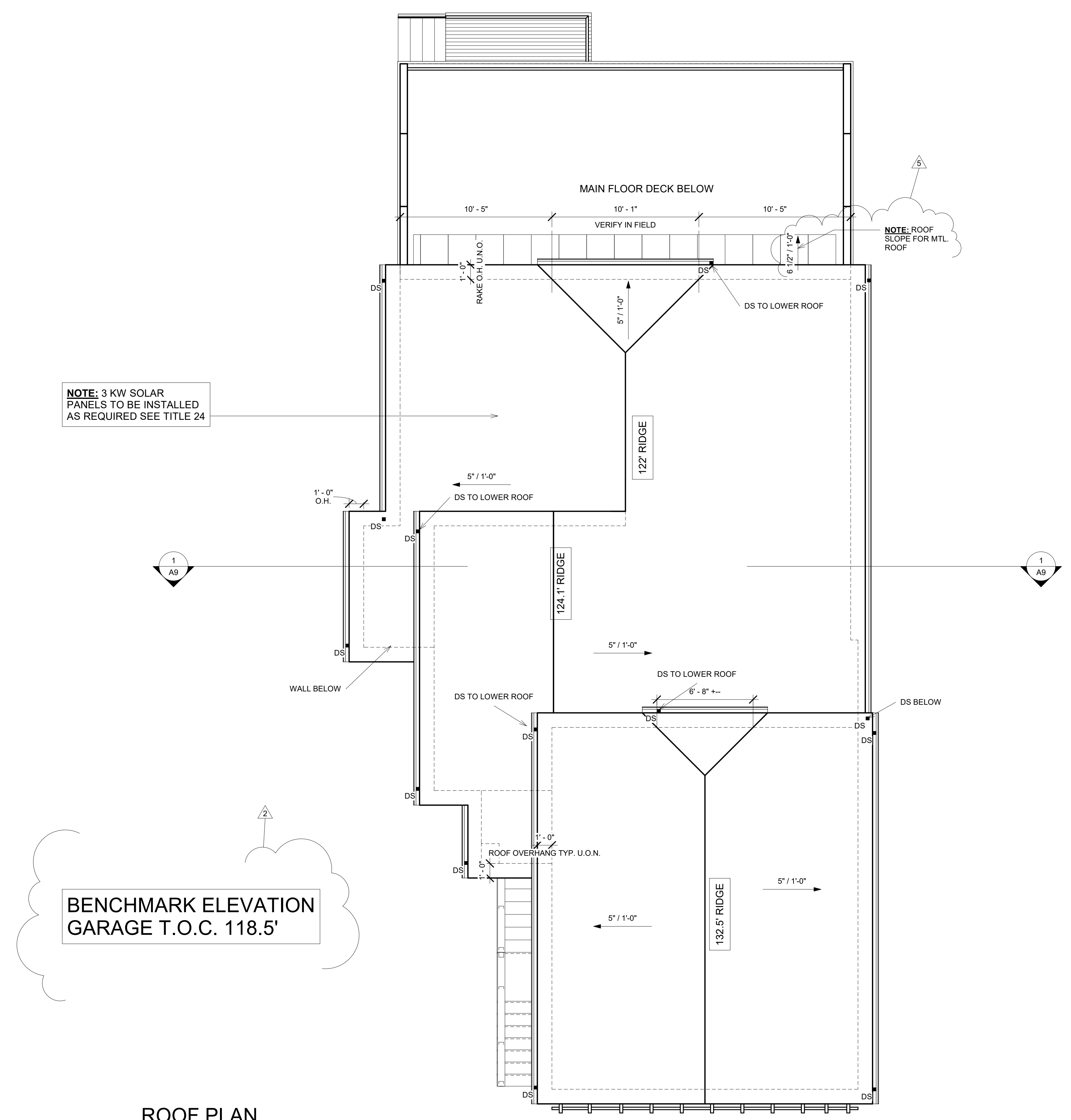
**ABOLMOLUKI  
RESIDENCE**  
APN 047-275-050  
COLUMBUS ST.  
EL GRANADA, CA.

	DESCRIPTION	DATE	BY	
REVISIONS	1	PLANNING 2	9-25-17 CR	
	2			
	3			
	4			
	5	PLAN CHECK RESPONSES	7-1-18	CR
	6			
	7			
	8			

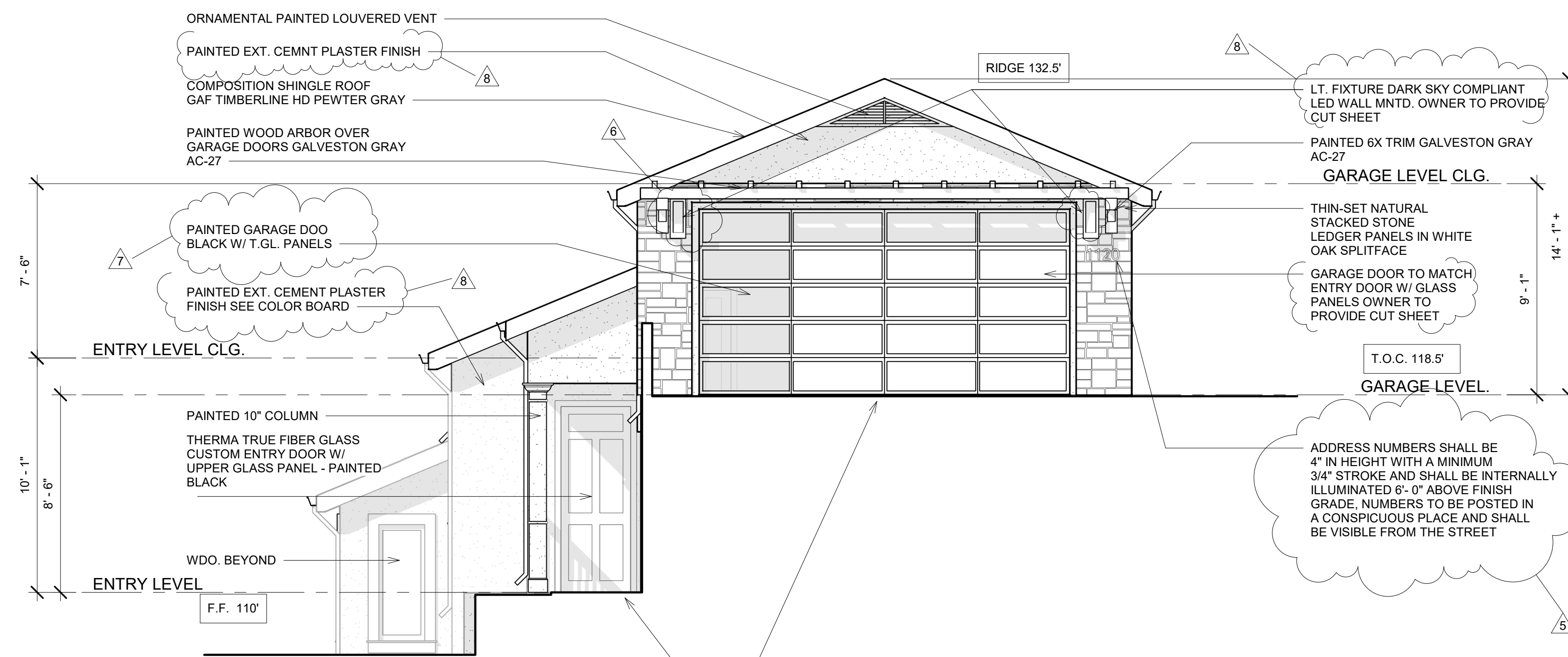
DATE 10/8/18 Drawing Number

Scale 1/4" = 1'-0" **A4**

Project Number AB03



**ROOF PLAN**



NOTE: FRONT ELEVATION GRADE PROFILE IS NOT A DEPICTION OF ACTUAL GRADING IT IS USED FOR CLARITY ONLY

**BENCHMARK ELEVATION  
GARAGE T.O.C. 118.5'**

**1 FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

**URBAN - model: WS-W11**  
LED Outdoor Sconce Luminaire

Fixture Type: **BRONZE**  
Catalog Number:   
Project: **ABOLMOLUKI RESIDENCE**  
Location: **EL GRANADA**

**PRODUCT DESCRIPTION**  
Like urban renewal, the Urban sconce gives new life to the conventional strip baffle. Form follows function in this simplified indirect wall sconce. Clean styling and robust LED performance are combined in this modern dark sky luminaire.

**FEATURES**

- ETL & cETL listed for wet locations, IP65
- Interior light and down light
- Low profile design
- Replaceable LED module
- 277V option available special order
- 50,000 hour potential life
- Color Temp: 3000K
- CRI: 85

**SPECIFICATIONS**

Construction: Aluminum  
Power: no driver or transformer required.  
Light Source: High output LED.  
Dimming: Dimm to 10% with an electronic low voltage (ELV) dimmer.  
Mounting: Mounts directly to junction box.  
Finish: Black (BK), Bronze (BZ), Graphite (GHL), White (WT).  
Standards: ETL & cETL listed, ADA compliant, Dark Sky friendly, IP65, Wet location.

**REPLACEMENT GLASS**

Model	Fixture	Description
RPL-GLA-1110-01	WS-W110	Top Lens
RPL-GLA-1110-02	WS-W110	Bottom Lens
RPL-GLA-1116-01	WS-W1116	Top Lens
RPL-GLA-1116-02	WS-W1116	Bottom Lens
RPL-GLA-1122-01	WS-W1122	Top Lens
RPL-GLA-1122-02	WS-W1122	Bottom Lens

**Back Plate Dimensions:**

Model	Dimension
WS-W110	10" L x 7" W x 2" H
WS-W116	18" L x 7" W x 2" H
WS-W122	22" L x 8" W x 2" H

**ORDER NUMBER**

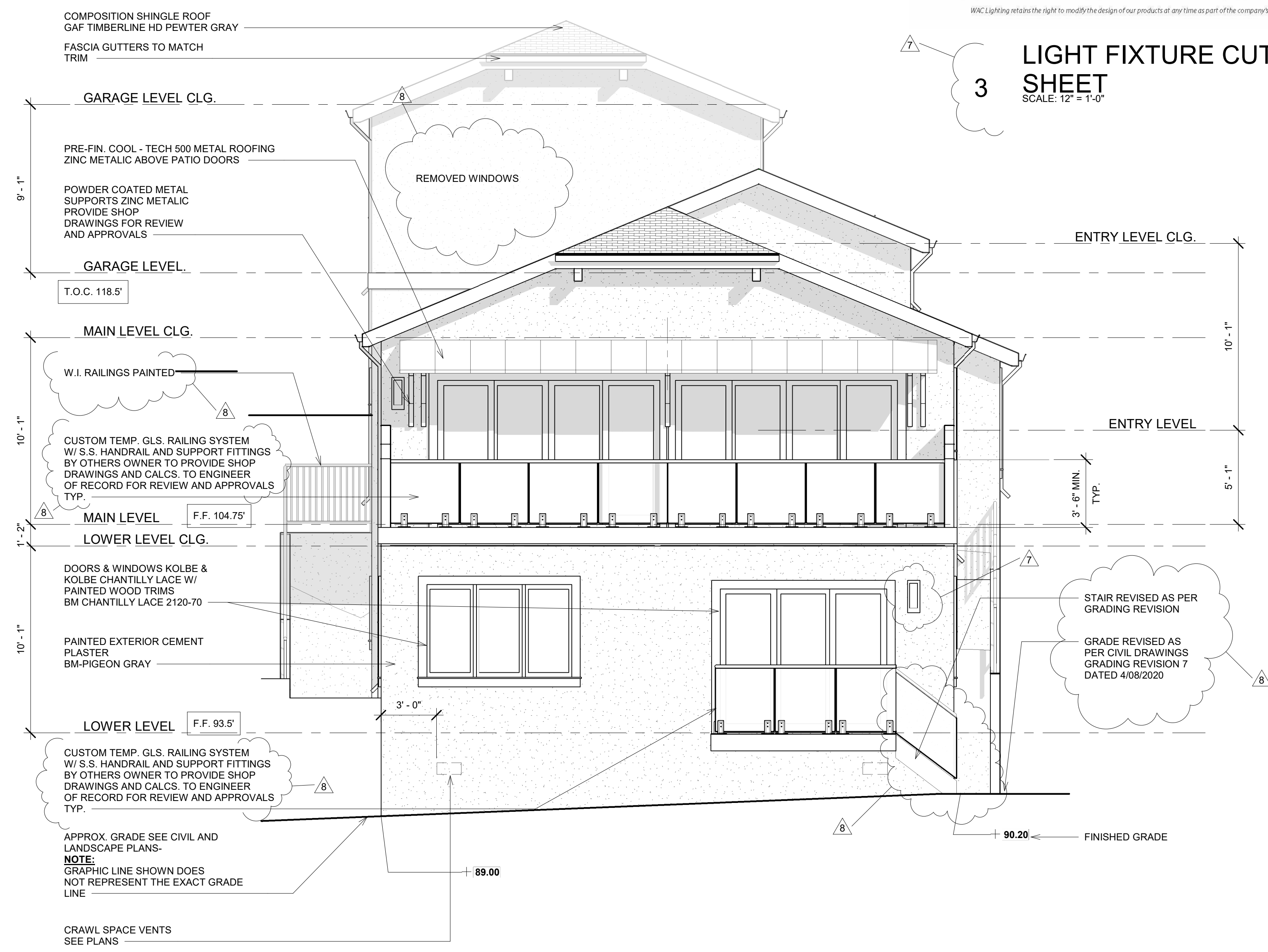
Model	Height	Watt	# of LEDs	LED Lumens	Photometric Lumens	Finish	Color
WS-W11	10"	12W	3	225	370	BK	Black
	16"	20W	4	360	490	BZ	Bronze
	22"	20W	5	1200	610	GH	Graphite
						WT	White

**WS-W11** [ ] - [ ]

Example: WS-W1116-GH  
For 277V special order, add an "1" before the finish: WS-W1116F-GH

modernforms.com Phone (800) 526-2588 Fax (800) 526-2585  
Headquarters/Eastern Distribution Center 44 Harbor Park Drive Fort Washington, NY 11850  
Central Distribution Center 1600 Distribution Ct Lithia Springs, GA 30122  
Western Distribution Center 1750 Archibald Avenue Ontario, CA 91760

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. AUG 2015

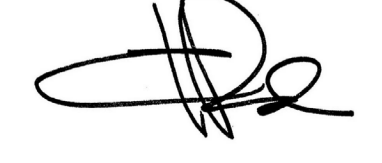


**2 REAR ELEVATION**  
SCALE: 1/4" = 1'-0"

**3 LIGHT FIXTURE CUT SHEET**  
SCALE: 12" = 1'-0"



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LIC. # 48803



**ABOLMOLUKI  
RESIDENCE**  
APN 047-275-050  
COLUMBUS ST.  
EL GRANADA, CA.

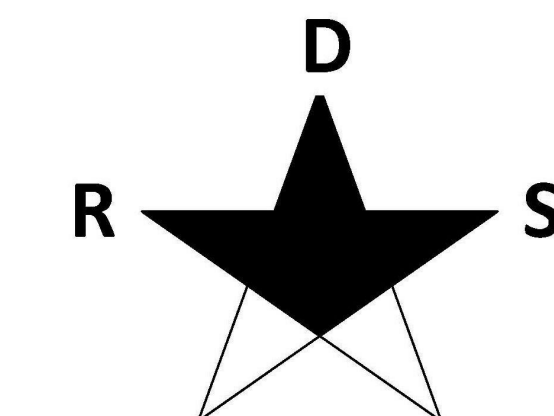
REVISIONS	DESCRIPTION	DATE	BY
1	PLANNING	8-24-17	CR
2	PLANNING 2	9-25-17	CR
3			
4			
5	PLAN CHECK RESPONSES	7-1-18	CR
6	OWNER REVISION	7/31/19	CR
7	OWNER REVISION	10/21/19	CR
8	OWNER REVISION	5/20/20	CR

DATE 10/8/18 Drawing Number

Scale As indicated **A5**

Project Number AB03



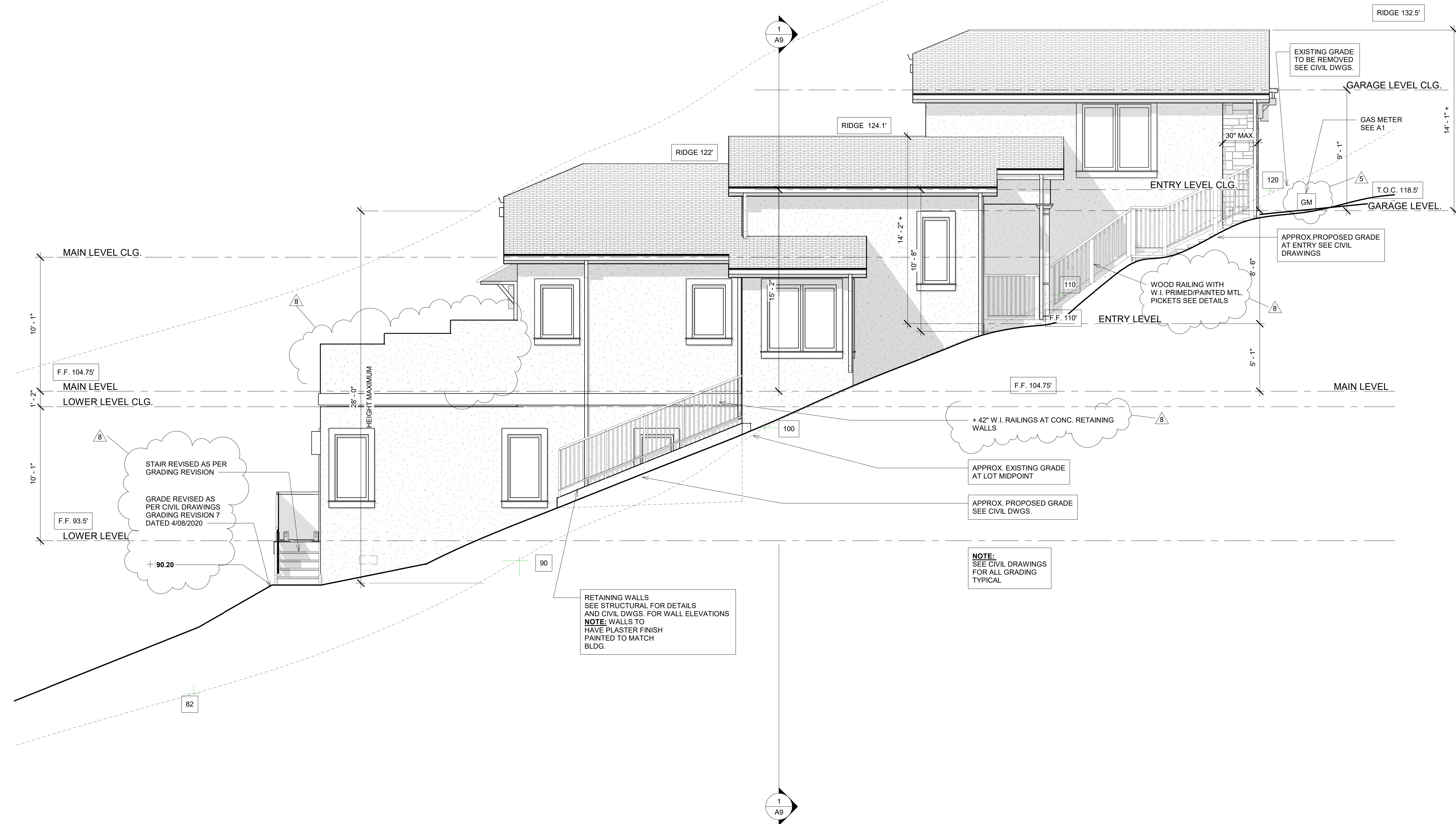


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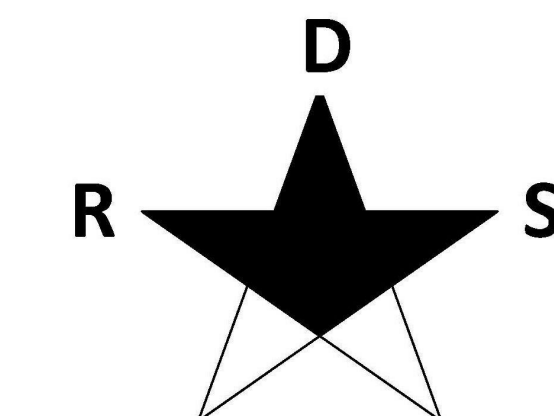
REVISIONS	DESCRIPTION	DATE	BY
1	PLANNING	8-24-17	CR
2			
3			
4			
5	PLAN CHECK RESPONSES	7-1-18	CR
6	OWNER REVISION	7/31/19	CR
7	OWNER REVISION	10/21/19	CR
8	OWNER REVISION	5/20/20	CR

**1 LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"

DATE 10/8/18 Drawing Number

Scale 1/4" = 1'-0" **A6**

Project Number AB03

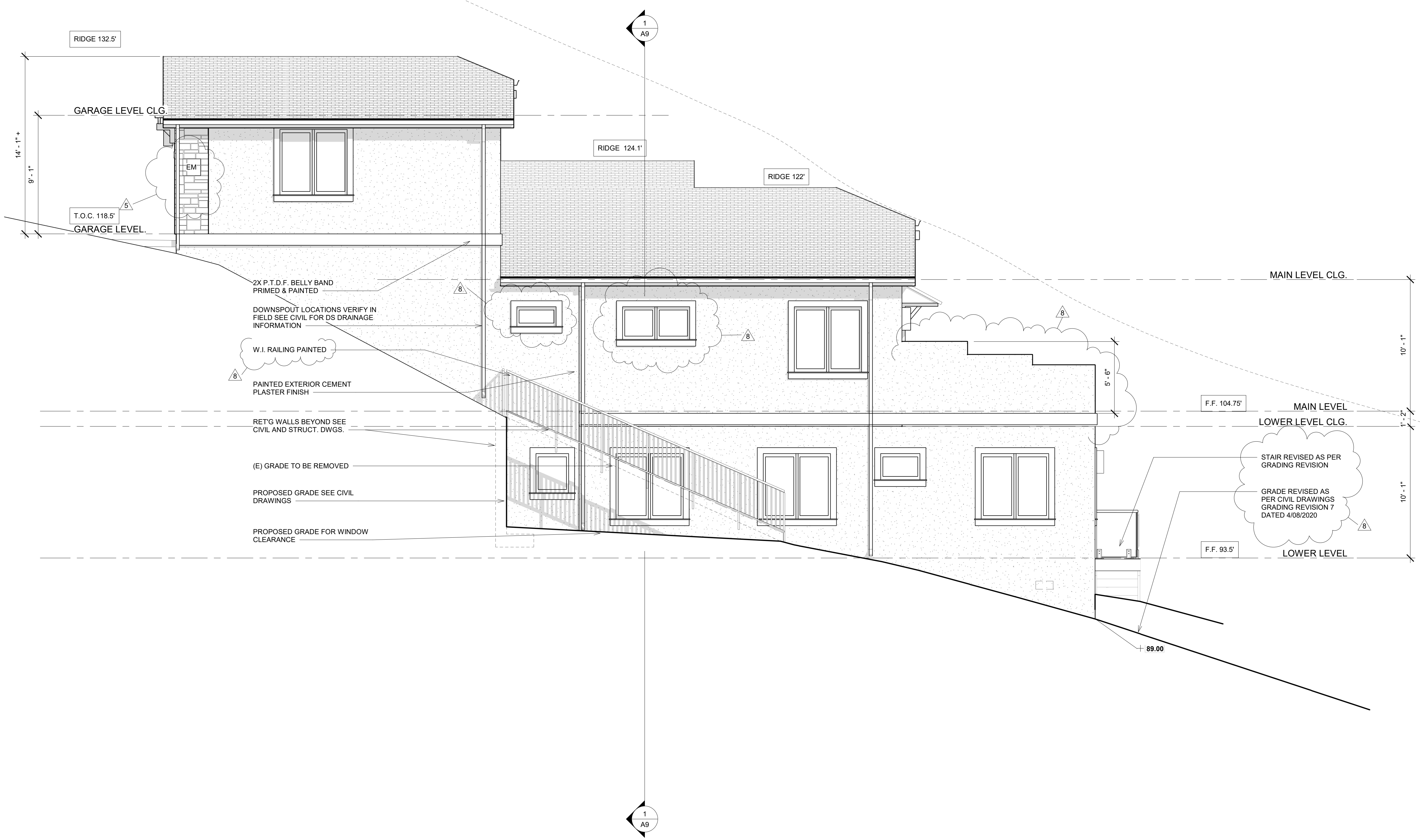


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**ABOLMOLUKI  
RESIDENCE**  
APN 047-275-050  
COLUMBUS ST.  
EL GRANADA, CA.



**1 RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"

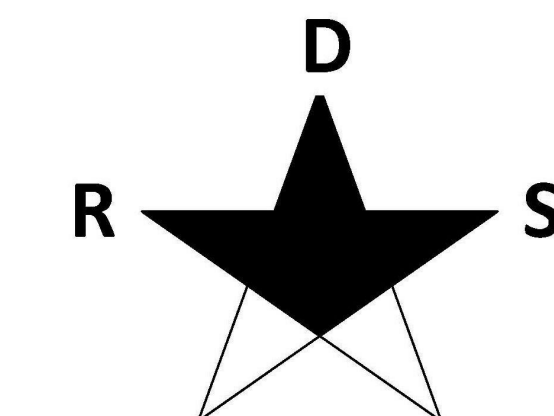
REVISIONS	DESCRIPTION	DATE	BY
1	PLANNING	8-24-17	CR
2			
3			
4			
5	PLAN CHECK RESPONSES	7-1-18	CR
6	OWNER REVISION	7/31/19	CR
7	OWNER REVISION	10/21/19	CR
8	OWNER REVISION	5/20/20	CR

DATE 10/8/18 Drawing Number

Scale 1/4" = 1'-0" **A7**

Project Number AB03





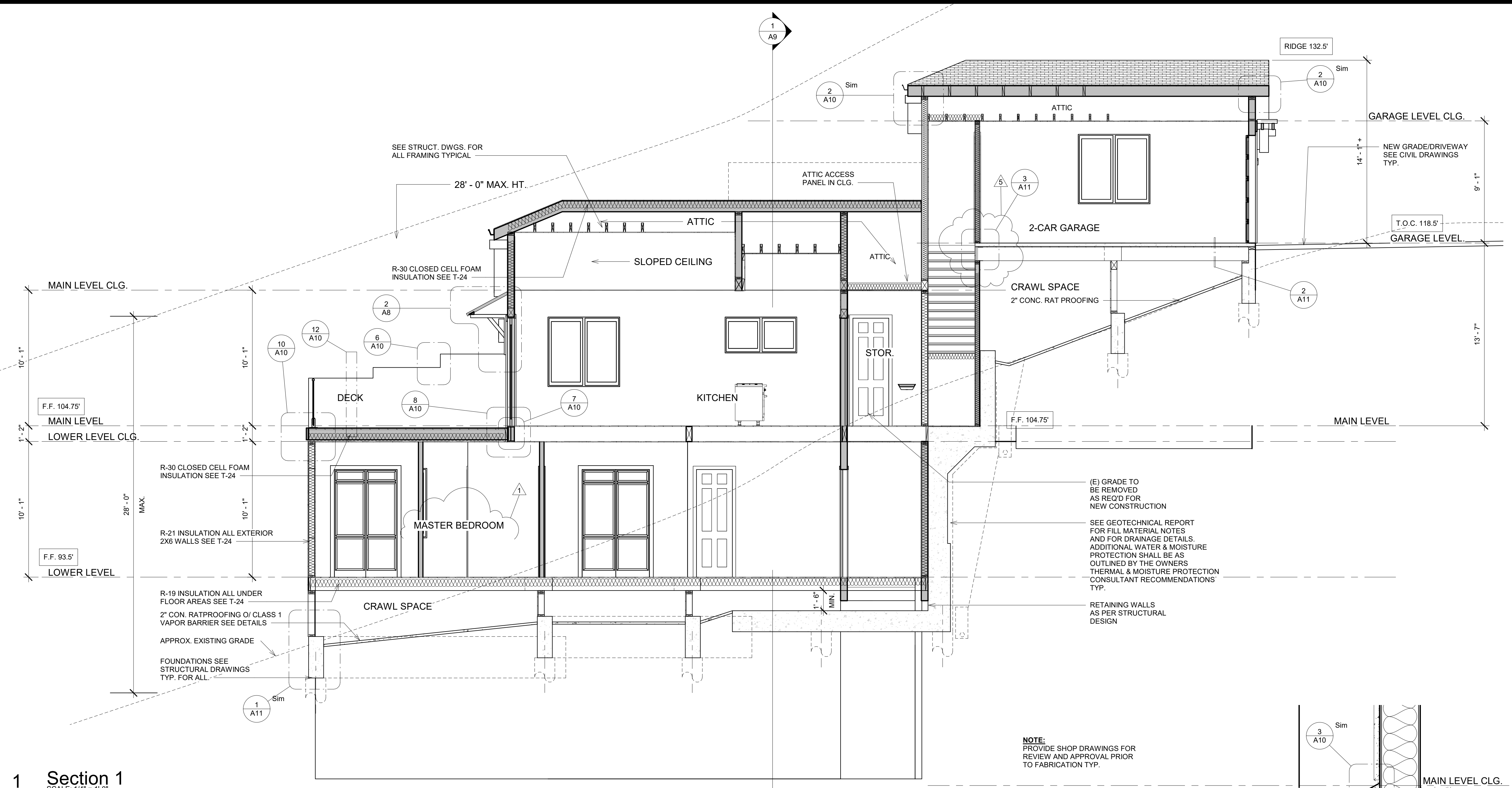
# RESIDENTIAL DESIGN SOLUTIONS

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WEB CHRISTIANRUFFAT.COM  
LIC. # 48803



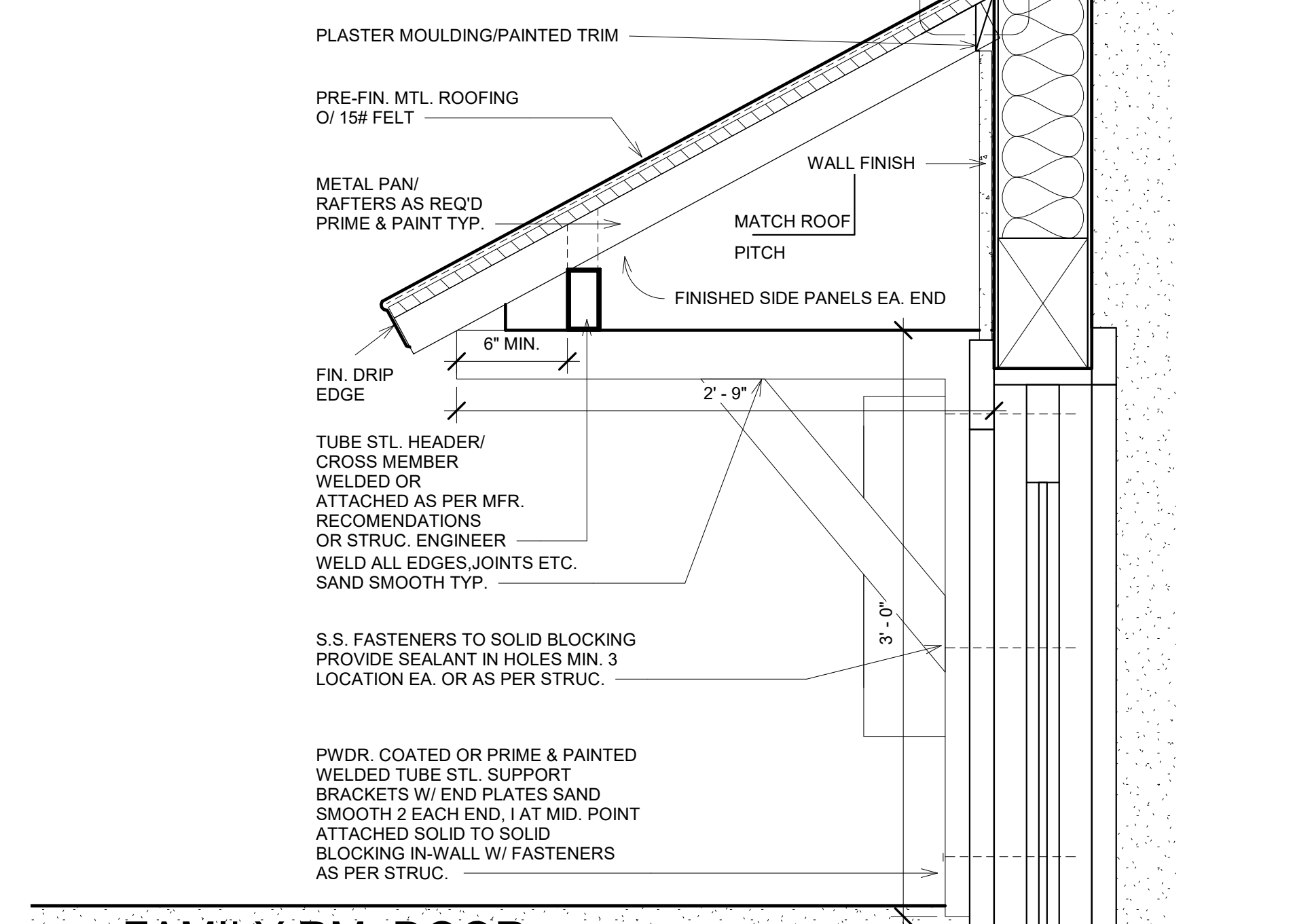
## ABOLMOLUKI RESIDENCE

APN 047-275-050  
COLUMBUS ST.  
EL GRANADA, CA.



1 Section 1  
SCALE: 1/4" = 1'-0"

**NOTE:**  
PROVIDE SHOP DRAWINGS FOR  
REVIEW AND APPROVAL PRIOR  
TO FABRICATION TYP.



2 FAMILY RM. DOOR  
AWNING  
SCALE: 1 1/2" = 1'-0"

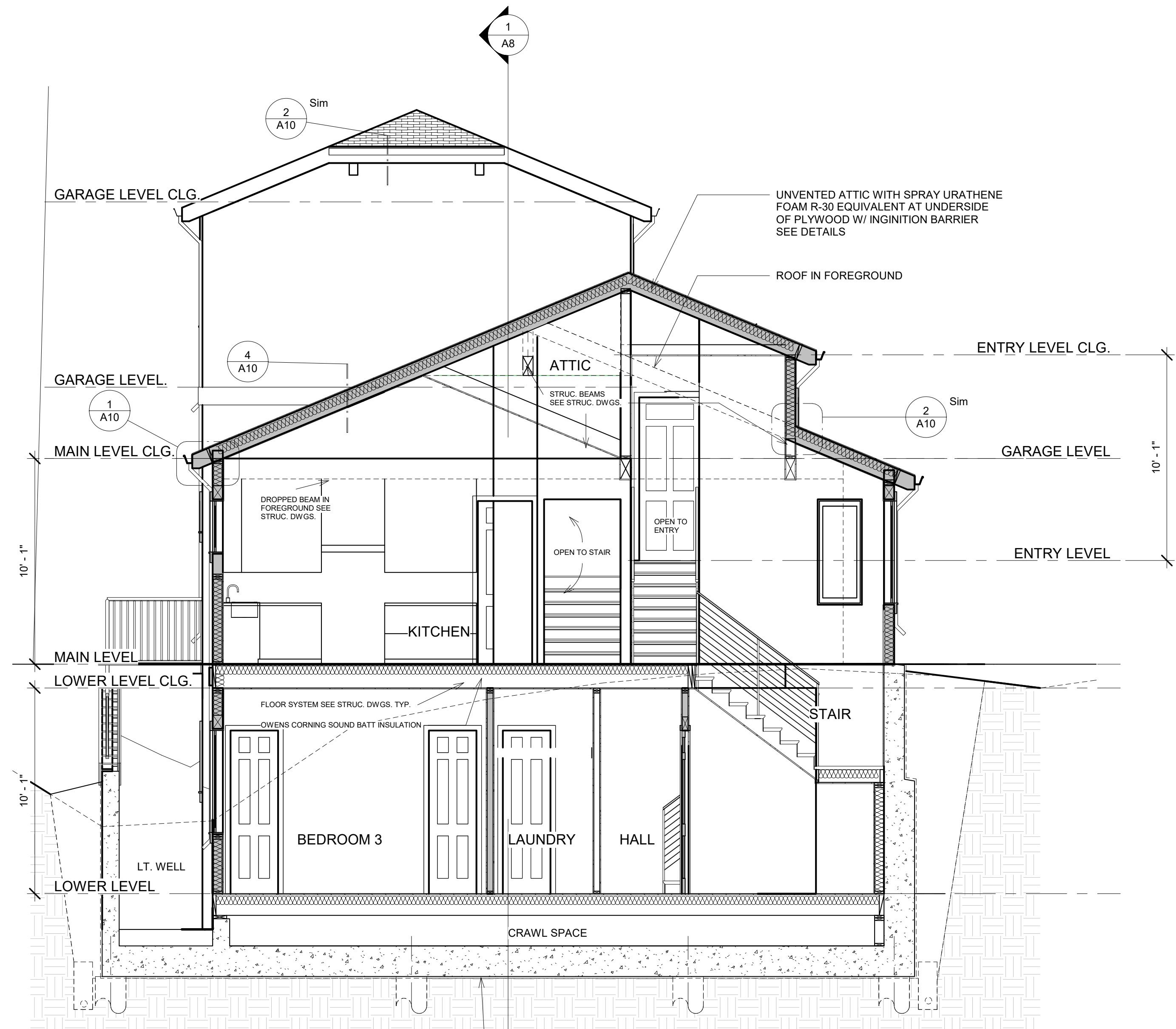
REVISIONS	DESCRIPTION	DATE	BY
1	PLANNING	8-24-17	CR
2			
3			
4			
5			
6			
7	OWNER REVISION	10/21/19	CR
8			

DATE 10/8/18 Drawing Number

Scale As indicated **A8**

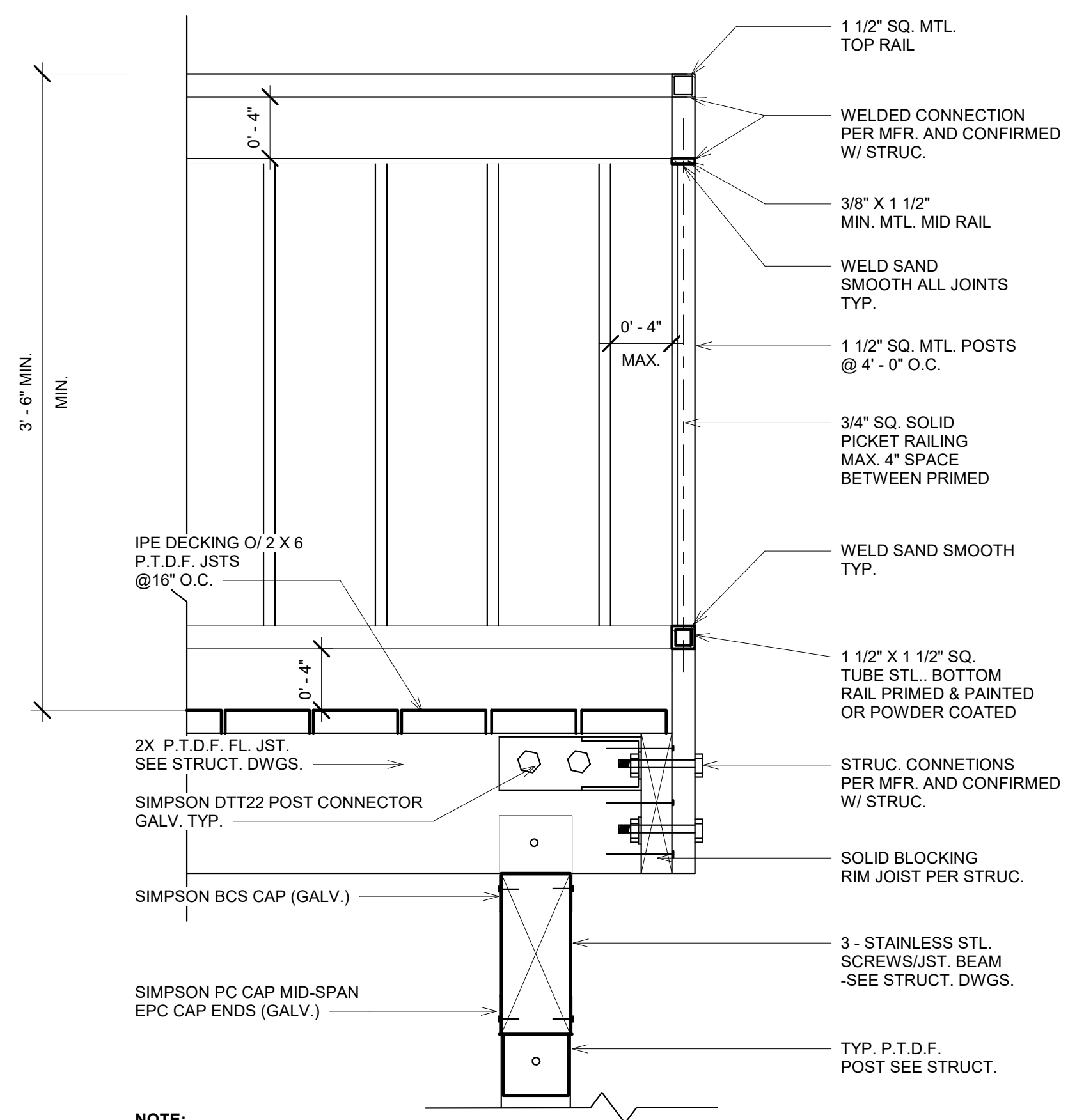
Project Number AB03



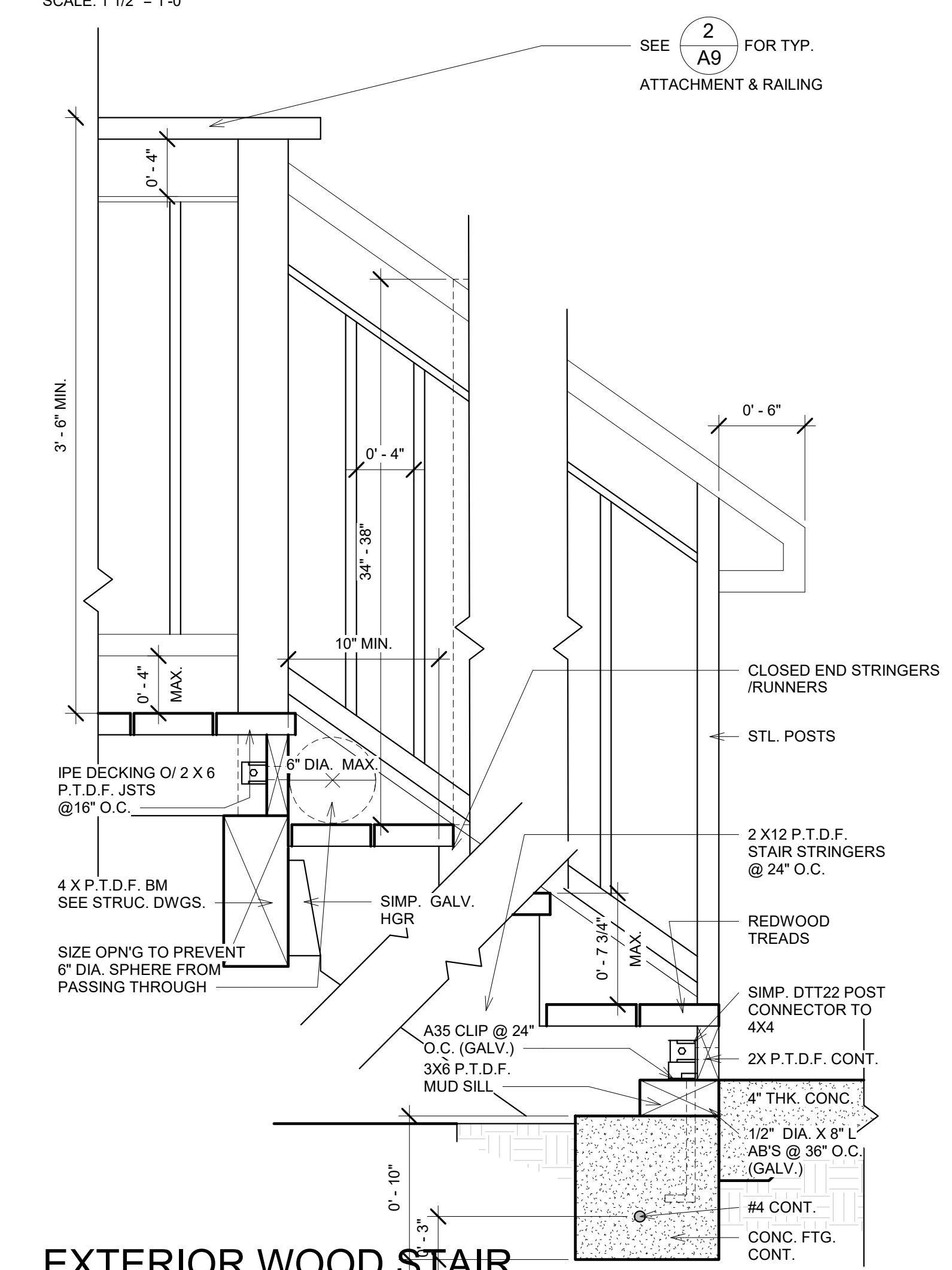


1 Section 2  
SCALE: 1/4" = 1'-0"

**GENERAL WATERPROOFING NOTE:**  
A DAMP-PROOFING OR WATERPROOFING SYSTEM SHALL BE DESIGNED BY OTHERS AND SHOULD BE INSTALLED BELOW AND AROUND THE EDGES OF THE FOUNDATION, CONC. SLAB AND RETAINING WALLS. RECOMMENDATIONS FOR THE METHOD OR DETAILS FOR THE FOUNDATION, CONC. SLAB AND RETAINING WALLS SHALL BE AS OUTLINED BY THE OWNERS OUTSIDE WATERPROOFING CONSULTANT TYPICAL. SEE GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION AND CIVIL DRAWINGS FOR DRAINAGE.



2 EXTERIOR WOOD RAILING WITH METAL PICKETS  
SCALE: 1 1/2" = 1'-0"



3 EXTERIOR WOOD STAIR  
SCALE: 1 1/2" = 1'-0"



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**ABOLMOLUKI RESIDENCE**  
APN 047-275-050  
COLUMBUS ST.  
EL GRANADA, CA.

REVISIONS	DESCRIPTION	DATE	BY
1			
2			
3			
4			
5			
6			
7			
8			

DATE 10/8/18 Drawing Number

Scale As indicated **A9**

Project Number AB03



**GRADING QUANTITIES:**

	CUT (C.Y. ±)	FILL (C.Y. ±)
GARAGE PAD	10 C.Y.	0
BUILDING PAD	220 C.Y.	0
NEW DRIVEWAY	45 C.Y.	0
YARD GRADING	10 C.Y.	0
<b>TOTAL</b>	<b>285 C.Y. ±</b>	<b>0</b>

EXPORT = 285 C.Y. ±

**UTILITY NOTE:**

THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR/ENGINEER DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

**SURVEY NOTE:**

THE EXISTING TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAN WAS TAKEN FROM A BOUNDARY & TOPOGRAPHIC SURVEY PLAN PREPARED BY B&H LAND SURVEYING, INC., DATED SEPTEMBER 2016, JOB. NO. 6997-16.

**GENERAL NOTES:**

- ALL MATERIALS SHALL BE FURNISHED BY AND INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
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- CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (U.S.A.) PRIOR TO START OF CONSTRUCTION. PHONE (800) 642-2444.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISTRIBUTING ANY EXCESS MATERIAL OR SUPPLYING MATERIAL FOR DEFICIENCIES TO BRING DRIVEWAY AND BUILDING PADS TO REQUIRED GRADE.
- THE CONTRACTOR IS RESPONSIBLE FOR MATCHING EXISTING SURROUNDING LANDSCAPE AND OTHER IMPROVEMENTS WITH A SMOOTH TRANSITION IN PAVING, GRADING, ETC., AND TO AVOID ABRUPT OR APPARENT CHANGES OR CROSS SLOPES, LOW SPOTS OR HAZARDOUS CONDITIONS.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ALL WORK SHOWN ON THIS PLAN.
- ALL STORM DRAIN PIPES SHALL BE PVC SDR 35 WITH BELL AND SPIGOT RUBBER GASKET JOINTS PER ASTM D3034 OR BETTER.

**GEOTECHNICAL ENGINEER'S NOTE:**

THE GEOTECHNICAL SITE INVESTIGATION REPORT PREPARED BY J. YANG AND ENGINEERS, PROJECT NO. 116-1625, DATED JANUARY 25, 2017, SHALL BE MADE A PART OF THIS PLAN.

**CONSTRUCTION NOTES:**

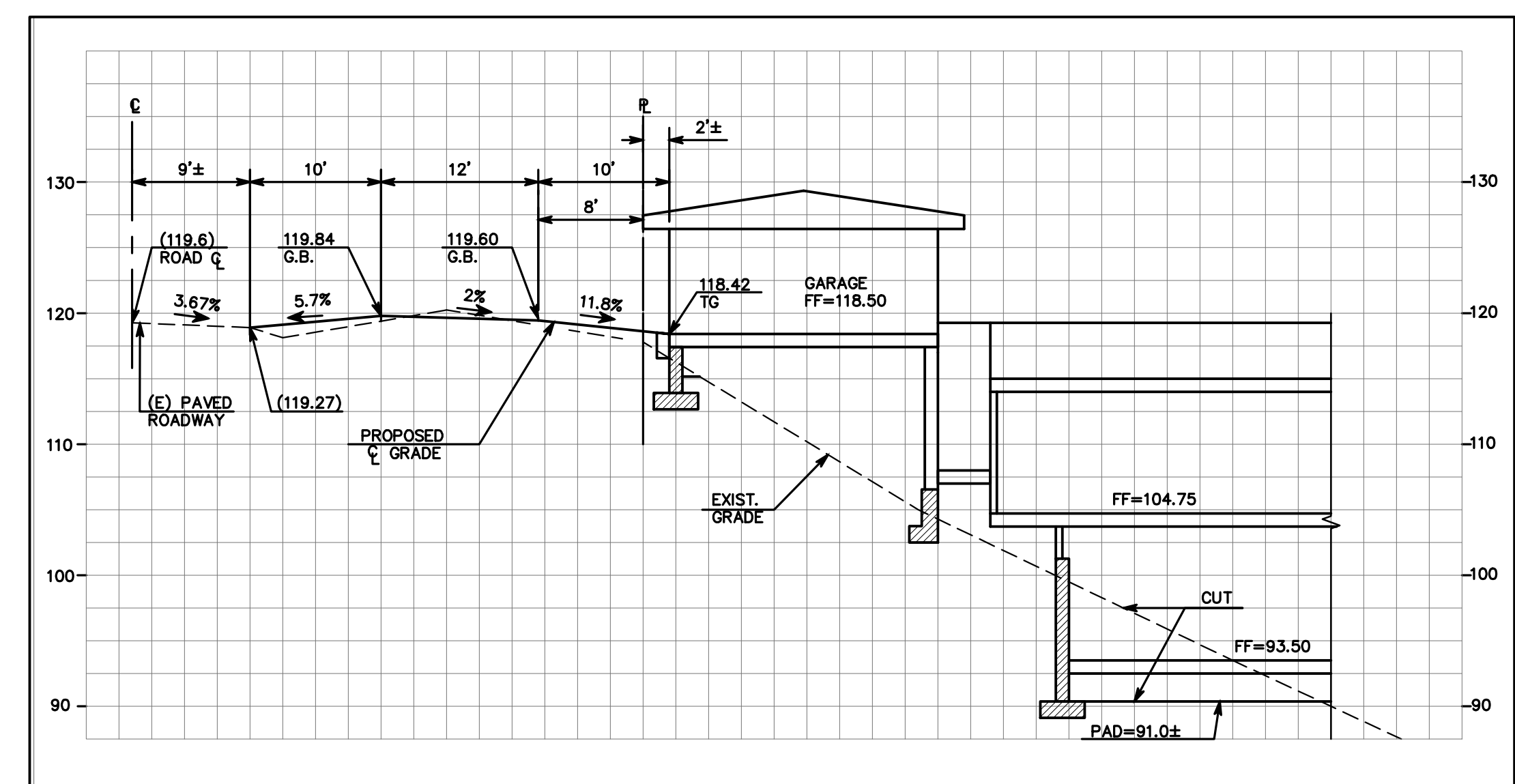
- (A) INSTALL 6" WIDE TRENCH DRAIN WITH TRAFFIC RATED GRATE COVER BY "NDS" OR APPROVED EQUAL.
- (B) DAYLIGHT END OF 4" DIA. PERFORATED PVC PIPE AND INSTALL 2' X 3' ROCK RIPRAP DISSIPATER.
- (C) INSTALL 4" DIA. PERF. PVC SUBDRAIN PIPE AT 1% MIN. SLOPE.
- (D) CONNECT DOWNSPOUT TO NEW STORM DRAIN PIPE WITH 4" PVC AT 1% MIN. SLOPE (TYPICAL).

**GRADING PLAN LEGEND:**

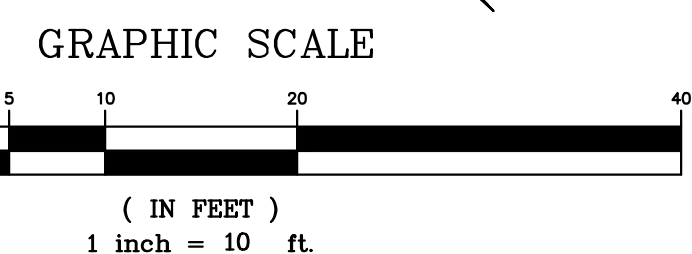
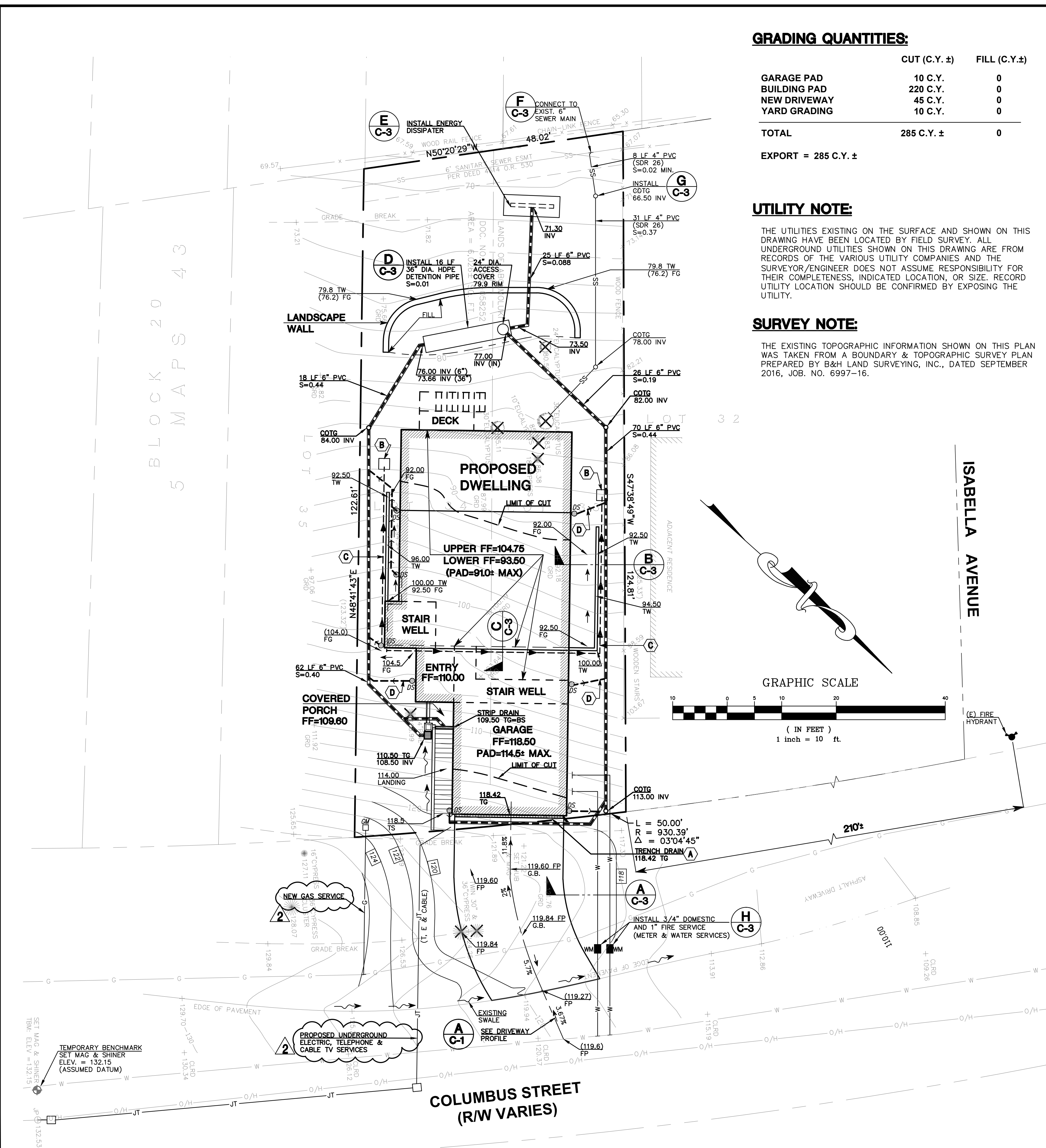
BS	BOTTOM OF STEP
COTG	CLEANOUT TO GRADE
DS	DOWNSPOUT
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOWLINE
FP	FINISH PAVE
GB	GRADE BREAK
INV	INVERT
TG	TOP OF GRADE
TS	TOP OF STEP
TW	TOP OF WALL
WM	WATER METER
SS	SANITARY SEWER LINE
W	WATER LINE
120	NEW CONTOUR
JT	JOINT TRENCH
G	GAS LINE
---	NEW STORM DRAIN LINE
---	NEW DRAIN INLET
---	SWALE
---	SURFACE RUNOFF FLOW DIRECTION
---	EXIST. TREE TO BE REMOVED
---	EXIST. GRADE

**SURVEY LEGEND:**

●	FOUND IRON PIPE OR REBAR, AS NOTED
○	FOUND 2" BRASS DISK WITH PUNCH, IN CASING SET PER 8 LLS 108 - 111
A/C	ASPHALTIC CONCRETE
BW	BACK OF WALK
CB	CATCH BASIN
CP	CAST IRON PIPE
CMP	CORRUGATED METAL PIPE
CONC	CONCRETE
CO	CLEAN-OUT
DI	DROP INLET
EM	ELECTRIC METER
FD	FOUND
FF	FINISHED FLOOR
FL	FLOW LINE
PH	FIRE HYDRANT
GA	GUY ANCHOR
GM	GAS METER
GRD	GROUND
HCR	HANDICAP RAMP
INV	INVERT
IP	IRON PIPE
JP	JOINT POLE
LAT.	LATERAL
LG	LIP OF GUTTER
O/H	OVERHEAD
P.U.E.	PUBLIC UTILITIES EASEMENT
RP	REINFORCED CONCRETE PIPE
RET. WALL	RETAINING WALL
R/W	RIGHT OF WAY
SSCO	SANITARY SEWER CLEAN-OUT
SSMH	SANITARY SEWER MANHOLE
SDMH	STORM DRAIN MANHOLE
TBC	TOP BACK OF CURB
T/W	TOP OF WALL
U/G	UNDERGROUND
VCP	VITRIFIED CLAY PIPE
WV	WATER VALVE
WM	WATER METER BOX
-E-	CABLE TELEVISION LINE
-E-	ELECTRICAL LINE
-G-	GAS LINE
-SS-	SANITARY SEWER LINE
-SD-	STORM DRAIN LINE
-T-	TELEPHONE LINE
-W-	WATER LINE



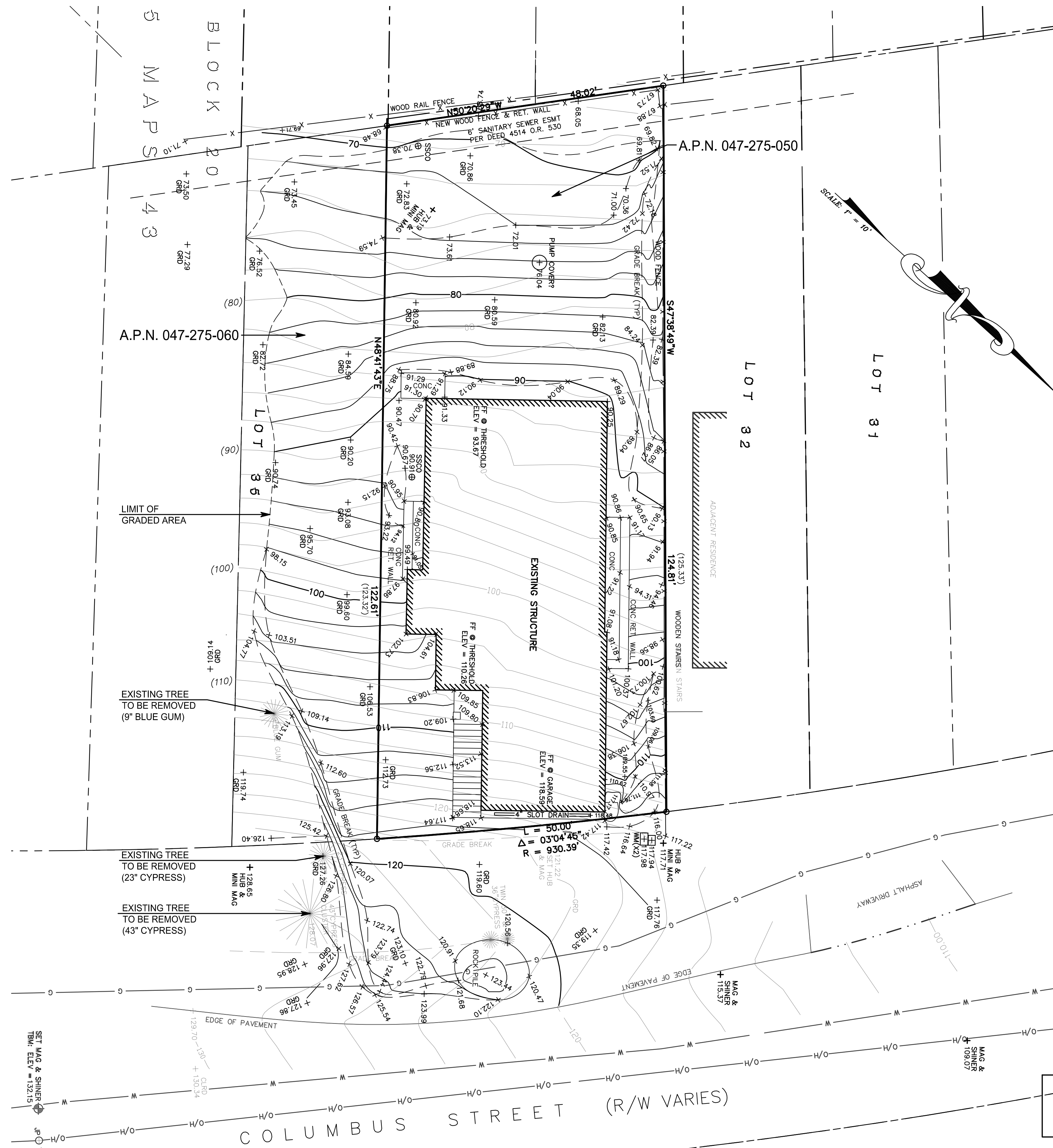
**(A) DRIVEWAY PROFILE**  
SCALE (VERTICAL & HORIZONTAL): 1"=10'



DATE: 08/24/18  
 BY: VPG  
 DESCRIPTION: NEW GAS & JOINT TRENCH LOCATIONS  
 REV. 1  
 VPG  
 10/09/18  
 REGISTERED PROFESSIONAL ENGINEER  
 No. 35048  
 CIVIL  
 STATE OF CALIFORNIA  
**MACLEOD AND ASSOCIATES**  
 CIVIL ENGINEERING • LAND SURVEYING  
 965 CENTER STREET • SAN CARLOS, CA 94070 • (650) 593-8560  
 PREPARED FOR:  
 BAHRAM ABOLMOLUKI  
 COLUMBUS STREET  
 A.P.N. 047-275-050  
 UNINCORPORATED SAN MATEO COUNTY CALIFORNIA  
 DRAWN BY: DJK/AAP  
 DESIGNED BY: VPG  
 CHECKED BY: DGM  
 SCALE: 1"=10'  
 DATE: 08/24/18  
 DRAWING NO. 4452-GRAD  
 SHEET 1 OF 4

Originally Approved Grading Plans (2018) C-1





**GRADING QUANTITIES:**

APN 047-275-060

MAIN LOT	CUT	FILL
70	70	25
STREET FRONTAGE	25	0
TOTAL	95 C.Y. ±	25 C.Y. ±

EXPORT = 95 - 25  
= 70 C.Y. ±

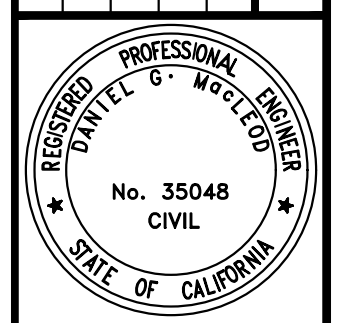
**GRADING QUANTITIES:**

APN 047-275-050

MAIN LOT	CUT	FILL
0	0	100
FRONT YARD	30	0
STREET FRONTAGE	20	0
TOTAL	50 C.Y. ±	100 C.Y. ±

IMPORT = 100 - 50  
= 50 C.Y. ±

REV.	DESCRIPTION	BY:	DATE:



**MACLEOD AND ASSOCIATES**  
CIVIL ENGINEERING • LAND SURVEYING  
965 CENTER STREET • SAN CARLOS, CA 94070 • (650) 593-8580

PREPARED FOR:  
BAHRAM ABOLMOLUKI

**GRADING PLAN**  
COLUMBUS STREET  
A.P.N. 047-275-050  
UNINCORPORATED SAN MATEO COUNTY CALIFORNIA

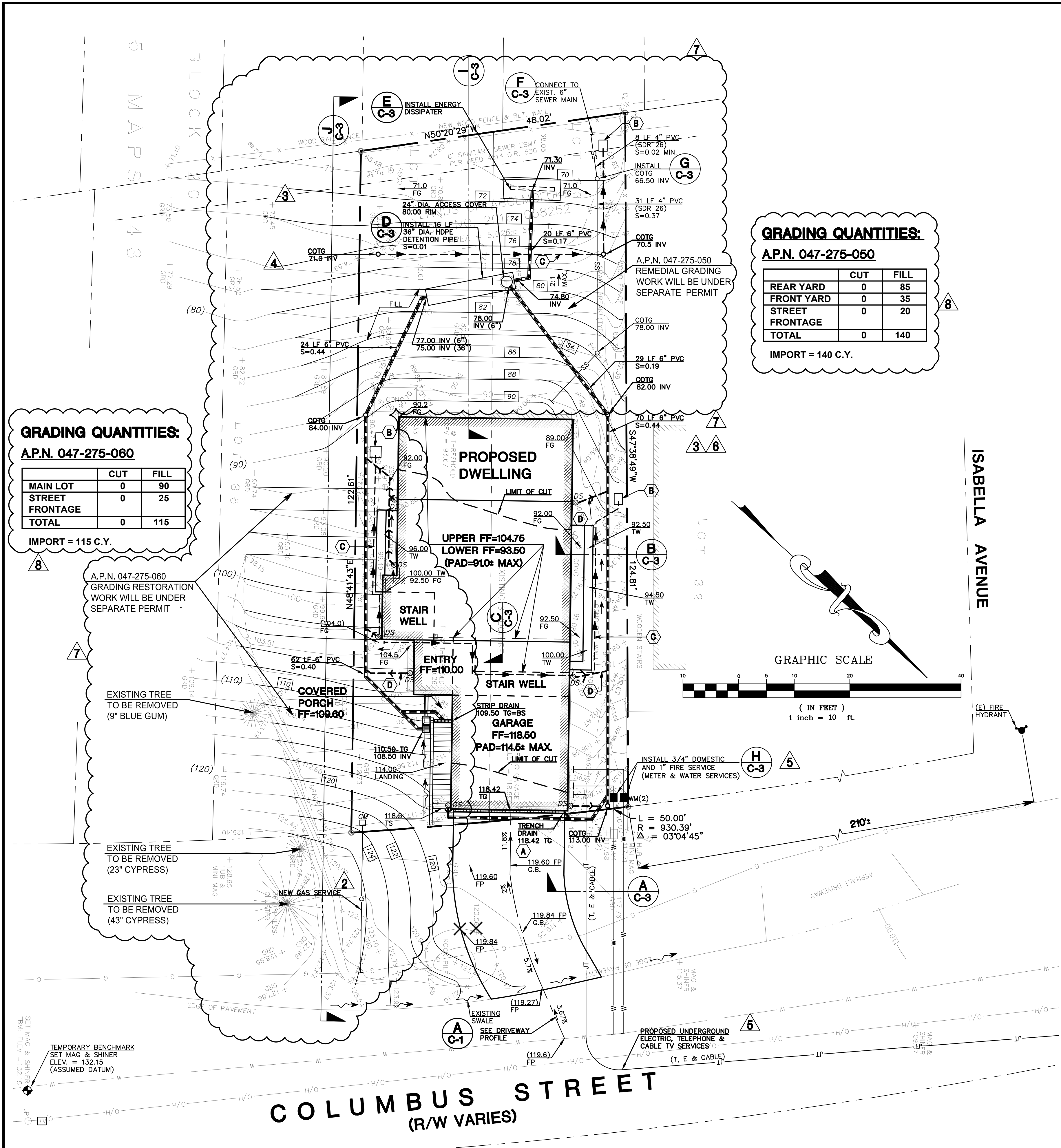
DRAWN BY: DJK/AAP  
DESIGNED BY: VPG  
CHECKED BY: DGM  
SCALE: 1"=10'  
DATE: 11/02/20  
DRAWING NO. 4452-GRAD  
SHEET 1 OF 1

**UNPERMITTED GRADING EXHIBIT**

**Existing Conditions**

**C-1**





**GRADING QUANTITIES:**

A.P.N. 047-275-050

	CUT	FILL
REAR YARD	0	85
FRONT YARD	0	35
STREET FRONTAGE	0	20
<b>TOTAL</b>	<b>0</b>	<b>140</b>

IMPORT = 140 C.Y.

**GRADING QUANTITIES:**

A.P.N. 047-275-060

	CUT	FILL
MAIN LOT	0	90
STREET FRONTAGE	0	25
<b>TOTAL</b>	<b>0</b>	<b>115</b>

IMPORT = 115 C.Y.

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**UTILITY NOTE:**

THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR/ENGINEER DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

**SURVEY NOTE:**

THE EXISTING TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAN WAS TAKEN FROM A BOUNDARY & TOPOGRAPHIC SURVEY PLAN PREPARED BY B&H LAND SURVEYING, INC., DATED SEPTEMBER 2016, JOB. NO. 6997-16.

**GEOTECHNICAL ENGINEER'S NOTE:**

THE GEOTECHNICAL SITE INVESTIGATION REPORT PREPARED BY J. YANG AND ENGINEERS, PROJECT NO. J16-1625, DATED JANUARY 25, 2017, SHALL BE MADE A PART OF THIS PLAN.

**CONSTRUCTION NOTES:**

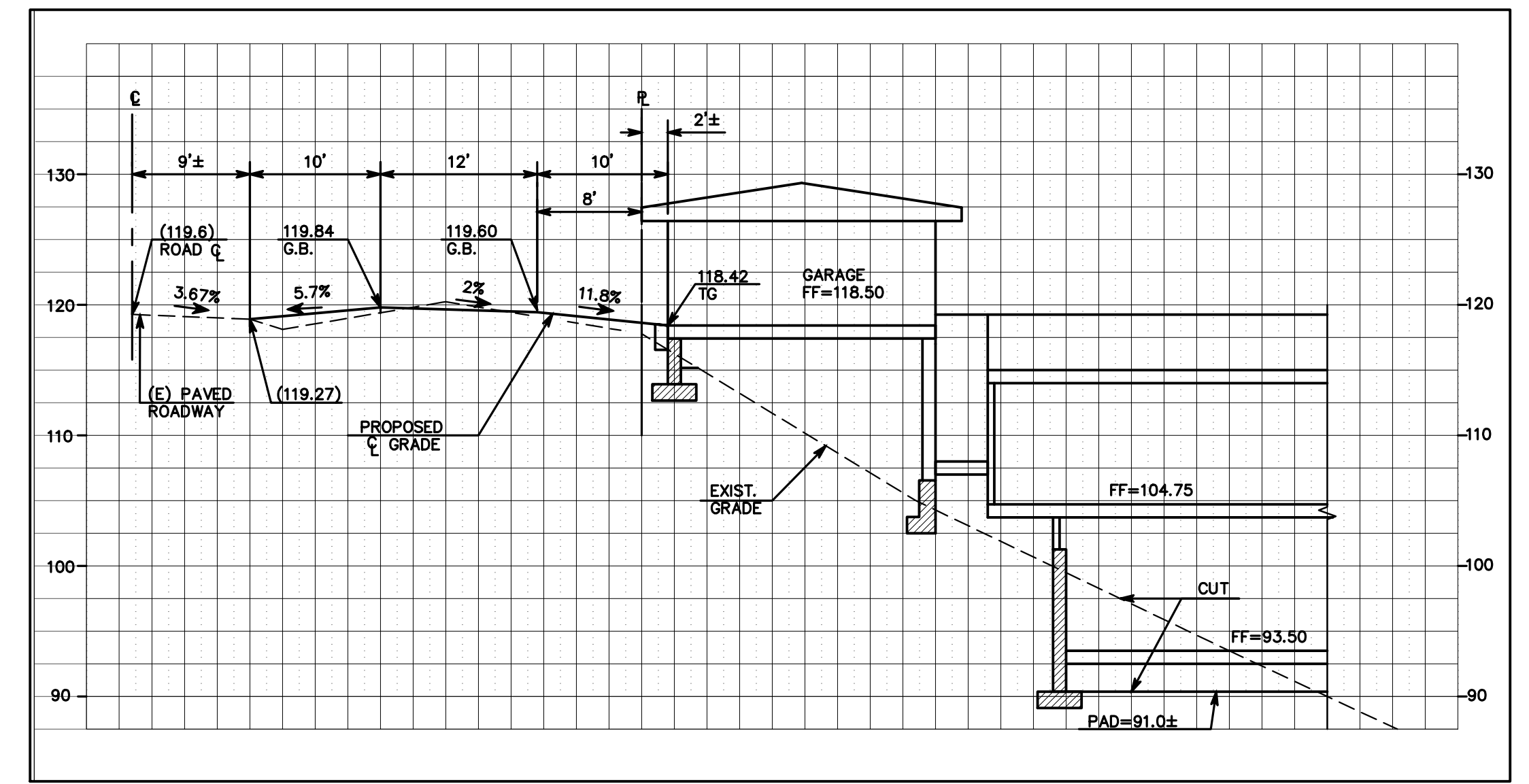
- (A)** INSTALL 6" WIDE TRENCH DRAIN WITH TRAFFIC RATED GRATE COVER BY "NDS" OR APPROVED EQUAL.
- (B)** DAYLIGHT END OF 4" DIA. PERFORATED PVC PIPE AND INSTALL 2' X 3' ROCK RIPRAP DISSIPATER.
- (C)** INSTALL 4" DIA. PERF. PVC SUBDRAIN PIPE AT 1% MIN. SLOPE.
- (D)** CONNECT DOWNSPOUT TO NEW STORM DRAIN PIPE WITH 4" PVC AT 1% MIN. SLOPE (TYPICAL).

**GRADING PLAN LEGEND:**

- |      |                               |
|------|-------------------------------|
| BS   | BOTTOM OF STEP                |
| COTG | CLEANOUT TO GRADE             |
| DS   | DOWNSPOUT                     |
| FF   | FINISH FLOOR                  |
| FG   | FINISH GRADE                  |
| FL   | FLOWLINE                      |
| FP   | FINISH PAVE                   |
| GB   | GRADE BREAK                   |
| INV  | INVERT                        |
| TG   | TOP OF GRADE                  |
| TS   | TOP OF STEP                   |
| TW   | TOP OF WALL                   |
| WM   | WATER METER                   |
| SS   | SANITARY SEWER LINE           |
| W    | WATER LINE                    |
| NC   | NEW CONTOUR                   |
| JT   | JOINT TRENCH                  |
| G    | GAS LINE                      |
| SD   | NEW STORM DRAIN LINE          |
| SW   | NEW DRAIN INLET               |
| TR   | SWALE                         |
| RF   | SURFACE RUNOFF FLOW DIRECTION |
| EX   | EXIST. TREE TO BE REMOVED     |
| GR   | EXIST. GRADE                  |

**SURVEY LEGEND:**

- FOUND IRON PIPE OR REBAR, AS NOTED
- FOUND 2" BRASS DISK WITH PUNCH, IN CASING
- ▲ SET PER 8' L.S. 108
- ▲ ASPHALTIC CONCRETE
- ▲ BACK OF WALK
- ▲ CATCH BASIN
- ▲ CAST IRON PIPE
- ▲ CORRUGATED METAL PIPE
- ▲ CLEAN-OUT
- ▲ DROP INLET
- ▲ ELECTRIC METER
- ▲ FOUND
- ▲ FINISHED FLOOR
- ▲ FLOW LINE
- ▲ FIRE HYDRANT
- ▲ GUY ANCHOR
- ▲ GAS METER
- ▲ GROUND
- ▲ HANDICAP RAMP
- ▲ INVERT
- ▲ IRON PIPE
- ▲ JOINT POLE
- ▲ LATERAL
- ▲ LIP OF GUTTER
- ▲ OVERHEAD
- ▲ PUBLIC UTILITIES EASEMENT
- ▲ REINFORCED CONCRETE PIPE
- ▲ RETAINING WALL
- ▲ RIGHT OF WAY
- ▲ SANITARY SEWER CLEAN-OUT
- ▲ SANITARY SEWER MANHOLE
- ▲ STORM DRAIN MANHOLE
- ▲ TOP BACK OF CURB
- ▲ TOP OF WALL
- ▲ UNDERGROUND
- ▲ VITRIFIED CLAY PIPE
- ▲ WATER VALVE
- ▲ WATER METER BOX
- ▲ CABLE TELEVISION LINE
- ▲ ELECTRICAL LINE
- ▲ GAS LINE
- ▲ SANITARY SEWER LINE
- ▲ STORM DRAIN LINE
- ▲ TELEPHONE LINE
- ▲ WATER LINE



**(A) DRIVEWAY PROFILE**  
SCALE (VERTICAL & HORIZONTAL): 1"=10'

**Proposed Grading Plans (2021)**

**C-1**

GRADING QUANTITIES	VPG 11/02/20	BY:	DATE:
GRADING FOR APN 047-275-050 & 060	VPG 10/05/20	REV.	
SITE REGRADING	VPG 02/03/20		
NEW WATER & ELECTRICAL SERVICES	VPG 10/22/19		
PER COUNTY COMMENTS	VPG 09/14/19		
GRADING REVISION	VPG 07/25/19		
NEW GAS & JOINT TRENCH LOCATIONS	VPG 10/09/18		

**REGISTERED PROFESSIONAL ENGINEER**  
No. 35048  
CIVIL  
STATE OF CALIFORNIA

**MACLEOD AND ASSOCIATES**  
CIVIL ENGINEERING • LAND SURVEYING  
965 CENTER STREET • SAN CARLOS, CA 94070 • (650) 593-8560

PREPARED FOR:  
**BAHRAM ABOLMOLUKI**

**GRADING, DRAINAGE AND UTILITY PLAN**  
COLUMBUS STREET  
A.P.N. 047-275-050  
UNINCORPORATED SAN MATEO COUNTY CALIFORNIA

DRAWN BY: DJK/AAP  
DESIGNED BY: VPG  
CHECKED BY: DGM  
SCALE: 1"=10'  
DATE: 08/24/18  
DRAWING NO.: 4452-GRAD  
SHEET 1 OF 4



**LEGEND:**

EXISTING TREES TO BE REMOVED

**DUST CONTROL NOTES:**

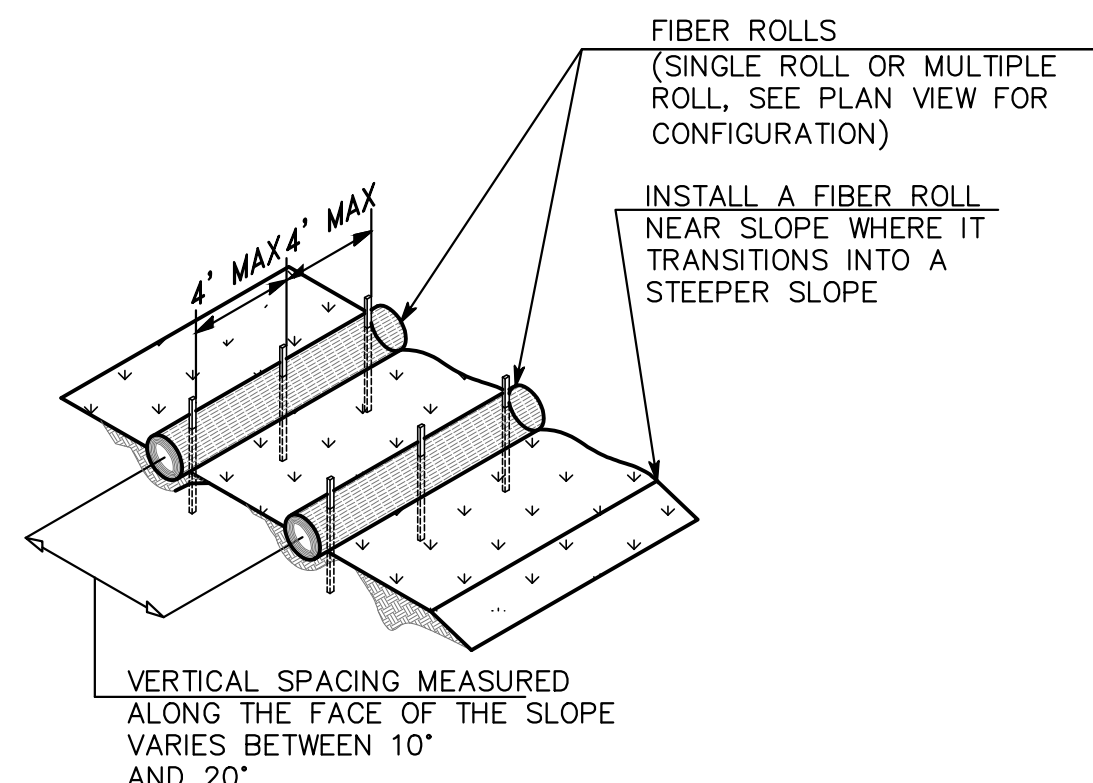
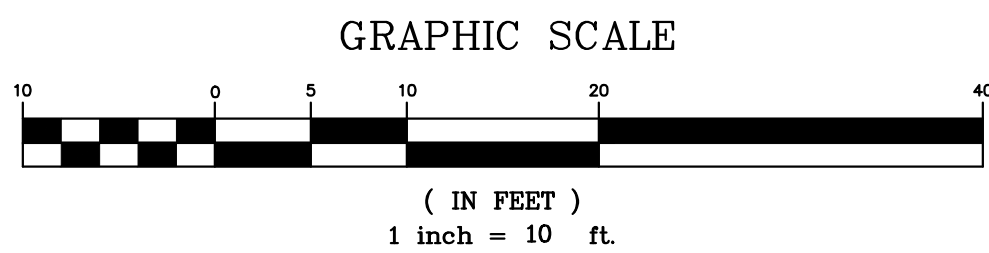
1. WATER ALL CONSTRUCTION AND GRADING AREAS AT LEAST TWICE DAILY.
2. COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIAL, OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST 2 FEET OF FREEBOARD.
3. ENCLOSE, COVER, WATER TWICE DAILY, OR APPLY (NON-TOXIC) BINDERS TO EXPOSED STOCKPILE (DIRT, SAND, ETC.).

**EROSION CONTROL NOTES:**

1. THE INTENT OF THE EROSION CONTROL PLAN IS TO MINIMIZE ANY WATER QUALITY IMPACTS IN THE FORM OF SEDIMENT POLLUTION TO MAIN CREEK & TRIBUTARIES.
2. A CONSTRUCTION ENTRANCE WILL BE INSTALLED PRIOR TO GRADING. LOCATION OF THE ENTRANCE MAY BE ADJUSTED BY THE CONTRACTOR TO FACILITATE GRADING OPERATIONS. ALL CONSTRUCTION TRAFFIC ENTERING THE PAVED ROAD MUST CROSS THE CONSTRUCTION ENTRANCE. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS- OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITION DEMAND, AND REPAIR OF ANY MEASURES USED TO TRAP SEDIMENTS.
3. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH THE USE OF SAND BAGS, GRAVEL, BOARDS OR OTHER APPROVED METHODS.
4. THE EROSION AND SEDIMENT CONTROL MEASURES WILL BE OPERABLE DURING THE RAINY SEASON, OCTOBER 1 TO APRIL 15. BY OCTOBER 1, GRADING AND INSTALLATION OF STORM DRAINAGE AND EROSION AND SEDIMENT CONTROL FACILITIES WILL BE COMPLETED. NO GRADING WILL OCCUR BETWEEN OCTOBER 1 AND APRIL 15 UNLESS AUTHORIZED BY THE CITY REPRESENTATIVE.
5. DURING THE RAINY SEASON, ALL PAVED AREAS WILL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE WILL BE MAINTAINED SO THAT A MINIMUM OF SEDIMENT-LADEN RUNOFF ENTERS THE STORM DRAINAGE SYSTEM.
6. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL FIELD MANUAL OF THE CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, 4TH EDITION, DATED AUGUST 2002 OR LATER EDITION.

**SAN MATEO COUNTY STANDARD NOTES:**

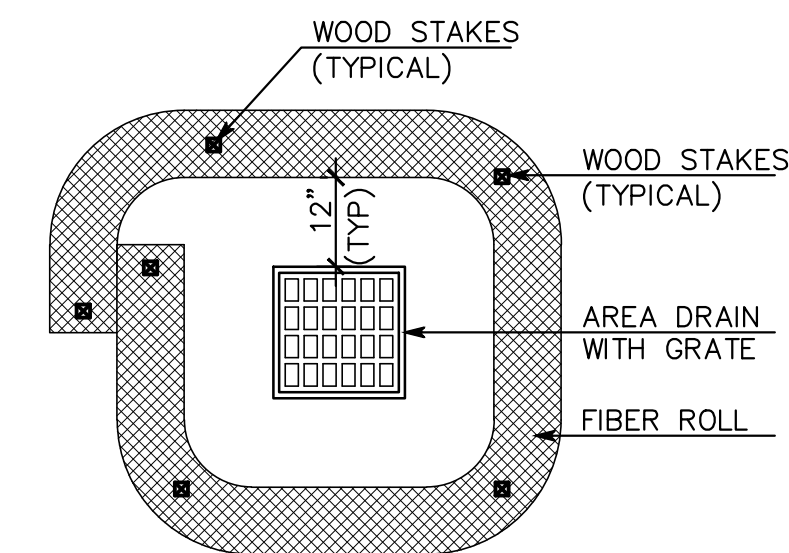
1. EROSION CONTROL POINT OF CONTACT: PROJECT MANAGER: JEN JACINTO  
EMAIL: jen.babuilders@gmail.com  
OFFICE: (650) 804-8850
2. PERFORM CLEARING AND EARTH-MOVING ACTIVITIES ONLY DURING DRY WEATHER. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH-MOVING ACTIVITIES AND CONSTRUCTION
3. STABILIZE ALL DENUDE AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.
4. STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
5. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICAL, WASH WATER OR SEDIMENTS AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
6. AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.
7. LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
8. LIMIT CONSTRUCTION ACCESS ROUTES TO STABILIZED, DESIGNATED ACCESS POINTS.
9. AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
10. TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
11. THE AREAS DELINEATED ON THE PLANS FOR PARKING, GRUBBING, STORAGE ETC., SHALL NOT BE ENLARGED OR "RUN OVER".
12. CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE "OFF-SEASON".
13. DUST CONTROL IS REQUIRED YEAR-ROUND.
14. EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.
15. USE OF PLASTIC SHEETING BETWEEN OCTOBER 1st. AND APRIL 30th IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.
16. THE TREE PROTECTION SHALL BE IN PLACE BEFORE ANY GRADING, EXCAVATING OR GRUBBING IS STARTED.



**TYPICAL FIBER ROLL INSTALLATION**  
N.T.S.

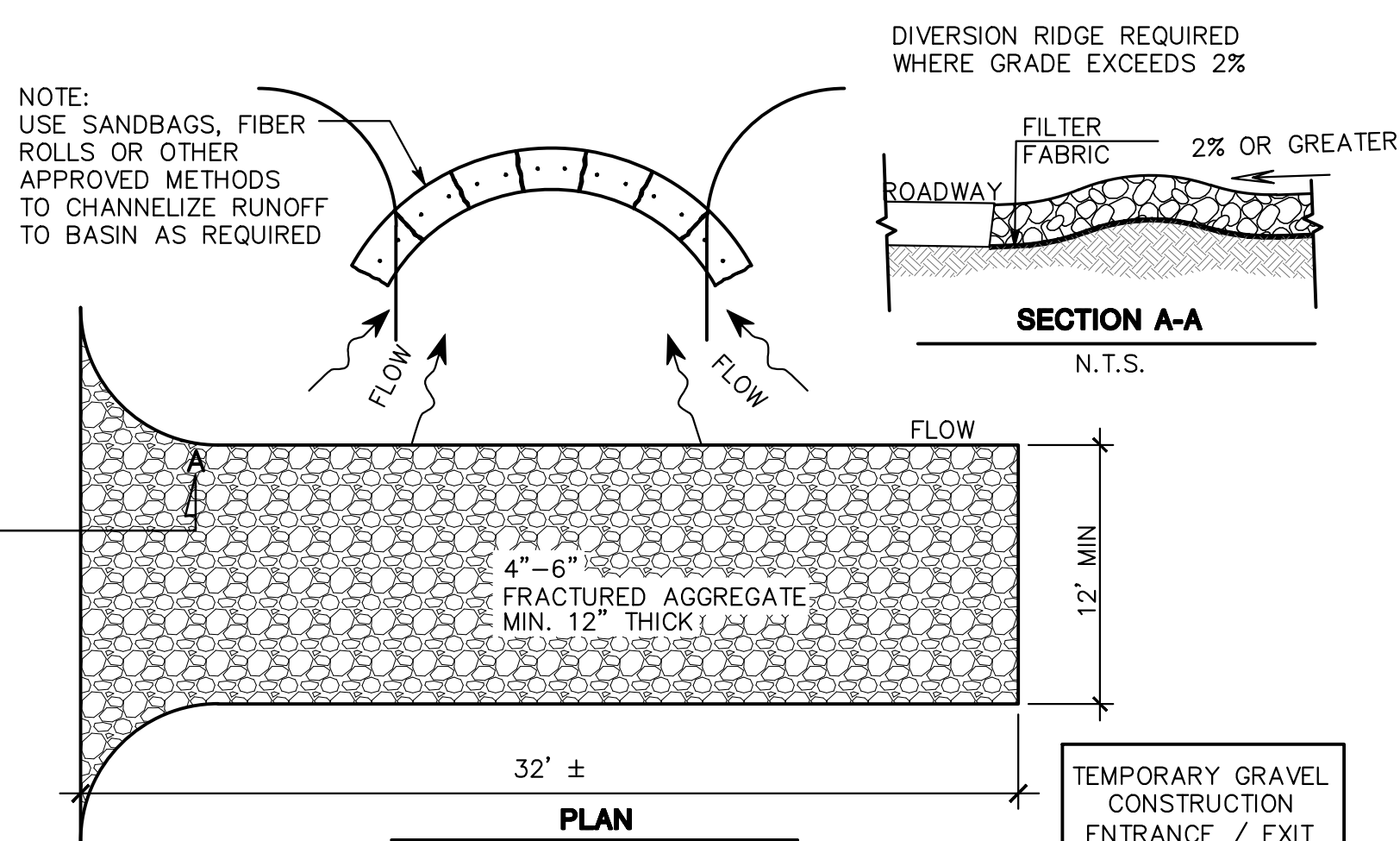
**A FIBER ROLL DETAIL**

SCALE: NOT TO SCALE



**B DRAIN INLET PROTECTION DETAIL**

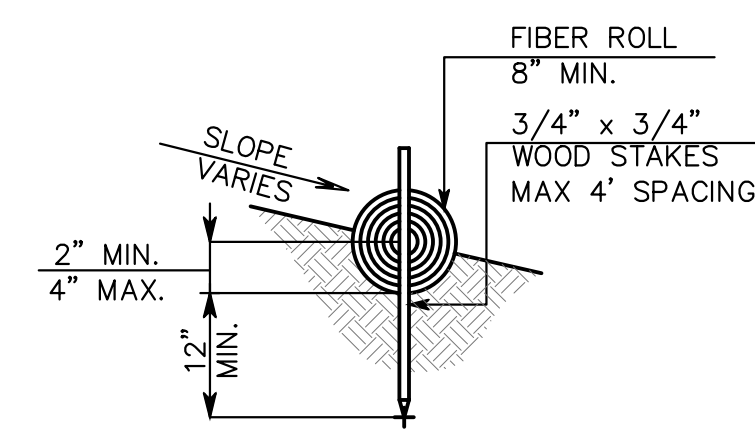
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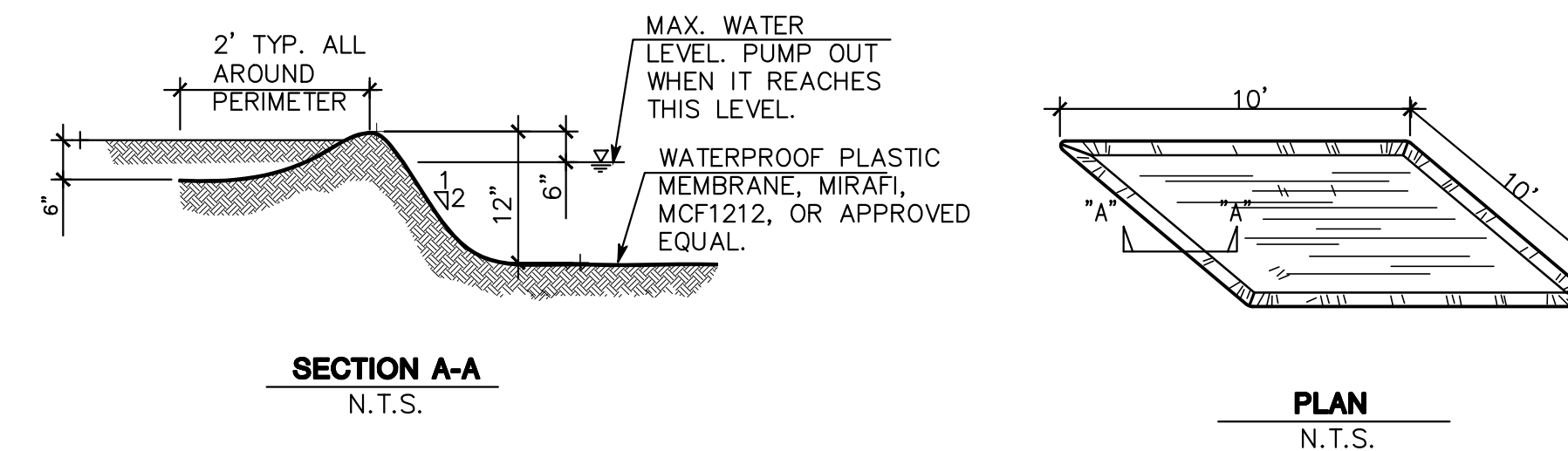
**C CONSTRUCTION ENTRANCE DETAIL**

SCALE: NOT TO SCALE

NOTE: INSTALL FIBER ROLL ALONG A LEVEL CONTOUR

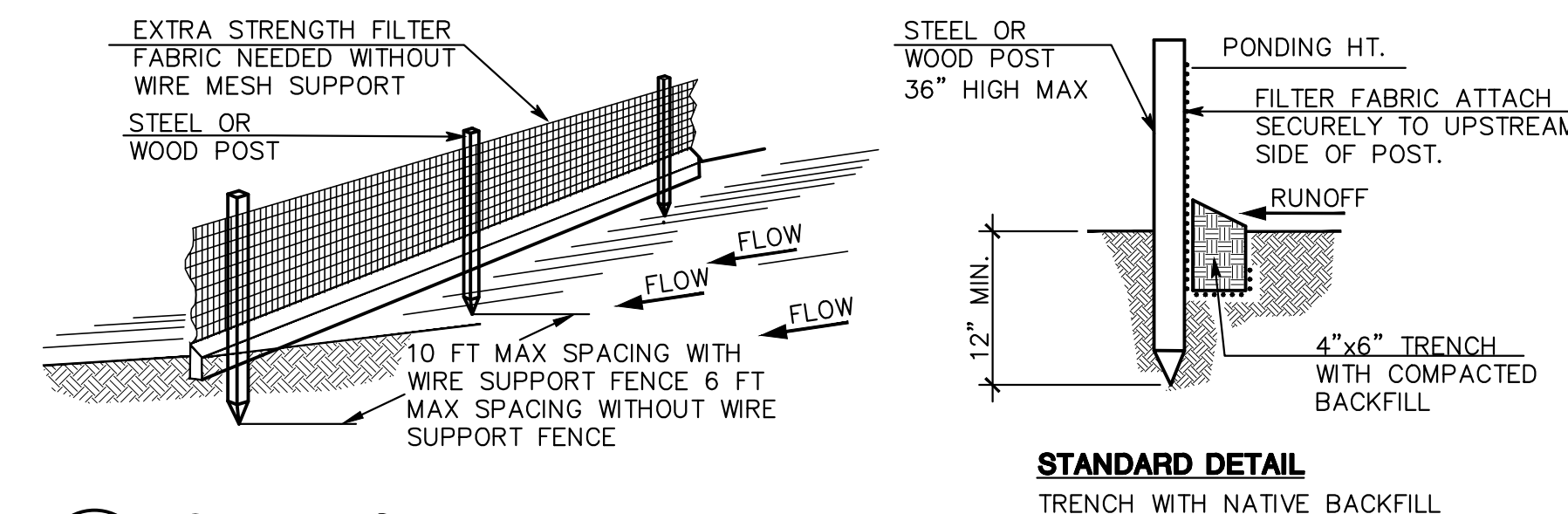


**ENTRENCHMENT DETAIL**  
N.T.S.



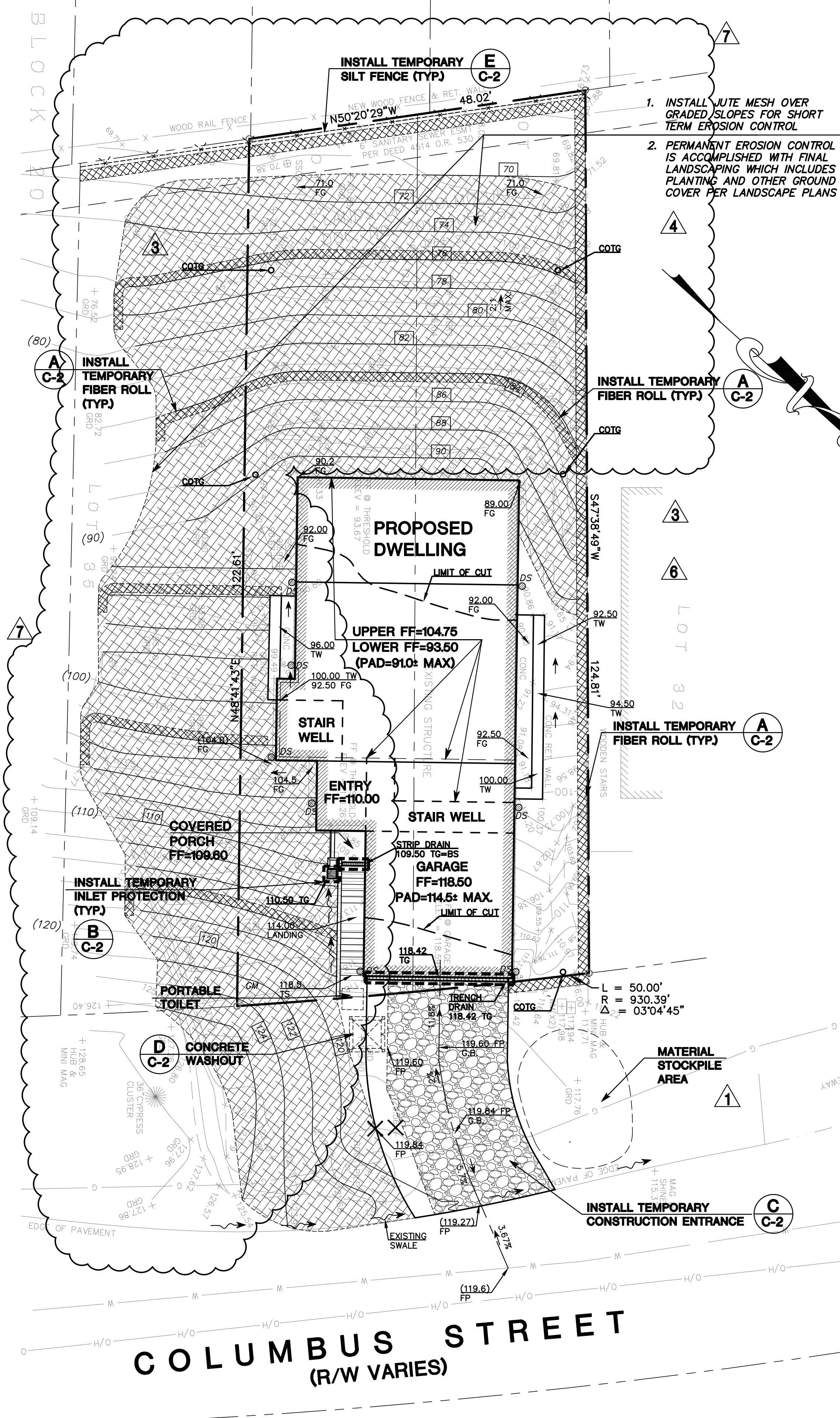
**D TEMPORARY CONCRETE WASHOUT DETAIL**

SCALE: (NOT TO SCALE)



**E SILT FENCE DETAIL**

SCALE: (NOT TO SCALE)



EROSION AND SEDIMENTATION CONTROL PLAN WITH DUST CONTROL NOTES

PREPARED FOR: BAHRAM ABOLMOLUKI

COLUMBUS STREET A.P.N. 047-275-050

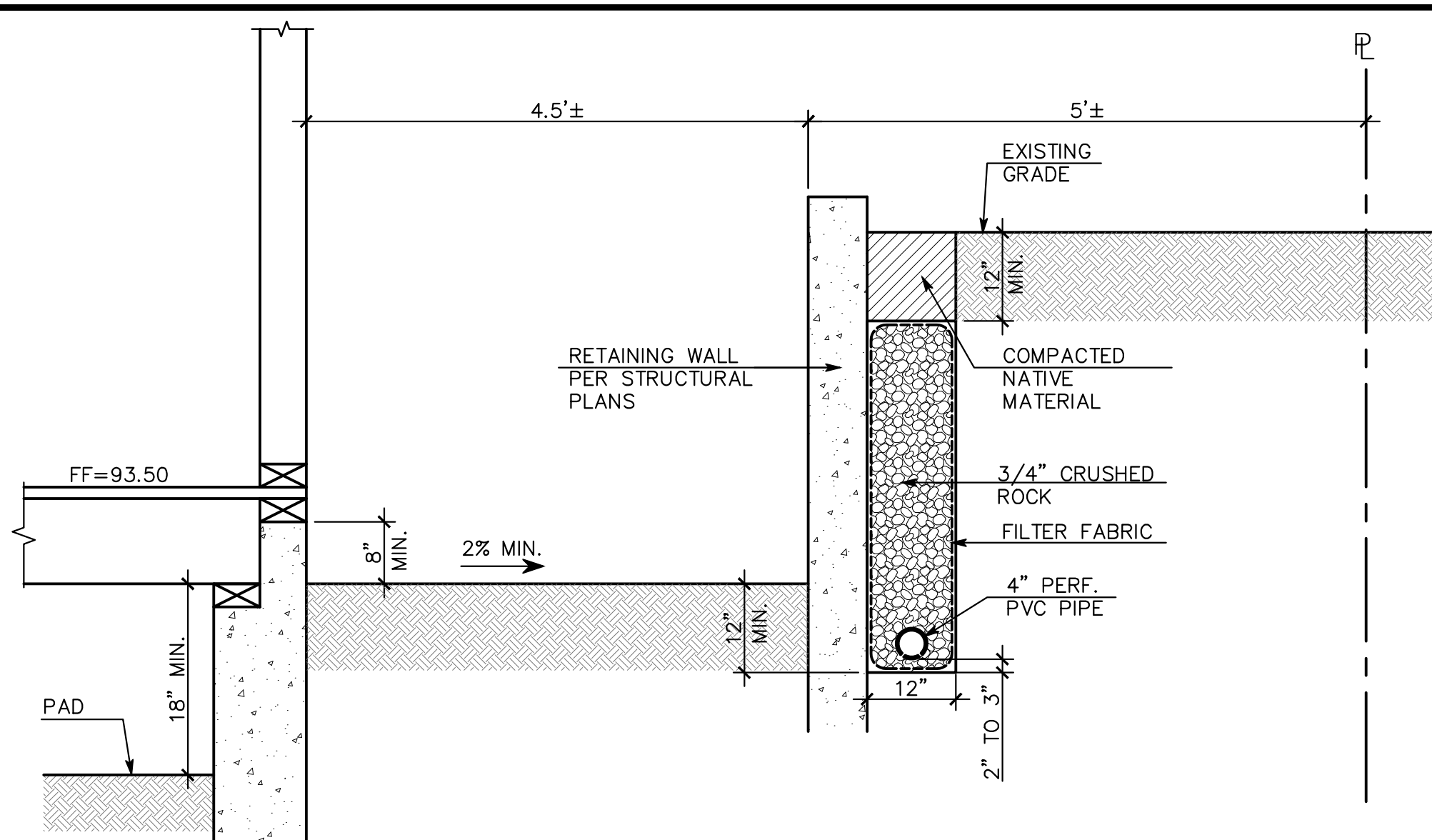
UNINCORPORATED SAN MATEO COUNTY CALIFORNIA

REGISTERED PROFESSIONAL ENGINEER  
No. 35048  
CIVIL  
STATE OF CALIFORNIA

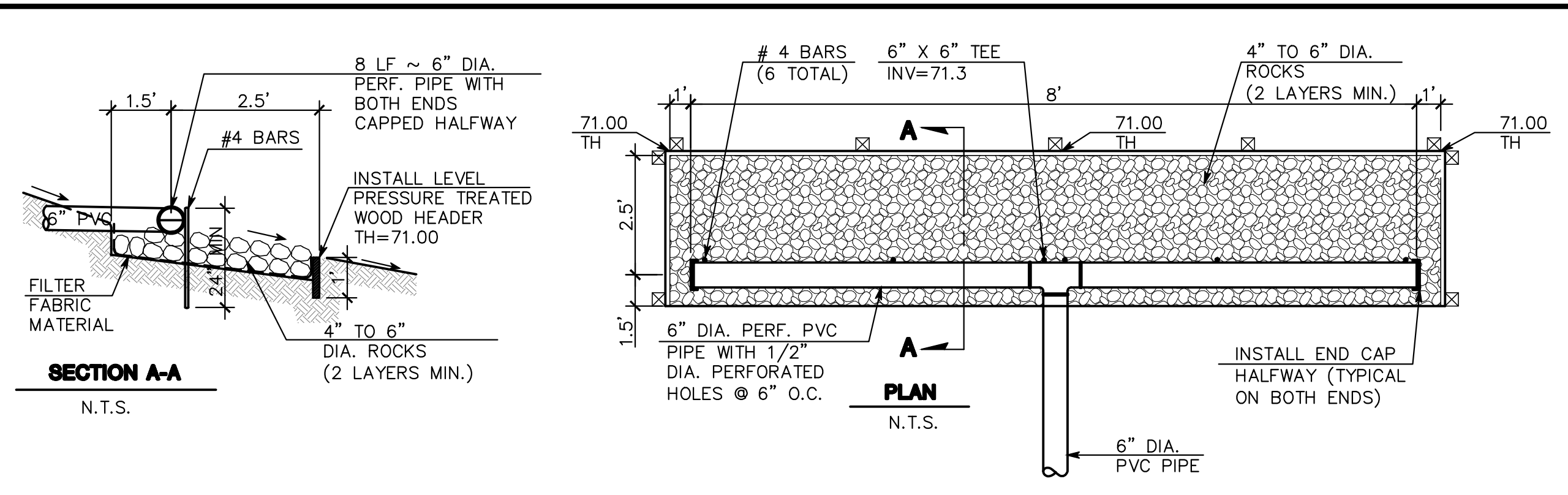
DATE: 08/24/18  
DRAWING NO. 4452-GRAD  
SHEET 2 OF 4

DRAWN BY: DJK/AAP  
DESIGNED BY: VPG  
CHECKED BY: DGM  
SCALE: 1"=10'

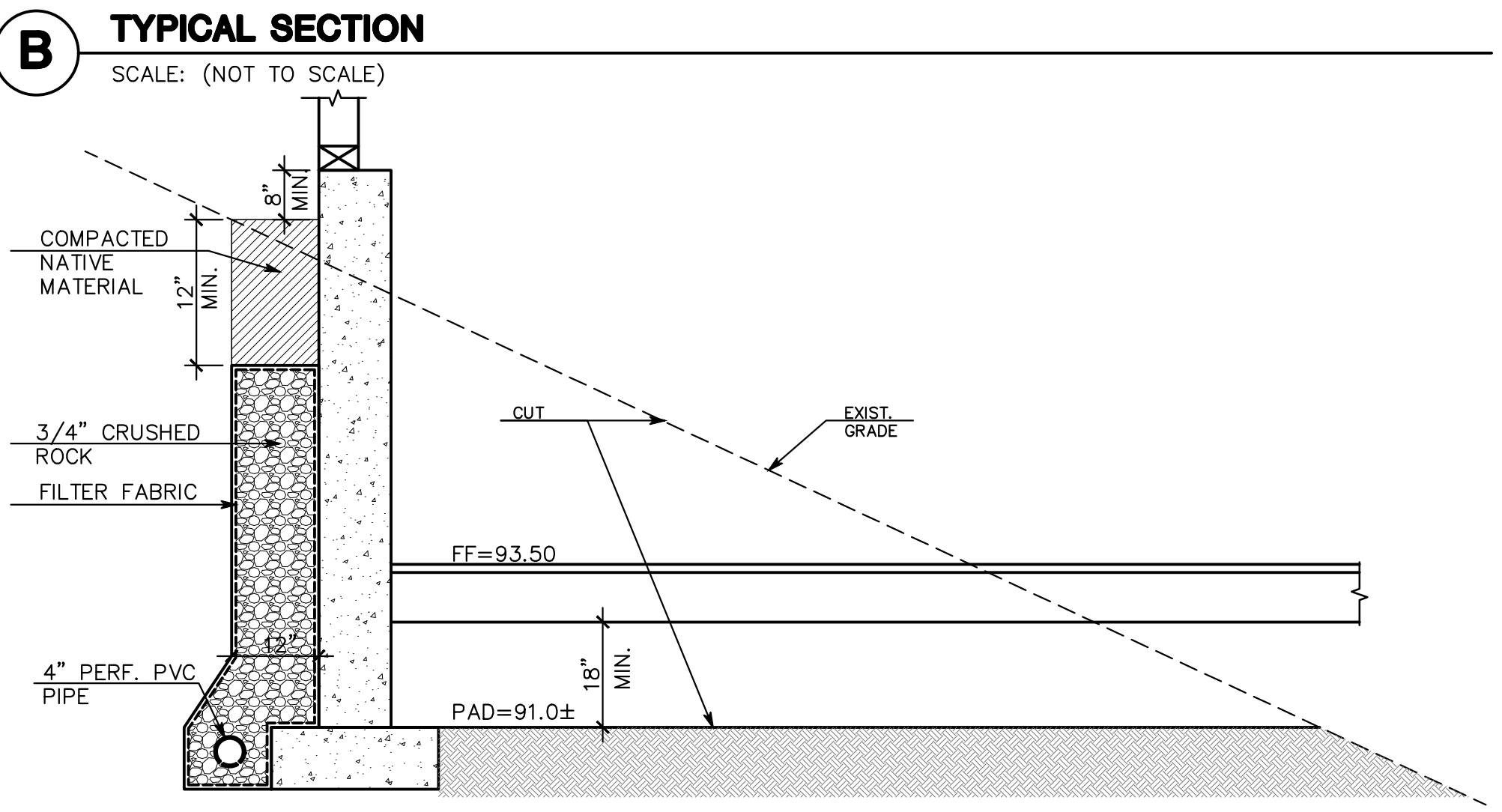




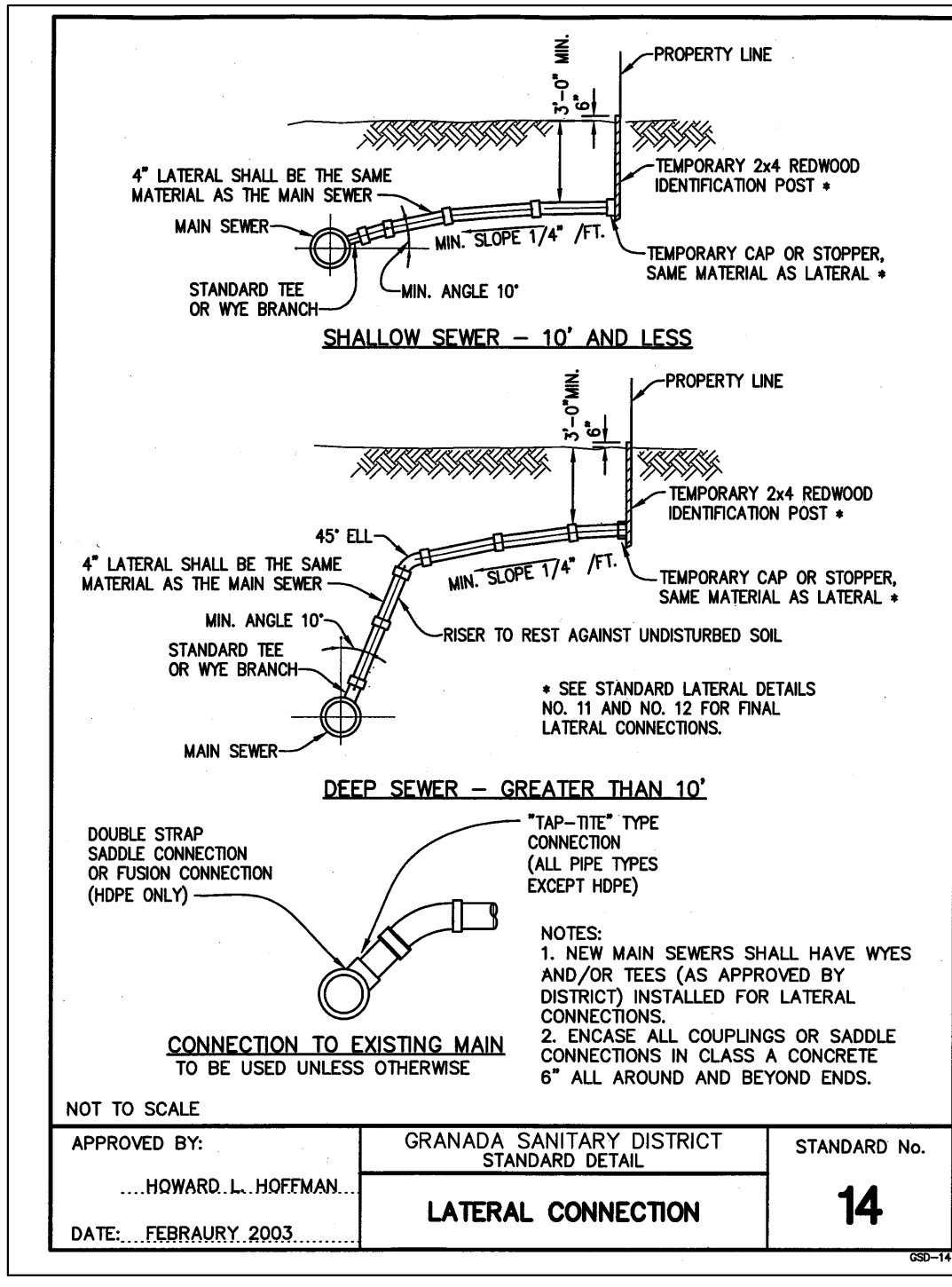
**A DRIVEWAY PAVEMENT SECTION**  
SCALE: (NOT TO SCALE)



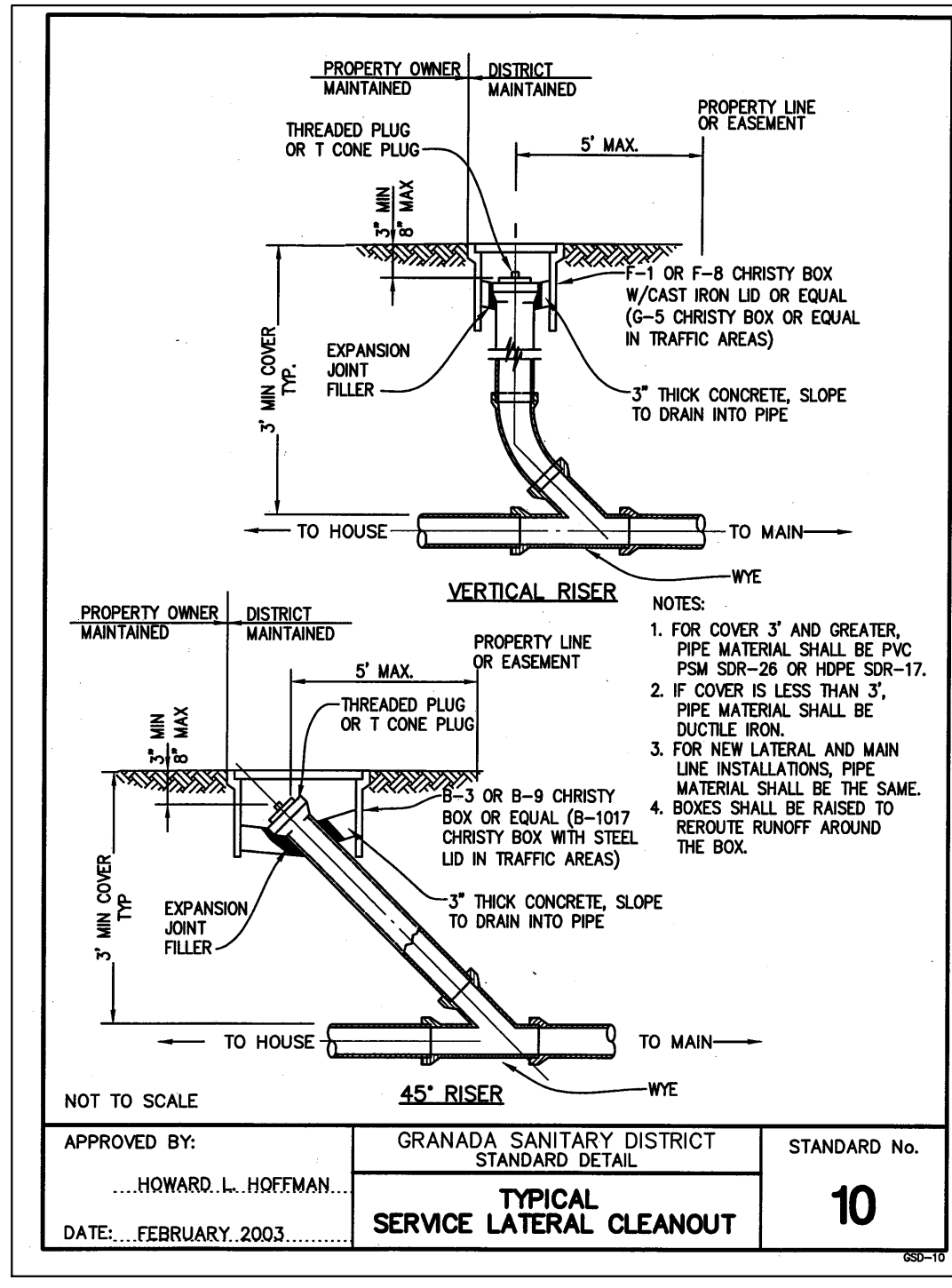
**E ENERGY DISSIPATER**  
SCALE: (NOT TO SCALE)



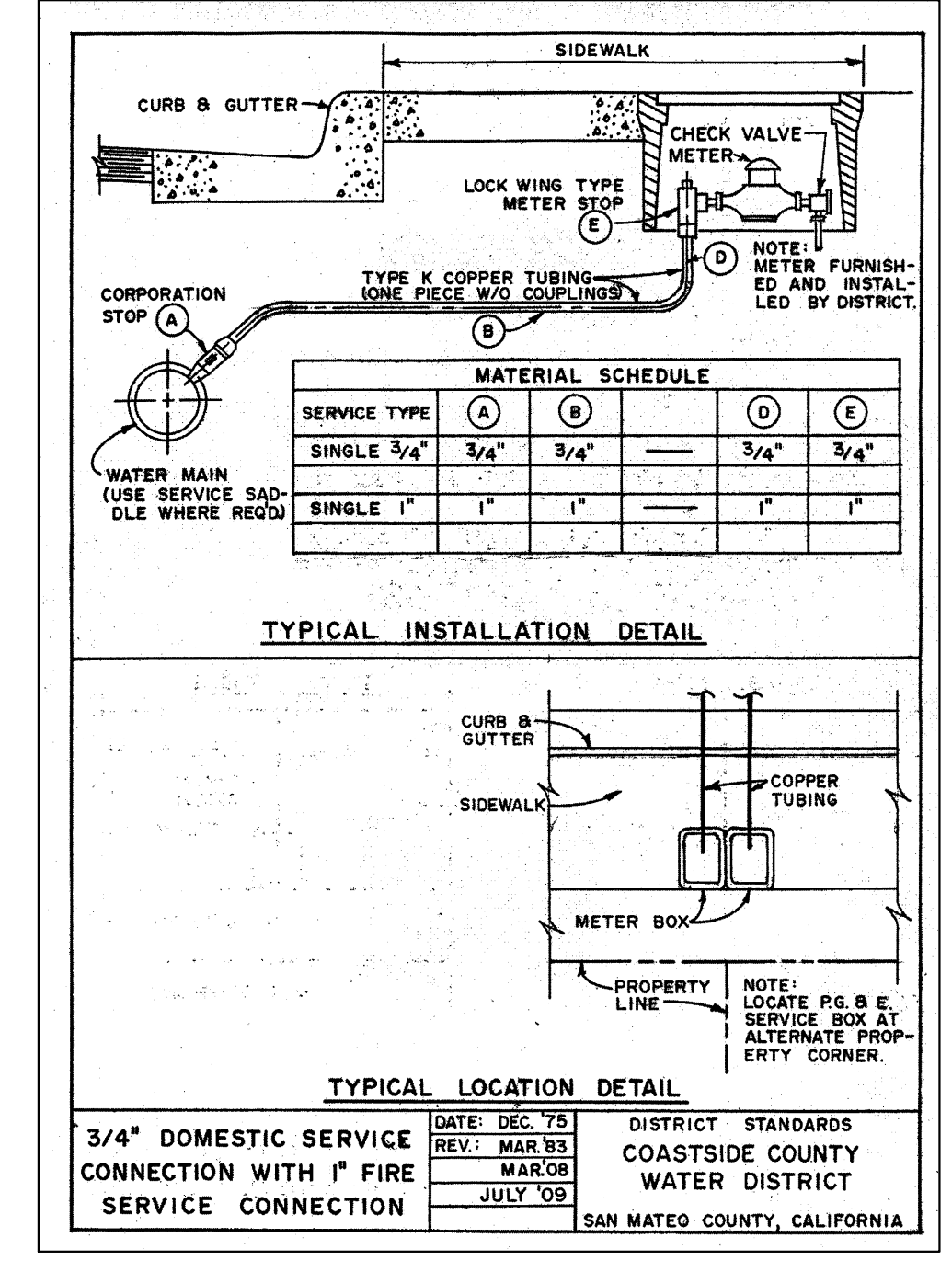
**B TYPICAL SECTION**  
SCALE: (NOT TO SCALE)



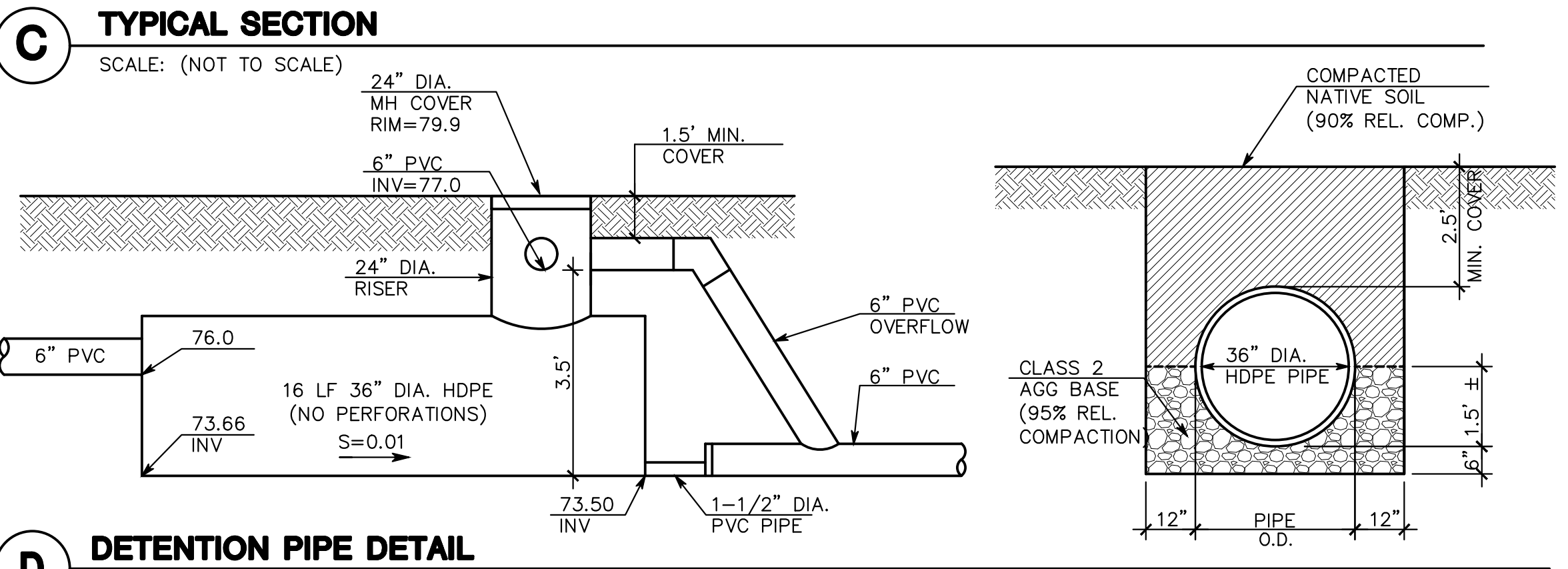
**F STANDARD DETAIL**  
SCALE: (NOT TO SCALE)



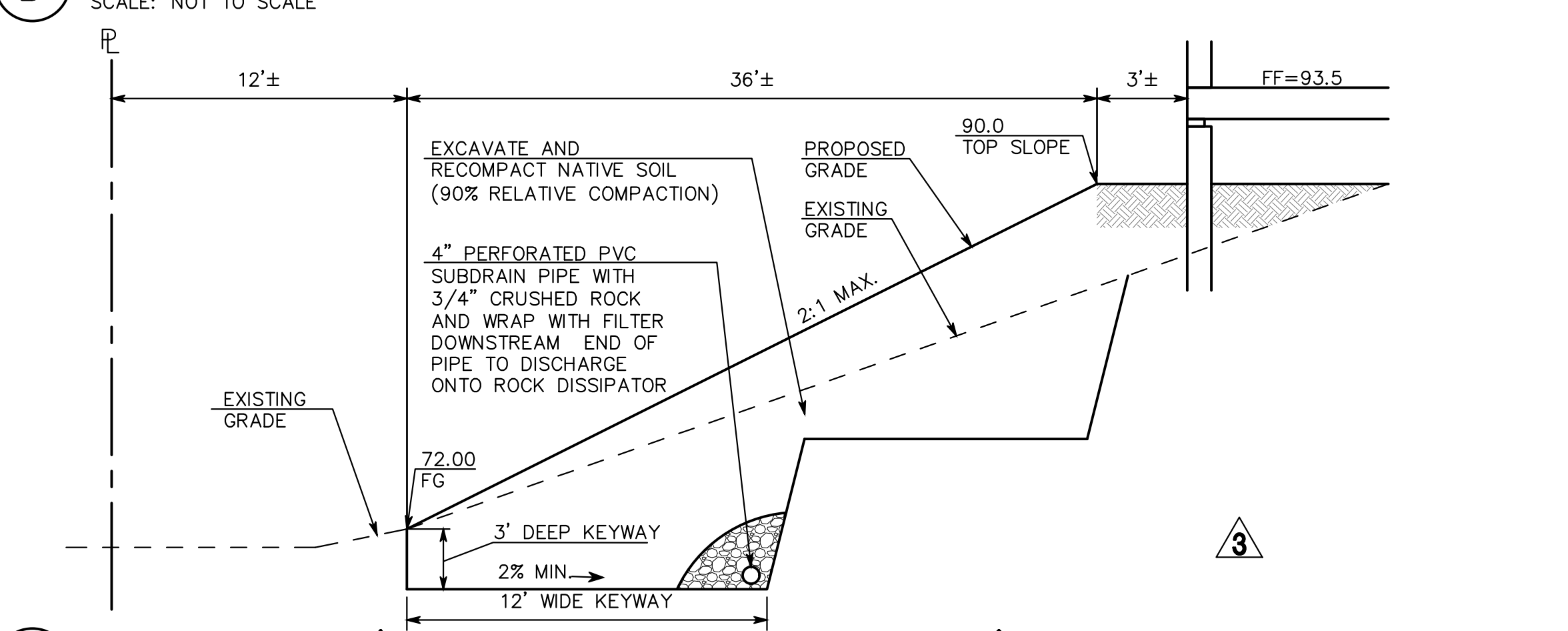
**G STANDARD DETAIL**  
SCALE: (NOT TO SCALE)



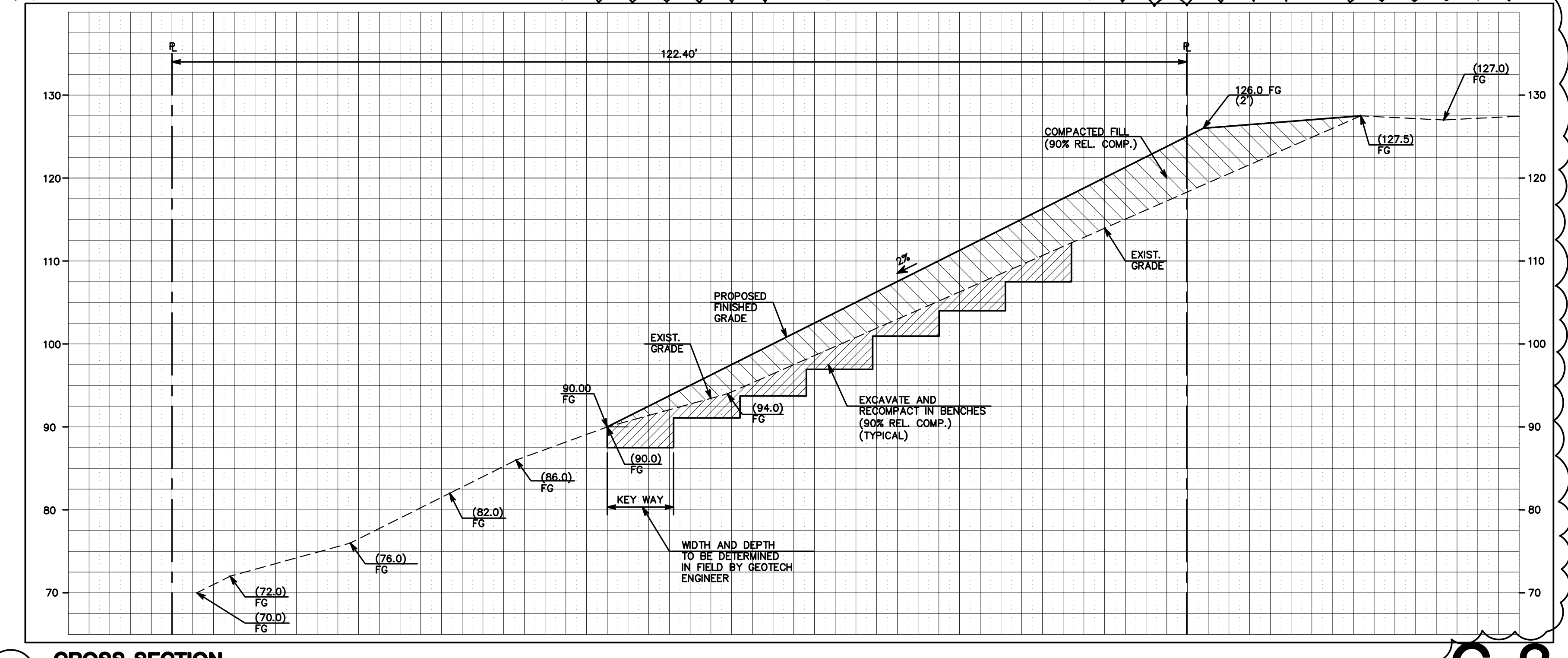
**H STANDARD DETAIL**  
SCALE: (NOT TO SCALE)



**C TYPICAL SECTION**  
SCALE: (NOT TO SCALE)



**D DETENTION PIPE DETAIL**  
SCALE: NOT TO SCALE



**J CROSS SECTION**  
SCALE: 1":10' (H & V)

**I CROSS SECTION ( PROPOSED FILL ON EXISTING SLOPE )**  
SCALE: (NOT TO SCALE)

DATE:	10/05/20
BY:	VPG
REV:	02/03/20
DESCRIPTION:	SITE REGRADING
REV:	09/14/19
DESCRIPTION:	PER COUNTY COMMENTS
REV:	07/25/19
DESCRIPTION:	GRADING REVISION

**MACLEOD AND ASSOCIATES**  
CIVIL ENGINEERING • LAND SURVEYING  
965 CENTER STREET • SAN CARLOS, CA 94070 • (650) 593-8560

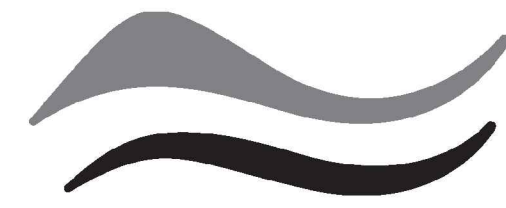
PREPARED FOR:  
BAHRAM ABOLMOLUKI

CIVIL DETAILS  
COLUMBUS STREET  
A.P.N. 047-275-050  
UNINCORPORATED SAN MATEO COUNTY CALIFORNIA

DRAWN BY: DJK/AAP  
DESIGNED BY: VPG  
CHECKED BY: DGM  
SCALE: NONE  
DATE: 08/24/18  
DRAWING NO. 4452-DETAIL  
SHEET 3 OF 4

**C-3**



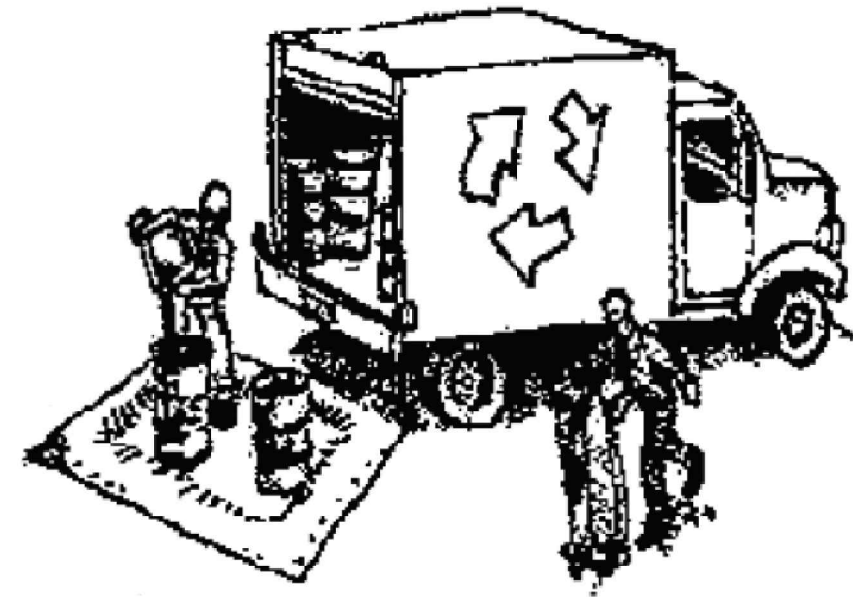


SAN MATEO COUNTYWIDE  
**Water Pollution  
 Prevention Program**  
 Clean Water. Healthy Community.

# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



### Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work

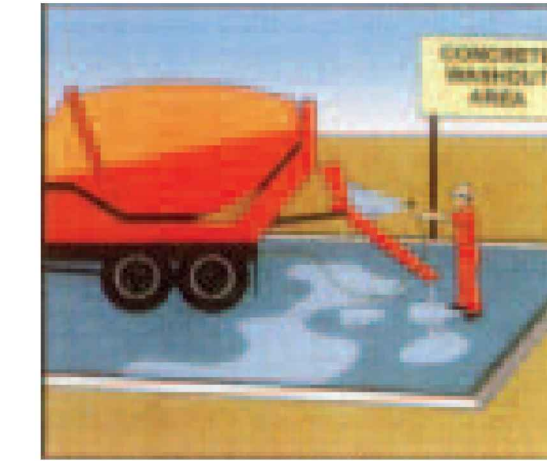


- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

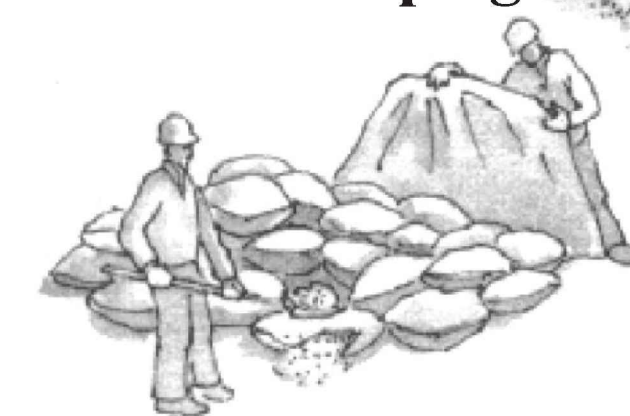
- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



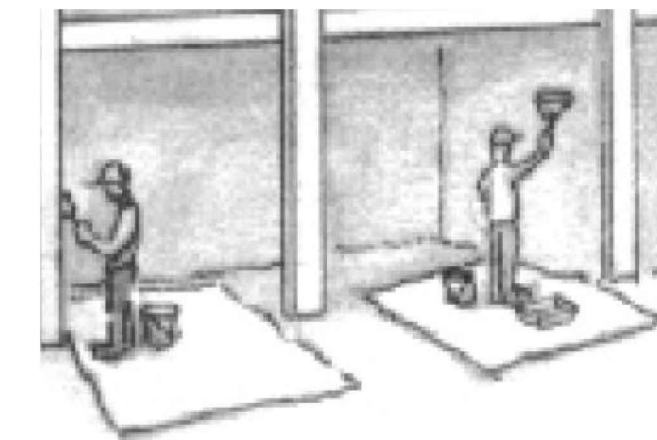
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

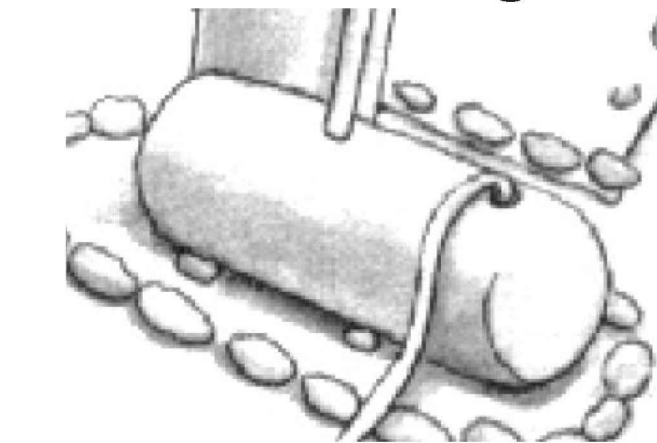
## Painting & Paint Removal



### Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

## Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**

REV.	DESCRIPTION	BY:	DATE:



**MACLEOD AND ASSOCIATES**  
 CIVIL ENGINEERING • LAND SURVEYING  
 965 CENTER STREET • SAN CARLOS, CA 94070 • (650) 593-8560

PREPARED FOR:  
 BAHRAM ABOLMOLUKI

**CONSTRUCTION BEST MANAGEMENT PRACTICES PLAN**  
 COLUMBUS STREET  
 A.P.N. 047-275-050  
 UNINCORPORATED SAN MATEO COUNTY CALIFORNIA

DRAWN BY:	AAP
DESIGNED BY:	VPG
CHECKED BY:	DGM
SCALE:	NONE
DATE:	08/24/18
DRAWING NO.	4452-CBMPP
SHEET	4 OF 4



**BOUNDARY NOTE:**

MONUMENTS HAVE BEEN SET AT THE PROPERTY CORNERS, AS SHOWN HEREON, AND A RECORD OF SURVEY HAS BEEN FILED WITH THE COUNTY OF SAN MATEO IN VOL. 43 OF LLS MAPS AT PAGE 73.

**BASIS OF ELEVATIONS:**

ELEVATIONS ARE BASED UPON AN ASSUMED DATUM.

◆ TBM: SET MAG NAIL AND SHINER ALONG COLUMBUS STREET, AS SHOWN. ELEVATION = 132.15'

**BASIS OF BEARINGS:**

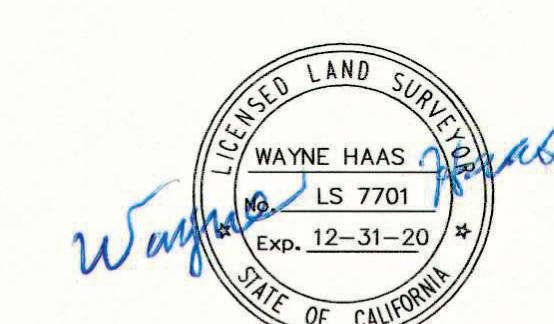
THE BEARING S43°47'30"W BETWEEN TWO FOUND BRASS DISK MONUMENTS, AS SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED IN VOLUME 8 OF L.L.S. MAPS AT PAGES 108-111, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

**LEGEND:**

- SET 3/4" IP WITH PLASTIC PLUG "LS 7701" AND TACK PER 43 LLS 73
- A/C ASPHALTIC CONCRETE
- BW BACK OF WALK
- CB CATCH BASIN
- CIP CAST IRON PIPE
- OMP CORRUGATED METAL PIPE
- CONC CONCRETE
- CO CLEAN-OUT
- DI DROP INLET
- EM ELECTRIC METER
- FD FOUND
- FF FINISHED FLOOR
- FL FLOW LINE
- FH FIRE HYDRANT
- GA GUY ANCHOR
- GM GAS METER
- GRD GROUND
- HCR HANDICAP RAMP
- INV INVERT
- IP IRON PIPE
- JP JOINT POLE
- LAT. LATERAL
- LC LIP OF GUTTER
- O/H OVERHEAD
- P.U.E. PUBLIC UTILITIES EASEMENT
- RCP REINFORCED CONCRETE PIPE
- RET. WALL RETAINING WALL
- R/W RIGHT OF WAY
- SSCO SANITARY SEWER CLEAN-OUT
- SSMH SANITARY SEWER MANHOLE
- SDM STORM DRAIN MANHOLE
- TBC TOP BACK OF CURB
- T/W TOP OF WALL
- U/G UNDERGROUND
- VCP VITRIFIED CLAY PIPE
- WV WATER VALVE
- WM WATER METER BOX
- CTV- CABLE TELEVISION LINE
- E- ELECTRICAL LINE
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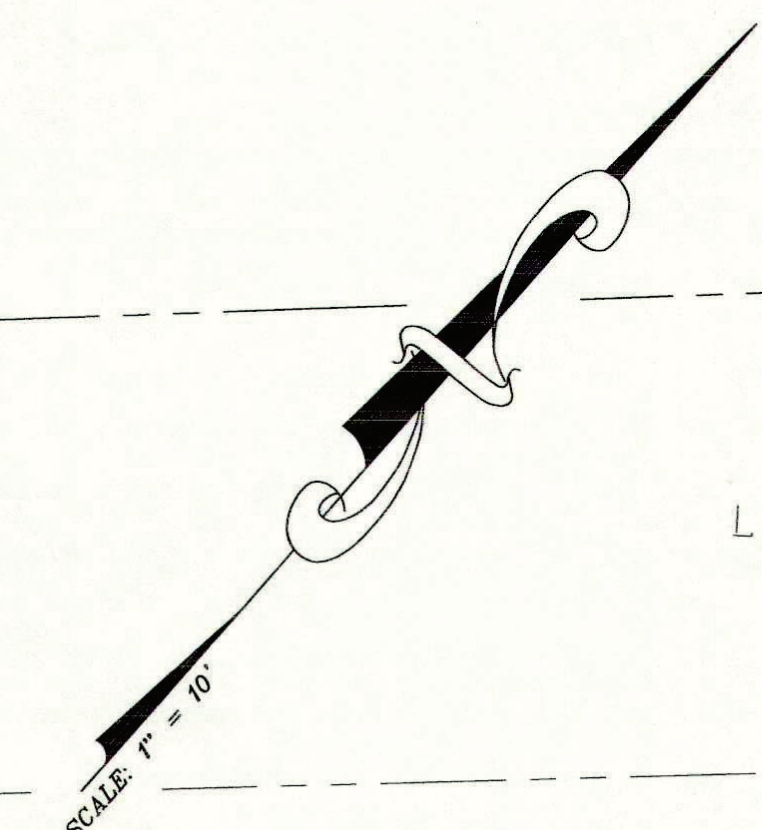
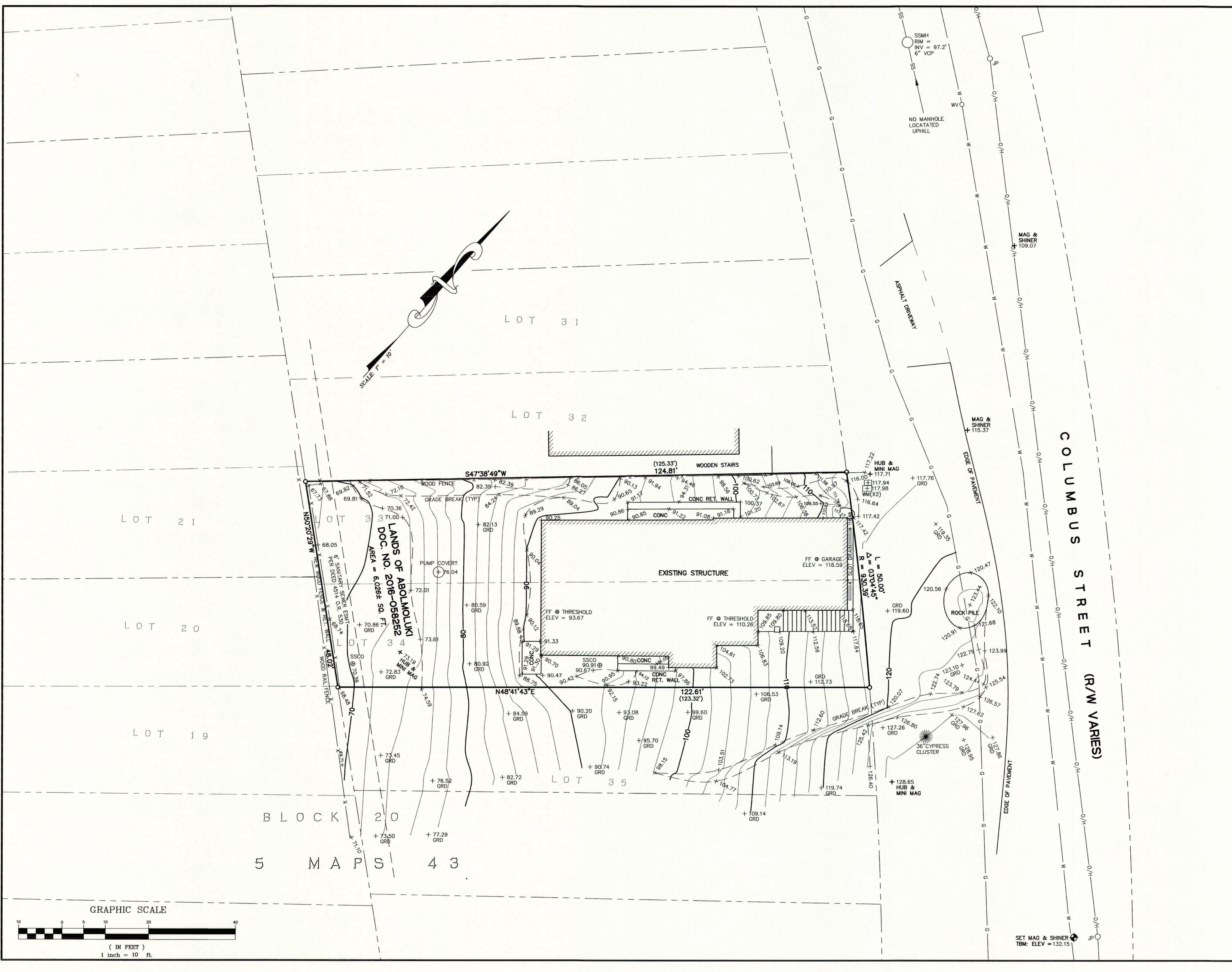
**UTILITY NOTE:**

THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

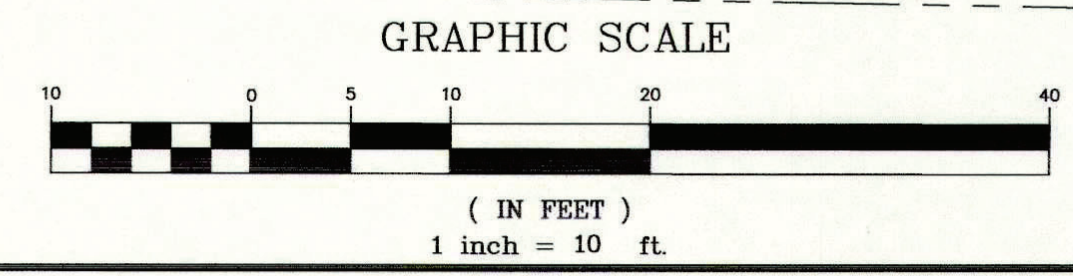


12/23/19  
**AS BUILT SURVEY**  
 LANDS OF ABOLMOLUKI  
 DOCUMENT # 2016-058252 O.R.  
 LOTS 33 AND 34, BLOCK 20  
 "PLAT OF SUBDIVISION NO. 1 OF GRANADA"  
 VOLUME 5 OF MAPS AT PAGE 43  
 ASSESSOR'S PARCEL NUMBER: 047-275-050  
 (1120 COLUMBUS STREET, EL GRANADA)  
 UNINCORPORATED SAN MATEO COUNTY CALIFORNIA  
 SCALE: 1" = 10' DECEMBER, 2019

**B & H SURVEYING, INC.**  
 PROFESSIONAL LAND SURVEYING  
 901 WALTERMIRE ST.  
 BELMONT, CA 94002  
 OFFICE (650) 637-1590



SCALE: 1" = 10'



SET MAG & SHINER  
 TBM: ELEV = 132.15'



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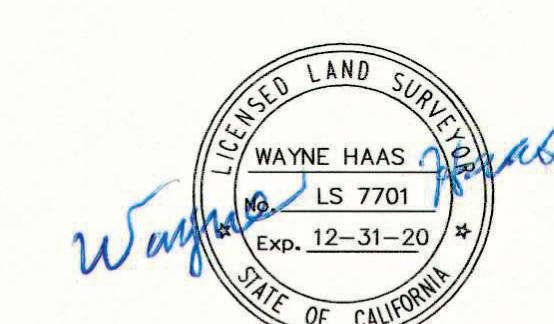
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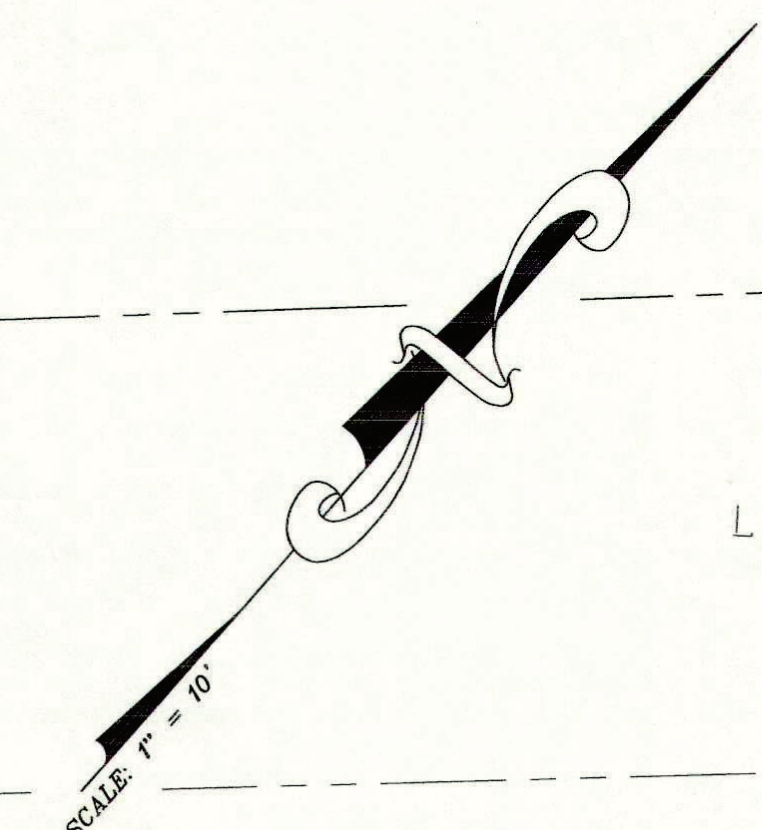
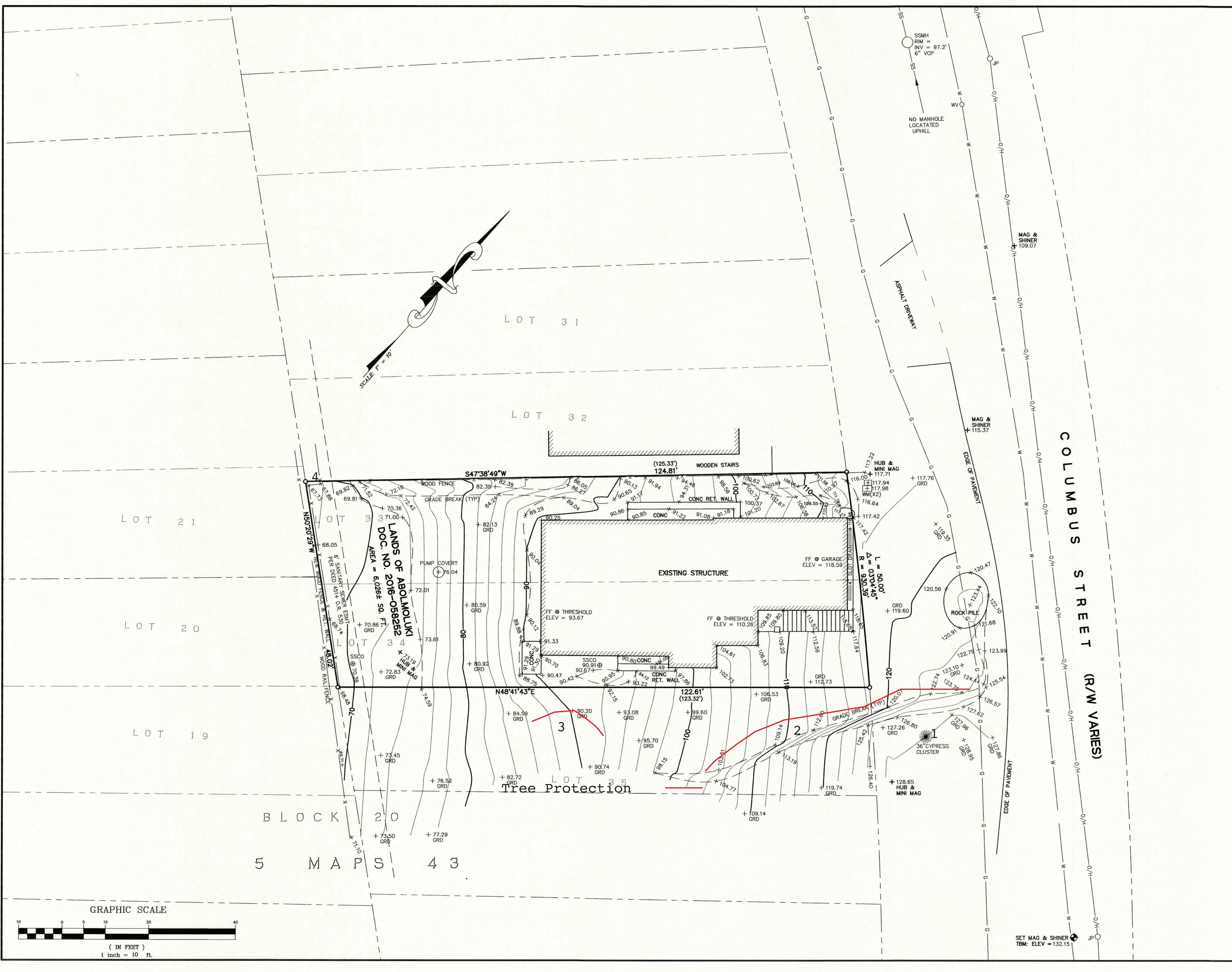
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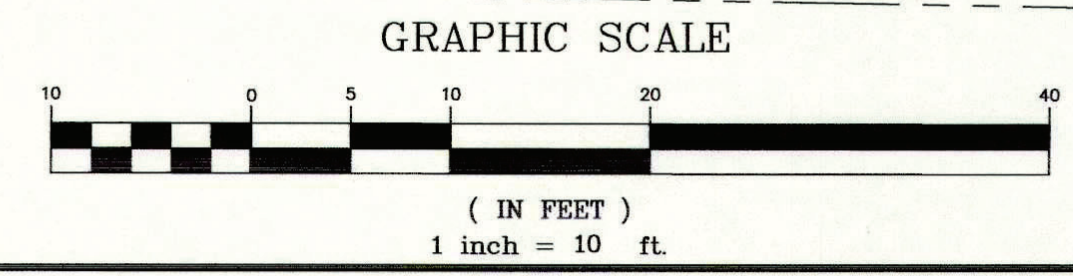


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**PLANT LEGEND:**

**Tall Screen Plants:**  
 R- Rhododendron Red, Pink, Purple 15gal (2)  
 PO- Podocarpus henkelli, 15gal (3)  
 TB- Tibouchina urvilleana, 15gal (1)  
 AR- Arbutus Marina standard, 15gal (9)  
 T- Toyon, 15gal (3)  
 GR- Grevelia "Red Hooks", 5gal (10)  
 D- Dodonaea purpurea, 15gal (17)  
 BS- Buxus Sempervirens, 15gal (1)

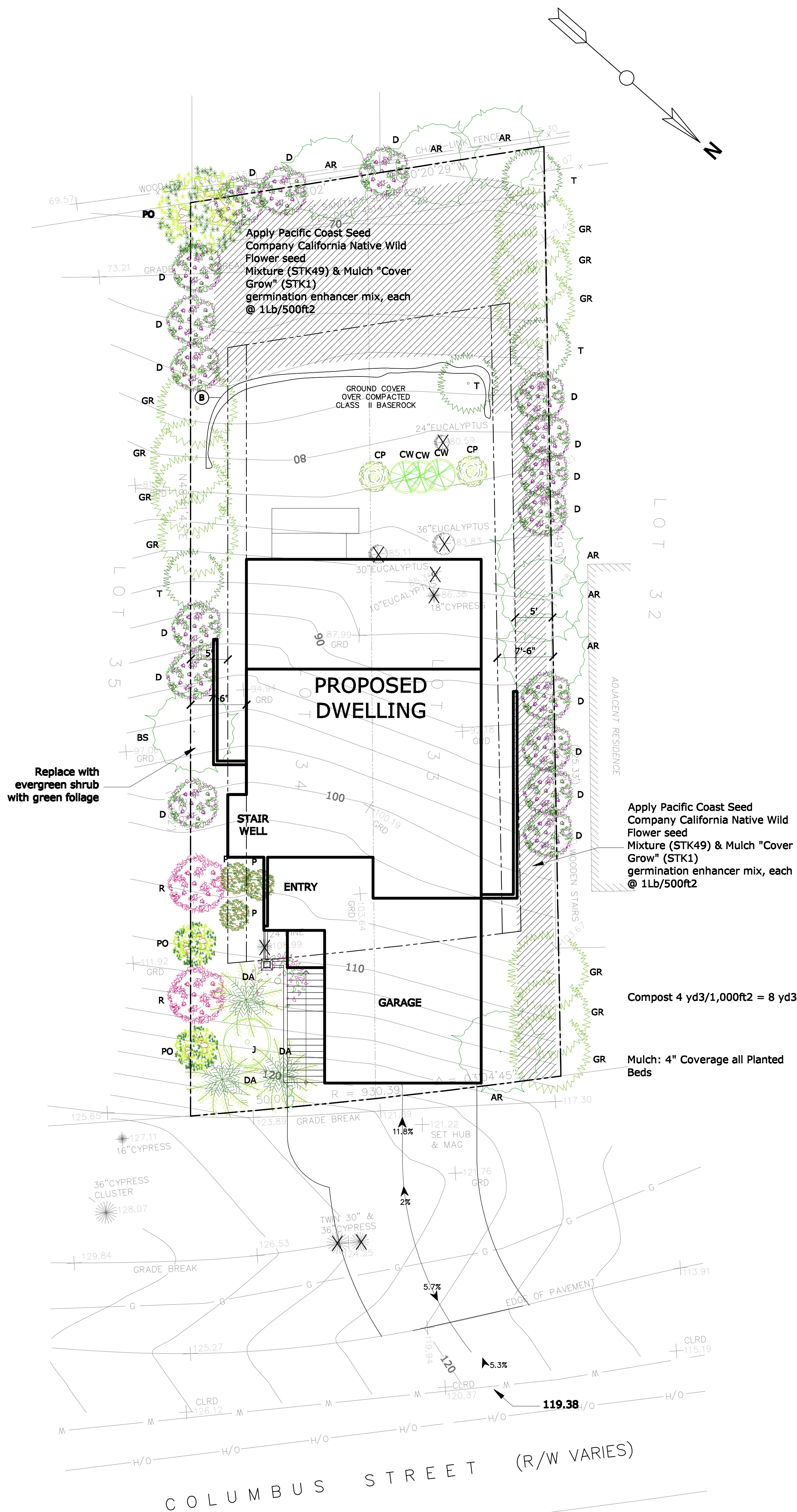
**Foundation Plants:**  
 W- Woodwardia fimbriata, 5gal  
 P- Polystichum munitum, 1gal (3)  
 SC- Salvia Cacafoila, 1gal  
 CW- Correa Wyn's Wonder 5gal (3)  
 LO- Loricatum Hines Purple 5gal  
 CP- Coleema "Montary Rose", 5gal  
 CG- Coleonema Golden 5gal  
 GS- grevillea 'superb', 5 gal

**Border Plants:**  
 CA- Campanula Perskiania, Flat  
 WS- Wild Strawberry (Chiloensis) Flat  
 MZ- Arctostaphylos Emerald Carpet 1gal (37)

**Focal Plants:**  
 DA- Dicksonia antarctica 15gal (3)  
 J- Acer Japonica, 'Emperor 1', 24" Box (1)

**This is a WELO Compliant Landscape:**

- Compost: (4) yd<sup>3</sup>/1,000ft<sup>2</sup> to a depth of 6" to all planted areas.
- Plant Water Use: Install climated adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 75% of the plants used.
- Mulch: 3" layer of mulch on all exposed soil surfaces of planting areas.
- Turf, (Sod Rolls): Total turf area does not exceed 25% of the landscape area.
- Landscape Water Meter: A Landscape privately owned dedicated water meter shall be installed and maintained by the owner.
- A weather based irrigation computer shall be used to control the irrigation system.



**No Change From Original Approval**

**P-1**  
 PLANTING PLAN  
 1/8" = 1'0"  
 SCALE:  
 08/23/2018  
 DATE:

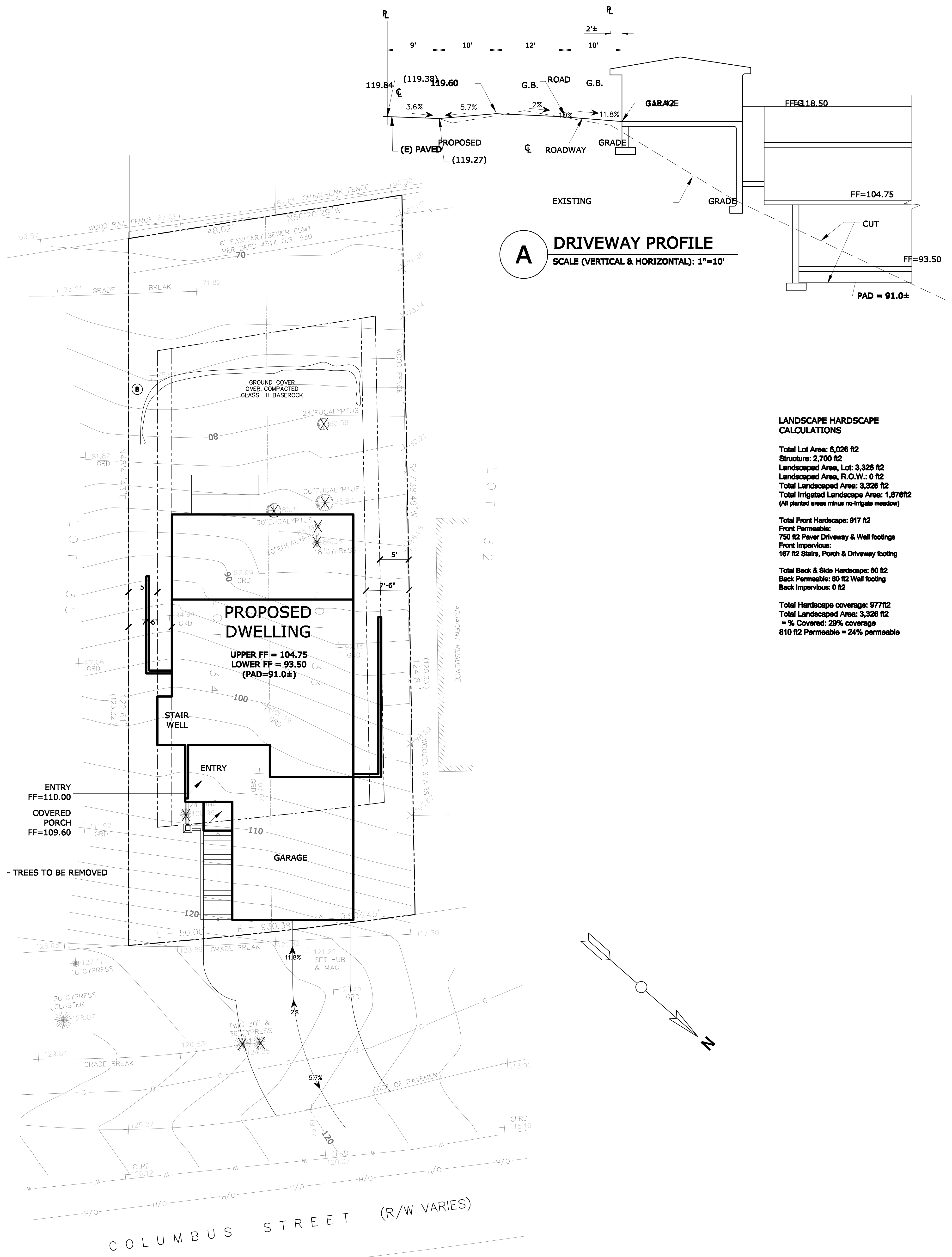
REVISION TABLE			
NUMBER	DATE	REVISED BY	DESCRIPTION

Scott Soden  
 Artscapes Landscape Design  
 Phone: 650-839-1704  
 Cell 650-823-5824

APN 047-275-050

COLUMBUS ST.  
 EL GRANADA, CA.

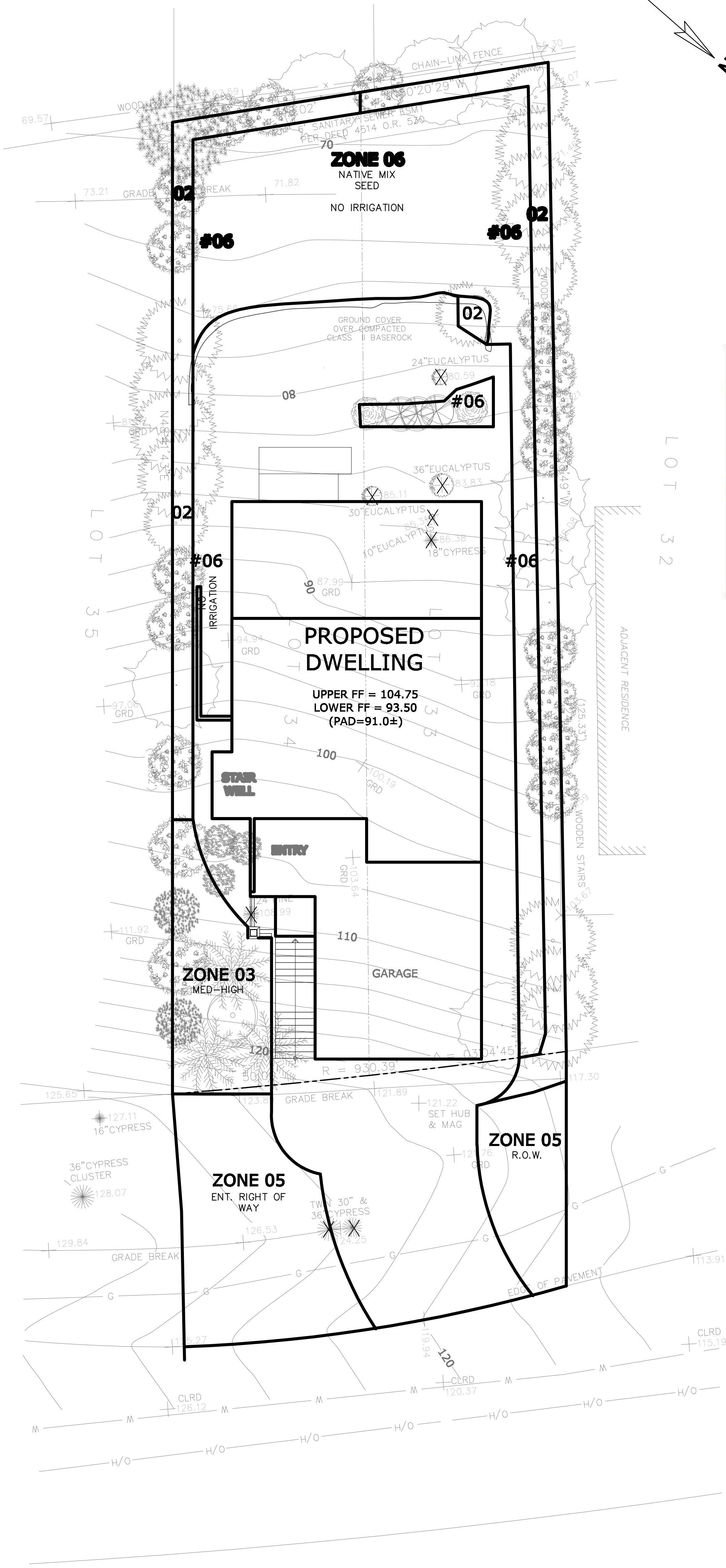
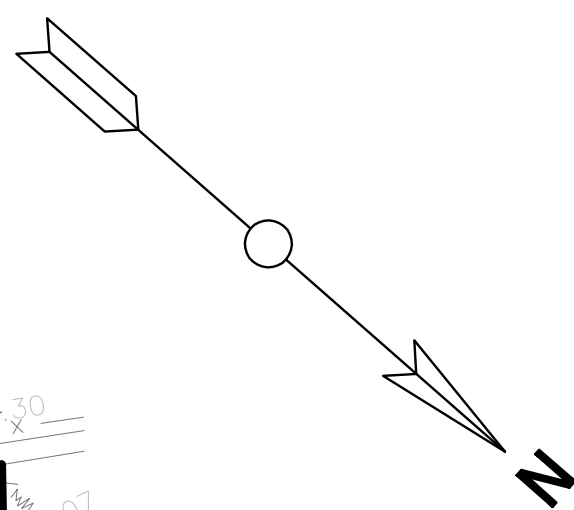




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<b>T-1</b> TOPOGRAPHY PLAN	SCALE: 1/8" = 1'0"	DATE: 08/23/2018	REVISION TABLE	Scott Soden Artscapes Landscape Design Phone: 650-839-1704 Cell 650-823-5824	APN 047-275-050	COLUMBUS ST. EL GRANADA, CA.																		
	DATE:	<table border="1"> <thead> <tr> <th>NUMBER</th> <th>DATE</th> <th>REVISED BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>	NUMBER	DATE	REVISED BY	DESCRIPTION																		
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**WATER EFFICIENT LANDSCAPE WORKSHEET**

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

**Reference Evapotranspiration (Eto)** 44.24

Hydrozone # / Planting Description*	Plant Factor (PF)	Irrigation Method*	Irrigation Efficiency (IE)*	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)*
<b>Regular Landscape Areas</b>							
#02 Low	0.3	Drip	0.81	0.37	825	305	8,373
#03 med/high	0.8	Drip	0.81	0.98	336	329	9,031
#05 low	0.3	Drip	0.81	0.37	515	191	5,236
				Totals	1676(A)	825 (B)	
<b>Special Landscape Areas</b>							
				1			
				1			
				1			
				Totals	0 (C)	0 (D)	
						<b>ETWU Total</b>	22,629
						<b>Maximum Allowed Water Allowance (MAWA)*</b>	22,640

\*Hydrozone #/Planting Description  
 E.g.  
 1.) front lawn  
 2.) low water use plantings  
 3.) medium water use planting

\*Irrigation Method  
 overhead spray  
 or drip

\*Irrigation Efficiency  
 0.75 for spray head  
 0.81 for drip

\*ETWU (Annual Gallons Required) =  
 $Eto \times 0.62 \times ETAF \times Area$   
 where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

**ETAF Calculations**

Regular Landscape Areas

Total ETAF x Area	(B)	825
Total Area	(A)	1,676
Average ETAF	$B \div A$	0.49

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

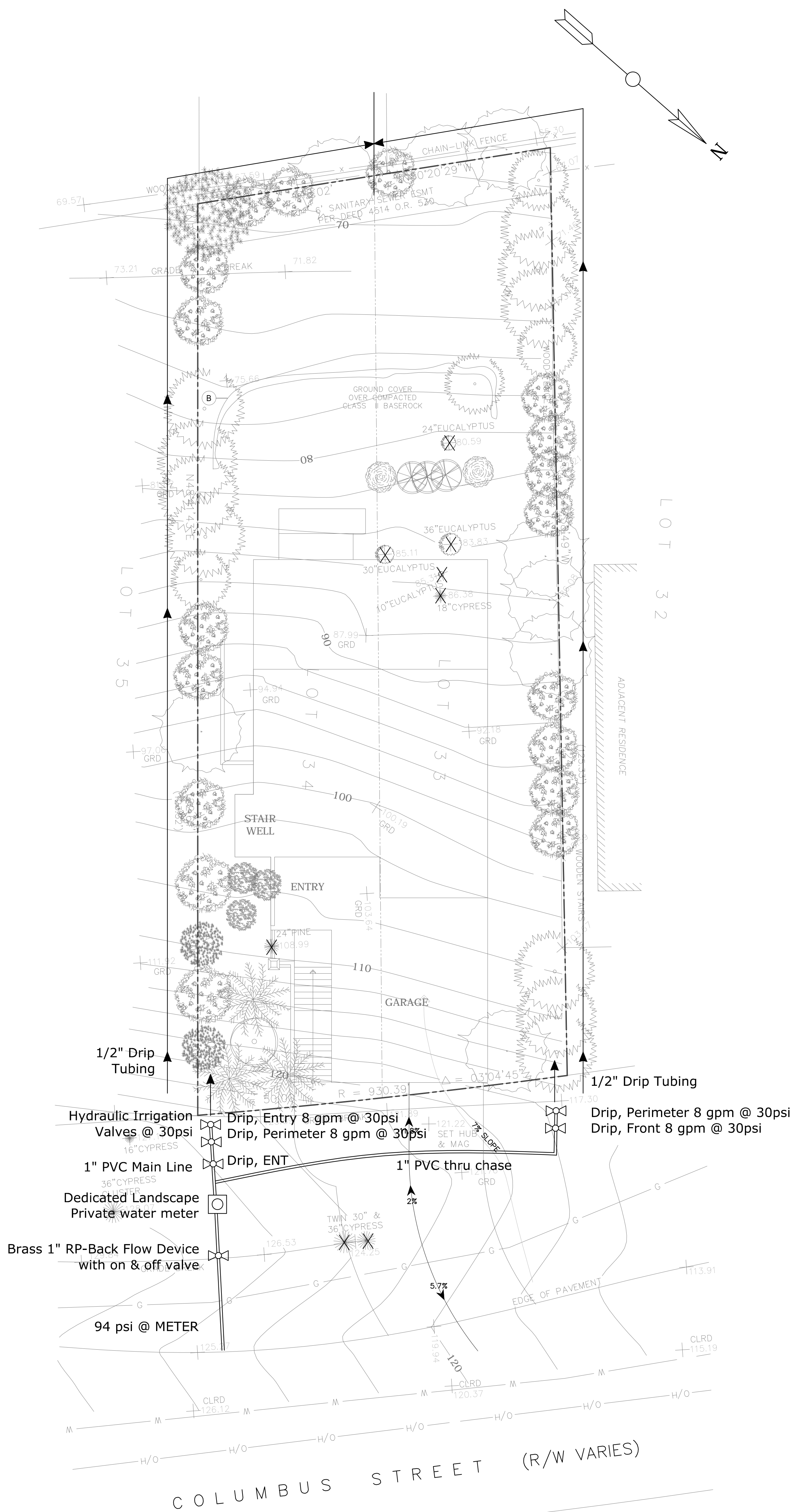
All Landscape Areas

Total ETAF x Area	(B+D)	825
Total Area	(A+C)	1,676
Sitewide ETAF	$(B+D) \div (A+C)$	0.49

A copy of this form may be obtained from Department of Water Resources website:  
<http://www.water.ca.gov/wateruseefficiency/landscapeordnance/>

**No Change From Original Approval**





**DRIP IRRIGATION SYSTEM:**

Consists of Pressure Reducer, Y-Filter, Hydraulic Anti-Siphon Valve, 1/2" Tubing to all Plants, 1/2 Gallon, & 1 Gallon Emitters only.  
 NO MICRO-SPRAYS SHALL BE USED ON THIS SYSTEM.  
 Drip Emitters shall be placed up-slope of the plants to be watered.  
 Watering Schedule shall be 1 hour, three times per week, divided into (4) Intervals of 15 minute duration to prevent water run-off.

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