

**COUNTY OF SAN MATEO  
PLANNING AND BUILDING DEPARTMENT**

**DATE:** August 11, 2021

**TO:** Planning Commission

**FROM:** Planning Staff

**SUBJECT:** EXECUTIVE SUMMARY: Consideration of a Coastal Development Permit, Design Review, and Non-Conforming Use Permit to allow the construction of a new 847 sq. ft. single-family residence with an attached one-car garage (224 sq. ft.), with a reduced 3 foot right side setback and 13 feet 5-inch rear setback, where 5 feet and 20 feet are required, respectively, on a substandard 2,335 sq. ft. legal parcel located on Avenue Portola in the unincorporated El Granada area of San Mateo County. The project includes a water mainline extension along Avenue Portola, between Coronado Street and The Alameda, the removal of one (1) Significant Pine tree 18-inch diameter at breast height, and minimal grading. The Coastal Development Permit is not appealable to the California Coastal Commission.

County File Number: PLN 2020-00167 (Freitas)

**PROPOSAL**

The applicant is seeking a Coastal Development Permit, Design Review approval, and a Non-Conforming Use Permit to allow the construction of an 847 sq. ft. one-story single-family residence with an attached one-car (224 sq. ft.) garage on a legal 2,335 sq. ft. parcel located on Avenue Portola, between Coronado Street and The Alameda, in the unincorporated area of El Granada. The lot has been legalized through a Certificate of Compliance (Type A, PLN 2019-00380). To develop the substandard lot, the applicant is requesting a reduced right side setback to 3 feet, where 5 feet is required, and a reduced rear setback to 13 feet 5 inches, where 20 feet is required. The project includes a water mainline extension along Avenue Portola between Coronado Street and The Alameda, removal of one Significant Pine tree 18-inch diameter at breast height on the project property, and minor grading.

**RECOMMENDATION**

That the Planning Commission approve the Coastal Development Permit, Design Review, and Non-Conforming Use Permit, County File Number PLN 2020-00167, by adopting the required findings and conditions of approval listed in Attachment A.

## **SUMMARY**

The proposed project has been evaluated and found to be in compliance with applicable General Plan policies with regards to visual quality, urban land use, water and wastewater policies, and soil resources. The project complies with applicable Local Coastal Program (LCP) policies including visual resources and sensitive habitats, as the site is not identified as a habitat for sensitive wildlife or vegetation.

On February 11, 2021, the Coastside Design Review Committee (CDRC) adopted findings to recommend project approval, pursuant to the Design Review Standards for One-Family Residential Development in the Midcoast, Section 6565.20 of the San Mateo County Zoning Regulations. The findings are detailed in Attachment A of the staff report.

Due to the substandard size of the parcel (2,335 sq. ft.) a non-conforming use permit is required to develop the parcel. Additionally, the project requires a reduction of the side and rear setbacks to maximize the usable space on the lot. This project was reviewed and conditionally approved by all applicable agencies including the Building Inspection Section and Coastside Fire Protection District. The project complies with all other S-3 District Development Standards with the exception of the encroachment into the side and rear yards. The development of the parcel and encroachments would not be detrimental to the general public welfare or diminish the neighborhood. All required findings for the non-conforming use permit can be made as detailed in Attachment A of the staff report.

## **ENVIRONMENTAL EVALUATION**

The project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA) Guidelines, Section 15303 (a), which exempts construction of small structures including new single-family residences. The parcel is served by all public services and the project is not located in an environmentally sensitive area.

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**COUNTY OF SAN MATEO  
PLANNING AND BUILDING DEPARTMENT**

**DATE:** August 11, 2021

**TO:** Planning Commission

**FROM:** Planning Staff

**SUBJECT:** Consideration of a Coastal Development Permit, Design Review, and Non-Conforming Use Permit, pursuant to Sections 6328.4, 6565.3, and 6133.3.b(1), respectively, of the San Mateo County Zoning Regulations, to allow the construction of a new 847 sq. ft. single-family residence with an attached one-car garage (224 sq. ft.), with a reduced 3 foot right side setback and 13 feet 5-inch rear setback, where 5 feet and 20 feet are required, respectively, on a substandard 2,335 sq. ft. legal parcel located on Avenue Portola in the unincorporated El Granada area of San Mateo County. The project includes a water mainline extension along Avenue Portola, between Coronado Street and The Alameda, the removal of one (1) Significant Pine tree 18-inch diameter at breast height, and minimal grading. The Coastal Development Permit is not appealable to the California Coastal Commission.

County File Number: PLN 2020-00167 (Freitas)

**PROPOSAL**

The applicant is seeking a Coastal Development Permit, Design Review approval, and a Non-Conforming Use Permit to allow the construction of an 847 sq. ft. one-story single-family residence with an attached one-car (224 sq. ft.) garage on a legal 2,335 sq. ft. parcel located on Avenue Portola, between Coronado Street and The Alameda, in the unincorporated area of El Granada. The lot has been legalized through a Certificate of Compliance (Type A, PLN 2019-00380). To develop the substandard lot, the applicant is requesting a reduced right side setback to 3 feet, where 5 feet is required, and a reduced rear setback to 13 feet 5 inches, where 20 feet is required. The project includes a water mainline extension along Avenue Portola between Coronado Street and The Alameda, removal of one (1) Significant Pine tree 18-inch diameter at breast height on the project property, and minor grading.

**RECOMMENDATION**

That the Planning Commission approve the Coastal Development Permit, Design Review, and Non-Conforming Use Permit, County File Number PLN 2020-00167, by adopting the required findings and conditions of approval listed in Attachment A.

## **BACKGROUND**

Report Prepared By: Kanoa Kelley, Planner II, Email: [kkelley@smcgov.org](mailto:kkelley@smcgov.org)

Applicant/Owner: Sean Freitas

Location: Avenue Portola, between Coronado Street and The Alameda, in El Granada

APN: 047-208-120

Size: 2,335 sq. ft.

Existing Zoning: R-3/S-3/DR/CD (Multiple Family Residential/Design Review/Coastal Development)

General Plan Designation: High Density Residential

Local Coastal Plan Designation: High Density Residential

Williamson Act: This parcel is not under a Williamson Act Contract.

Parcel Legality: The parcel has been legalized through a recorded Certificate of Compliance (Type A), PLN 2019-00380.

Existing Land Use: Vacant parcel

Water Supply and Sewage Disposal: Coastside County Water District (CCWD) and Granada Community Services District (GCSD). A water mainline extension along Avenue Portola from Coronado Street to The Alameda is included in the project. A 5/8-inch water connection is assigned to the project parcel.

Flood Zone: The parcel is located within Zone X, areas of minimal flood hazard; FEMA Community Panel 06081C0138F, effective August 2, 2017.

Environmental Evaluation: The project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA) Guidelines, Section 15303 (a), which exempts construction of small structures including new single-family residences. The parcel is served by all public services and the project is not located in an environmentally sensitive area.

Setting: The 2,335 sq. ft. parcel proposed for development is located east of Cabrillo Highway (Highway 1) in the unincorporated community of El Granada between Coronado Street and The Alameda. Access will be provided off of Avenue Portola. The site is currently vacant with two (2) trees and native vegetation on site.

## DISCUSSION

### A. KEY ISSUES

#### 1. Conformance with the County General Plan

Upon review of the applicable provisions of the General Plan, staff has determined that the project complies with all applicable General Plan Policies, including the following:

##### Visual Quality

Policy 4.36 (*Urban Area Design Concept*) calls for new development to maintain and, where possible, improve upon the appearance and visual character of development in urban areas, and ensures that new development in urban areas is designed and constructed to contribute to the orderly and harmonious development of the locality. The design review standards implement this policy within Design Review Zoning Districts of the County, including the midcoast area. The Coastside Design Review Committee (CDRC) reviewed the project and found that the project complies with Policy 4.36. A discussion of compliance with design review standards is provided in Section A.3.b of this report.

##### Urban Land Use

Policy 8.39 (*Height, Bulk and Setbacks*) regulates the height, bulk and setback requirements in zoning districts to: (1) ensure that the size and scale of development is compatible with the parcel size, (2) provide sufficient light and air in and around structures, (3) ensure that development of permitted densities is feasible, and (4) ensure public health and safety. The proposed one-story single-family home meets the zoning district height standards and is compatible in design, scale and size with other residences located in the neighborhood within the limitations of the parcel size. The appearance of mass and bulk of the single-family home is reduced by articulation of all exterior façades. The design and materials of the single family home is complementary to other homes in the neighborhood, as supported by the Coastside Design Review Committee's review and recommendation (see Section A.3.b of this report).

##### General Development Standards

Policy 8.40 (*Parking Requirements*) requires that minimum on-site parking requirements be regulated to (1) accommodate the parking needs of the development, (2) provide convenient and safe access, (3) prevent congestion of public streets, (4) establish orderly development patterns, and (5) discourage an over-reliance on auto travel to the exclusion of other travel

modes. The parcel is regulated by chapter 3 of the San Mateo county Zoning Code. This section requires 2 spaces for dwelling units having 2 or more dwelling units. Section 6118 of the zoning code provides an exception to allow uncovered parking to accommodate the development of smaller lots. The site will provide a one car garage and driveway parking space to prevent congestion of public streets and facilitate orderly development in urbanized areas with access to utilities and other infrastructure.

### Water Supply

Policy 10.1 (*Coordinate Planning*) requires the County to coordinate water supply planning with land use and wastewater management planning to assure that the supply and quality of water is commensurate with the level of development planned in the area. The Coastside County Water District (CCWD) has confirmed that adequate capacity is available for the new home and there is one 5/8-inch Non-Priority water service connection assigned to the subject parcel. Additionally, a main line water extension will be required for this project as there is no water main line in Avenue Portola.

### Wastewater

Policies 11.1 and 11.2 (*Adequate Wastewater Management and Coordinate Planning*) require the County to plan for the provision of adequate wastewater management facilities to serve development in order to protect public health and water quality and to coordinate wastewater management planning with land use and water supply planning to assure that the capacity of sewerage facilities is commensurate with the level of development planned for an area. Granada Community Services District has provided staff with a project review indicating that there is adequate capacity to serve the project, subject to conditions, including requiring the applicant to obtain a sewer permit variance due to the substandard parcel size.

### Soil Resources

Policies 2.2 (*Minimize Soil Erosion*) and Policy 2.17 (*Regulate Development to Minimize Soil Erosion and Sedimentation*) seek to ensure that development proposals include measures to minimize soil erosion and sedimentation. The recommended condition of approval requires implementation of Best Management Practices (BMPs) and an Erosion and Sediment Control Plan. The Erosion and Sediment Control Plan must be implemented prior to the beginning of construction, and throughout the construction period. Implementation of the Erosion and Sediment Control Plan and BMPs will ensure that all construction-related activities will minimize soil erosion and sedimentation generated from the project construction.

2. Conformance with the Local Coastal Program

The project requires a Coastal Development Permit (CDP), not appealable to the California Coastal Commission, as the site involves the construction of a new single-family residence outside of the Single-Family Categorical Exclusion area. Staff has determined that the project is in compliance with applicable Local Coastal Program (LCP) Policies discussed below:

a. Locating and Planning New Development Component

Policy 1.18 (*Location of New Development*) directs new development to existing urban areas in order to discourage urban sprawl and maximize the efficiency of public facilities, services and utilities. Also, the policy requires new development to be concentrated in urban areas by requiring the “infilling” of existing residential subdivisions. Policy 1.20 (*Definition of Infill*) defines infill as the development of vacant land in urban areas that is subdivided and zoned for development at densities greater than one dwelling unit per 5 acres, and/or served by sewer and water. The site is served by Coastside County Water District and Granada Community Services District and is designated by the General Plan for High-Density Residential Urban (16.1 – 32.0 dwelling units/acre) use. The project proposal, at 19 dwelling units/acre, complies with this policy.

Policy 1.23 (*Timing of New Housing Development on the Mid-coast*) limits the maximum number of dwelling units built in the urban mid-coast to 40 units each year. San Mateo County is not projected to exceed this maximum for the 2021 Calendar year.

Policy 1.36 (*Half Moon Bay Airport Influence Area Requirements - Map 1.5*) locates the project site in the Half Moon Bay Airport Influence Area (AIA). The Half Moon Bay Airport Land Use Compatibility Plan (ALUCP) prohibits hazards to flight and outdoor stadiums or other high intensity uses within this area. The project will construct a single-family home which is a low intensity use and will therefore comply with the ALUCP. Regarding noise, the project site is located outside the Community Noise Equivalent Level (CNEL) airport noise exposure contours and is, therefore, not exposed to significant levels of aircraft noise.

b. Sensitive Habitats Component

Policy 7.3 (*Protection of Sensitive Habitats*) prohibits any land use or development which would have significant adverse impact on sensitive habitat areas and requires development in areas adjacent to sensitive habitats to be sited and designed to prevent impacts that could

significantly degrade the sensitive habitats. The site is not located in an area identified as sensitive habitat in the Local Coastal Program. The site consists of ruderal vegetation and does not contain sensitive habitat. Two (2) trees are proposed for removal, one significant 18-inch diameter at breast height Pine tree and one non-significant palm tree. Due to site constraints, the trees are in the development footprint and are unable to be preserved.

c. Visual Resources Component

Visual Resources Policy 8.12(a) (*General Regulations*) applies the Design Review Zoning District to urbanized areas of the Coastal Zone, which includes El Granada. The project is, therefore, subject to Section 6565.20 of the Zoning Regulations (*Standards for Design for One-family and Two-family Residential Development in the Midcoast*). As discussed in Section A.3.b of this report, the CDRC considered this project at their regularly scheduled meeting on February 11, 2021. The CDRC determined that the project is in compliance with applicable Design Review Standards, and recommended approval. See further discussion in Section A.3.b.

Visual Resources Policy 8.13 (*Special Design Guidelines for Coastal Communities*) establishes design guidelines for Montara, Moss Beach, El Granada, and Miramar. The proposed home complies with these guidelines as follows:

- (1) On-site grading is not extensive and only limited to standard construction activity.
- (2) The proposed materials for the house, such as composition shingle roofing and lap siding painted in subdued earth tones will have a natural appearance.
- (3) The proposed house design uses hipped and gabled roofs, clad with non-reflective, composite roof shingles as the primary roof material.
- (4) The proposed residence will be a one-story building to minimize visual obstruction and the enhanced façade articulation bring the proposed structure to scale with the rest of the homes in the neighborhood.

3. Conformance with the Zoning Regulations

a. Conformance with S-3 District Development Standards



The proposal includes a non-conforming use permit (NCUP) to allow the development of a substandard 2,335 sq. ft. parcel which requires a reduction of the right side setback to 3 feet to accommodate development, this encroachment and reduction in the minimum building site area is to be remedied with a NCUP. Additionally, the applicant is requesting a reduced rear setback to 13 feet to accommodate an 86 square foot deck that is more than 18 inches above grade. The proposal complies with all other R-3/S-3/DR/CD development standards, as indicated in the following table:

	S-3 Development Standards	Proposed
Minimum Site Area	5,000 sq. ft.	2,335 sq. ft. (legal site) to be remedied with NCUP
Minimum Lot Area Per Dwelling Unit	1,250 sq. ft.	2,335 sq. ft.
Maximum Building Site Coverage	1,167.5 sq. ft. (50% maximum)	1,157 sq. ft. (49%)
Minimum Front Setback	20 ft.	20 ft.
Minimum Rear Setback	20 ft.	13 ft. 5(3/4) in. with a NCUP
Minimum Right Side Setback	5 ft.	3 ft. with a NCUP
Minimum Left Side Setback	5 ft.	5 ft.
Maximum Building Height	36 ft./3 stories	15 ft./1 story
Minimum Parking Spaces	1 covered 1 uncovered	1 car garage + 1 uncovered in driveway (single-family dwellings on lots less than 3,500 sq. ft. in the Midcoast may provide uncovered parking spaces)

b. Conformance with Design Review District Standards

On February 11, 2021, the CDRC adopted findings to recommend project approval, pursuant to the Design Review Standards for One-

Family Residential Development in the Midcoast, Section 6565.20 of the San Mateo County Zoning Regulations, specifically elaborated as follows:

- (1) *Section 6565.20 (C) SITE PLACEMENT AND STRUCTURE PLACEMENT; 2. Complement Other Structures in the Neighborhood; a. Privacy;*

The home design respects the privacy of other houses by employing a one-story design and locating and orienting windows, entrances, and the rear deck to minimize and mitigate direct views into neighboring properties.

- (2) *Section 6565.20 (D) ELEMENTS OF DESIGN; 1. Building Mass, Shape and Scale; b. Neighborhood Scale;*

The home respects the scale and feel of the neighborhood through a single-story design, and the building dimensions and shape, roof design, facade articulation, and materials are complementary to other homes in the neighborhood.

- (3) *Section 6565.20 (D) ELEMENTS OF DESIGN; 2. Architectural Style and Features; a. Architectural Style;*

The home uses an architectural style, design elements, and materials that are complementary to the neighborhood, including a Coastal Craftsman style, lap siding, natural colors, and asphalt composite roofing.

The CDRD did not propose conditions of approval and made the following suggestion.

- (a) *Paint the front door a strong complementary but contrasting color to the siding and trim; consider royal blue.*

c. Non -Conforming Use Permit Findings

The applicant has proposed to develop a non-conforming legal lot. The lot is 2,335 sq. ft. where the minimum lot size, per the S-3 district standards, is 5,000 square feet. In accordance with Section 6137 (exceptions) of the Zoning Regulations, a Non-conforming Use Permit is being requested in order to develop the substandard parcel and maximize the footprint of the home through a reduction in side and rear yard setbacks. Per Section 6503 and Section 6133.b(3) of the San Mateo County Zoning Regulations, in order to grant a Non-conforming Use Permit for the development of a non-conforming parcel, the following findings must be made.

- (1) In order to grant the use permit as applied for or conditioned, the Planning Commission must find that the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood.

This project was reviewed and conditionally approved by all applicable agencies including the Building Inspection Section and Coastside Fire Protection District. The project complies with all other S-3 District Development Standards with the exception of the encroachment into the side and rear yards. The development of the parcel and encroachments would not be detrimental to the general public welfare or diminish the neighborhood.

- (a) In order to grant a Non-conforming Use Permit for development of a non-conforming parcel (as defined in Section 6132.11), the Planning Commission must also find that: The proposed development is proportioned to the size of the parcel on which it is being built.

The proposed development is a modest 847 square foot single-family home which complies with all density, site coverage, and height requirements of the S-3 district. The Coastside Design Review Committee has found the one-story home to be compatible with the neighborhood in both scale and design, and the development is well suited to the substandard parcel.

- (b) All opportunities to acquire additional contiguous land in order to achieve conformity with the Zoning Regulations currently in effect have been investigated and proven to be infeasible.

The two adjacent parcels at 578 The Alameda and 167 Avenue Portola are developed with existing single-family homes under separate ownership. There is not an opportunity in this area to purchase additional vacant space for the purposes of a merger.

- (c) The proposed development is as nearly in conformance with the Zoning Regulations currently in effect as is reasonably possible.

The proposed development is seeking relief from the right side and rear setback requirements only. The project is compliant with all other Zoning Regulations such as parking, density, site coverage, and height.

- (d) Use permit approval does not constitute a granting of special privileges.

The Non-conforming Use Permit does not constitute the granting of special privileges as the same consideration may be granted to any other party seeking to develop a similar substandard lot.

**B. ENVIRONMENTAL REVIEW**

The project is exempt from environmental review pursuant to California Environmental Quality Act (CEQA) Guidelines, Section 15303(a), which exempts the construction of a single-family residence in an urbanized area. The parcel will be served by all public services and the project is not located in an environmentally sensitive area.

**C. REVIEWING AGENCIES**

Building Inspection Section  
Drainage Section  
Department of Public Works  
Geotechnical Section  
Midcoast Community Council  
Coastside Fire Protection District  
Coastside County Water District  
Granada Community Services District (GCSD)

**ATTACHMENTS**

- A. Recommended Findings and Conditions of Approval
- B. Location Map and Aerial Photo
- C. Plans
- D. Coastside Design Review Committee Recommendation Letter

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County of San Mateo  
Planning and Building Department

**RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL**

Permit or Project File Number: PLN 2020-00167      Hearing Date: August 11, 2021

Prepared By: Kanoa Kelley, Project Planner      For Adoption By: Planning Commission

**RECOMMENDED FINDINGS**

Regarding the Environmental Review, Find:

1. That the project is exempt from environmental review pursuant to California Environmental Quality Act (CEQA) Guidelines, Section 15303(a), which exempts the construction of a single-family residence in an urbanized area. The parcel will be served by all public services and the project is not located in an environmentally sensitive area.

Regarding the Design Review, Find:

2. That the project has been reviewed and found to be in compliance with the Design Review Standards for One-Family and Two-Family Residential Development in the Midcoast, Section 6565.20 of the San Mateo County Zoning Regulations, specifically elaborated as follows:

- a. Section 6565.20 (C) SITE PLACEMENT AND STRUCTURE PLACEMENT;  
2. Complement Other Structures in the Neighborhood; a. Privacy;

The home design respects the privacy of other houses by employing a one-story design and locating and orienting windows, entrances, and the rear deck to minimize and mitigate direct views into neighboring properties.

- b. Section 6565.20 (D) ELEMENTS OF DESIGN; 1. Building Mass, Shape and Scale; b. Neighborhood Scale;

The home respects the scale and feel of the neighborhood through a single-story design, and the building dimensions and shape, roof design, facade articulation, and materials are complementary to other homes in the neighborhood.

- c. Section 6565.20 (D) ELEMENTS OF DESIGN; 2. Architectural Style and Features; a. Architectural Style;

The home uses an architectural style, design elements, and materials that are complementary to the neighborhood, including a Coastal Craftsman style, lap siding, natural colors, and asphalt composite roofing.

Regarding the Non-Conforming Use Permit, Find:

- 3. That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood.

The project was reviewed and conditionally approved by all applicable agencies including the Building Inspection Section and Coastside Fire Protection District. The project complies with all other S-3 District Development Standards with the exception of the encroachments into the side and rear yards. The development of the parcel and encroachments would not be detrimental to the general public safety.

- 4. That the proposed development is proportioned to the size of the parcel on which it is being built.

The proposed development is a modest 847 square-foot single-family home which complies with all density, site coverage, and height requirements in the S-3 district. The one-story home has been found to be compatible with the neighborhood in both scale and design, as concluded by the Coastside Design Review Committee, and is well suited to the substandard parcel.

- 5. That the proposed development is proportioned to the size of the parcel on which it is being built.

The proposed development is a modest 847 square-foot single-family home which complies with all density, site coverage, and height requirements in the S-3 district. The one-story home has been found to be compatible with the neighborhood in both scale and design, as concluded by the Coastside Design Review Committee, and is well suited to the substandard parcel.

6. That all opportunities to acquire additional contiguous land in order to achieve conformity with the zoning regulations currently in effect have been investigated and proven to be infeasible.

The two adjacent parcels at 578 The Alameda and 167 Avenue Portola are developed with existing single-family homes under separate ownership. There is not an opportunity in this area to purchase additional vacant space for the purposes of a merger.

7. That the proposed development is as nearly in conformance with the zoning regulations currently in effect as is reasonably possible.

The proposed development is seeking relief from the right side and rear yard setback requirements only. The project is compliant with all other zoning regulations such as parking, density, site coverage, and height.

8. That use permit approval does not constitute a granting of special privileges.

The Use Permit does not constitute the granting of special privileges as the same consideration may be granted to any other party seeking to develop a substandard lot.

Regarding the Coastal Development Permit, Find:

9. That the project, as described in the application and accompanying materials required by Section 6328.7 of the San Mateo County Zoning Regulations and as conditioned in accordance with Section 6328.14 of the San Mateo County Zoning Regulations, conforms to the plans, policies, requirements and standards of the San Mateo County Local Coastal Program as described in Section A.2 of this staff report, dated August 11, 2021.
10. That where the project is located between the nearest public road and the sea, that the project is in conformity with the Public Access and Public Recreation Policies of Chapter 3 of the Coastal Act of 1976 (commencing with Section 30200 of the Public Resources Code). The project is not located between the nearest public road and the sea, therefore, this provision does not apply.
11. That the project conforms to specific findings required by policies of the San Mateo County Local Coastal Program (LCP) relating to the Locating and Planning New Development, Sensitive Habitats, and Visual Resources components. The project incorporates conditions to comply with erosion control requirements and the design is consistent with coastside design review standards for single-family residential buildings. Furthermore, the project is not in or near a sensitive habitat area and conforms with the land use and density designations of the General Plan and Local Coastal Program.

## **RECOMMENDED CONDITIONS OF APPROVAL**

### **Current Planning Section**

1. The project shall be constructed consistent with the plans approved by the Planning Commission and in substantial conformance with the plans reviewed on August 11, 2021. Any changes or revisions to the approved plans shall be submitted to the Community Development Director for review and approval prior to implementation. Minor adjustments to the project design may be approved by the Design Review Officer if they are consistent with the intent of and are in substantial conformance with this approval. Alternatively, the Design Review Officer may refer consideration of the revisions to the Coastside Design Review Committee, with applicable fees to be paid.
2. The final approval of the subject permits shall be valid for five (5) years from the date of final approval, in which time a valid a building permit shall be issued for the work and a completed inspection (to the satisfaction of the Building Official) shall have occurred within one (1) year of the associated building permit's issuance. This approval may be extended by a 1-year increment with submittal of an application for permit extension and payment of applicable extension fees sixty (60) days prior to the expiration date.
3. The applicant shall provide "finished floor elevation verification" to certify that the structure is constructed at the height shown on the approved plans. The applicant shall have a licensed land surveyor or engineer establish a baseline elevation datum point near the construction site.
  - a. The applicant shall maintain the datum point so that it will not be disturbed by the proposed construction activities until final approval of the building permit.
  - b. This datum point and its elevation shall be shown on the submitted site plan. This datum point shall be used during construction to verify the elevation of the finished floors relative to the existing natural or to the grade of the site (finished grade).
  - c. Prior to Planning approval of the building permit application, the applicant shall also have the licensed land surveyor or engineer indicate on the construction plans: (1) the natural grade elevations at the significant corners (at least four) of the footprint of the proposed structure on the submitted site plan, and (2) the elevations of proposed finished grades.
  - d. In addition, (1) the natural grade elevations at the significant corners of the proposed structure, (2) the finished floor elevations, (3) the topmost elevation of the roof, and (4) the garage slab elevation must be shown on the plan, elevations, and cross-section (if one is provided).



- e. Once the building is under construction, prior to the below floor framing inspection or the pouring of the concrete slab (as the case may be) for the lowest floor(s), the applicant shall provide to the Building Inspection Section a letter from the licensed land surveyor or engineer certifying that the lowest floor height, as constructed, is equal to the elevation specified for that floor in the approved plans. Similarly, certifications on the garage slab and the topmost elevation of the roof are required.
  - f. If the actual floor height, garage slab, or roof height, as constructed, is different than the elevation specified in the plans, then the applicant shall cease all construction and no additional inspections shall be approved until a revised set of plans is submitted to and subsequently approved by both the Building Official and the Community Development Director.
  - g. A survey verification letter will be required during the construction phase of this project. Once the building permit has been issued and the forms have been set, the surveyor of record shall field measure the setback dimensions of the set forms from applicable property lines and compose a survey verification letter, with stamp and signature, of the field measurements to be submitted to the Planning and Building Department for review and approval.
- 4. The applicant shall include an erosion and sediment control plan to comply with the County's Erosion Control Guidelines on the plans submitted for the building permit. This plan shall identify the type and location of erosion control measures to be installed upon the commencement of construction in order to maintain the stability of the site and prevent erosion and sedimentation off-site.
  - 5. Approved erosion and sediment control measures shall be installed prior to beginning any work and maintained throughout the term of the building permit. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.
  - 6. The applicant is responsible for ensuring that all contractors minimize the transport and discharge of pollutants from the project site into water bodies by adhering to the San Mateo Countywide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines," below.
    - a. Stabilizing all denuded areas and maintaining erosion control measures continuously between October 1 and April 30. Stabilizing shall include both proactive measures, such as the placement of hay bales or coir netting, and passive measures, such as revegetating disturbed areas with plants propagated from seed collected in the immediate area.
    - b. Storing, handling, and disposing of construction materials and wastes properly, so as to prevent their contact with stormwater.

- c. Controlling and preventing the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
  - d. Using sediment controls or filtration to remove sediment when dewatering site and obtaining all necessary permits.
  - e. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
  - f. Delineating with field markers clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses.
  - g. Protecting adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
  - h. Performing clearing and earth-moving activities only during dry weather.
  - i. Limiting and timing applications of pesticides and fertilizers to prevent polluted runoff.
  - j. Limiting construction access routes and stabilizing designated access points.
  - k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
  - l. The contractor shall train and provide instruction to all employees and subcontractors regarding the construction best management practices.
7. To reduce the impact of construction activities on neighboring properties, comply with the following:
- a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
  - b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
  - c. The applicant shall ensure that no construction-related vehicles shall impede through traffic along the right-of-way. All construction vehicles shall

be parked on-site outside the public right-of-way. There shall be no storage of construction vehicles in the public right-of-way.

8. All new power and telephone utility lines from the street or nearest existing utility pole to the main dwelling and/or any other structure on the property shall be placed underground.
9. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 5 p.m., Saturdays. Said activities are prohibited on Sundays, Thanksgiving, and Christmas (San Mateo County Ordinance Code Section 4.88).
10. The exterior colors and materials as approved by the Planning Commission shall be implemented. Color verification shall occur in the field after the applicant has applied the approved materials and colors but before a final inspection has been scheduled.
11. The applicant shall include a copy of the approval letter with conditions of approval on the top pages of the building plans.
12. The applicant shall plant on-site one replacement tree using 15-gallon stock or greater for the tree removed. An inspection will be required prior to approval of final inspection to verify the tree has been replanted.

#### Building Inspection Section

13. A building permit is required for this project. The applicant shall apply for a building permit and shall adhere to all requirements from the Building Inspection Section, the Geotechnical Section, the Department of Public Works, and the Coastside Fire Protection District. No site disturbance shall occur, including any grading, until a building permit has been issued.

#### Geotechnical Section

14. A geotechnical report shall be submitted at the building permit stage with soil exploration, lab results, grading recommendations and foundation design.

#### Department of Public Works

15. The project shall comply with the San Mateo County Drainage Policy (Policy) and the San Mateo Countywide National Pollution Discharge Elimination System (NPDES) permit. Prior to the issuance of the building permit (for Provision C3 Regulated Projects), the applicant shall submit a plan with construction details conforming with County standards, and a drainage analysis including narrative and calculations showing pre-development and post-development runoff onto and

off of the parcel(s) demonstrating compliance with the Policy for review and approval by the Department of Public Works.

16. Prior to the issuance of the building permit, the applicant shall submit a driveway "Plan and Profile," to the Department of Public Works, showing the driveway access to the parcel (garage slab) complying with County Standards for driveway slopes (not to exceed 20 percent) and to County Standards for driveways (at the property line) being the same elevation as the center of the access roadway. When appropriate, as determined by the Department of Public Works, this plan and profile shall be prepared from elevations and alignment shown on the roadway improvement plans. The driveway plan shall also include and show specific provisions and details for both the existing and the proposed drainage patterns and drainage facilities.
17. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. The applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way. Prior to the issuance of the building permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance #3277.
18. The applicant shall demonstrate, to the satisfaction of the Department of Public Works that the existing road access from the nearest "publicly" maintained roadway to the building site meets or exceeds the County's minimum standards for a standard sidewalk and driveway approach.

#### Drainage Section

19. At the time of building permit submittal, the applicant shall submit a Final Drainage Report stamped and signed by a registered Civil Engineer, a Final Grading and Drainage Plan stamped and signed by a registered Civil Engineer, and an updated C.3 and C.6 Checklist (if changes to the impervious areas have been made during the design phase).

#### Coastside County Water District

20. The project is required to comply with Coastside County Water District (CCWD) regulations on water service and metering. The District performs inspections to verify compliance with all District regulations during construction and a final inspection when construction is complete.
21. The applicant shall install a water main (pipeline extension) on Avenue Portola between Coronado Street and The Alameda in conformance with CCWD standards.

22. The water and fire services shall be correctly shown on all civil and utility plans submitted to CCWD during the building permit approval process.
23. Fire sprinklers are served from an independent and dedicated water service connection with a separate fire meter. Please note that CCWD does not allow passive purge systems to be installed on fire protection services. Fire protection services are authorized for the sole purpose of fire protection, there shall be no cross connections.

#### Granada Community Services District

24. The applicant must apply for a Sewer Permit Variance. A sewer permit will not be issued until a Variance has been granted by the Board of Directors, and only one such Variance may be approved within a six-month period.

#### Coastside Fire Protection District

25. All buildings that have a street address shall have the number of that address on the building, mailbox, or other type of sign at the driveway entrance in such a manner that the number is easily and clearly visible from either direction of travel from the street. New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. Residential address numbers shall be at least six feet above the finished surface of the driveway. An address sign shall be placed at each break of the road where deemed applicable by the San Mateo County Fire Department. Numerals shall be contrasting in color to their background and shall be no less than 4 inches in height and have a minimum 1/2-inch stroke. Remote signage shall be a 6-inch by 18-inch green reflective metal sign.
26. A fire alarm system shall be installed meeting California Fire and Building Codes and NFPA 72.
27. The required fire flow shall be available from a County Standard 6-inch Wet Barrel Fire Hydrant. The configuration of the hydrant shall have a minimum of one each 4 1/2-inch outlet and one each 2 1/2-inch outlet located not more than 250 feet from the building measured by way of approved drivable access to the project site.
28. Smoke alarms and carbon monoxide detectors shall be installed in accordance with the California Building and Residential Codes. This includes the requirement for hardwired, interconnected detectors equipped with battery backup and placement in each sleeping room in addition to the corridors and on each level of the residence.
29. An approved Automatic Fire Sprinkler System meeting the requirements of NFPA-13D shall be required to be installed for your project. Plans shall be submitted to

the San Mateo County Building Department for review and approval by the authority having jurisdiction.

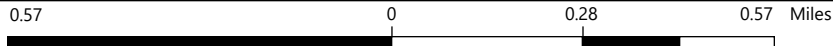
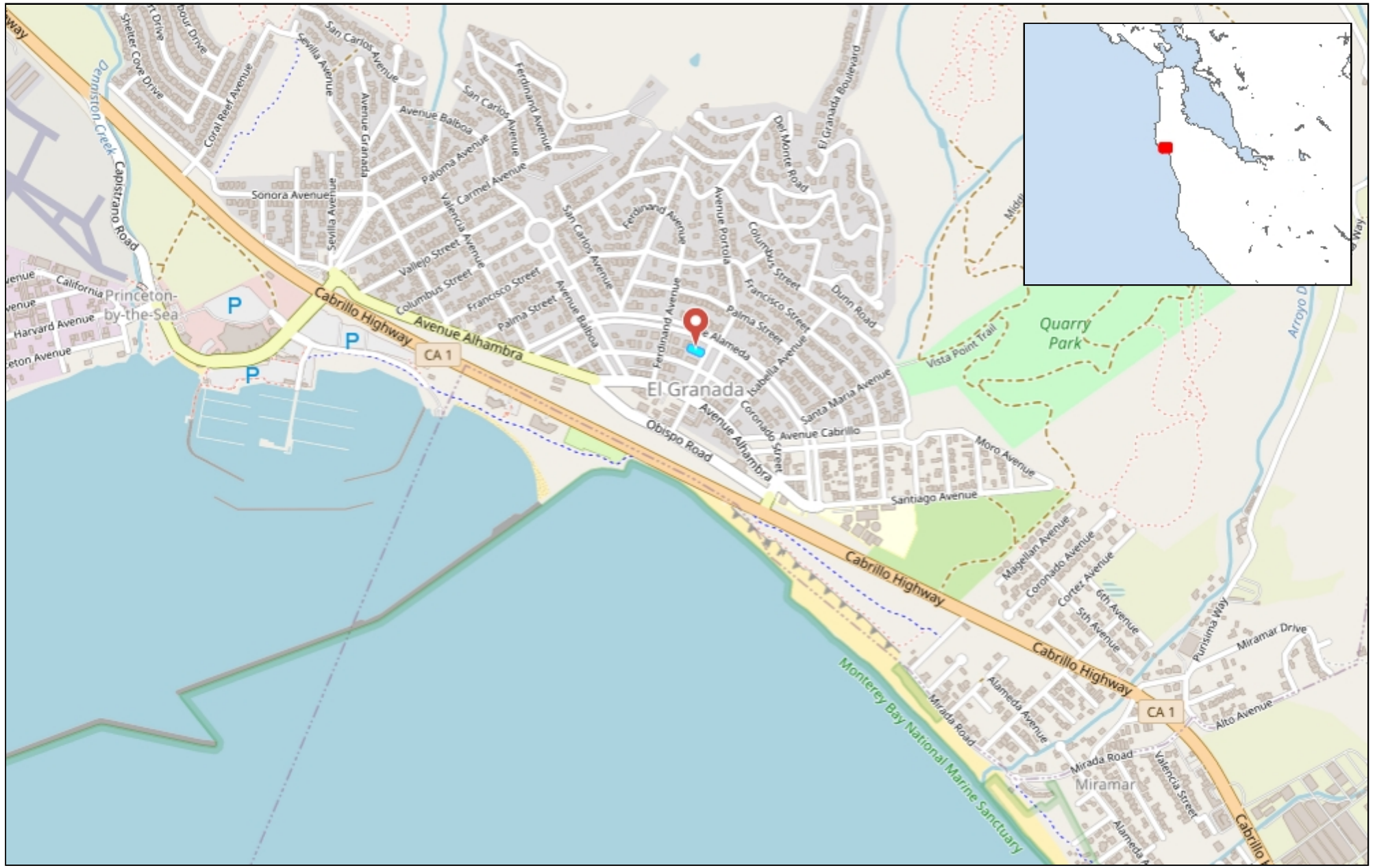
30. An interior and exterior audible alarm activated by automatic fire sprinkler system water flow shall be required to be installed in all residential systems. All hardware must be included on the submitted sprinkler plans.
31. A statement that the building will be equipped and protected by automatic fire sprinklers must appear on the title page of the building plans.

KAK:cmc – KAKFF0756\_WCU.DOCX




**County of San Mateo - Planning and Building Department**

# **ATTACHMENT B**



WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
 © Latitude Geographics Group Ltd.

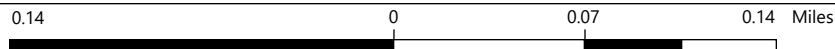
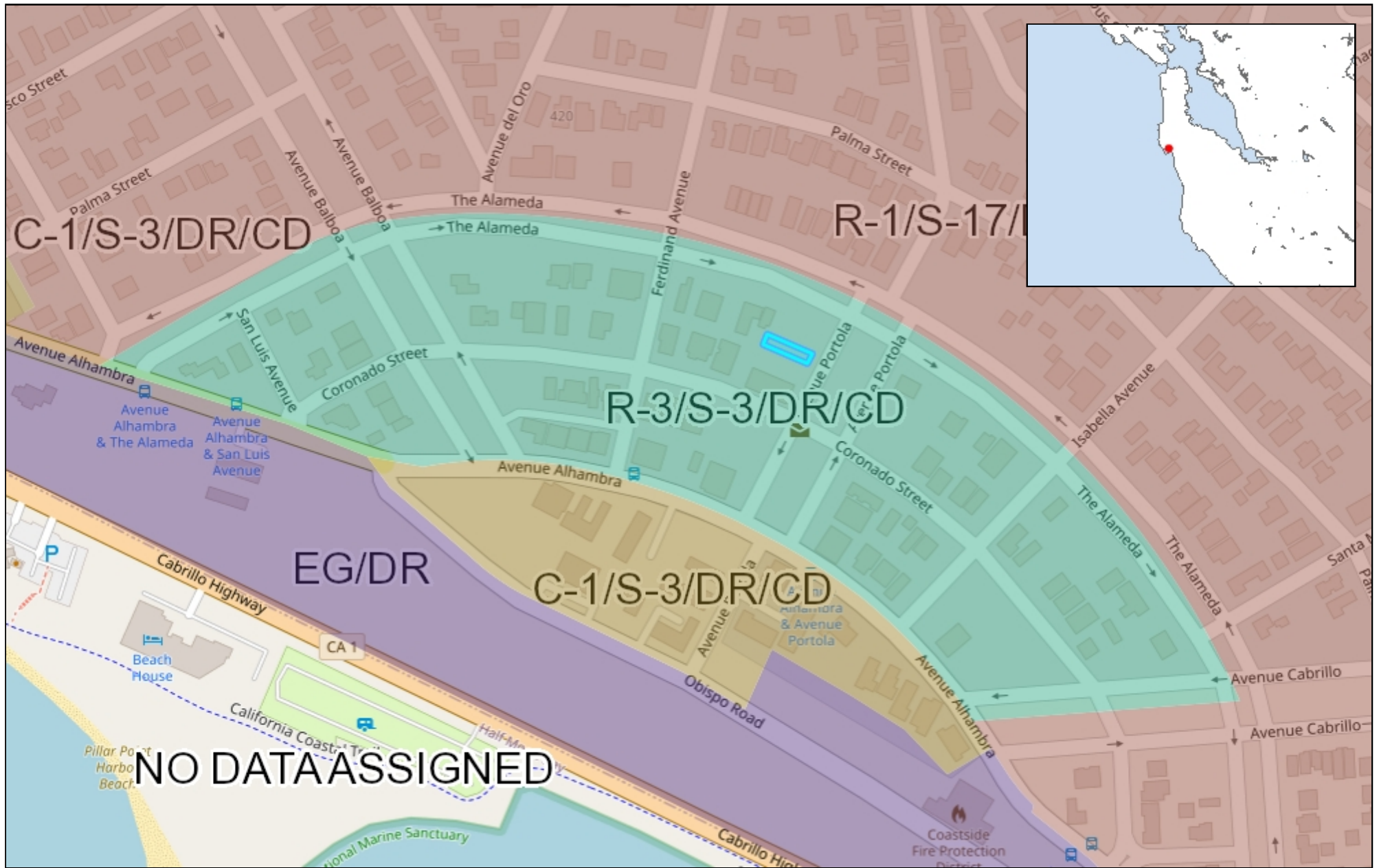
1: 18,056 

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

**THIS MAP IS NOT TO BE USED FOR NAVIGATION**







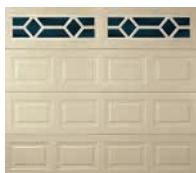
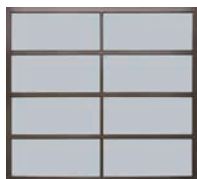
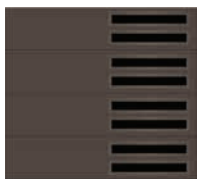


**County of San Mateo - Planning and Building Department**

# **ATTACHMENT C**

# *Garage Door*

## SELECTION GUIDE



**The Genuine. The Original.**



## Table of content:

Choosing a door .....	3
Signature® Carriage Wood .....	4-5
Traditional Wood Collection .....	6-9
Modern Aluminum Collection .....	10-11
Envy™ Collection .....	12-13
Impression Fiberglass Collection® .....	14-15
Impression Steel Collection .....	16-17
Carriage House Collection .....	18-19
Courtyard Collection® .....	20-21
Courtyard Collection® WindStorm™ .....	22-23
Thermacore® Collection .....	24-25
Thermacore® Collection WindStorm™ .....	26-27
Durafirm Collection™ .....	28-29
Traditional Steel Collection .....	30-31
WindStorm™ wind load-rated system .....	32
Decorative hardware .....	33
Windows for Signature® Carriage Wood .....	34
Windows for Thermacore® Collection .....	35
Windows for Thermacore® WindStorm™ .....	36
Windows for Traditional Steel Collection .....	37
Openers .....	38-39
National distributor network .....	40

### Note:

Previous model numbers and panel styles are shown in parenthesis in gray on each model page.

**Call 1-800-929-3667 (DOOR) to contact an Overhead Door™ Distributor near you.**

**[overheaddoor.com](http://overheaddoor.com)**

# Choosing a Door

What to consider when selecting a door



Courtyard Collection, Model 7520, X panel (167T), Brown finish, Stockbridge windows, decorative hardware

## Style

Whether your home is classic or contemporary, we offer styles to best complement your home's architecture. For a distinctive, custom look, choose insulated doors from our elegant Courtyard Collection®, Thermacore® Collection, Impression Fiberglass Collection® or the custom fine wood doors of the Signature® Carriage Collection.

## Safety

Our Impression Fiberglass Collection® doors provide peace of mind with pinch-resistant panels that help protect fingers. If you live in an area that is prone to high winds, ordered with the appropriate wind load options, our WindStorm™ doors provide reliable protection against high wind damage and offer fine craftsmanship, durability and style.

## Comfort

If you live in a climate with extreme hot or cold temperatures, we recommend a well-insulated, thermally-efficient door to ensure your comfort. Some of our insulated doors, including the Courtyard Collection® and Thermacore® Collection, also feature a steel backing that lends a finished, clean look to your garage's interior.

# Signature® Carriage Wood

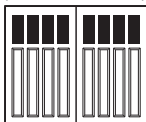
Premium wood doors – Models 9940, 9950, 9960

## Panel styles

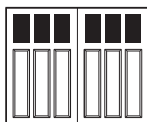
Doors provided in unfinished, stain-grade or paint-grade wood. Models are available with or without windows and with square or arched tops.

### Parson Collection

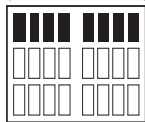
Vertical Board (R4)  
(580 Bristol Narrow)



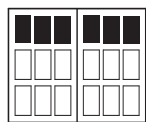
Vertical Board (PR3)  
(580 Bristol Wide)



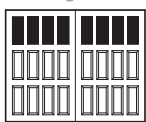
Vertical Board (P1)  
(570 Drake Narrow)



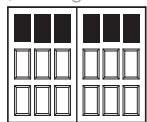
Vertical Board (P2)  
(570 Drake Wide)



Vertical Board (R1)  
(571 Kingston Narrow)

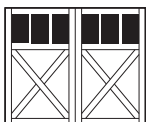


Vertical Board (R2)  
(571 Kingston Wide)



### Ponderosa Collection

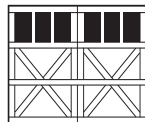
Diagonal (X)†  
(580 Buchanan)



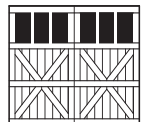
X Shaped Overlay (X3)†  
(580 Dakota)



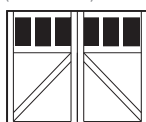
X Shaped Overlay (X3)  
(570 Austin)



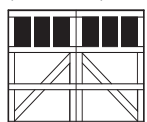
X Shaped Overlay (X3)  
(570 Austin Grooved)



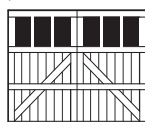
A Shaped Overlay (A)†  
(580 Sierra)



A Shaped Overlay (A3)  
(570 Baxter)

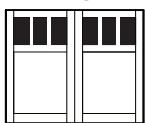


A Shaped Overlay (A3)  
(570 Baxter Grooved)

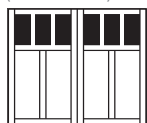


### Villa Madre Collection

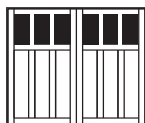
Horizontal Overlay (H)†  
(580 Ortega)



Vertical Overlay (C2)†  
(580 Medina)



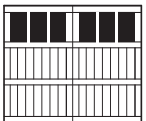
Vertical Overlay (C3)†  
(580 Pizarro)



Vertical Overlay (C4)†  
(580 Cruz)



Horizontal/Grooved Overlay (HG)  
(570 Castille Grooved)



† – insulated, R-value 4.75



Multiple designs and wood species options let you choose the perfect complement to your home with our style, window and glass options.



World class construction of rail and stile frame adds strength.

Polystyrene insulation can help diminish street noise and provide quieter door operation. R-value\* of 4.75 available for select models.

\*Overhead Door Corporation uses a calculated door section R-value for our insulated doors.

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## Window styles

For full selection of windows please see page 34.



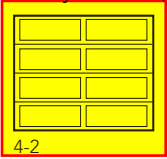


# Traditional Wood Collection

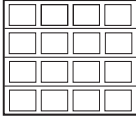
Rail and stile wood doors – Models 3240, 3260

## Panel styles

Recessed panel designs Model 3240 (450, 453) Light Framed (FP1) or Heavy Framed (FP2)

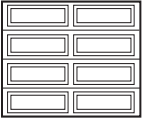


4-2

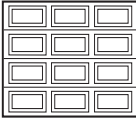


4-4

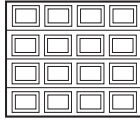
Raised panel designs Model 3260 (454) Finger-jointed (RP1) or Solid (RP34)



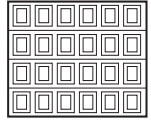
4-2



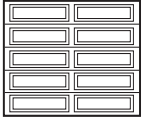
4-3



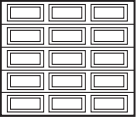
4-4



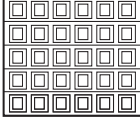
4-6



5-2



5-3

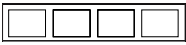


5-6

1 car design shown. Both panels are also available for 2 car designs. Decorative carved Raised panel designs available. Consult your Overhead Door™ Distributor for details.

## Window styles

Recessed panel windows Model 3240 (450, 453)



Plain short panel



Plain long panel



Cathedral



False Sunray\*



4 Panel – 2 over 2



2 Panel – 3 over 3



2 Panel – 4 over 4



2 Panel – 5 over 5



\*Molded designs with plastic inserts may not fit all panel sizes. Consult your distributor for availability.

Raised panel windows Model 3260 (454)



Plain short panel



Plain long panel



Cathedral\*



Real Sunray



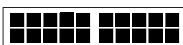
4 Panel – 2 over 2



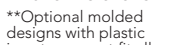
2 Panel – 3 over 3



2 Panel – 4 over 4



2 Panel – 5 over 5



\*\*Optional molded designs with plastic inserts may not fit all panel sizes. Consult your distributor for availability.

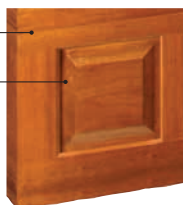
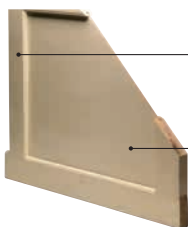
## Glass types

Clear glass comes standard with this product. Additional glass options are available, including 1/8" tempered and 1/8" double strength (DSB). Contact your local Overhead Door™ Distributor for more details.



### Recessed panel Model 3240

### Raised panel Model 3260







- 1 Recessed Panels are constructed of 1<sup>3</sup>/<sub>8</sub>" high quality West Coast Hemlock.
- 3 Center of Recessed Panel is constructed of durable, 1/4" exterior-grade hardboard.

- 1 Door Sections are constructed of 1<sup>3</sup>/<sub>8</sub>" thick finger-jointed wood rails and stiles; with solid stain-grade rails and stiles as an option.
- 2 Raised Panels are constructed of 3/4" solid wood; edge-glued panels.

Mortise and tenon joints are glued and steel-pinned for increased strength and durability.

Shiplap section design provides weather-tight fit and smooth operation.

Rust resistant track and hardware are constructed of hot-dipped galvanized steel.

MODEL 3240 Recessed panel	MODEL 3240 Recessed panel	MODEL 3260 Raised panel (Paint grade)	MODEL 3260 Raised panel (Stain grade)
			
Features hardboard flat panels, thin rails and stiles	Features hardboard flat panels, thick rails and stiles	Features Hemlock panels, stiles and rails (finger-jointed)	Features Hemlock panels, stiles and rails (solid, one piece)
Smooth plywood panel option available	Smooth plywood panel option available	Hardboard raised panel option available	Meranti Mahogany and Cedar panel options available

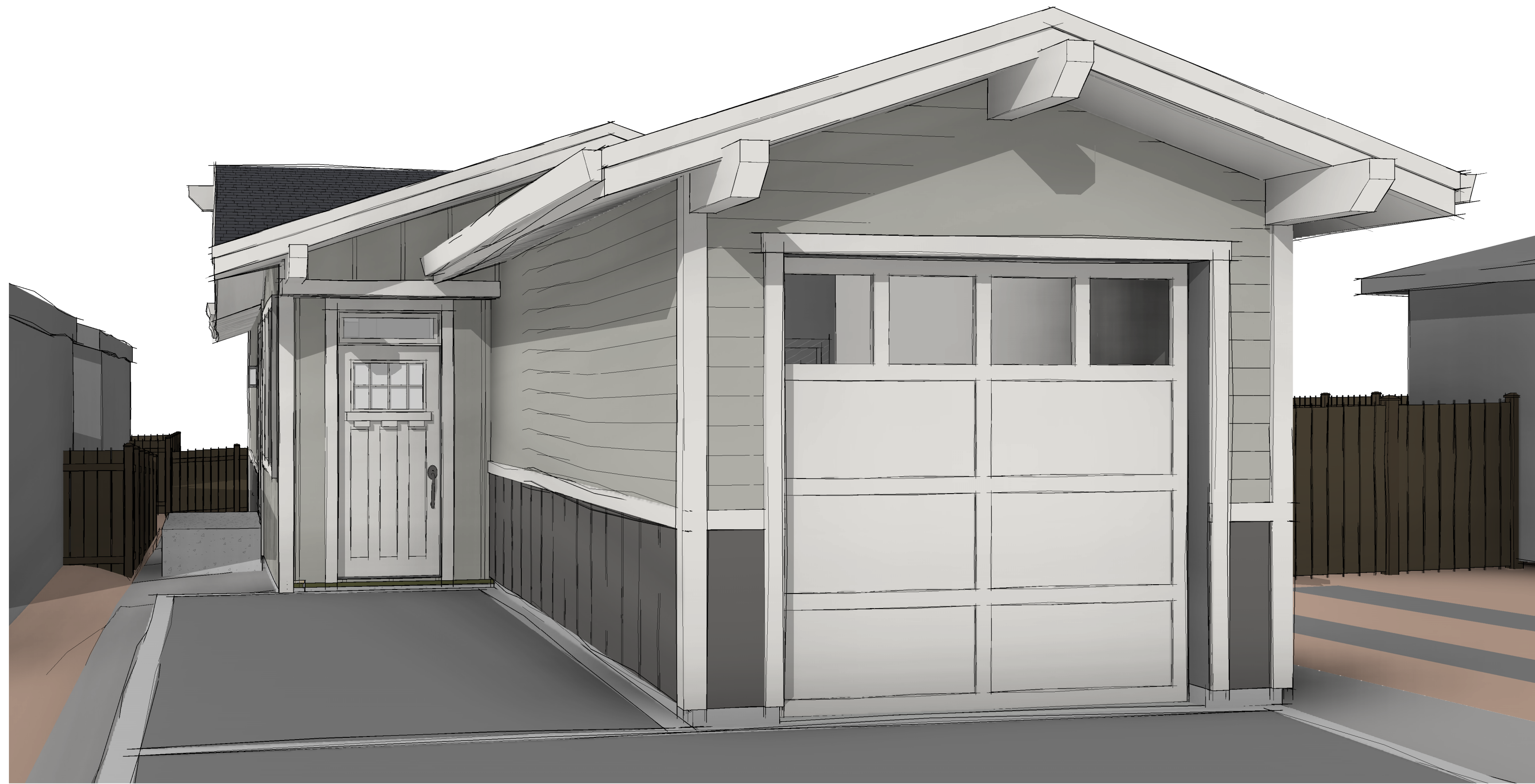
3240 Model panels pictured above are custom painted.

**SHEET ABBREVIATIONS**

AB	ANCHOR BOLT	GA	GAUGE	REINF	REINFORCED
ADJ	ADJACENT	GFCI	GROUND FAULT INTERRUPTER	ROOM	ROOM
ALUM	ALUMINUM	GALV	GALVANIZED	RWD	REDWOOD
BM	BEAM	GL	GLASS	S	SOUTH
BOW	BOTTOM OF WALL	GYP	GYPSONUM	SB	SET BACK
BLKG	BLOCKING	H	HIGH OR HEIGHT	SF	SQUARE FOOT
BRD	BOARD	HB	HOSE BIBB	SHTHG	SHEATHING
CC	CENTER TO CENTER	JTS	JOIST	SHWR	SHOWER
CL	CENTERLINE	LAV	LAVATORY	SIM	SIMILAR
CEM	CEMENT	LB	POUND	SIMP	'SIMPSON'
CER	CERAMIC	LIN	LINEN	SLD	SLIDING
CJ	CONTROL JOINT	LT	LIGHT	S&P	SHELF & POLE
CLG	CEILING	MANF	MANUFACTURER	STRUCT	STRUCTURAL
CLR	CLEAR	MAX	MAXIMUM	T	TREAD
CLO	CLOSET	MC	MEDICINE CABINET	TEMP	TEMPERED
CO	CLEANOUT	MIN	MINIMUM	TOC	TOP OF CONCRETE
CONC	CONCRETE	MTL	METAL	TOG	TOP OF GRADE
CONTIN	CONTINUOUS	N	NORTH	TOF	TOP OF FLOOR
DBL	DOUBLE	O/	OVER	TOP	TOP OF PAVEMENT
DF	DOUGLAS FIR	OC	ON CENTER	TOS	TOP OF SLAB
DI	DRAIN INLET	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED	TOW	TOP OF WALL
DIA	DIAMETER	O	OWNER SELECTED	TV	TELEVISION
DR	DOOR	O	OWNER SELECTED	TYP	TYPICAL
DW	DISH WASHER	PB	PUSH BUTTON	UCR	UNDER COUNTER REFRIG
E	EAST	PH	PHONE	W	WEST
EL	ELEVATION	PL	PLATE	W/	WITH
EQ	EQUAL	POC	POINT OF CONNECTION	WC	WATER CLOSET
FF	FINISH FLOOR	PT	PRESSURE TREATED	WD	WOOD
FIX	FIXTURE	R	RISER	WH	WATER HEATER
FLUOR	FLUORESCENT	REF	REFRIGERATOR	WP	WATER PROOF
FP	FIRE PLACE			WWM	WELDED WIRE MESH

**NEW SINGLE FAMILY RESIDENCE:**

# FREITAS FAMILY



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PROJECT: 20190110

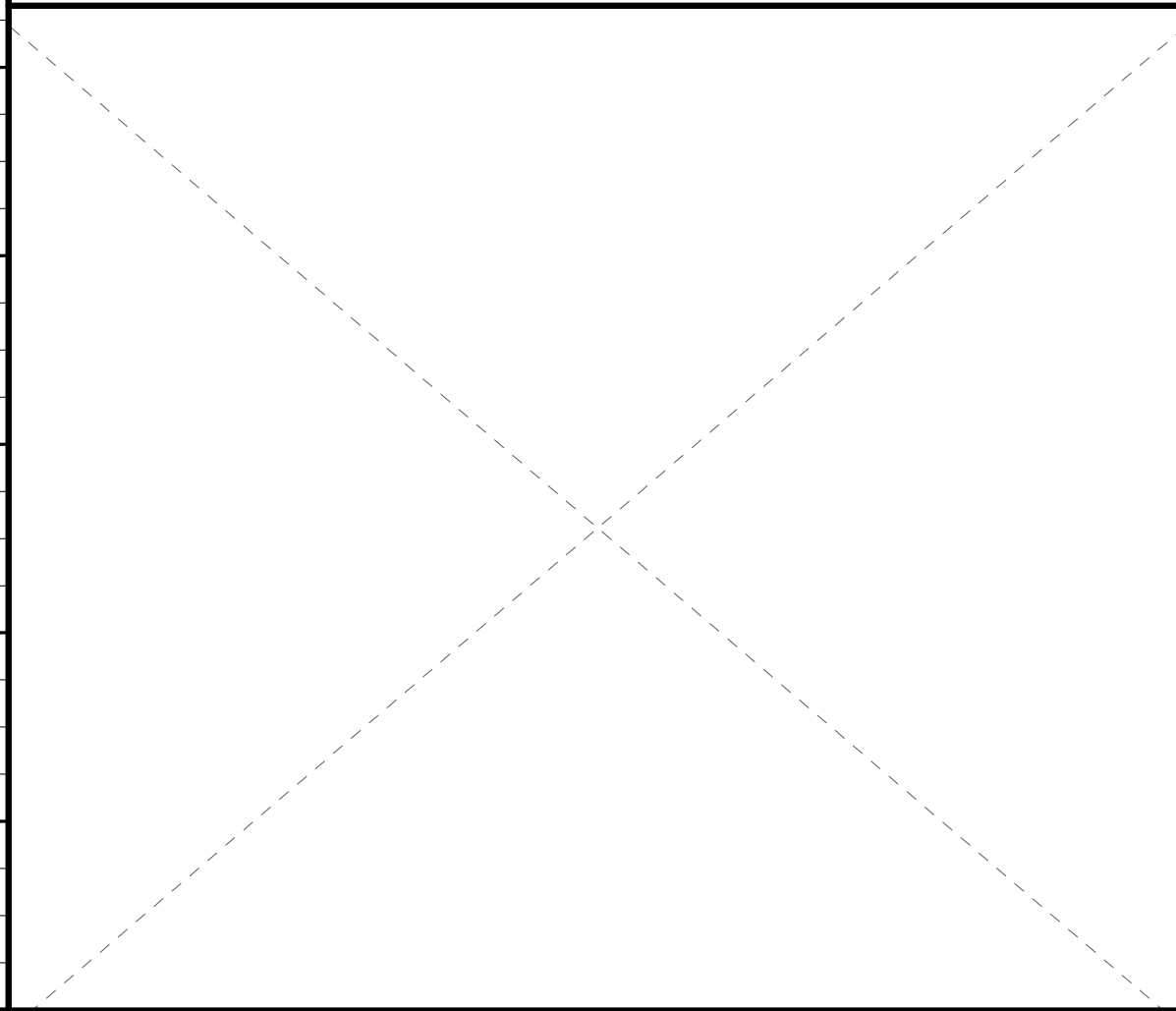
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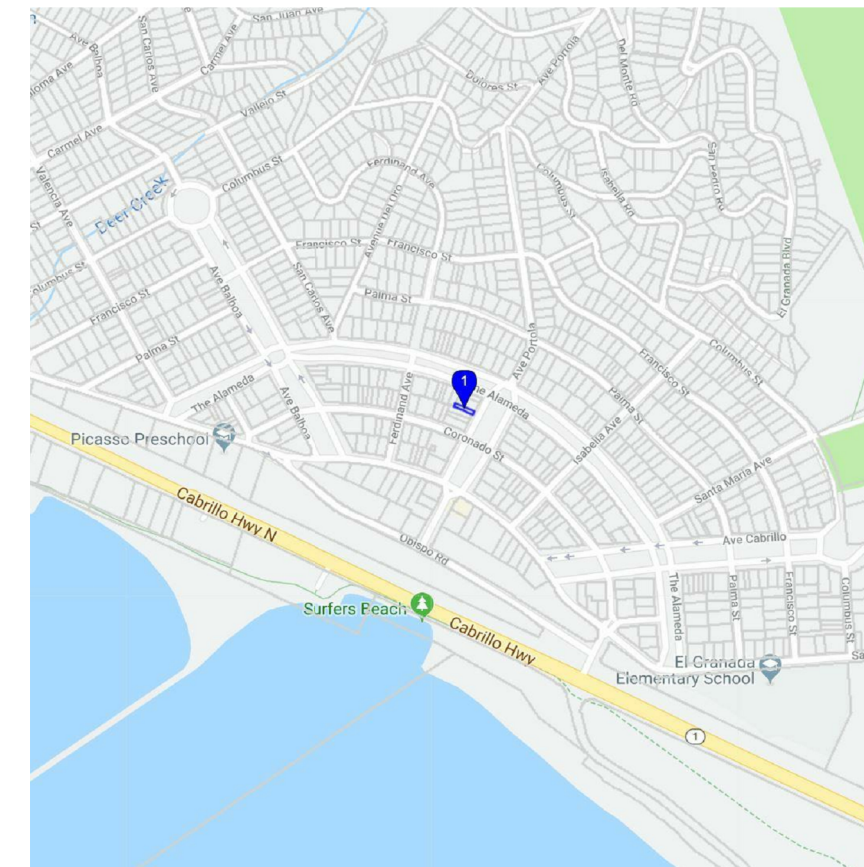
**PROJECT DIRECTORY**

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STRUCTURAL ENGINEER	
MEP ENGINEER	
CIVIL ENGINEER	
FIRE SPRINKLER	
TRUSS DESIGNER	

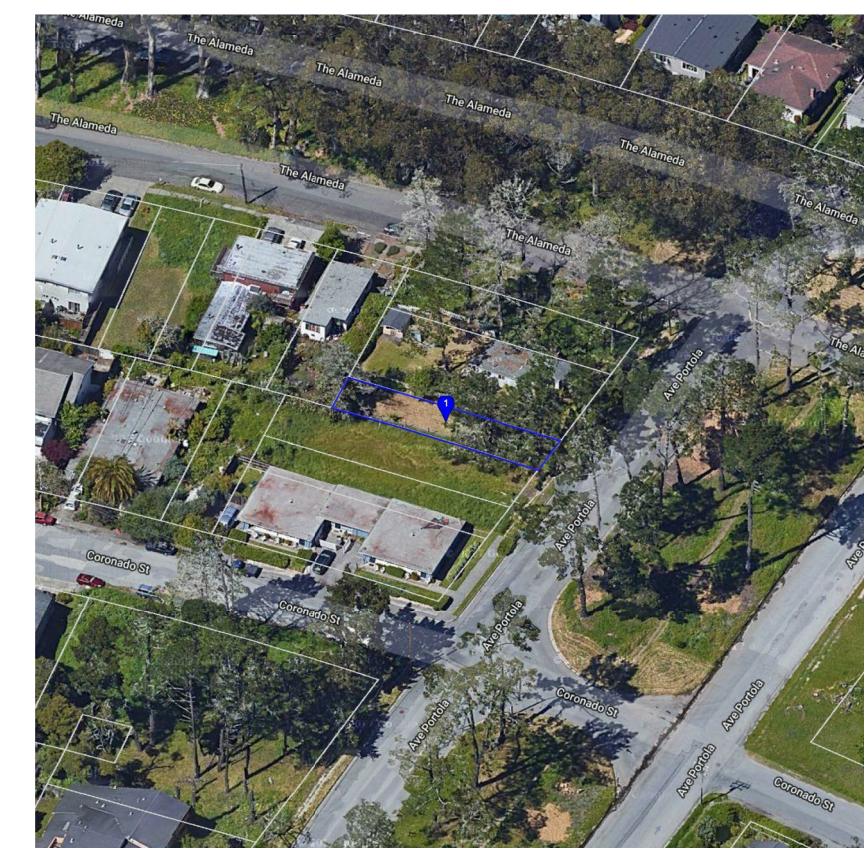
**ADDITIONAL NOTES**



**PROJECT VICINITY MAP**



**AERIAL VIEW**



**PROJECT INFORMATION**

APPLICABLE BUILDING CODE: 2019 CALIFORNIA BUILDING CODE (CBC)  
2019 CALIFORNIA RESIDENTIAL CODE (RCR)  
2019 CALIFORNIA MECHANICAL CODE (CMC)  
2019 CALIFORNIA PLUMBING CODE (CPC)  
2019 CALIFORNIA ENERGY CODE (CEC)  
2019 CALIFORNIA GREEN BUILDING CODE (CGBS)  
2019 CALIFORNIA ENERGY CODE (2019 CALIFORNIA ENERGY STANDARDS AS AMENDED BY THE STATE OF CALIFORNIA AND THE LOCAL JURISDICTION).

GENERAL PROJECT DATA:

APN: 047-208-120  
ZONE: R-3/S-3/DR/CD  
BUILDING JURISDICTION: SAN MATEO COUNTY

CODE COMPLIANCE:	ALLOWED:	ACTUAL:
OCCUPANCY GROUP (CBC CH 3):	R-3/U	R-3/U
CONSTRUCTION TYPE (CBC, TABLE 601):	V-B	V-B
ALLOWABLE HEIGHT:	36'	13'-2"
ALLOWABLE STORIES:	3	1
ALLOWABLE AREA:	50%	49.55%
FLOOR AREA RATIO:	0.5	0.3

**SHEET INDEX**

SHEET	TITLE
A0.11	COVER SHEET
A0.12	NOTES & CALG GREEN
A0.13	COC LETTER
A1.10	SITE SURVEY
A1.11	SITE PLAN
A2.11	FLOOR PLANS
A3.11	ROOF PLAN
A5.00	PERSPECTIVE VIEWS
A5.11	ELEVATIONS
A5.12	ELEVATIONS
A6.11	BUILDING SECTIONS
AT.0	LIGHTING SHEETS
C-1	GRADING AND DRAINAGE PLAN
C-2	EROSION AND SEDIMENT CONTROL PLAN

**ARCHITECTURAL SYMBOLS**

#	GRIDLINE	Ref 1 A101	SECTION	LAP SIDING	CARPET
W# R#	WINDOW TAG WIDTH x HEIGHT TYPE - COMMENTS	1 A101	SIM DETAIL	ASPHALT SHINGLE ROOFING	EARTH
D101 R#	DOOR TAG WIDTH x HEIGHT FAMILY - COMMENTS	▲	REVISION	STONE	CONCRETE
ROOM NAME R#	ROOM TAG A: AREA CLG: CLG HT	Name Elevation	SPOT ELEVATION	EXTERIOR CEMENT PLASTER	TILE
#	PROPOSED KEYNOTE	Ref 1 SHEET 1 Ref	ELEVATION	FIBER-CEMENT SHINGLES	SS METAL
⊕	EXISTING KEYNOTE			PROJECT NORTH (GRAY) TRUE NORTH (BLACK)	BATTEN ON BOARD

**PROJECT SCOPE**

SINGLE-FAMILY RESIDENCE CONSISTING OF TWO BEDROOMS, ONE BATHROOM. PRE-MANUFACTURED TRUSSES TO BE UTILIZED WITH ASPHALT SHINGLE ROOFING. EXTERIOR 2X6 WALLS WITH BATTEN AND BOARD & LAP SIDING FINISH. EXISTING UTILITIES AT THE SITE TO BE REROUTED.

**AREA CALCULATIONS**

NAME	(E) AREA	(N) AREA	NET CHANGE
CONDITIONED			
LEVEL-1	0 SF	847 SF	847 SF
CONDITIONED	0 SF	847 SF	847 SF
UNCONDITIONED			
GARAGE	0 SF	224 SF	224 SF
DECK	0 SF	86 SF	86 SF
UNCONDITIONED	0 SF	310 SF	310 SF
TOTAL:	0 SF	1157 SF	1157 SF

LOT SIZE			LOT COVERAGE					
(E) SF	(N) SF	CHANGE	(E) SF	(E) %	(N) SF	(N) %	CHANGE (SF)	CHANGE (%)
2763 SF	2763 SF	0 SF	0 SF	0.00%	1157 SF	41.87%	1157 SF	41.87%

NEW SINGLE FAMILY RESIDENCE  
**FREITAS FAMILY**  
047-208-120 AVENUE PORTOLA,  
EL GRANADA, CA

TITLE: COVER SHEET  
ISSUES:  
Project Issue Date:  
Project Status:  
Sheet Issue Date: 10/11/20  
Revision Number:  
Revision Date:

REGISTERED ARCHITECT  
NO. 023503  
OF CALIFORNIA

NOT FOR CONSTRUCTION

THIS PROJECT IS NOT APPROVED FOR CONSTRUCTION UNLESS THE DRAWINGS ARE STAMPED AND WET SIGNED BY THE ARCHITECT AND THE BUILDING AUTHORITY HAVING JURISDICTION OVER THE PROJECT.

SHEET:  
**A0.11**  
SHEET: OF SHEETS

2016 CALGREEN CODE	
SECTION	REQUIREMENTS
<b>Chapter 1 - ADMINISTRATION</b>	
<b>Scope</b>	
101.3.1	Applies to All newly constructed residential buildings: low-rise, high-rise, and hotels/motels.
<b>Chapter 3 - GREEN BUILDING</b>	
<b>Additions and alterations</b>	
301.1.1	<ul style="list-style-type: none"> <li>Applies to additions or alterations of residential buildings where the addition or alteration increases the building's conditioned area, volume, or size.</li> <li>Requirements only apply within the specific area of the addition or alteration.</li> <li>Note directs code users to Civil Code Section 1101.1 et seq., regarding replacement of non-compliant plumbing fixtures.</li> </ul>
<b>Low-rise and high-rise buildings</b>	
301.2	Banners identify provisions applying to low-rise only [LR] or high-rise only [HR]
<b>Division 4.1 - PLANNING AND DESIGN (SITE DEVELOPMENT)</b>	
<b>Storm water drainage and retention during construction</b>	
4.106.2	Projects which disturb less than 1 acre of soil and are not part of a larger common plan of development shall manage storm water drainage during construction.
<b>Grading and paving</b>	
4.106.3	Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Exception for additions and alterations which do not alter the existing drainage path.
<b>Electric vehicle (EV) charging for new construction</b>	
4.106.4	<ul style="list-style-type: none"> <li>Comply with Section 4.106.4.1 and 4.106.4.2 for future installation and use of EV chargers.</li> <li>Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625.</li> <li>Exceptions on a case-by-case basis as determined by the Local Enforcing Agency: <ul style="list-style-type: none"> <li>Where there is no commercial power supply.</li> <li>Verification that meeting requirements will alter the local utility infrastructure design requirements on the utility side of the meter increasing costs to the homeowner/developer by more than \$400.00 per dwelling unit.</li> </ul> </li> </ul>
<b>EV charging: 1- &amp; 2-family dwellings/townhouses with attached private garages</b>	
4.106.4.1 & 4.106.4.1.1	<ul style="list-style-type: none"> <li>Install a listed raceway to accommodate a dedicated 208/240-volt branch circuit for each dwelling unit.</li> <li>Raceway shall not be less than trade size 1 (nominal 1-inch inside diameter).</li> <li>Raceway shall originate at the main service or subpanel and terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger.</li> <li>Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces.</li> <li>Service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device. Service panel or subpanel circuit</li> </ul>

2016 CALGREEN CODE	
SECTION	REQUIREMENTS
4.106.4.1 & 4.106.4.1.1 continued	directory shall identify the overcurrent protective device(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".
<b>EV charging for multifamily dwellings</b>	
4.106.4.2	<ul style="list-style-type: none"> <li>Applies to building sites with 17 or more multifamily dwelling units constructed on the site.</li> <li>3% of the total number of parking spaces provided for all types of parking facilities, but in no case less than one, shall be electric vehicle charging spaces (EV spaces) capable of supporting future EVSE. Calculations for the number of EV spaces shall be rounded up to the nearest whole number.</li> <li>Note: Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.</li> </ul>
<b>EV charging space (EV space) locations</b>	
4.106.4.2.1	<ul style="list-style-type: none"> <li>Construction documents shall indicate the location of proposed EV spaces. At least 1 EV space shall be located in common use areas and available for use by all residents.</li> <li>When EV chargers are installed, EV spaces required by Section 4.106.4.2.2, item 3, shall comply with at least 1 of the following options: <ol style="list-style-type: none"> <li>The EV space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space.</li> <li>The EV space shall be located on an accessible route to the building, as defined in the California Building Code, Chapter 2.</li> </ol> </li> </ul>
<b>EV charging space (EV space) dimensions</b>	
4.106.4.2.2	<ul style="list-style-type: none"> <li>EV spaces shall be designed to comply with the following: <ol style="list-style-type: none"> <li>The minimum length of each EV space shall be 18 feet.</li> <li>The minimum width of each EV space shall be 9 feet.</li> <li>One in every 25 EV spaces, but not less than 1, shall also have an 8-foot wide minimum aisle. A 5-foot wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet.</li> </ol> </li> <li>Surface slope for this EV space and aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083% slope) in any direction.</li> </ul>
<b>Single EV space required</b>	
4.106.4.2.3	<ul style="list-style-type: none"> <li>Install listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. <ul style="list-style-type: none"> <li>The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter).</li> <li>The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed location of the EV space.</li> </ul> </li> </ul>

2016 CALGREEN CODE	
SECTION	REQUIREMENTS
4.106.4.2.3 continued	<ul style="list-style-type: none"> <li>Construction documents shall identify the raceway termination point.</li> <li>The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.</li> </ul>
<b>Multiple EV spaces required</b>	
4.106.4.2.4	<ul style="list-style-type: none"> <li>Construction documents shall indicate raceway termination point and proposed location of future EV spaces and EV chargers. Construction documents shall also provide information on amperage of future EVSE, raceway method(s), wiring schematics and electrical load calculations to verify electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at full rated amperage of the EVSE.</li> <li>Plan design shall be based upon a 40-ampere minimum branch circuit.</li> <li>Raceways and related components planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction.</li> </ul>
<b>Identification</b>	
4.106.4.2.5	<ul style="list-style-type: none"> <li>The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.</li> <li>Notes: <ol style="list-style-type: none"> <li>The California Department of Transportation adopts and publishes the "California Manual on Uniform Traffic Control Devices (California MUTCD)" to provide uniform standards and specifications for all official traffic control devices in California. Zero Emission Vehicle Signs and Pavement Markings can be found in the New Policies &amp; Directives Number 12-01. Website: <a href="http://www.dot.ca.gov/hq/traffops/policy/13-01.pdf">http://www.dot.ca.gov/hq/traffops/policy/13-01.pdf</a></li> <li>See Vehicle Code Section 22511 for EV charging space signage in off-parking facilities and for use of EV charging spaces.</li> <li>The Governor's Office of Planning and Research (OPR) published a "Zero-Emission Vehicle Community Readiness Guidebook" which provides helpful information for local governments, residents and businesses. Website: <a href="http://opr.ca.gov/docs/ZEV_Guidebook.pdf">http://opr.ca.gov/docs/ZEV_Guidebook.pdf</a></li> </ol> </li> </ul>
<b>Division 4.2 - ENERGY EFFICIENCY</b>	
<b>Scope</b>	
4.201.1 & 5.201.1	<ul style="list-style-type: none"> <li>Energy efficiency requirements for low-rise residential (Section 4.201.1) and high-rise residential/hotels/motels (Section 5.201.1) are now in both residential and nonresidential chapters of CALGreen.</li> <li>Standards for residential buildings do not require compliance with levels of minimum energy efficiency beyond those required by the 2016 California Energy Code.</li> </ul>

2016 CALGREEN CODE	
SECTION	REQUIREMENTS
<b>Division 4.3 - WATER EFFICIENCY AND CONSERVATION (INDOOR WATER USE)</b>	
<b>Water conserving plumbing fixtures and fittings</b>	
4.303.1	<ul style="list-style-type: none"> <li>Plumbing fixtures and fittings shall comply with the following: <ol style="list-style-type: none"> <li>Water Closets: ≤ 1.28 gal/flush</li> <li>Wall Mounted Urinals: ≤ 0.125 gal/flush; all other urinals ≤ 0.5 gal/flush</li> <li>Single Showerheads: ≤ 2.0 gpm @ 80 psi</li> <li>Multiple Showerheads: combined flow rate of all showerheads controlled by a single valve shall not exceed 2.0 gpm @ 80 psi, or only one shower outlet is to be in operation at a time.</li> </ol> </li> </ul>
4.303.1.4.1	Residential Lavatory Faucets: Maximum Flow Rate ≤ 1.2 gpm @ 60 psi; Minimum Flow Rate ≥ 0.8 gpm @ 20 psi
4.303.1.4.2	Lavatory Faucets in Common and Public Use Areas of Residential Buildings: ≤ 0.5 gpm @ 60 psi
4.303.1.4.3	Metering Faucets: ≤ 0.25 gallons per cycle
4.303.1.4.4	Kitchen Faucets: ≤ 1.8 gpm @ 60 psi; temporary increase to 2.2 gpm allowed but shall default to 1.8 gpm
<b>Standards for plumbing fixtures and fittings</b>	
4.303.2	Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet applicable standards referenced in Table 1701.1 of the California Plumbing Code.
<b>Division 4.3 - WATER EFFICIENCY AND CONSERVATION (OUTDOOR WATER USE)</b>	
<b>Outdoor potable water use in landscape areas</b>	
4.304.1	<ul style="list-style-type: none"> <li>After December 1, 2015, new residential developments with an aggregate landscape area equal to or greater than 500 square feet shall comply with one of the following: <ol style="list-style-type: none"> <li>A local water efficient landscaping ordinance adopted by the California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent, or</li> <li>Projects with aggregate landscape areas less than 2500 square feet may comply with the MWELO's Appendix D Prescriptive Compliance Option.</li> </ol> </li> </ul>
<b>Division 4.4 - MATERIAL CONSERVATION &amp; RESOURCE EFFICIENCY (ENHANCED DURABILITY &amp; REDUCED MAINTENANCE)</b>	
<b>Rodent proofing</b>	
4.408.1	<ul style="list-style-type: none"> <li>Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be closed with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency to prevent passage of rodents.</li> </ul>
<b>Division 4.4 - MATERIAL CONSERVATION &amp; RESOURCE EFFICIENCY (CONSTRUCTION WASTE REDUCTION, DISPOSAL &amp; RECYCLING)</b>	
<b>Construction waste reduction of at least 65%</b>	
4.408.1	<ul style="list-style-type: none"> <li>Recycle and/or salvage for reuse a minimum of 65% of the nonhazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, OR meet a more stringent local construction and demolition waste management ordinance.</li> </ul>

2016 CALGREEN CODE	
SECTION	REQUIREMENTS
4.408.1 continued	<ul style="list-style-type: none"> <li>Documentation is required per Section 4.408.5.</li> <li>Exceptions: <ol style="list-style-type: none"> <li>Excavated soil and land-clearing debris.</li> <li>Alternative waste reduction methods developed by working with local enforcing agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite.</li> <li>The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.</li> </ol> </li> </ul>
<b>Construction waste management plan</b>	
4.408.2	Submit a construction waste management plan meeting Items 1 through 5 in Section 4.408.2. Plans shall be updated as necessary and shall be available for examination during construction.
<b>Waste management company</b>	
4.408.3	Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that diverted construction and demolition waste materials meet the requirements in Section 4.408.1.
<b>Waste stream reduction alternative</b>	
4.408.4	<ul style="list-style-type: none"> <li>(LR) Projects that generate a total combined weight of construction and demolition waste disposed in landfills, which do not exceed 3.4 pounds per square foot of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1.</li> <li>Projects that generate a total combined weight of construction and demolition waste disposed in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1.</li> </ul>
<b>Division 4.4 - MATERIAL CONSERVATION &amp; RESOURCE EFFICIENCY (BUILDING MAINTENANCE &amp; OPERATION)</b>	
<b>Operation and maintenance manual</b>	
4.410.1	At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which covers 10 specific subject areas shall be placed in the building.
<b>Recycling by occupants</b>	
4.410.2	<ul style="list-style-type: none"> <li>Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and is identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals or meet a lawfully enacted local recycling ordinance, if more restrictive.</li> <li>Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et. seq. are not required to comply with the organic waste portion of this section.</li> </ul>

2016 CALGREEN CODE	
SECTION	REQUIREMENTS
<b>Division 4.5 - ENVIRONMENTAL QUALITY (FIREPLACES)</b>	
<b>General</b>	
4.503.1	<ul style="list-style-type: none"> <li>Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with all applicable local ordinances.</li> </ul>
<b>Division 4.5 - ENVIRONMENTAL QUALITY (POLLUTANT CONTROL)</b>	
<b>Protection during construction</b>	
4.504.1	At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air intake and distribution component openings shall be covered. Tape, plastic, sheetmetal or other methods acceptable to the enforcing agency to reduce the amount of water, dust and debris entering the system may be used.
<b>Adhesives, sealants and caulks</b>	
4.504.2.1	<ul style="list-style-type: none"> <li>Adhesives, sealants and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply: <ol style="list-style-type: none"> <li>Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers, and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable, or SCAQMD Rule 1168 VOC limits, as shown in Tables 4.504.1 or 4.504.2, as applicable. Such products shall also comply with California's 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products as specified in Subsection 2 below.</li> <li>Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of the California Code of Regulations (CCR), Title 17, commencing with Section 94507.</li> </ol> </li> </ul>
<b>Paints and coatings</b>	
4.504.2.2	<ul style="list-style-type: none"> <li>Architectural paints and coatings shall comply with VOC limits in Table 1 of the Air Resources Board Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply.</li> <li>The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as Flat, Nonflat, or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37, of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat, or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.</li> </ul>

2016 CALGREEN CODE	
SECTION	REQUIREMENTS
<b>Aerosol paints and coatings</b>	
4.504.2.3	<ul style="list-style-type: none"> <li>Aerosol paints and coatings shall meet the Product-Weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Section 94522(e)(1) and (f)(1) of the CCR, Title 17, commencing with Section 94507, and in areas under the jurisdiction of the Bay Area Air Quality Management District shall additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49.</li> </ul>
<b>Carpet systems</b>	
4.504.3	<ul style="list-style-type: none"> <li>Carpet installed in the building interior shall meet the testing and product requirements of 1 of the following: <ol style="list-style-type: none"> <li>Carpet and Rug Institute's Green Label Plus Program</li> <li>California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350)</li> <li>NSF/ANSI 140 at the Gold level</li> <li>Scientific Certifications Systems Indoor Advantage™ Gold</li> </ol> </li> </ul>
<b>Carpet cushion</b>	
4.504.3.1	Carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label Plus Program.
<b>Carpet adhesive</b>	
4.504.3.2	Carpet adhesives shall meet the requirements of Table 4.504.1.
<b>Resilient flooring systems</b>	
4.504.4	<ul style="list-style-type: none"> <li>Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall comply with one or more of the following: <ol style="list-style-type: none"> <li>Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products Database</li> <li>Products certified under UL GREENGUARD Gold (formerly the Greenguard Children &amp; Schools Program)</li> <li>Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program</li> <li>Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350)</li> </ol> </li> </ul>
<b>Composite wood products</b>	
4.504.5	<ul style="list-style-type: none"> <li>Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements</li> </ul>

2016 CALGREEN CODE	
SECTION	REQUIREMENTS
4.504.5 continued	<ul style="list-style-type: none"> <li>for formaldehyde as specified in the Air Resources Board's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et. seq.), as shown in Table 4.504.5. Documentation is required per Section 4.504.5.1.</li> <li>Definition of Composite Wood Products: Composite wood products include hardwood plywood, particleboard, and medium density fiberboard. "Composite wood products" do not include hardwood, structural plywood, structural panels, structural composite lumber, oriented strand board, and concrete laminated timber, prefabricated wood joists, or finger-jointed lumber, all as specified in CCR, Title 17, Section 93120.1(a).</li> </ul>
<b>Documentation</b>	
4.504.5.1	Verification of compliance shall be provided as requested by the enforcing agency, and as required in Section 4.504.5.1.
<b>Division 4.5 - ENVIRONMENTAL QUALITY (INTERIOR MOISTURE CONTROL)</b>	
<b>Concrete slab foundations</b>	
4.505.2	Concrete slab foundations or concrete slab-on-ground floors required to have a vapor retarder by the California Building Code, Chapter 19, or the California Residential Code, Chapter 5, respectively, shall also comply with this section.
<b>Capillary break</b>	
4.505.2.1	<ul style="list-style-type: none"> <li>A capillary break shall be installed in compliance with at least 1 of the following: <ol style="list-style-type: none"> <li>A 4-inch thick base of 1/2-inch or larger clean aggregate shall be provided with a vapor retarder in direct contact with concrete and a concrete mix design which will address bleeding, shrinkage and curing shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06.</li> <li>Other equivalent methods approved by the enforcing agency.</li> <li>A slab design specified by a licensed design professional.</li> </ol> </li> </ul>
<b>Moisture content of building materials</b>	
4.505.3	<ul style="list-style-type: none"> <li>Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19% moisture content. Moisture content shall be verified in compliance with the following: <ol style="list-style-type: none"> <li>Moisture content shall be determined with either a probe-type or a contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements in Section 101.8.</li> <li>Moisture readings shall be taken at a point 2 feet to 4 feet from the grade-stamped end of each piece to be verified.</li> <li>At least 3 random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.</li> </ol> </li> <li>Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Manufacturers' drying recommendations shall be followed for wet-applied insulation products prior to enclosure.</li> </ul>

2016 CALGREEN CODE	
SECTION	REQUIREMENTS
<b>Division 4.5 - ENVIRONMENTAL QUALITY (INDOOR AIR QUALITY &amp; EXHAUST)</b>	
<b>Bathroom exhaust fans</b>	
4.506.1	<ul style="list-style-type: none"> <li>Each bathroom shall be mechanically ventilated and shall comply with the following: <ol style="list-style-type: none"> <li>Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.</li> <li>Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.</li> <li>Humidity controls shall be capable of manual or automatic adjustment between a relative humidity range of less than 50% to a maximum of 80%.</li> <li>A humidity control may be a separate component to the exhaust fan and is not required to be integral or built-in.</li> </ol> </li> <li>Note: For CALGreen a "bathroom" is a room which contains a bathtub, shower, or tub/shower combination. Fans or mechanical ventilation is required in each bathroom.</li> </ul>
<b>Division 4.5 - ENVIRONMENTAL QUALITY (ENVIRONMENTAL COMFORT)</b>	
<b>Heating and air conditioning system design</b>	
4.507.2	<ul style="list-style-type: none"> <li>Heating and air conditioning systems shall be sized, designed, and equipment selected using the following methods: <ol style="list-style-type: none"> <li>The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.</li> <li>Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.</li> <li>Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection) or other equivalent design software or methods. Exception: Use of alternate design temperatures necessary to ensure the systems functions are acceptable.</li> </ol> </li> </ul>
<b>CHAPTER 7 - INSTALLER &amp; SPECIAL INSPECTOR QUALIFICATION (QUALIFICATIONS, VERIFICATIONS)</b>	
<b>Installer training</b>	
702.1	<ul style="list-style-type: none"> <li>HVAC system installers shall be trained and certified in the proper installation of HVAC systems and equipment through a recognized training or certification program.</li> <li>Examples of acceptable HVAC training and certification programs include but are not limited to the following: <ol style="list-style-type: none"> <li>State certified apprenticeship programs.</li> <li>Public utility training programs.</li> <li>Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.</li> <li>Programs sponsored by manufacturing organizations.</li> <li>Other programs acceptable to the enforcing agency.</li> </ol> </li> </ul>

2016 CALGREEN CODE	
SECTION	REQUIREMENTS
<b>Special inspection</b>	
702.2	Special inspectors must be qualified and able to demonstrate competence to the enforcing agency in the discipline in which they are inspecting.
<b>Documentation</b>	
703.1	Documentation of compliance shall include, but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the local enforcing agency. Other specific documentation or special inspections necessary to verify compliance are specified in appropriate sections of CALGreen.

## GENERAL NOTES

GENERAL NOTES	
<b>SCOPE:</b>	
1.	THE CONSTRUCTION CONTRACT RELATED TO THE WORK OF THIS PROJECT IS HEREBY MADE A PART OF THESE DRAWINGS AS THOUGH FULLY CONTAINED THEREIN.
2.	THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL COMPLETE ALL WORK REQUIRED TO RECEIVE A CERTIFICATE OF OCCUPANCY FROM THE BUILDING OFFICIAL HAVING JURISDICTION OVER THIS PROJECT. THE SCOPE OF PERMIT COMPLIANCE WORK IS INCLUDED IN THE GENERAL CONTRACT FOR CONSTRUCTION OF THIS PROJECT. THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR AND GOVERNED BY ALL OF THE REQUIREMENTS THEREUNDER.
3.	PRIOR TO CONTRACT APPROVAL, THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL VISIT THE PROJECT SITE, AND BY THEIR OWN INVESTIGATION, DETERMINE EXISTING SITE CONDITIONS AS TO THE QUANTITIES OF MATERIALS, LABOR HOURS, AND ANY OTHER COST ASSOCIATED WITH WORK THAT IS TO BE DONE UNDER THEIR CONTRACT AND AS REQUIRED TO PASS ALL BUILDING PERMIT INSPECTIONS. ALL MODIFICATIONS REQUIRED BY THE INSPECTION AUTHORITY SHALL BE MADE BY EACH SUBCONTRACTOR AT THEIR EXPENSE.
4.	PRIOR TO CONTRACT APPROVAL, THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY AND CONFIRM THE DESIGN REQUIREMENTS OF ALL NEW AND EXISTING ARCHITECTURAL, STRUCTURAL, PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS AND REPORT ANY AMBIGUITIES OR DISCREPANCIES CONTAINED IN THE CONTRACT TO THE OWNER IN WRITING. ALL MODIFICATIONS REQUIRED TO COMPLETE THE CONTRACT RESULTING FROM AMBIGUITIES OR DISCREPANCIES NOT REPORTED PRIOR TO CONTRACT APPROVAL SHALL BE MADE BY EACH SUBCONTRACTOR AT THEIR EXPENSE.
<b>APPLICABLE LAWS, ORDINANCES, REGULATIONS AND STANDARDS:</b>	
1.	THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL CONFORM TO THE LATEST APPLICABLE, ADOPTED EDITION OF THE CALIFORNIA CODE OF REGULATIONS, TITLE-24, CALIFORNIA BUILDING CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA ELECTRICAL CODE, AND ALL LOCAL CODES AND ORDINANCES REQUIRED TO RECEIVE A CERTIFICATE OF OCCUPANCY FROM THE BUILDING OFFICIAL HAVING JURISDICTION OVER THE PROJECT.
2.	THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL PERFORM ALL WORK REQUIRED BY APPLICABLE BUILDING CODES AND REGULATIONS TO PASS ALL REQUIRED BUILDING INSPECTIONS.
3.	EACH SUBCONTRACTOR MUST BE A SPECIALIST IN THEIR FIELD. EACH SUBCONTRACTOR SHALL, PRIOR TO THE SUBMISSION OF HIS BID OR PERFORMANCE OF WORK, NOTIFY THE GENERAL CONTRACTOR OF ANY WORK CALLED OUT IN THE DRAWINGS OR PROJECT MANUAL IN HIS TRADE THAT CANNOT BE FULLY GUARANTEED OR CONSTRUCTED ACCORDING TO THE DESIGN INTENT.
<b>PERMITS, LICENSES, INSPECTIONS, AND FEES:</b>	
1.	THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PLAN REVIEW, PERMIT, LICENSE, AND INSPECTION APPROVALS. ALL FEES REQUIRED FOR APPROVAL SHALL BE PAID BY THE OWNER.
<b>GUARANTEE:</b>	
1.	THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL GUARANTEE THAT ALL WORK REQUIRED TO CONSTRUCT THE PROJECT BE A COMPLETE WORKING SYSTEM AND SHALL OPERATE FREE FROM DEFECTS IN WORKMANSHIP AND MATERIALS. THE CONTRACTOR AGREES TO REPLACE, WITHOUT EXPENSE TO THE OWNER, ANY PROJECT COMPONENTS WHICH THE OWNER DETERMINES TO BE DEFECTIVE WITHIN ONE (1) CALENDAR YEAR FROM THE DATE OF FINAL CONTRACT ACCEPTANCE.
<b>DATA AND MEASUREMENTS:</b>	
1.	DRAWING DATA CONTAINED HEREIN IS AS EXACT AS COULD BE DETERMINED WITHIN THE PROJECT DESIGNER'S DESIGN SCOPE OF SERVICES RENDERED. AS SUCH THE ABSOLUTE ACCURACY OF THE DESIGN DATA IS NOT GUARANTEED. THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL ENDEAVOR TO OBTAIN, VERIFY AND CONFIRM EXACT DESIGN DATA ON SITE AND SUITABLY ADAPT THE WORK TO CONFORM TO EXACT CONDITIONS ON SITE. THE CONTRACTOR SHALL REPORT ANY DESIGN DATA AMBIGUITIES OR DISCREPANCIES CONTAINED IN THE CONTRACT TO THE OWNER IN WRITING. ALL MODIFICATIONS REQUIRED TO ADAPT THE WORK SHALL BE MADE BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
2.	DO NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS AND ACTUAL BUILDING MEASUREMENTS TAKE PRECEDENCE OVER SCALED DRAWING INFORMATION.
3.	DIMENSIONS TO DOORS, WINDOWS, AND OPENINGS ARE NOMINAL WIDTHS. REFER TO THE MANUFACTURER FOR ACTUAL ROUGH OPENINGS.
4.	ALL WALL DIMENSIONS ARE ACTUAL, FACE OF STUD TO FACE OF STUD. WALL FINISH DIMENSIONS ARE NOT TAKEN INTO ACCOUNT AND ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO DETERMINE PROPER CLEARANCES.
5.	NOTES ARE AN AID TO THE CONTRACTOR IN UNDERSTANDING THE WORK AND SHOULD NOT BE CONSTRUED AS BEING COMPLETE IN EVERY DETAIL. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BECOME THOROUGHLY FAMILIAR WITH THE WORK, AND REPORT ALL DISCREPANCIES BETWEEN THE DRAWINGS AND THE ACTUAL CONDITIONS TO THE ARCHITECT.
6.	DIMENSIONS MARKED AS "V.I.F." SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR.
7.	DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF THE ARCHITECT, UNLESS NOTED AS +/-.
<b>SUBSTITUTIONS FOR SPECIFIED MATERIALS:</b>	
1.	SPECIFIC TRADE NAMES MENTIONED IN THE DRAWINGS ARE FOR THE PURPOSES OF ESTABLISHING MINIMUM STANDARDS OF QUALITY, STYLE OR TYPE, AND SHALL NOT BE CONSTRUED TO RESTRICT SUBSTITUTIONS. ALL SUBSTITUTIONS SHALL BE SUBMITTED TO AND APPROVED BY THE OWNER IN WRITING WITHIN A SUFFICIENT TIME FRAME AS NOT TO DELAY PROJECT COMPLETION.
2.	SUBSTITUTIONS SHALL NOT BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE ARCHITECT AND THE OWNER. CONSIDERATION WILL BE GIVEN TO LIFE SAFETY, FIRE RATING, ACOUSTICS, WATERPROOFING, STRUCTURAL INTEGRITY, HANDICAPPED ACCESSIBILITY AND AESTHETICS WHEN ASSESSING PROPOSED SUBSTITUTIONS.

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**PROJECT: 20190110**

CLIENT: FREITAS FAMILY  
KATHLEEN FREITAS  
2515 ANVIL COURT,  
ROCKLIN, CA 95765

Tel: 916-980-9981  
Email: sean@graphia.com

**NEW SINGLE FAMILY RESIDENCE**  
**FREITAS FAMILY**  
047-208-120 AVENUE PORTOLA,  
EL GRANADA, CA

TITLE: NOTES & CALGREEN  
ISSUES:  
Project Issue Date:  
Project Status:  
Sheet Issue Date:  
Revision Number:  
Revision Date:

DESIGN REVIEW DRAWING

**NOT FOR CONSTRUCTION**

THIS PROJECT IS NOT APPROVED FOR CONSTRUCTION UNLESS THE DRAWINGS ARE STAMPED AND WET SIGNED BY THE ARCHITECT AND THE BUILDING AUTHORITY HAVING JURISDICTION OVER THE PROJECT.

SHEET: **A0.12** SHEETS

Recorded at the Request of, and When Recorded Return to: Pete Bentley, Project Planner Planning and Building Department 455 County Center, 2nd Floor Mail Drop PLN122 Redwood City, CA 94063	For Clerk Use Only  <b>2019-102490 CONF</b> 11:32 am 12/04/19 CC Fee: 26.00 Count of pages 4 Recorded in Official Records County of San Mateo Mark Church Assessor-County Clerk-Recorder * \$ R 0 0 0 2 7 9 0 6 4 0 5 *
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County of San Mateo  
Planning and Building Department  
**CERTIFICATE OF COMPLIANCE**  
Pursuant to Government Code Section 68499.35(a)  
Planning File No. PLN 2019-00380

The County of San Mateo has received a request from Sean Freitas, 2515 Anvil Court, Rocklin, CA 95765, to determine if real property owned by Sean Freitas, identified as Lot 5, Block 27, as shown on that certain Map entitled "Plat of Resubdivision of Subdivisions Nos. 2 and 3 of Granada, San Mateo County, California," filed in the Office of the County Recorder of San Mateo County, State of California on August 4, 1908 in Book 6 of Maps at Page 29.

Property Description

APN 047-208-120

All that certain real property located in the unincorporated area of San Mateo County, State of California, and being more particularly described as follows:

Lot 5 in Block 27 as shown on that certain Map entitled "Plat of Resubdivision of Subdivisions Nos. 2 and 3 of Granada, San Mateo County, California," filed in the Office of the County Recorder of San Mateo County, State of California on August 4, 1908 in Book 6 of Maps at Page 29.

A plat showing the above-described parcel is attached hereto and made a part of this Certificate of Compliance.

This parcel (047-208-120) was first conveyed separately from surrounding parcels in July 1917, prior to July 1945, the effective date of the County's first Subdivision Ordinance. This parcel (047-208-120) was conveyed again, by grant deed, in May 1980. Thus, the parcel

**Certificate of Compliance**  
APN 047-208-120  
Page 2

meets the requirements established to confirm legalization as a "Certificate of Compliance (Type A)."

This is to certify that the real property described above complies with the State of California Subdivision Map Act and the San Mateo County Subdivision Ordinance.

**NOTICE:** This document certifies compliance with the State of California Subdivision Map Act and the San Mateo County Subdivision Regulations only. Any development on, or use of, the property described herein is subject to the San Mateo County General Plan, Zoning Regulations, building regulations, and other County regulations affecting use and development of the property. Further, this Certificate of Compliance shall in no way affect the requirements of any other federal, State or local agency that regulates development or use of real property.

  
Steve Monowitz  
Community Development Director  
County of San Mateo

11/18/19  
Date

SM:PB:PSBDD0586\_WPN.DOCX

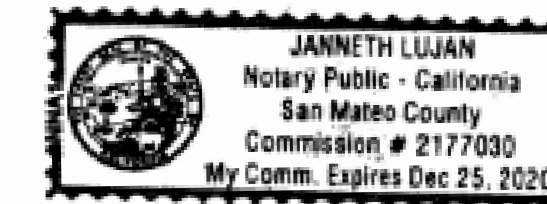
A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California )  
County of San Mateo )

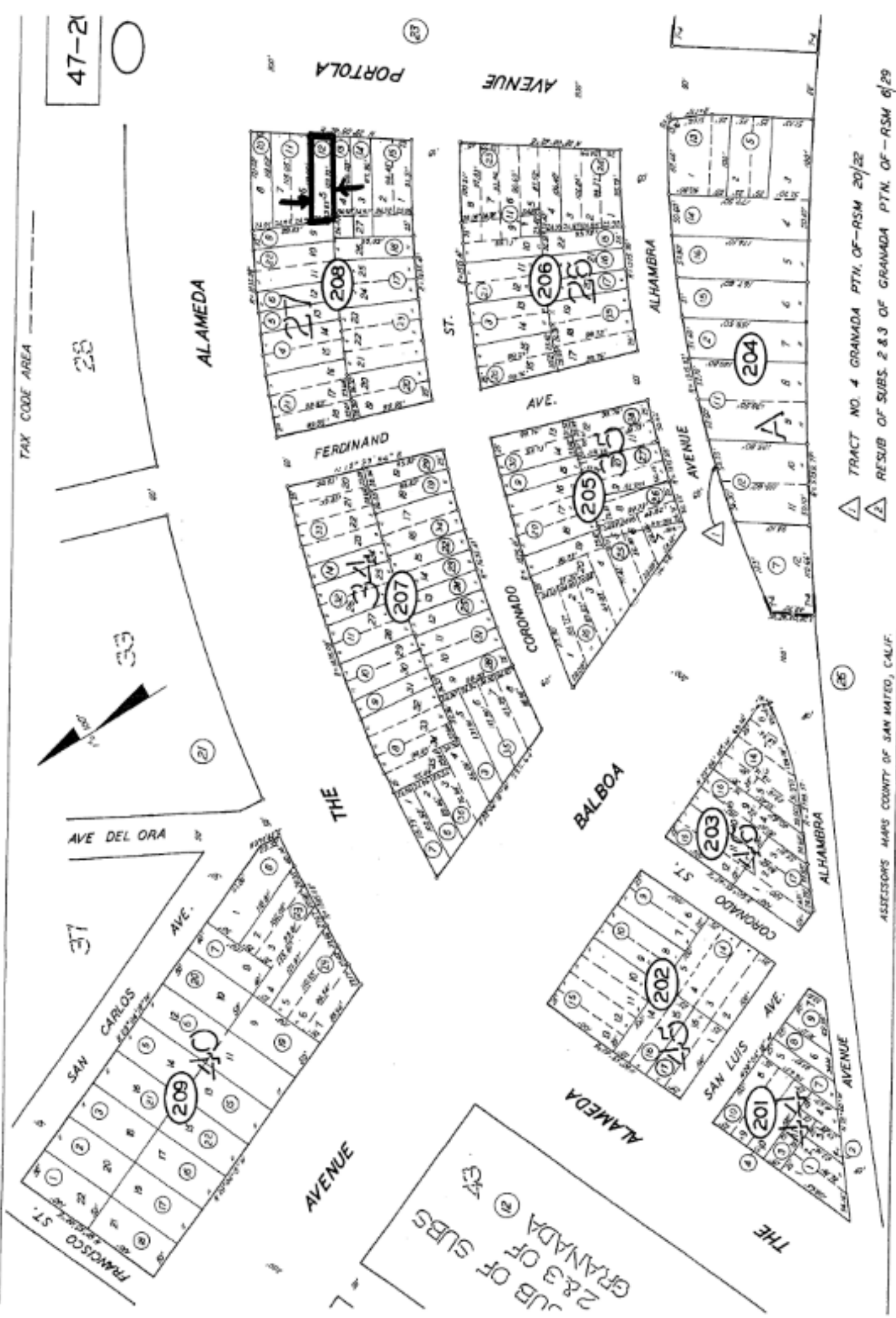
On November 18, 2019, before me, Janneth Lujan, a Notary Public, personally appeared STEVE MONOWITZ, who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature Janneth Lujan



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PROJECT: 20190110

CLIENT: FREITAS FAMILY  
KATHLEEN FREITAS  
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Tel: 916-580-9981  
Email: sean@graphia.com

NEW SINGLE FAMILY RESIDENCE  
**FREITAS FAMILY**  
047-208-120 AVENUE PORTOLA,  
EL GRANADA, CA

TITLE:  
COC LETTER  
ISSUES:  
Project Issue Date:  
Project Status:  
Sheet Issue Date:  
Revision Number:  
Revision Date: 1/22/21

DESIGN REVIEW DRAWING  
  
NOT FOR CONSTRUCTION  
THIS PROJECT IS NOT APPROVED FOR CONSTRUCTION UNLESS THE DRAWINGS ARE STAMPED AND WET SIGNED BY THE ARCHITECT AND THE BUILDING AUTHORITY HAVING JURISDICTION OVER THE PROJECT.

SHEET:  
**A0.13**  
SHEET: OF SHEETS



**LEGEND: FLOOR PLAN**

	NEW INTERIOR WALL CONSTRUCTION: 2X6 D.F. STUDS @ 16" O.C. FINISH AS SELECTED BY OWNER
	NEW EXTERIOR WALL CONSTRUCTION - 2X6 D.F. STUDS @ 16" O.C. FINISH AS SELECTED BY OWNER. SEE STRUCTURAL SHEETS FOR LOCATION AND TYPE OF ADDITIONAL SHEAR PANEL REQUIREMENTS. SEE EXTERIOR ELEVATIONS FOR LOCATION AND TYPE OF EXTERIOR FINISH. U.N.O.
	DOORS: MAKE/MODEL - AS SELECTED BY OWNER - CAULK ALL EXTERIOR JOINTS (TYP). SEE IN VIEW FOR TYPE, LOCATION & SIZE. SEE SCHEDULE SHEETS FOR ABBREVIATIONS.
	MATERIAL: AS SELECTED BY OWNER, U.N.O. FRAME: AS SELECTED BY OWNER, U.N.O. HARDWARE: AS SELECTED BY OWNER, U.N.O.
	WINDOWS: MAKE/MODEL - AS SELECTED BY OWNER - CAULK ALL EXTERIOR JOINTS (TYP). SEE IN VIEW FOR TYPE, LOCATION & SIZE. SEE SCHEDULE SHEETS FOR TYP. EGRESS: ALL EGRESS WINDOWS SILL HEIGHTS SHALL NOT BE GREATER THAN 44" A.F.F.
	CASED OPENING: ARCH OPENING W/ DECORATIVE WOOD TRIM. COLOR AS SELECTED BY OWNER.
	EXT CONCRETE PAD-1: LENGTH TO MATCH DOOR X 36" MIN. DEPTH X 4" THICK CONCRETE PAD (MIN) @ EXTERIOR DOORWAYS AND GRADE-MOUNTED MECHANICAL EQUIPMENT. SLOPE PAD 1/4"-12" AWAY FROM BUILDING EDGE. PROVIDE 7.75" MAX STEP FOR IN-SWINGING DOORS AND 1" MAX FOR EXTERIOR SWINGING DOORS BETWEEN TOP OF PAD AND THRESHOLD. (TYP)
	SHOWER ENCLOSURE: MAKE/MODEL - AS SELECTED BY OWNER REQUIRED DRYER VENT DUCT TO EXTERIOR WITH A MINIMUM OPENING OF 100 SQ. IN. MAKE-UP AIR OF 100 SQ. IN. IS REQUIRED FOR ROOMS CONTAINING A DRYER AND MAY COME FROM OPENING ABOVE DOOR INTO THE HALLWAY. MAKE-UP AIR MAY NOT COME FROM OR EXHAUST TO THE OUTSIDE.
	CABINETS: MAKE/MODEL - AS SELECTED BY OWNER COUNTER TOPS: MAKE/MODEL - AS SELECTED BY OWNER BACKSPLASHES: MAKE/MODEL - AS SELECTED BY OWNER CONTRACTOR SHALL COORDINATE EQUIPMENT, UTILITIES, AND SIZE WITH CASEWORK FABRICATOR AND SUB-CONTRACTORS.
	SHELF & POLE: MAKE/MODEL - AS SELECTED BY OWNER
	SEE: 12 / A7.11 WASHER AND DRYER: MAKE/MODEL - AS SELECTED BY OWNER
	SEE: 13 / A7.11 REFRIGERATOR: MAKE/MODEL - AS SELECTED BY OWNER 33" CLEAR SPACE. PROVIDE RECESSED COLD WATER BIB AND SHUT-OFF FOR ICE MAKER. PROVIDE ELECTRICAL OUTLET AT 42".
	KITCHEN SINK: MAKE/MODEL - AS SELECTED BY OWNER DBL. BOWL W/ GARBAGE DISPOSAL & AIR GAP FOR DISHWASHER. MAX 8" BOWL DEPTH. PROVIDE LEVER TYPE HARDWARE. WATER USAGE: < 1.8 GPM @ 60 PSI; TEMPORARY INCREASE TO 2.2 GPM ALLOWED BUT SHALL DEFAULT TO 1.8 GPM.
	SINK: MAKE/MODEL - AS SELECTED BY OWNER PROVIDE MIRROR ON WALL BEHIND AND TOWEL RING.
	RANGE: MAKE/MODEL - AS SELECTED BY OWNER 30" WIDE. GAS. PROVIDE MICROWAVE WITH BUILT-IN HOOD, LIGHT, AND FAN TO EXTERIOR. PROVIDE MIN 15" WIDE CUTTING BOARD IN ADJACENT CABINET. HOOD: VENT DIRECTLY TO OUTSIDE EXHAUSTING A MIN. OF 100 CFM. CMC AND ENERGY CODE. THE FAN MUST BE LISTED AT 3 ONE OR LESS. RATING MUST BE BASED ON A .25 WATER COLUMN OR GREATER. COMPLIANCE 4.6.5, 4.6.7 & ASHRAE 62.2
	DISHWASHER: MAKE/MODEL - AS SELECTED BY OWNER 24" WIDE X 24" DEEP W/ AIR GAP.
	WATER CLOSET: MAKE/MODEL - AS SELECTED BY OWNER WATER CLOSET STALLS SHALL BE LOCATED IN A SPACE NOT LESS THAN 30" CLEAR WIDTH AND SHALL HAVE A CLEAR SPACE IN FRONT OF THE WATER CLOSET STOOL NOT LESS THAN 24" U.N.O. WATER USAGE: < 1.28 GAL/FLUSH

**ADDITIONAL FLOOR PLAN NOTES:**

- CONTRACTOR SHALL COORDINATE EQUIPMENT, UTILITIES, AND SIZE WITH CASEWORK FABRICATOR AND SUB-CONTRACTORS. ALL REQUIRED UTILITIES PER MANUFACTURERS INSTRUCTIONS SHALL BE ROUTED BY A LICENSED PROFESSIONAL.
- MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR LISTED APPLIANCES SHALL BE AVAILABLE TO THE FIELD INSPECTOR AT THE TIME OF INSPECTIONS PER 2019 CRC SEC. R106.1.2.
- WATER-RESISTANT GYPSUM BOARD SHALL NOT BE INSTALLED OVER CLASS I OR II VAPOR RETARDER IN A SHOWER OR TUB COMPARTMENT AND SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER, OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY PER 2019 CRC SEC. R702.3.8 & R702.3.8.1
- GLAZING IN AREAS SUBJECT TO HUMAN IMPACT SHALL BE OF SAFETY GLAZING MATERIALS SUCH AS WIRE GLASS, LAMINATED GLASS, TEMPERED GLASS, OR SAFETY PLASTIC AND TESTED IN ACCORDANCE WITH CPSC 16 AND CFR 1201. SEC. R308.3, CRC.
- ALL WASTE VENTING SHALL BE PLACED MORE THAN 10' FROM, OR NOT LESS THAN 3' ABOVE, AN OPERABLE WINDOW, DOOR, OPENING, AIR INTAKE, OR VENT SHAFT, OR NOT LESS THAN 3' IN EVERY DIRECTION FROM A LOT LINE, ALLEY AND STREET EXCEPTED.
- KITCHEN TO HAVE A DEDICATED EXHAUST FAN TO THE OUTSIDE. IF EQUIPPED WITH INTERMITTENT OPERATED EXHAUST FAN, MINIMUM 100 CFMINS IS REQUIRED. IF EQUIPPED WITH CONTINUOUSLY OPERATED EXHAUST FAN AT 5 AIR CHANGES PER HOUR. THE RANGE HOOD OVER STOVE MAY COMPLY WITH VENTED TO OUTSIDE WITH A MINIMUM VENTILATION RATE OF 100 CFM.

**LEGEND: DIMENSIONS**

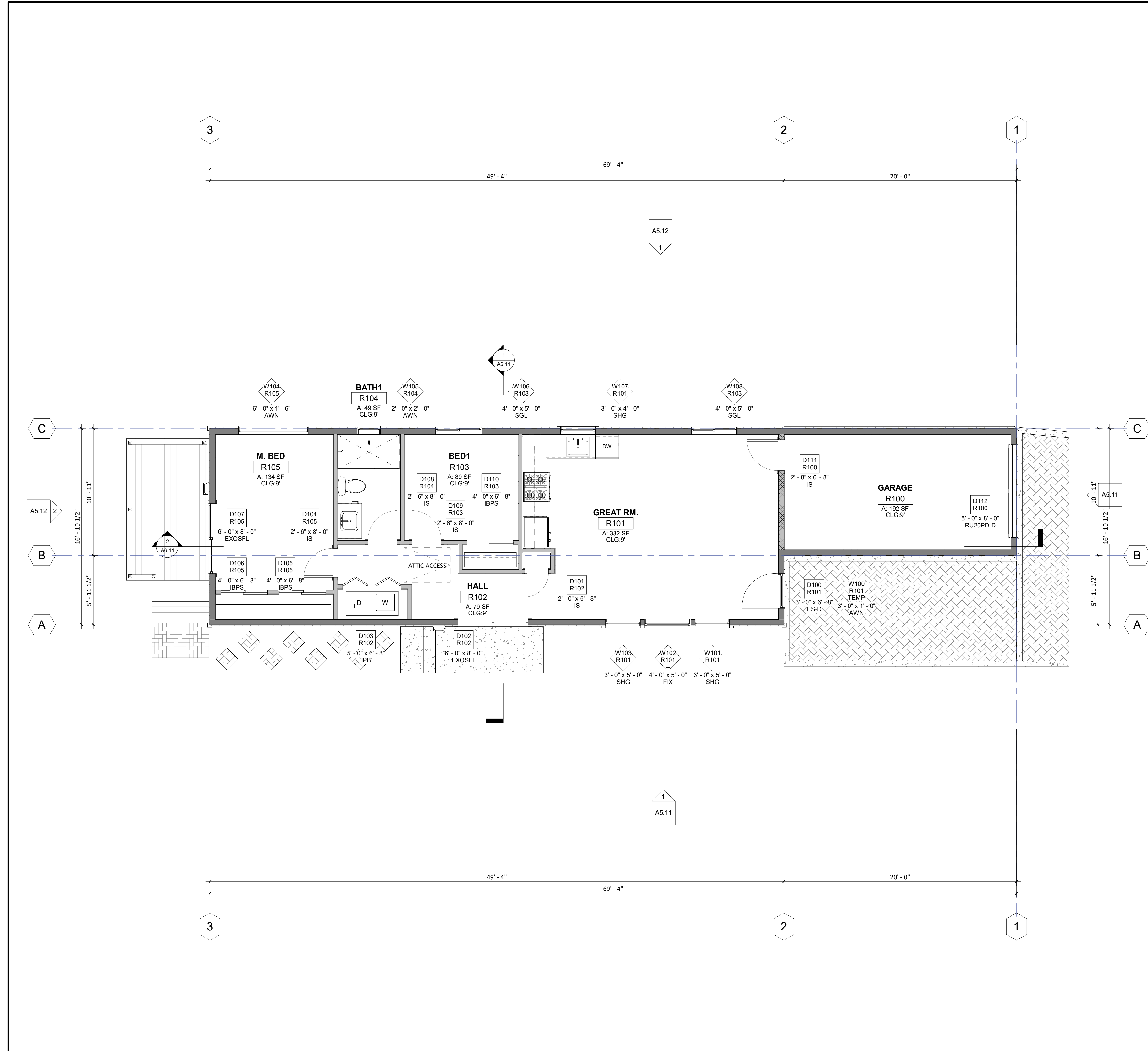
	ROOM SYMBOL: ROOM NAME, ROOM NUMBER, NET AREA, CEILING HEIGHT, AND LENGTH BY WIDTH MEASUREMENTS.
	DOOR SYMBOL: DOOR NUMBER, ROOM NUMBER, DOOR SIZE, STYLE, AND COMMENTS. DOOR NOTES: 1. DOORS NOT DIMENSIONED TO ARE CNTR LOCATED BETWEEN ADJ WALLS. 2. SEE SCHEDULE SHEETS FOR DOOR TYPES.
	WINDOW SYMBOL: WINDOW NUMBER, ROOM NUMBER, WINDOW SIZE, STYLE, AND COMMENTS. WINDOW NOTES: 1. SEE SCHEDULE SHEETS FOR WINDOW TYPES.

**LEGEND: FLOOR FINISH**

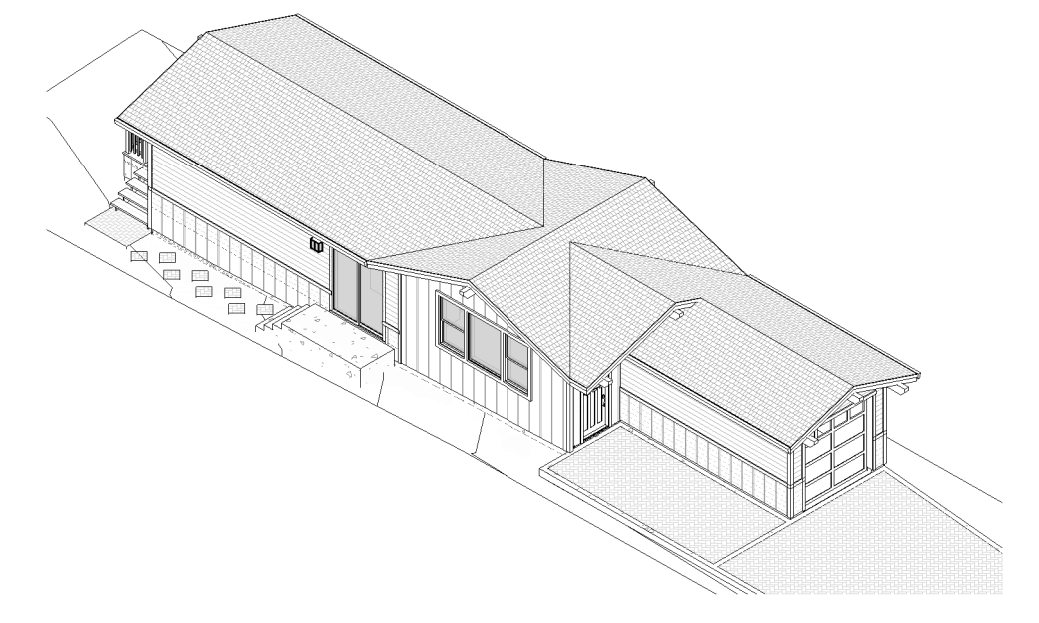
	CONCRETE: SEE SCHEDULES FOR ADDITIONAL INFORMATION.
	LAMINATE OR HARDWOOD: SEE SCHEDULES FOR ADDITIONAL INFORMATION.

**NOTES: FLOOR FINISH**

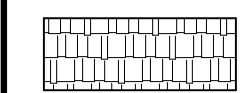


- ANY AREAS WHERE WATER IS PRESENT FLOORING IS TO BE NON-ABSORBENT TILE OR VINYL FLOORING.



LEVEL-1 FLOOR PLAN  
1/4" = 1'-0" 1



**LEGEND: ROOF PLAN**

-  ROOFING ASPHALT SHINGLES-1: CLASS "A" 15-YEAR (ARCHITECTURAL GRADE) ASPHALT COMPOSITION ROOFING OVER 2-LAYERS 30 LB FELT AND PLYWOOD SHEATHING. TYP. COLOR AND STYLE TBD.  
OVERHANG: 1'-0" TYP  
UNDERSIDE FINISH: TONGUE AND GROOVE BOARDS PAINT 3-COAT
-  ROOF FASCIA GUTTER-1: 5" HIGH X 4" DEEP X26 GA METAL FASCIA GUTTER PAINT 3-COAT. COLOR AND STYLE AS SELECTED BY OWNER. PROVIDE DOWNSPOUT AT EACH END OF GUTTER RUN UNLESS GUTTER TOTAL LINEAR LENGTH IS LESS THAN 15'-0" TYP, U.N.O.
-  ROOF VENT-1: O'HAGIN VENTILATION; 72 SQ. IN. TAPERED LOW PROFILE MODEL. COLOR AND STYLE TO MATCH ROOFING TILE.

**ATTIC VENTILATION CALCULATION**

AREA	SQUARE FEET		SQUARE INCHES			
	REQ. NFVA (A/300)	REQ. NFVA IN SI (NFVA*144)	REQ. NFVA @ TOP & BOT	VENT NFVA	TOP VENTS	BOT VENTS

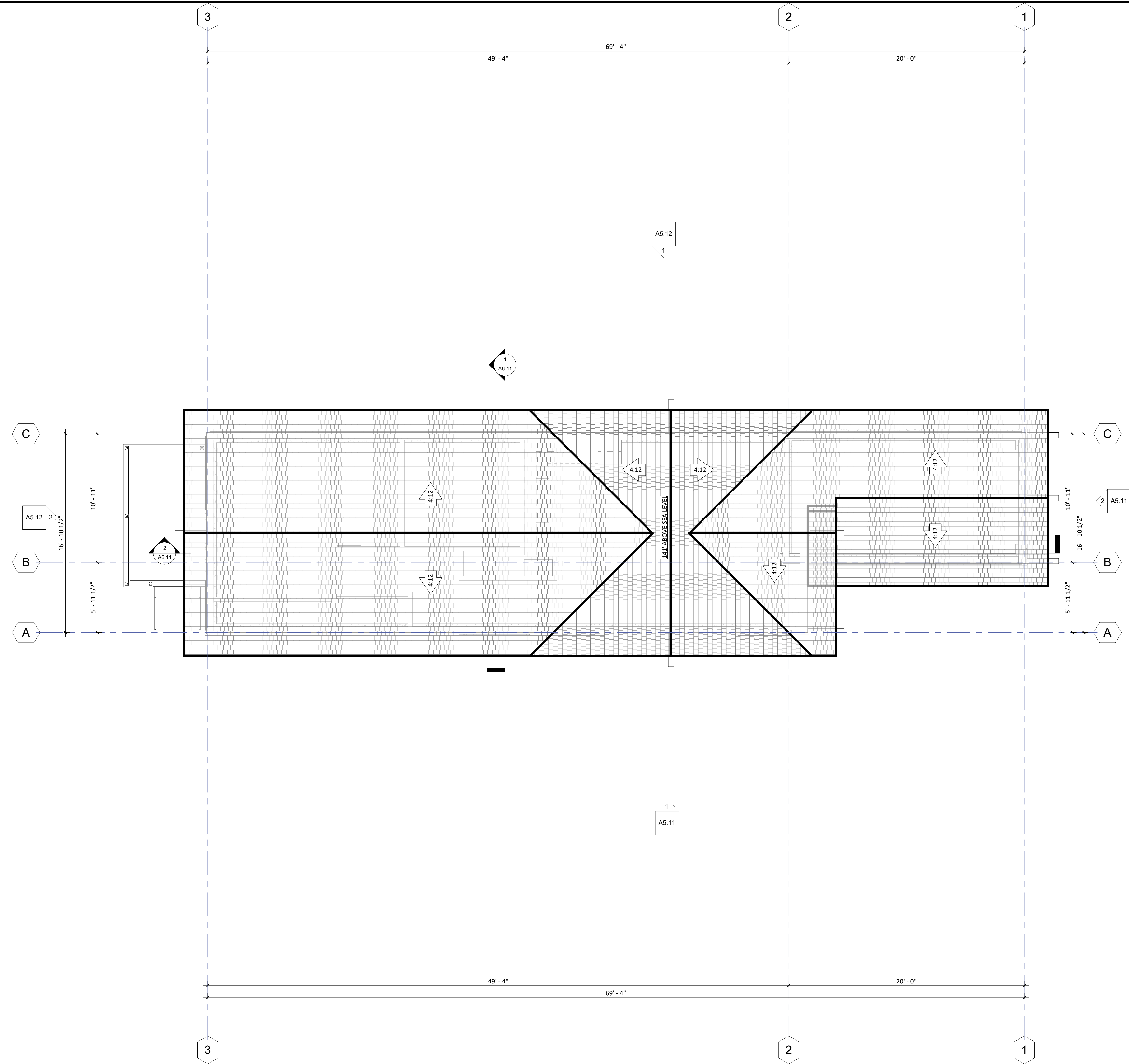
-USE 6 (XX) O'HAGIN ROOF VENTS (72 SQ. IN. NFVA EACH) LOCATED IN VIEW. 3 HIGH & 3 LOW.

**TRUSS SYSTEM NOTE:**

IF IT IS ELECTED THAT ROOF FRAMING IS A PREMANUFACTURED TRUSS SYSTEM, TRUSS MANUFACTURER AND CONTRACTOR SHALL VERIFY ALL JOB CONDITIONS AND DIMENSIONS BEFORE BUILDING TRUSSES AND INSTALLING.  
  
SEAN FREITAS, ARCHITECT. LIMITS ITS RESPONSIBILITY TO INFORMATION REPRESENTED THEREIN AND THE INTENDED USE THEREOF AND ASSUMES NO RESPONSIBILITY FOR ACTUAL AS-BUILT CONDITIONS AND ACTUAL DIMENSIONS AS USED BY THE TRUSS MANUFACTURER.

**ADDITIONAL ROOF NOTES:**

1. ALL OPENINGS PERTAINING TO ATTIC VENTILATION SHALL BE COVERED IN 1/8" CORROSION RESISTANT, NON-COMBUSTIBLE METAL MESH. SEC. R806.2, CRC. U.N.O.
2. WHERE VALLEY FLASHING IS INSTALLED, ROOF VALLEYS SHALL BE NO. 26 GAUGE GALVANIZED SHEET METAL OVER MINIMUM 72 LB. CAP SHEET. SEC R327.5, CRC.
3. ROOF GUTTERS SHALL BE PROVIDED WITH A MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS. SEC. R327.5, CRC.
4. ROOF COVERING, WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND ROOF DECKING, THE SPACES SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS, BE FIRESTOPPED WITH APPROVED MATERIALS OR HAVE ONE LAYER OF NO. 72 ASTM CAP SHEET INSTALLED OVER THE COMBUSTIBLE DECKING.
5. VENT AND ROOF STACKS SHALL PROJECT THE MINIMUM DISTANCE REQUIRED BY CODE. PAINT VENTS AND STACKS TO MATCH ROOF MATERIAL COLORS. LOCATED IN AREA LEAST VISIBLE FROM STREET AND CONCEAL IN DORMER VENTS WHENEVER POSSIBLE.
6. ALL VENTS AND ROOF STACKS TO HAVE RAIN PROTECTION CAPS WHERE POSSIBLE.





## ROOM NOTES

- ALL INTERIOR WALL/CEILING FINISHES SELECTED BY OWNER, U.N.O. ON FLOOR PLAN SHEET.
- GARAGE FLOOR SHALL BE SLOPED TO FACILITATE THE MOVEMENT OF LIQUIDS TO DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. R309.1
- GARAGE CEILING: **BASE LAYER** 5/8" TYPE X GYPSUM WALLBOARD APPLIED AT RIGHT ANGLES TO 2X10 WOOD JOISTS W/ 1 1/4" TYPE W OR S DRYWALL SCREWS @ 16" O.C. **FACE LAYER** 5/8" TYPE X GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED AT RIGHT ANGLES TO JOISTS W/ 1 7/8" TYPE W OR S DRYWALL SCREWS 12" O.C. AND INTERMEDIATE JOISTS AND 1 1/2" TYPE G DRYWALL SCREWS 12" O.C. PLACED 2" BACK ON EITHER SIDE OF END JOISTS. JOISTS OFFSET 16" FROM BASE LAYER JOISTS. WOOD SUPPORTS 1/2" MIN PLYWOOD WITH EXTERIOR GLUE APPLIED AT RIGHT ANGLES TO JOISTS W/ 8d NAILS.
- GARAGE WALLS: ONE LAYER 5/8" TYPE X GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED PARALLEL OR AT RIGHT ANGLES TO EACH SIDE OF 2X4 WOOD STUDS 24" O.C. WITH 6d COATED NAILS, 1 7/8" LONG, 0.0915" SHANK, 1/4" HEADS, 7" O.C.

## DOOR NOTES

- ALL EXTERIOR DOORS TO BE PROPERLY WEATHERPROOFED WHEN INSTALLING.
- FIRE RATED DOORS ARE TO BE SOLID CORE 1-3/8" THICK OR 20-MIN FIRE RATED W/ SELF-CLOSING DEVISE.
- LOUVERED DOOR SHALL PROVIDE A MIN. OPENING OF 100 SQ. IN. FOR MAKE-UP AIR. CMC 504.4.1
- DOOR FLASHING SHALL BE IN ACCORDANCE WITH CRC 703.4.
- GC TO COORDINATE SUBMITTAL & FIELD VERIFY ROUGH OPENING SIZES PRIOR TO PURCHASE.
- FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS SHALL CONTAIN A SAFETY GLAZING PER CBC 2406.4

## WINDOW NOTES

- ALL WINDOWS TO BE PROPERLY WEATHERPROOFED WHEN INSTALLING.
- WINDOW FLASHING SHALL BE IN ACCORDANCE WITH CRC 703.4.
- GC TO COORDINATE SUBMITTAL & FIELD VERIFY ROUGH OPENING SIZES PRIOR TO PURCHASE.
- SASHES NOTED AS EGRESS, EMERGENCY ESCAPE AND RESCUE OPENINGS, SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20". OPENING SHALL HAVE THE FINISHED SILL HEIGHT NOT GREATER THAN 44" ABOVE FINISHED FLOOR.
- SAFETY GLAZING IS REQUIRED AT LOCATIONS WHERE BOTTOM EDGE OF WINDOW IS LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET IN A BUILDING WALL WHICH ENCLOSES A TUB OR SHOWER PER CBC 2406.4.5.

## ROOM SCHEDULE

ROOM NO.	ROOM NAME	CEILING	ROOM SIZE (VIF)		NET AREA	REMARKS
		CLG HT	WIDTH	LENGTH		
LEVEL-1 FF						
100	GARAGE	9'	9' - 11"	19' - 5"	192 SF	
101	GREAT RM.	9'	13' - 7"	24' - 5"	332 SF	
102	HALL	9'	3' - 9"	21' - 2"	79 SF	
103	BED1	9'	9' - 1"	9' - 9"	89 SF	
104	BATH1	9'	5' - 4"	9' - 1"	49 SF	
105	M. BED	9'	10' - 1"	13' - 4"	134 SF	

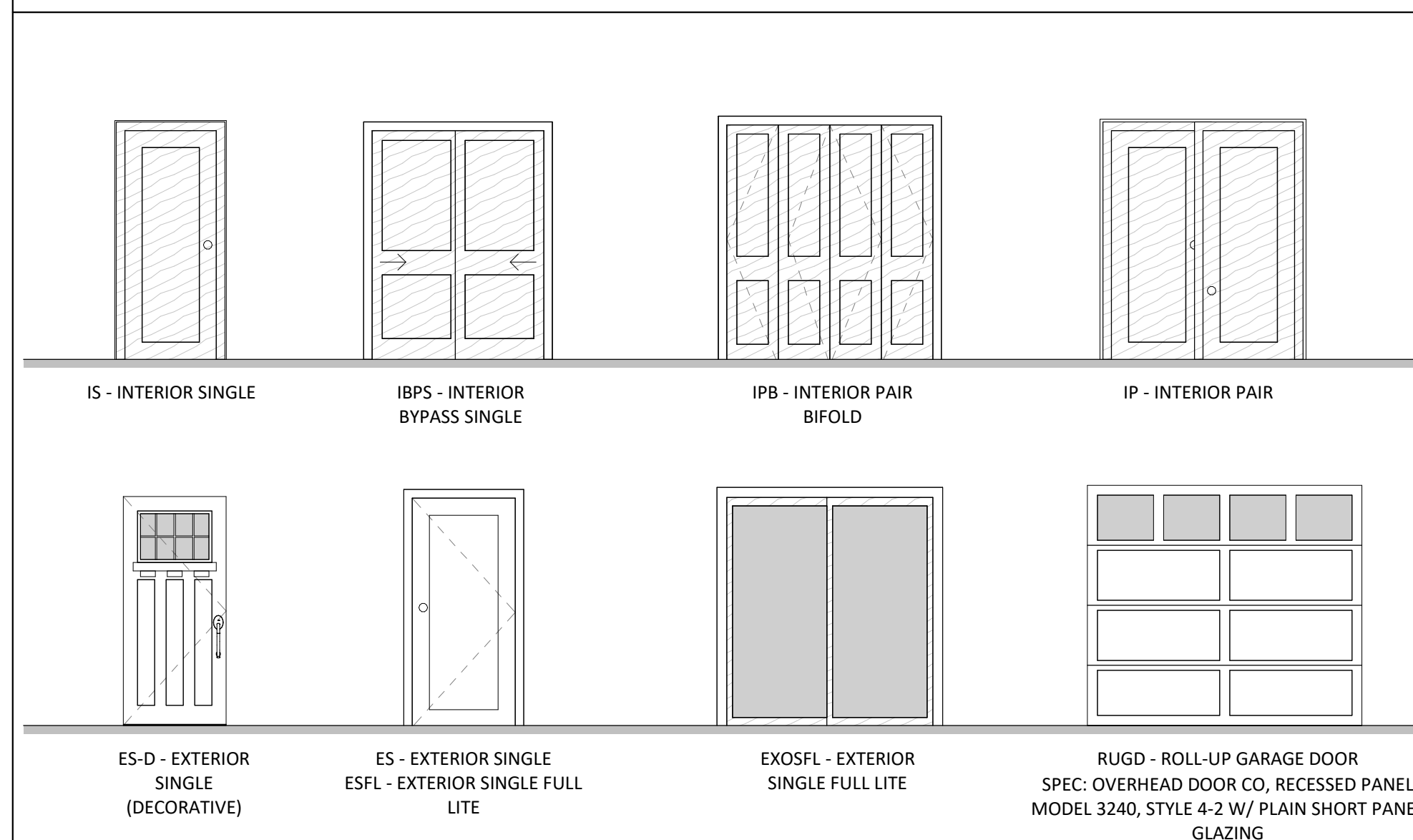
## DOOR SCHEDULE

DOOR NO.	ROOM NO.	WIDTH	HEIGHT	TYPE	STYLE	NOTES
GARAGE FF						
112	100	8' - 0"	8' - 0"	RU20PD-D		
LEVEL-1 FF						
100	101	3' - 0"	6' - 8"	ES-D	DECORATIVE	
101	102	2' - 0"	6' - 8"	IS		
102	102	6' - 0"	8' - 0"	EXOSFL		
103	102	5' - 0"	6' - 8"	IPB		
104	105	2' - 6"	8' - 0"	IS		
105	105	4' - 0"	6' - 8"	IBPS		
106	105	4' - 0"	6' - 8"	IBPS		
107	105	6' - 0"	8' - 0"	EXOSFL		
108	104	2' - 6"	8' - 0"	IS		
109	103	2' - 6"	8' - 0"	IS		
110	103	4' - 0"	6' - 8"	IBPS		
111	100	2' - 8"	6' - 8"	IS	THREE PANEL	

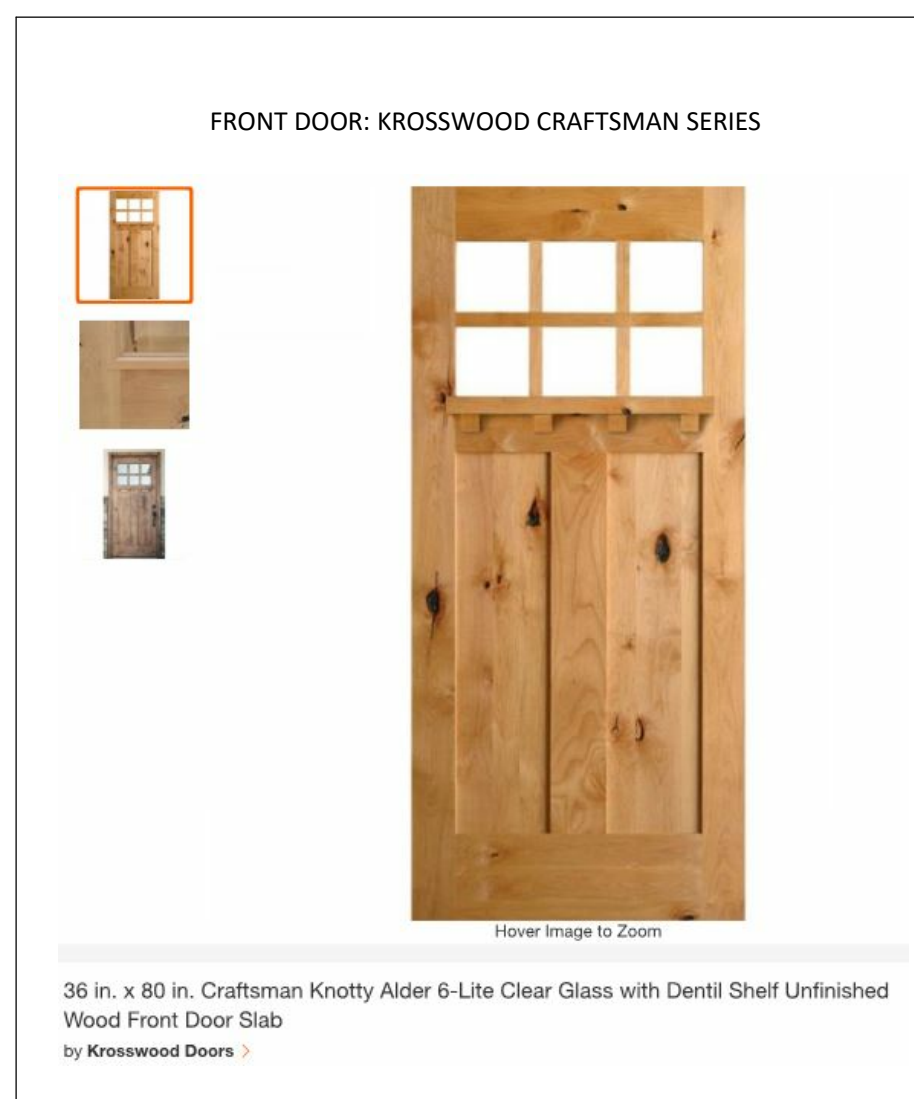
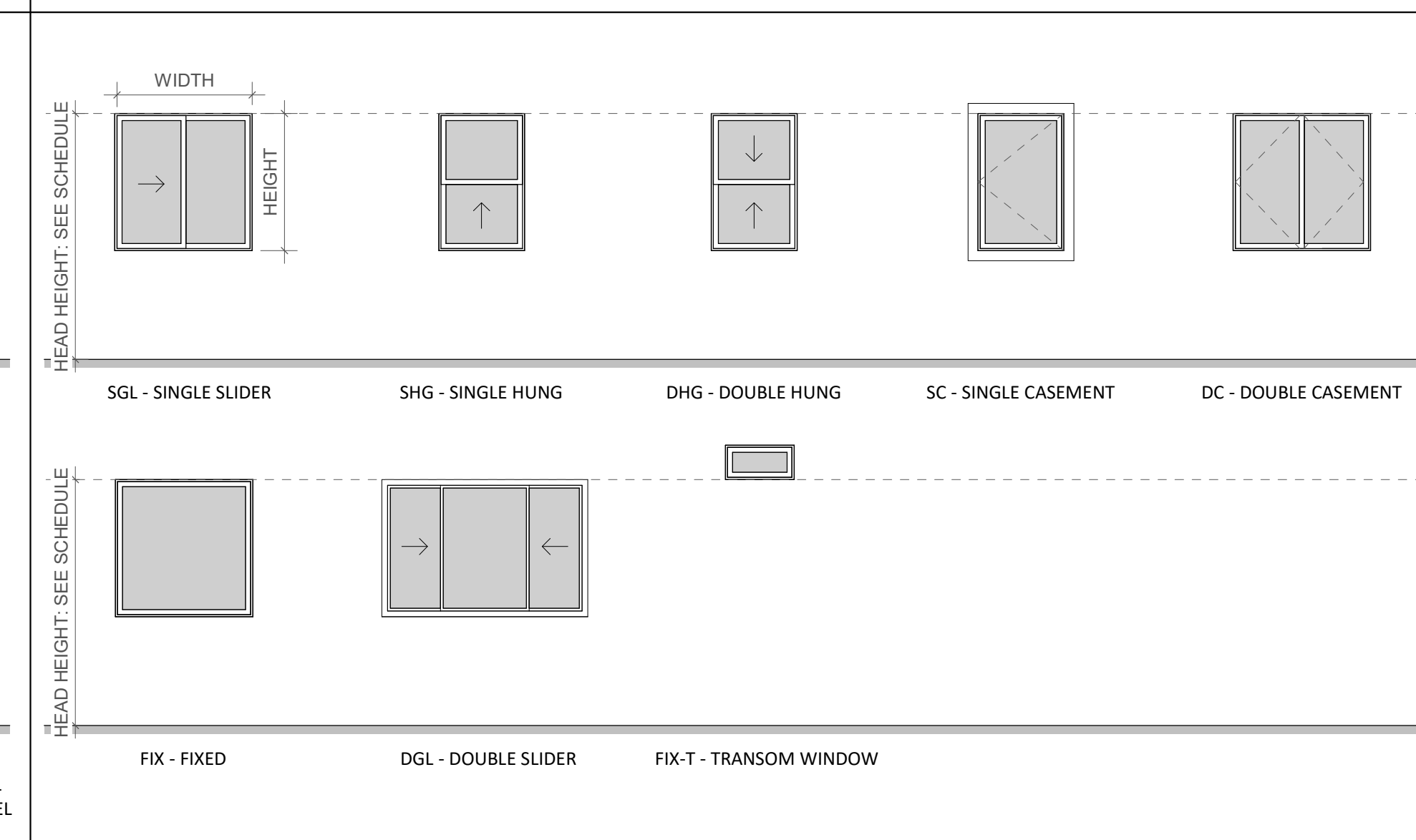
## WINDOW SCHEDULE

WINDOW NO.	ROOM NO.	WINDOW (VERIFY ROUGH OPENING W/ MANF)				HEAD HEIGHT	NOTES
		WIDTH	HEIGHT	GLAZING	TYPE		
LEVEL-1 FF							
100	101	3' - 0"	1' - 0"	TEMP	AWN	7' - 8"	
101	101	3' - 0"	5' - 0"		SHG	8' - 0"	
102	101	4' - 0"	5' - 0"	--	FIX	8' - 0"	
103	101	3' - 0"	5' - 0"		SHG	8' - 0"	
104	105	6' - 0"	1' - 6"	--	AWN	8' - 0"	
105	104	2' - 0"	2' - 0"	--	AWN	8' - 0"	
106	103	4' - 0"	5' - 0"	--	SGL	8' - 0"	
107	101	3' - 0"	4' - 0"		SHG	8' - 0"	
108	103	4' - 0"	5' - 0"	--	SGL	8' - 0"	

## DOOR TYPES



## WINDOW TYPES



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NEW SINGLE FAMILY RESIDENCE  
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TITLE:  
SCHEDULES  
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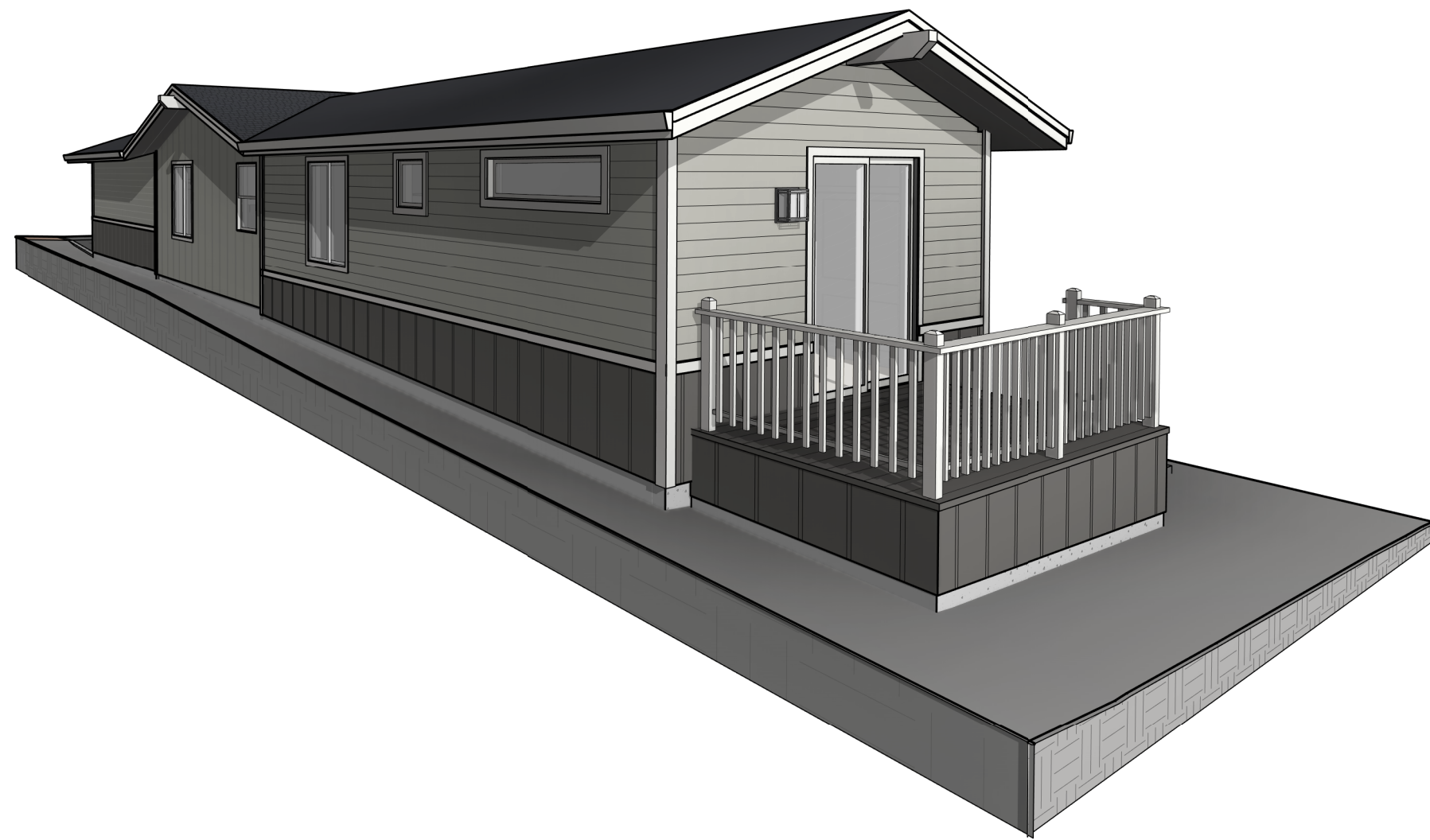


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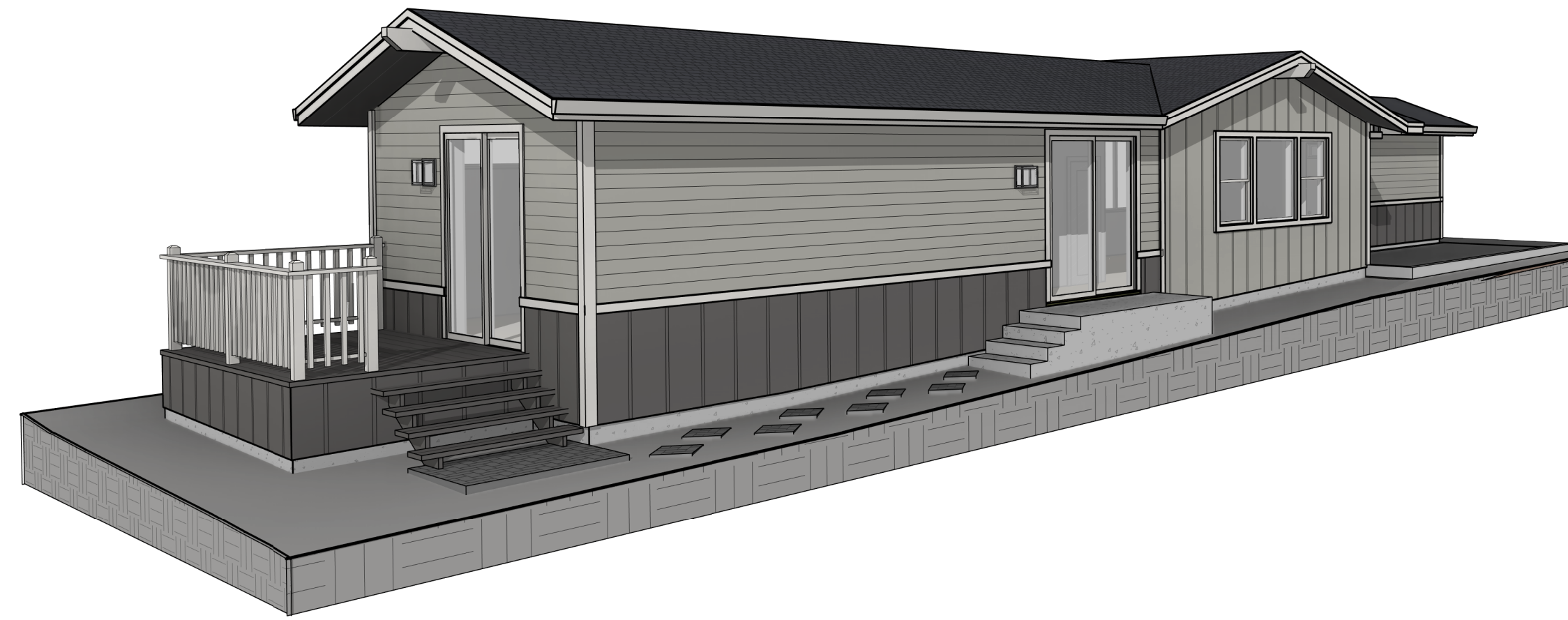
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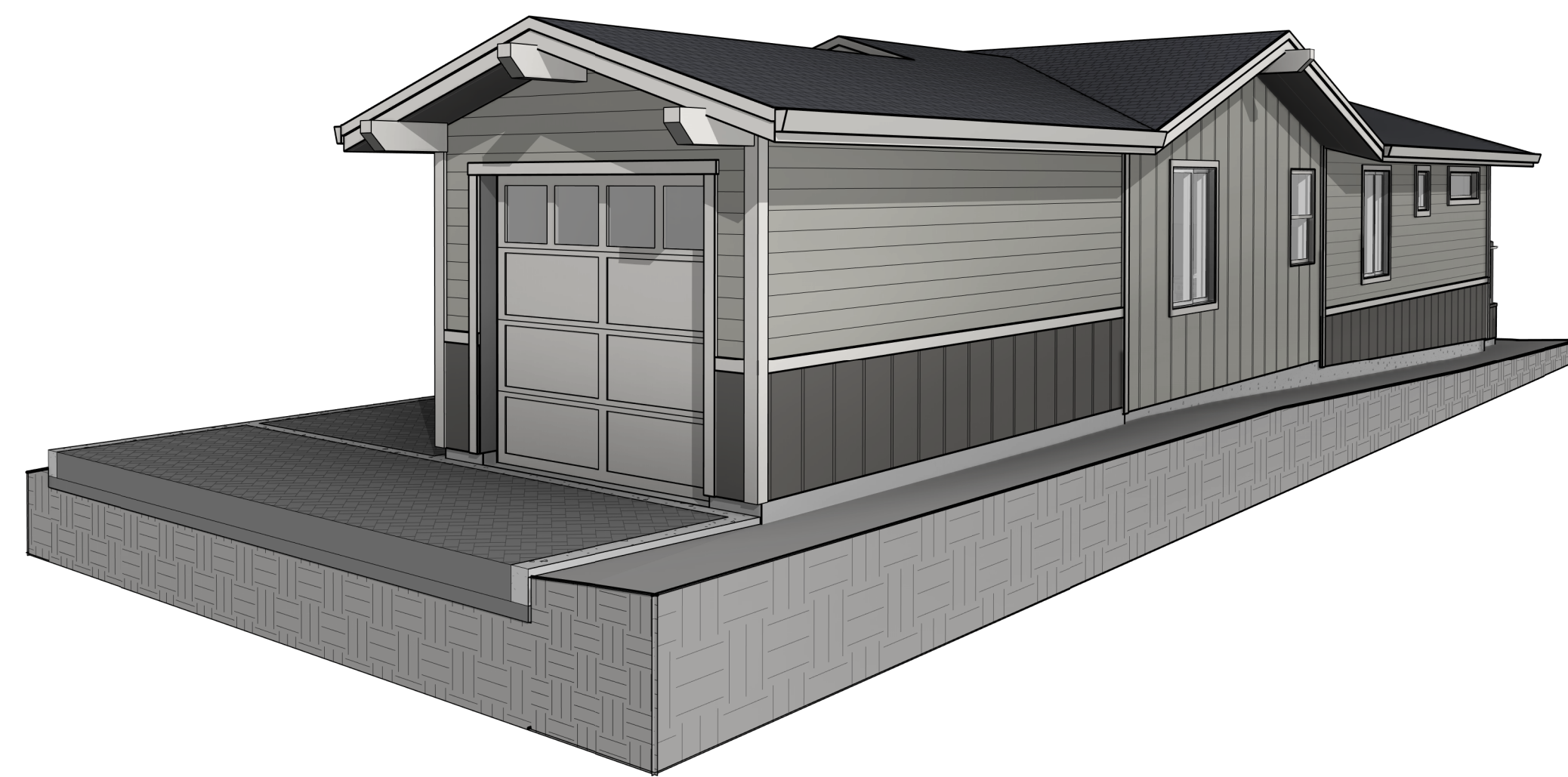
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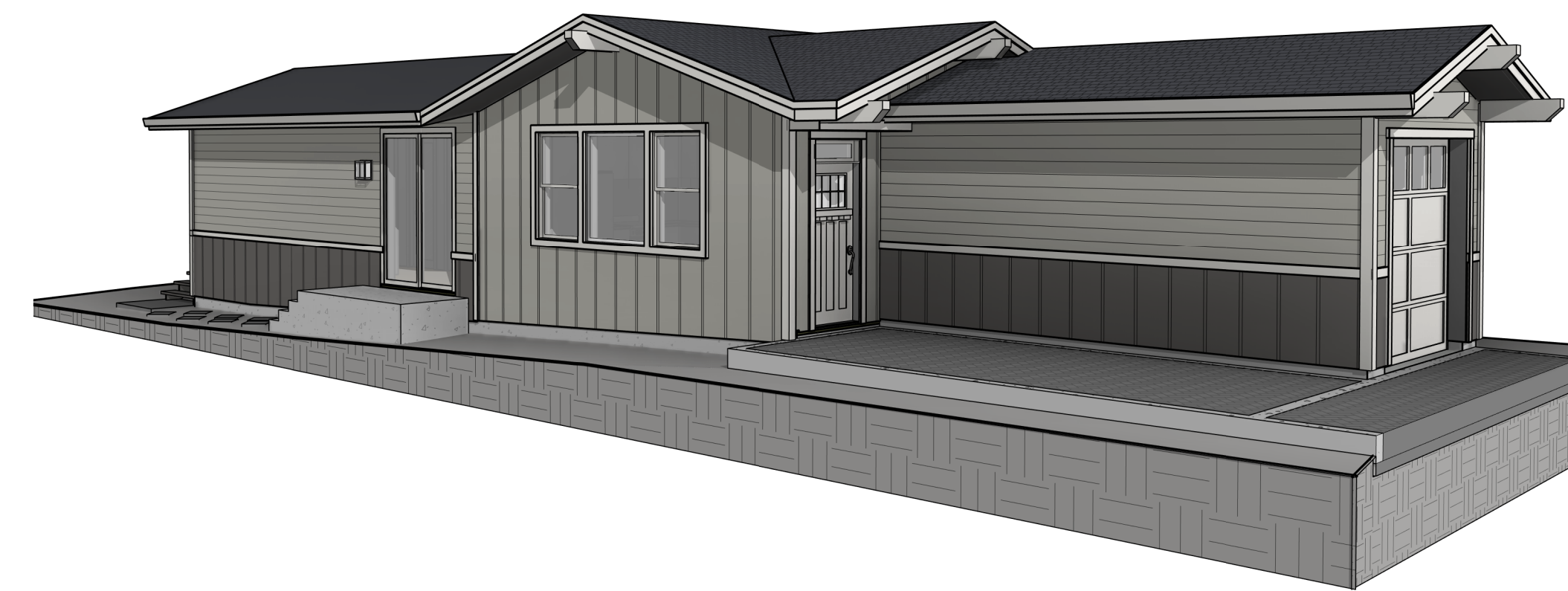
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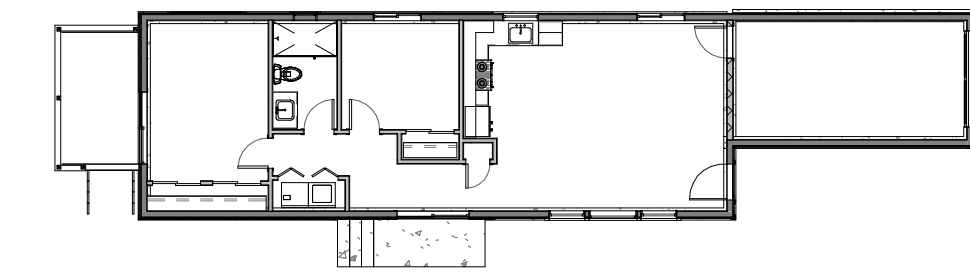
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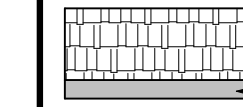
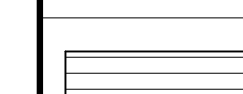

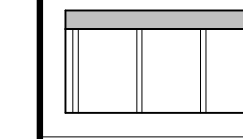
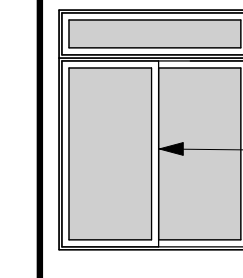
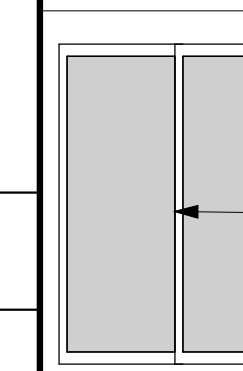
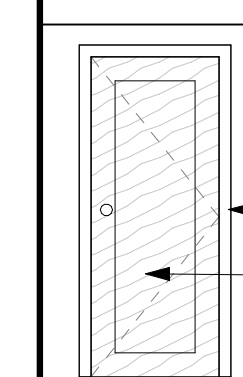
VIEW 3 3



VIEW 1 1



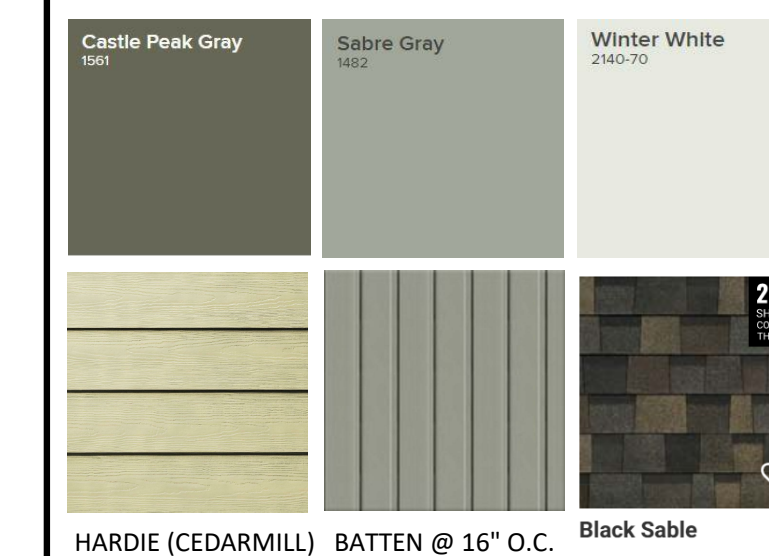
**LEGEND: ELEVATIONS EXTERIOR**

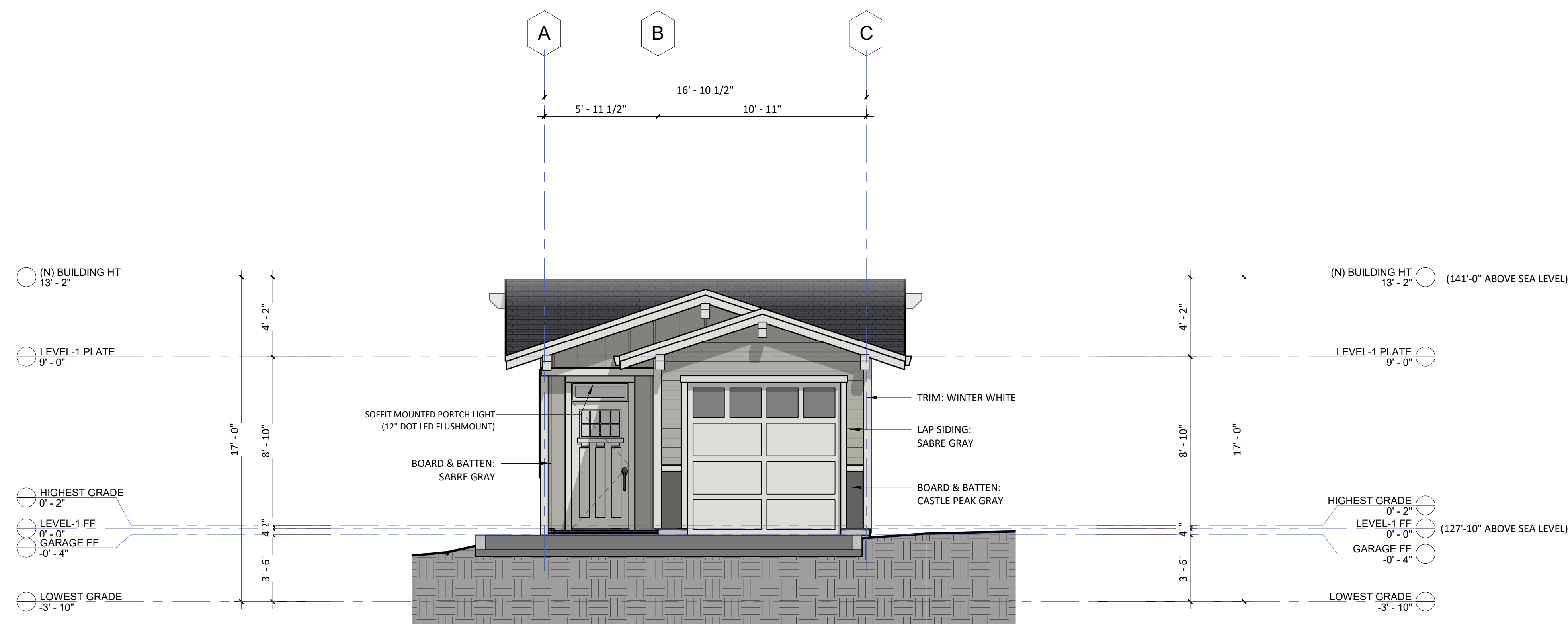
-  CLASS "A" ASPHALT SHINGLES: SEE ROOF PLAN FOR ADDITIONAL INFORMATION
-  ROOF FASCIA GUTTER-1: SEE ROOF PLAN FOR ADDITIONAL INFORMATION
-  LAP SIDING: HARDIE PLANK FIBER CEMENT LAP SIDING (CEDARMILL) OVER 2-LAYERS OF GRADE D BUILDING PAPER AND 3/8" MIN. OSB SHEATHING. COLOR: SEE ELEVATIONS.  
2X4 TRIM OVER 1X SPACER, KEY FOR STUCCO: PAINT 3-COAT TRIM.
-  BOARD & BATTEN SIDING: HARDIE VERTICAL SIDING (CEDARMILL) W/ BATTEN @ 16" O.C. OVER 2-LAYERS OF GRADE D BUILDING PAPER AND 3/8" MIN. OSB SHEATHING. COLOR: SEE ELEVATIONS
-  WINDOWS-1: MAKE/MODEL - AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.  
FRAME: VINYL - COLOR: CLAY  
GRID PATTERN: 2X1 UPPER PANEL  
2X4 TRIM & SHUTTERS WHERE OCCURS: PAINT 3-COAT AS SELECTED BY OWNER.
-  DOORS-1: MAKE/MODEL - (SBO) SLIDING GLASS DOOR. CAULK & FLASH ALL EXTERIOR JOINTS (TYP) PER MANUFACTURER'S SPECIFICATIONS.  
FRAME: VINYL - COLOR: CLAY  
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2X4 TRIM WHERE OCCURS: PAINT 3-COAT AS SHOWN ON ELEVATIONS  
PANEL STYLE: THREE-PANEL SMOOTH OR AS SELECTED BY OWNER.

**ADDITIONAL ELEVATION NOTES:**

1. ADDRESS NUMBERS WITH CONTRASTING BACKGROUND SHALL BE CLEARLY VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY. ADDRESS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 1/2 INCH.
2. GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
3. INSTALL ALL PRE-MANUFACTURED MATERIALS PER MANUFACTURERS REQUIREMENTS, RECOMMENDATIONS AND SPECIFICATIONS. INSTALLATION REQUIREMENTS TO BE PROVIDED BY BUILDER.
4. ALL FOAM TRIM IS ATTACHED WITH AN ACRYLIC BASED GLUE.
5. EXTERIOR PORCH CEILINGS SHALL BE NON-COMBUSTIBLE MATERIAL, IGNITION RESISTANT MATERIAL OR ONE LAYER OF 5/8" TYPE X EXTERIOR RATED GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE OF THE PORCH CEILING.
6. FLOOR PROJECTIONS SHALL BE NON-COMBUSTIBLE MATERIAL, IGNITION RESISTANT MATERIAL OR ONE LAYER OF 5/8" TYPE X EXTERIOR RATED GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE OF THE FLOOR PROJECTION.
7. DECKING SHALL BE 1-1/4 INCH MINIMUM THICKNESS SOLID WOOD OR A PRODUCT APPROVED BY OSFM BLM.
8. PROVIDE MECHANICAL AND GRAVITY OUTDOOR AIR INTAKE OPENINGS PER 2019 CRC SECTION R303.5.1.

**MATERIALS:**





S/EAST FACING  
1/4" = 1'-0" 2

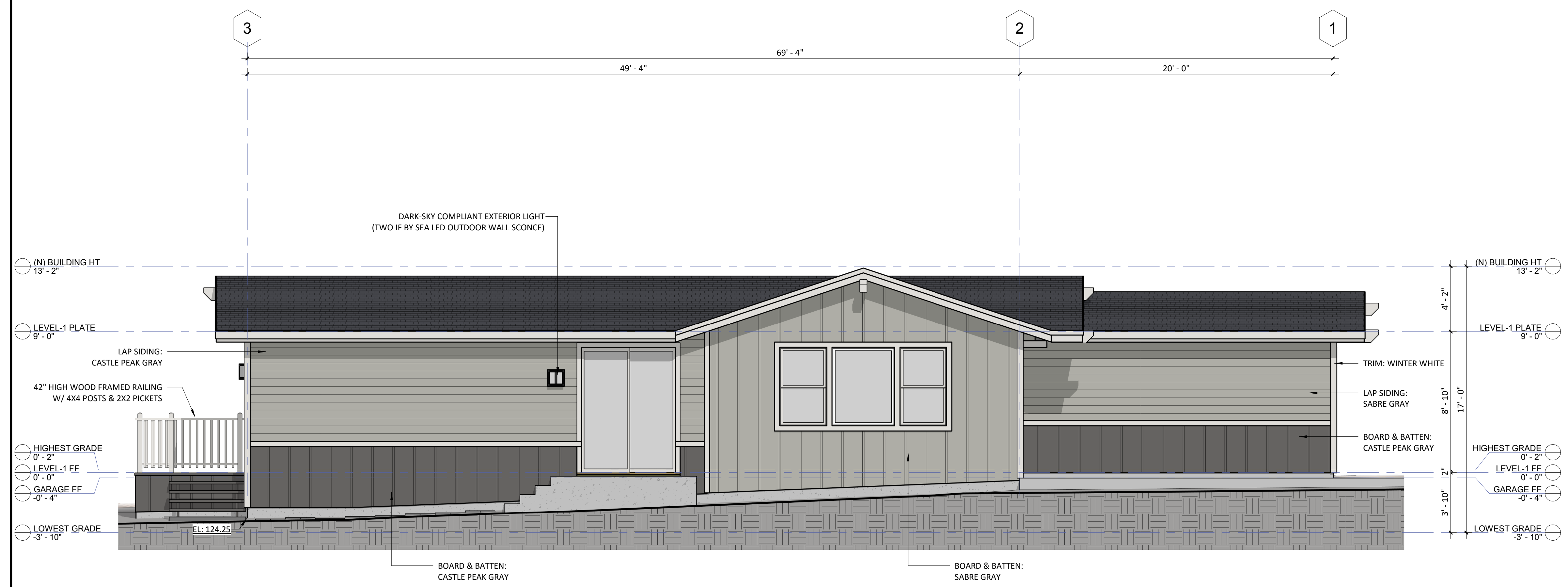
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- WINDOWS-1: MAKE/MODEL - AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.
- FRAME: VINYL - COLOR: CLAY
- GRID PATTERN: 2X1 UPPER PANEL
- 2X4 TRIM & SHUTTERS WHERE OCCURS: PAINT 3-COAT AS SELECTED BY OWNER.
- DOORS-1: MAKE/MODEL - (SBO) SLIDING GLASS DOOR. CAULK & FLASH ALL EXTERIOR JOINTS (TYP) PER MANUFACTURER'S SPECIFICATIONS.
- FRAME: VINYL - COLOR: CLAY
- 2X4 TRIM WHERE OCCURS: PAINT 3-COAT AS SHOWN ON ELEVATIONS
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  - DECKING SHALL BE 1-1/4 INCH MINIMUM THICKNESS SOLID WOOD OR A PRODUCT APPROVED BY OSFM BLM.
  - PROVIDE MECHANICAL AND GRAVITY OUTDOOR AIR INTAKE OPENINGS PER 2019 CRC SECTION R303.5.1.

**MATERIALS:**

Castle Peak Gray  
Sabre Gray  
Winter White  
HARDIE (CEDARMILL) BATTEN @ 16" O.C. Black Sable



S/WEST FACING  
1/4" = 1'-0" 1

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TITLE:  
ELEVATIONS

ISSUES:  
Project Issue Date:  
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Revision Date:

DESIGN REVIEW DRAWING

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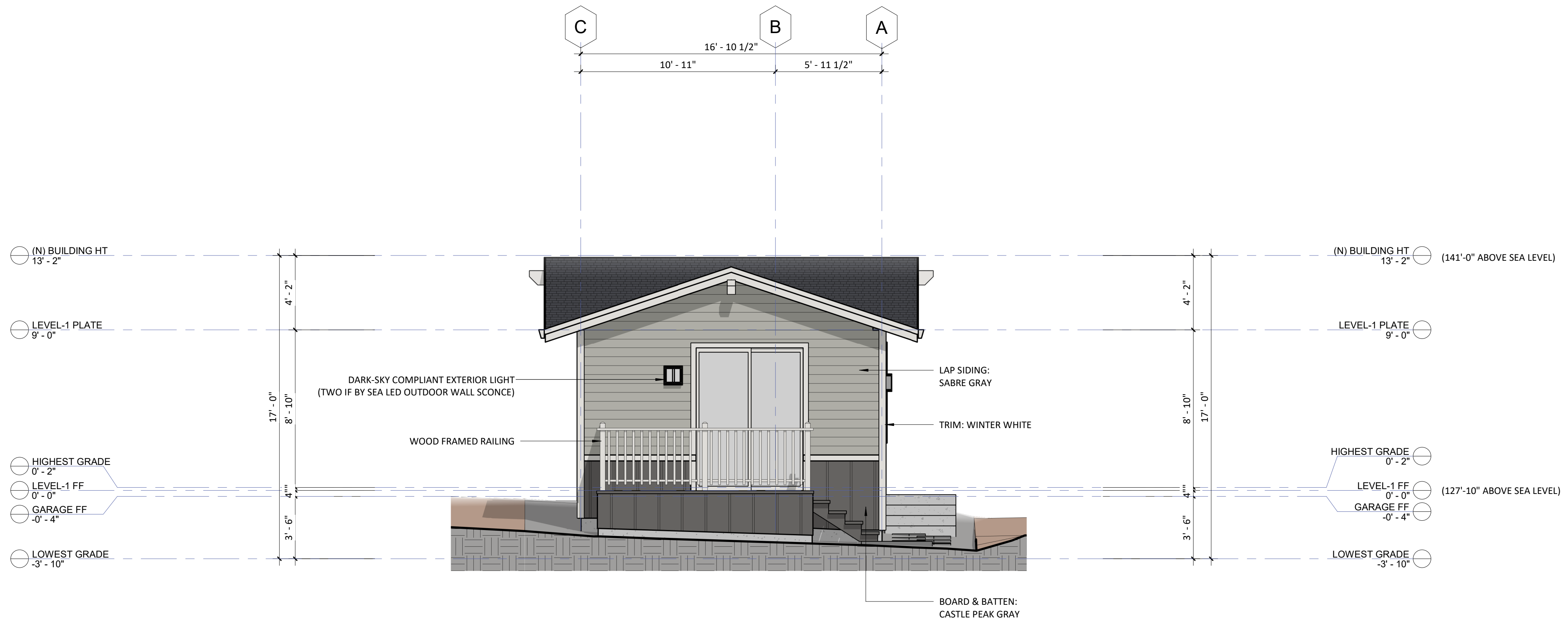
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GRID PATTERN: 2X1 UPPER PANEL  
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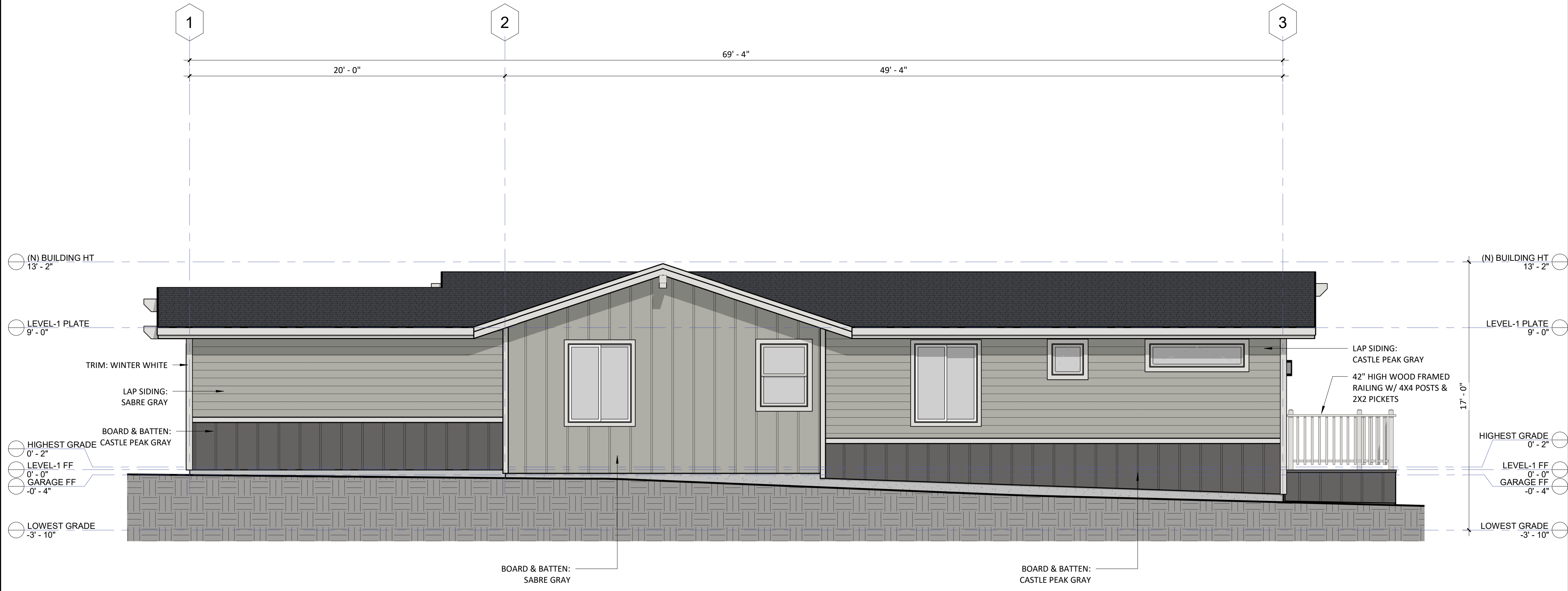
- ADDITIONAL ELEVATION NOTES:**
- ADDRESS NUMBERS WITH CONTRASTING BACKGROUND SHALL BE CLEARLY VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY. ADDRESS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 1/2 INCH.
  - GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
  - INSTALL ALL PRE-MANUFACTURED MATERIALS PER MANUFACTURERS REQUIREMENTS, RECOMMENDATIONS AND SPECIFICATIONS. INSTALLATION REQUIREMENTS TO BE PROVIDED BY BUILDER.
  - ALL FOAM TRIM IS ATTACHED WITH AN ACRYLIC BASED GLUE.
  - EXTERIOR PORCH CEILINGS SHALL BE NON-COMBUSTIBLE MATERIAL, IGNITION RESISTANT MATERIAL OR ONE LAYER OF 5/8" TYPE X EXTERIOR RATED GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE OF THE PORCH CEILING.
  - FLOOR PROJECTIONS SHALL BE NON-COMBUSTIBLE MATERIAL, IGNITION RESISTANT MATERIAL OR ONE LAYER OF 5/8" TYPE X EXTERIOR RATED GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE OF THE FLOOR PROJECTION.
  - DECKING SHALL BE 1-1/4 INCH MINIMUM THICKNESS SOLID WOOD OR A PRODUCT APPROVED BY OSFM BLM.
  - PROVIDE MECHANICAL AND GRAVITY OUTDOOR AIR INTAKE OPENINGS PER 2019 CRC SECTION R303.5.1.

**MATERIALS:**

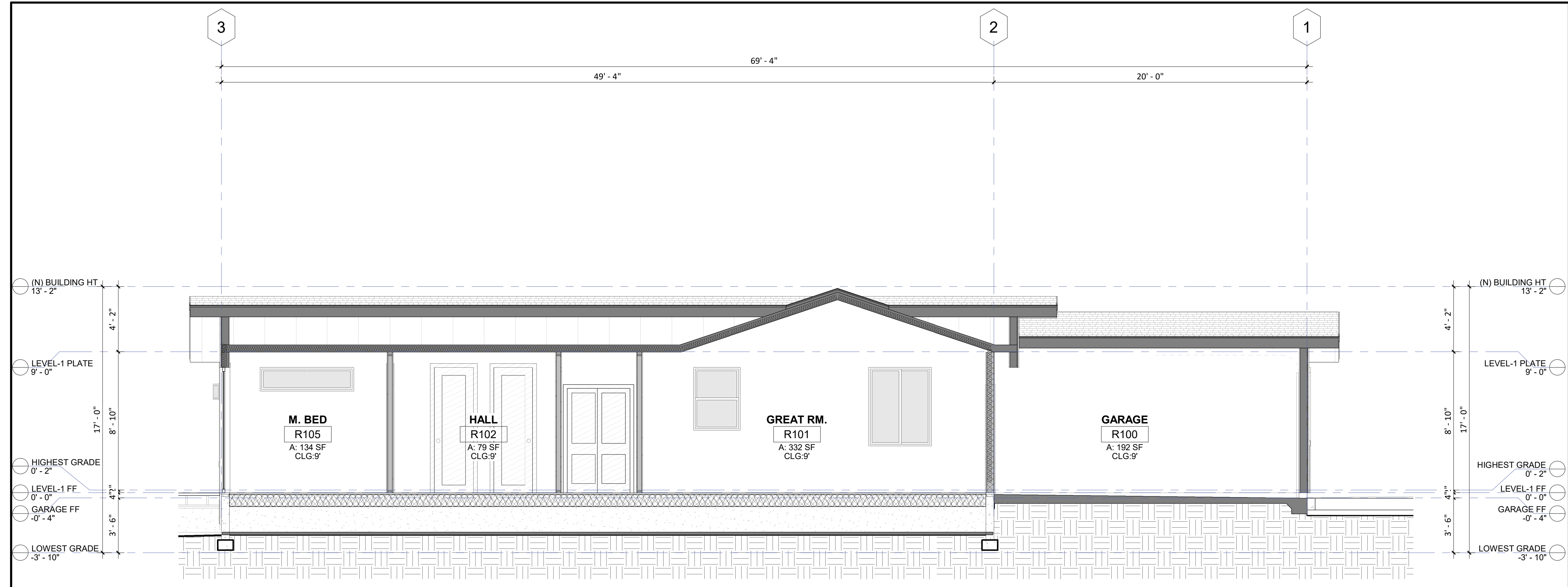
Castle Peak Gray 1601	Sabre Gray 2402	Winter White 2403
HARDIE (CEDARMILL)	BATTEN @ 16" O.C.	Black Sabre



N/WEST FACING  
1/4" = 1'-0" 2



N/EAST FACING  
1/4" = 1'-0" 1

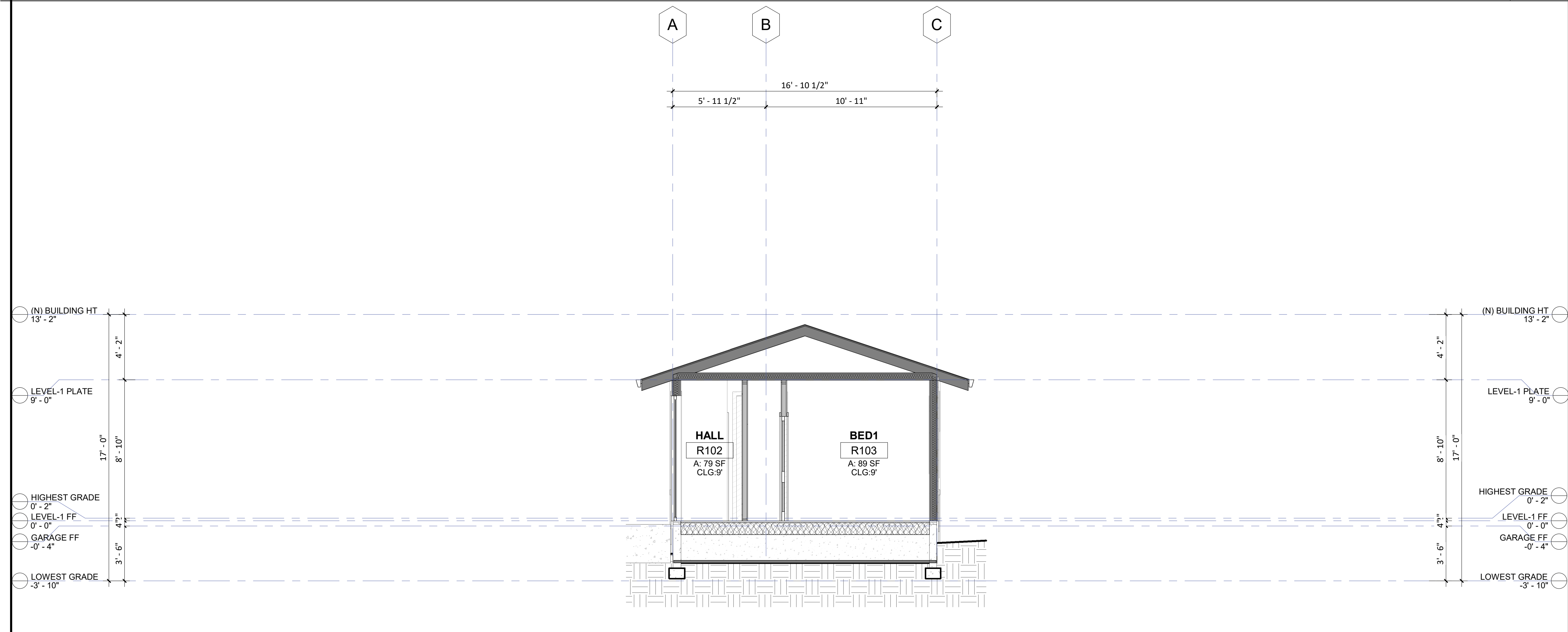


**LEGEND: BUILDING SECTION**

IF SELECTED, EXTERIOR WALL INSULATION: R-15 INSULATION AT ALL 2X4 EXTERIOR WALL CAVITIES, TYP.

IF SELECTED, EXTERIOR WALL INSULATION: R-19 INSULATION AT ALL 2X6 EXTERIOR WALL CAVITIES, TYP.

IF SELECTED, EXTERIOR ROOF/CEILING INSULATION: R-38 BATT INSULATION AT ALL EXTERIOR ROOF AND/OR CEILING CAVITIES, TYP.



**Dot LED Flushmount**  
By dweLED



**Product Options**

Finish: Stainless Steel, Black  
Size: 6 inches, 9 inches, 12 inches, 15 inches  
Color Temperature: 3000, 3500

**Details**

- May be mounted on ceiling or wall
- No transformer or driver needed
- Dimmable with an ELV dimmer (not included)
- Designed in 2018
- Material: Stainless Steel
- Shade Material: Clear Acrylic
- Dimmable When Used With a Electronic low voltage (ELV) Dimmer (Not Included)
- Dimmer Range: 100-10
- ADA compliant, Dark Sky compliant, Title 24 compliant
- ETL Listed Wet
- Warranty: 5 Years Functional, 2 Years Finish
- Made In China

**Dimensions**

6 inches Option Fixture: Height 2.5", Diameter 6"  
9 inches Option Fixture: Height 2.5", Diameter 9"  
12 inches Option Fixture: Height 2.5", Diameter 12"  
15 inches Option Fixture: Height 2.5", Diameter 15"

**Lighting**

- 6 inches Option: 15.6 Watt (1300 Lumens) 120 Volt Integrated LED: CRI: 90  
Color Temp: 3000K Lifespan: 54000 hours
- 6 inches Option: 15.6 Watt (1300 Lumens) 120 Volt Integrated LED: CRI: 90  
Color Temp: 3500K Lifespan: 54000 hours
- 9 inches Option: 18.5 Watt (1700 Lumens) 120 Volt Integrated LED: CRI: 90  
Color Temp: 3000K Lifespan: 54000 hours
- 9 inches Option: 18.5 Watt (1700 Lumens) 120 Volt Integrated LED: CRI: 90  
Color Temp: 3500K Lifespan: 54000 hours
- 12 inches Option: 30.9 Watt (2650 Lumens) 120 Volt Integrated LED: CRI: 90  
Color Temp: 3000K Lifespan: 54000 hours
- 12 inches Option: 30.9 Watt (2650 Lumens) 120 Volt Integrated LED: CRI: 90  
Color Temp: 3500K Lifespan: 54000 hours
- 15 inches Option: 26.6 Watt (2728 Lumens) 120 Volt Integrated LED: CRI: 90  
Color Temp: 3000K Lifespan: 54000 hours
- 15 inches Option: 26.6 Watt (2728 Lumens) 120 Volt Integrated LED: CRI: 90  
Color Temp: 3500K Lifespan: 54000 hours

**Additional Details**

Product URL: <https://www.lumens.com/dot-led-flushmount-by-dweled-WACP201432.html>  
Rating: ETL Listed Wet

Product ID: WACP201432

Prepared by: GADSF  
ASDF

Prepared for: ASDF  
Project: ASDF  
Room: ASDF  
Placement: ASDF  
Approval:



Created June 12th, 2020



Notes:



**Two If By Sea LED Outdoor Wall Sconce**  
By Modern Forms



**Product Options**

Size: Small, Large

**Details**

- Designed in 2019
- Finish: Black
- Material: Aluminum
- Shade Material: Glass
- Dimmable When Used With a Electronic low voltage (ELV) Dimmer (Not Included)
- Dimmer Range: 100 to 5%
- Dark Sky compliant, Title 24 compliant
- Installation Type: Hardwired
- ETL Listed Wet
- Warranty: 5 Years Functional, 2 Years Finish
- Made In USA

**Dimensions**

Small Option Fixture: Width 4.5", Height 11.87", Extension 5.81"  
Large Option Fixture: Width 6", Height 18", Extension 7.56"

**Lighting**

- Small Option: 15 Watt (916 Lumens) 120 Volt Integrated LED: CRI: 90 Color Temp: 3000K Lifespan: 50000 hours
- Large Option: 15 Watt (932 Lumens) 120 Volt Integrated LED: CRI: 90 Color Temp: 3000K Lifespan: 50000 hours

**Additional Details**

Product URL: <https://www.lumens.com/two-if-by-sea-led-outdoor-wall-sconce-by-modern-forms-MFMP281811.html>  
Rating: ETL Listed Wet

Product ID: MFMP281811

Prepared by: GADSF  
ASDF

Prepared for: ASDF  
Project: ASDF  
Room: ASDF  
Placement: ASDF  
Approval:



Created June 12th, 2020



Notes:



**GRAPHIA**  
ARCHITECTURE  
& ENGINEERING

100 GATEWAY DRIVE, SUITE 120  
LINCOLN, CA 95648  
(916) 209-9890  
Sean@GRAPHIA.com  
GRAPHIA.com

GRAPHIA® IS A REGISTERED TRADEMARK OF SEAN FREITAS. THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF SEAN FREITAS, ARCHITECT. ALL DESIGN INFORMATION CONTAINED IN THESE DRAWINGS ARE FOR USE ONLY ON THIS SPECIFIED PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT EXPRESSED WRITTEN PERMISSION OF SEAN FREITAS, ARCHITECT © 1992-2021. ALL RIGHTS RESERVED.

PROJECT: 20190110

CLIENT: FREITAS FAMILY  
KATHLEEN FREITAS  
2515 ANVIL COURT,  
ROCKLIN, CA 95765  
Tel: 916-888-9981  
Email: sean@graphia.com

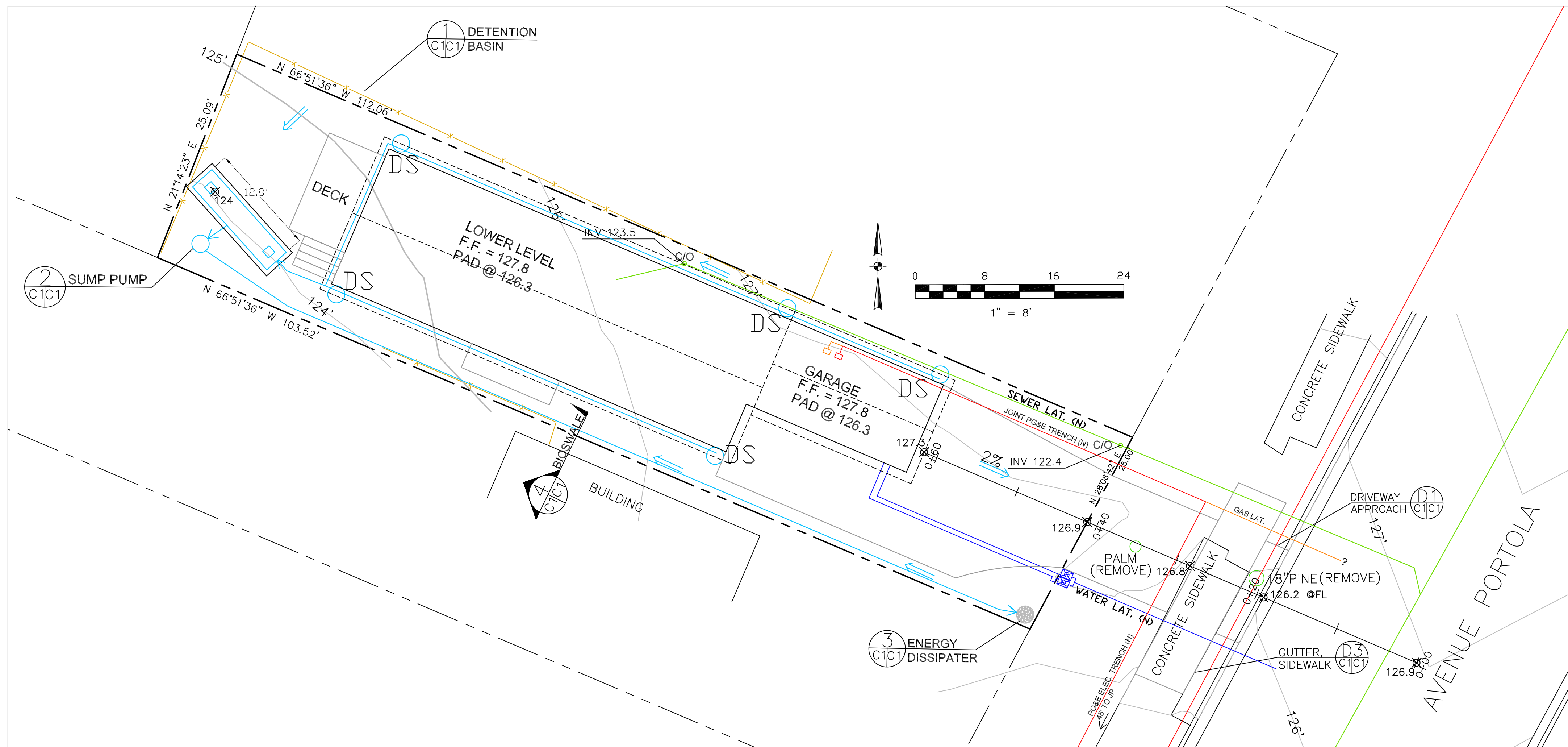
NEW SINGLE FAMILY RESIDENCE  
**FREITAS FAMILY**  
047-208-120 AVENUE PORTOLA,  
EL GRANADA, CA

TITLE:  
LIGHTING SHEETS  
ISSUES:  
Project Issue Date:  
Project Status:  
Sheet Issue Date: 1/22/21  
Revision Number:  
Revision Date:



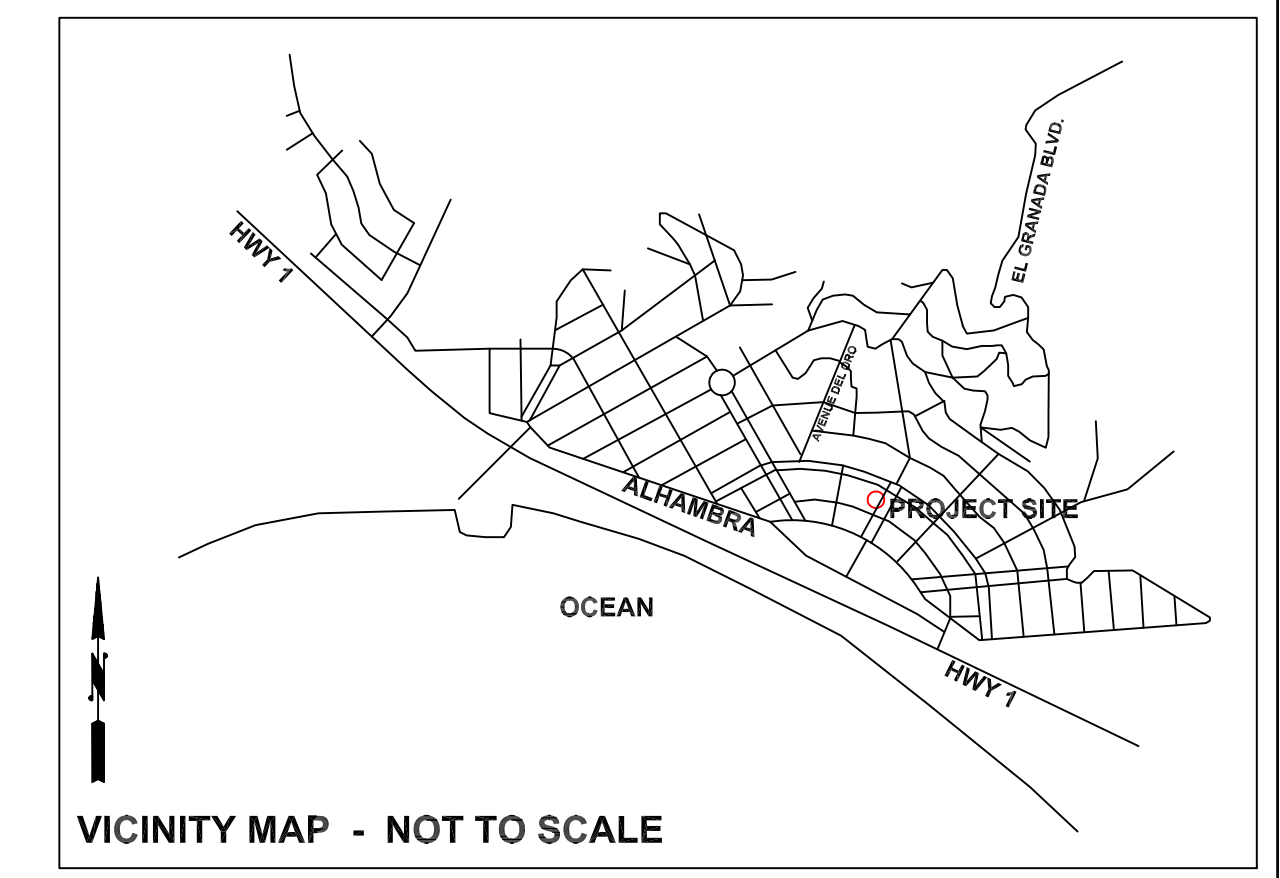
THIS PROJECT IS NOT APPROVED FOR CONSTRUCTION UNLESS THE DRAWINGS ARE STAMPED AND WET SIGNED BY THE ARCHITECT AND THE BUILDING AUTHORITY HAVING JURISDICTION OVER THE PROJECT.

SHEET:  
**AT.0**  
SHEET: OF SHEETS



**LEGEND**

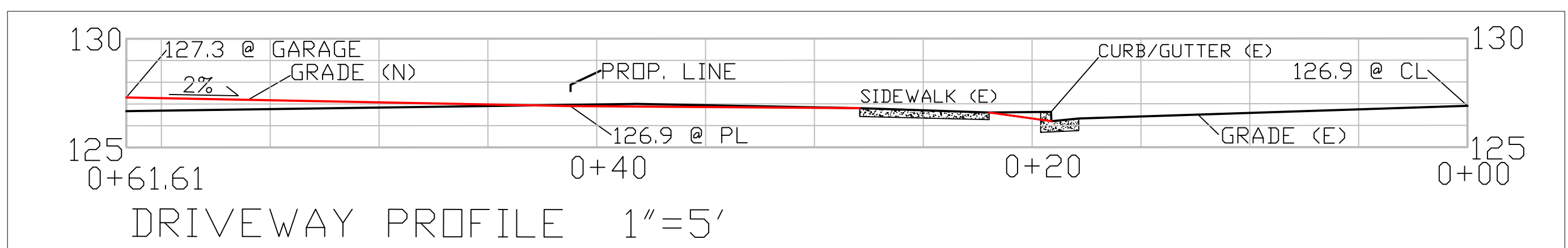
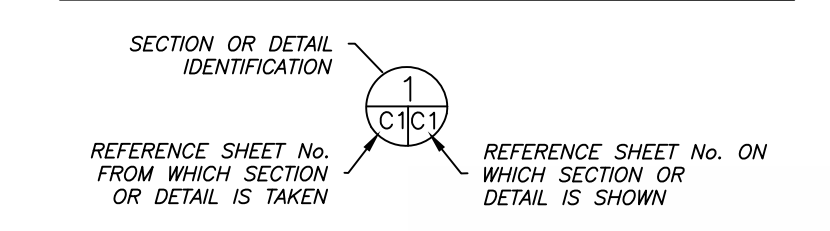
- EXISTING CONTOURS
- PROPOSED SPOT ELEVATION
- ENERGY DISSIPATER - PER DETAIL 3
- DOWNSPOUT
- 4" MIN SOLID DRAIN PIPE



**GENERAL NOTES**

1. PLANS PREPARED AT THE REQUEST OF: SEAN FREITAS, OWNER
2. TOPOGRAPHY BY CONTI AND ASSOC.; SEPTEMBER, 2019.
3. THIS IS NOT A BOUNDARY SURVEY.
4. ELEVATION DATUM ASSUMED.
5. STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS SHALL BE SCHEDULED FOR APPLICABLE DRAINAGE INSPECTIONS, WHICH INCLUDE SITE CLEARANCE AND EROSION CONTROL MEASURES INSTALLATION AS WELL AS INSPECTION OF MAJOR DRAINAGE CONTAINMENT, TREATMENT, AND CONVEYANCE DEVICES BEFORE BEING BURIED (INCLUDING REQUIRED MATERIAL LABELS, E.G. PIPES, SUB-GRADE MATERIALS, ETC.). PLEASE FOLLOW THE INSPECTION CARD INSTRUCTIONS AND PHONE NUMBER (650-306-8405 EXT 181) TO SCHEDULE COUNTY DRAINAGE INSPECTIONS ACCORDINGLY. THERE SHALL BE THREE INSPECTIONS: ONE FOR EROSION CONTROL INSTALLATION, ONE BEFORE DRAINAGE FACILITIES ARE BURIED, AND ONE FOR FINAL WALK AROUND.

**SECTION AND DETAIL CONVENTION**



**GRADING NOTES**

CUT VOLUME : 15 CY  
 FILL VOLUME : 15 CY  
 TOTAL : 30 CY

VOLUMES ABOVE ARE APPROXIMATE.

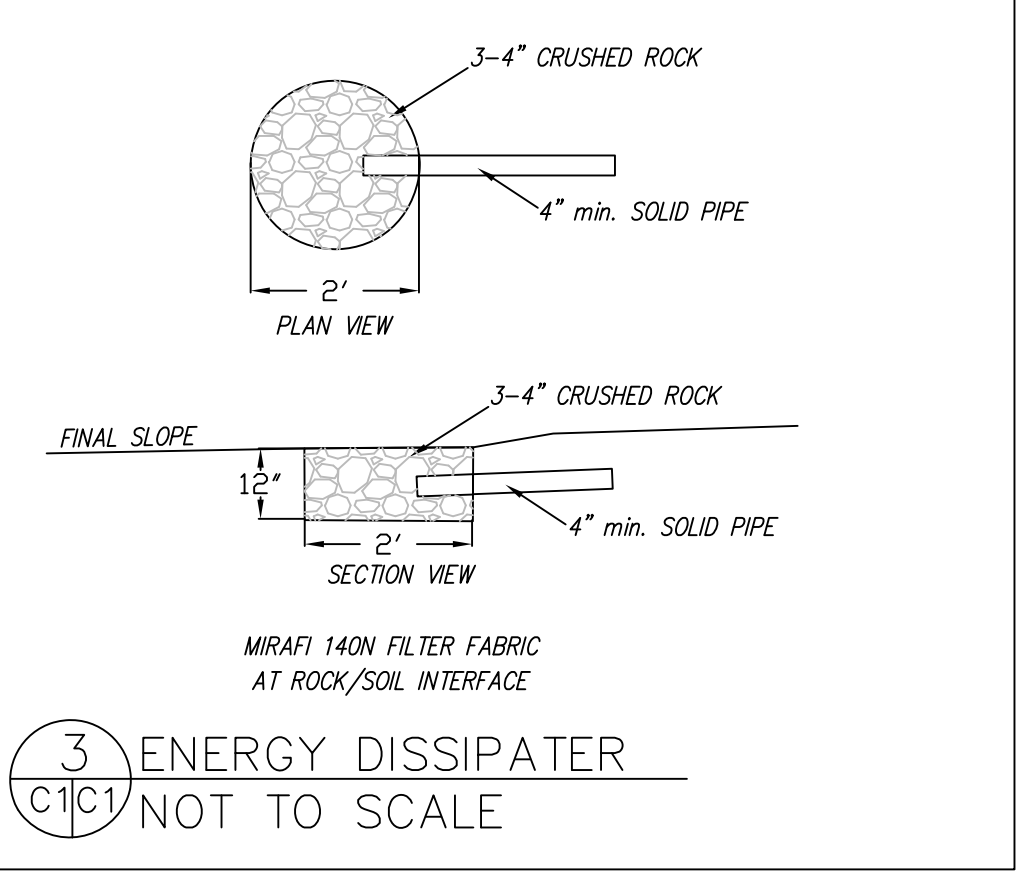
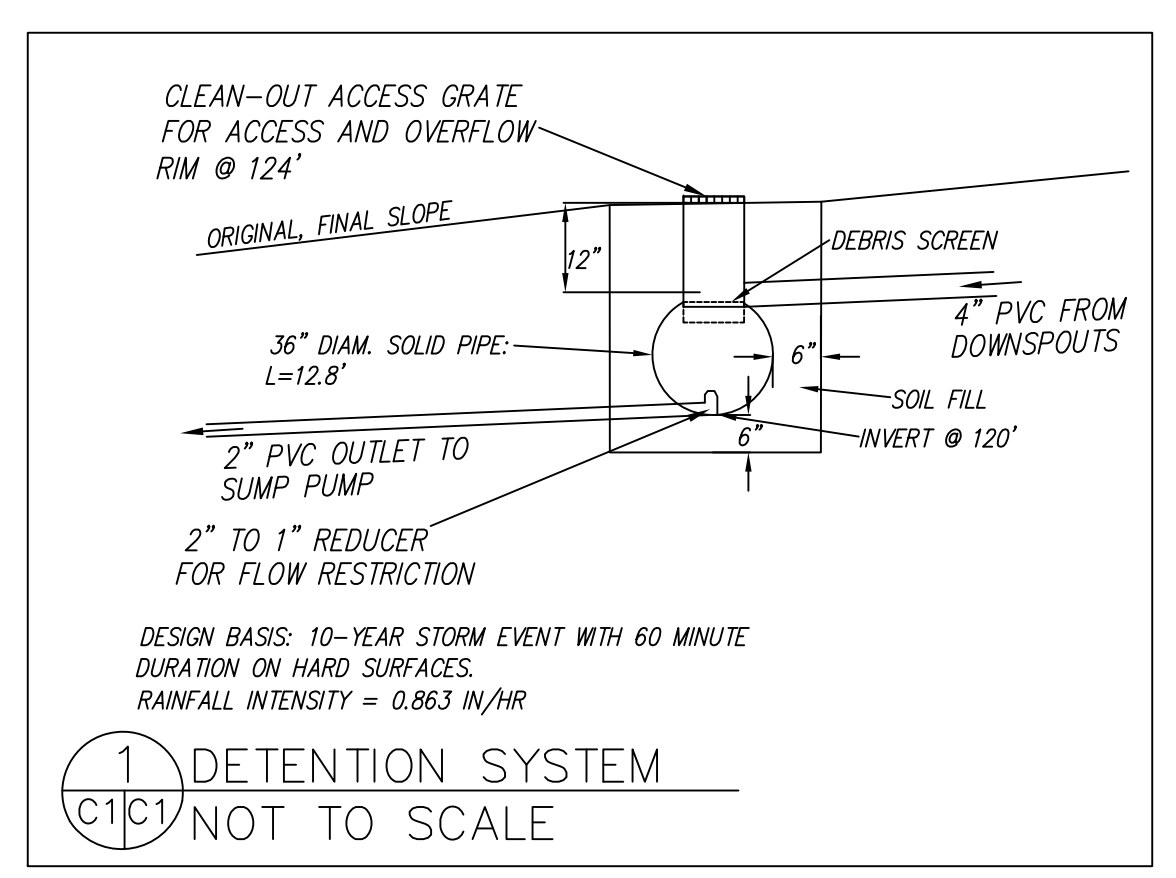
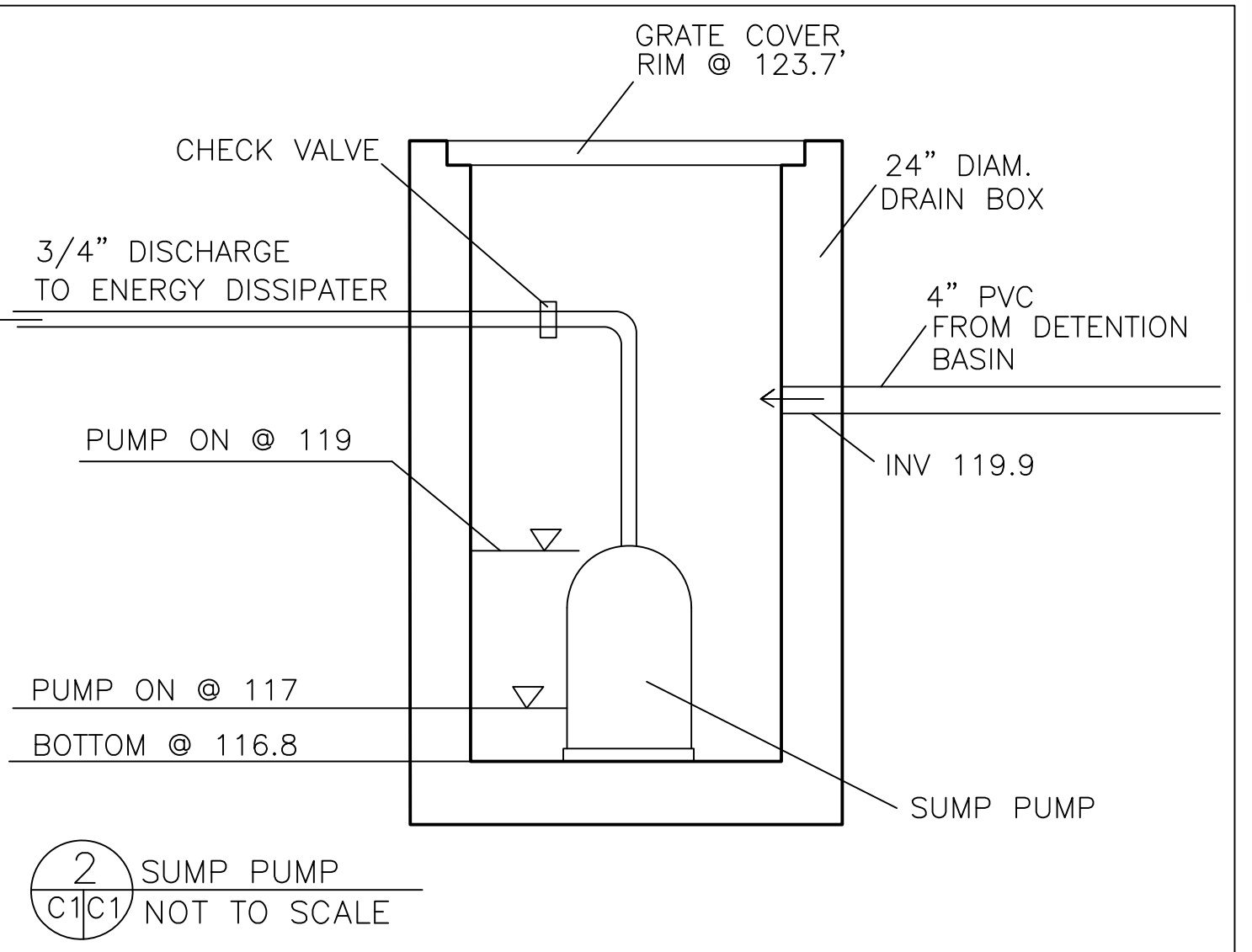
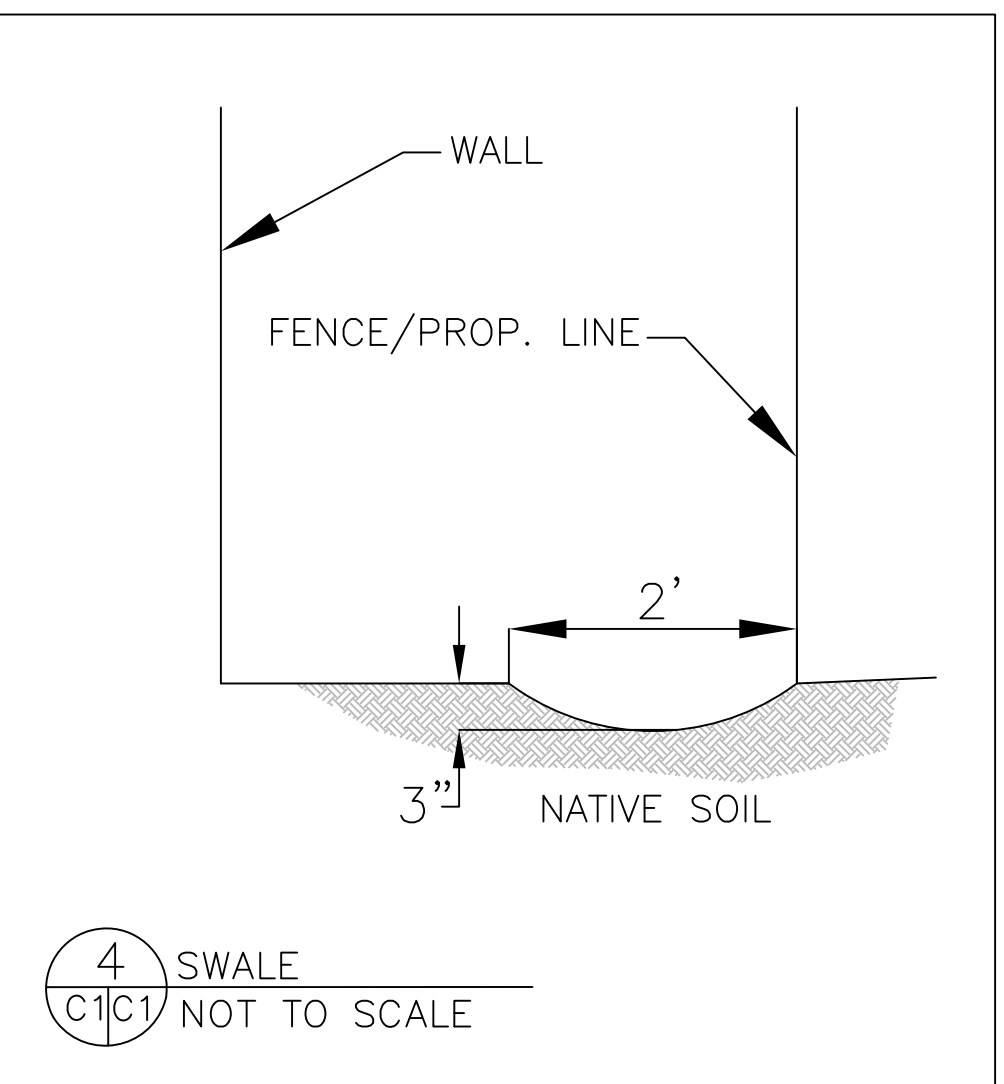
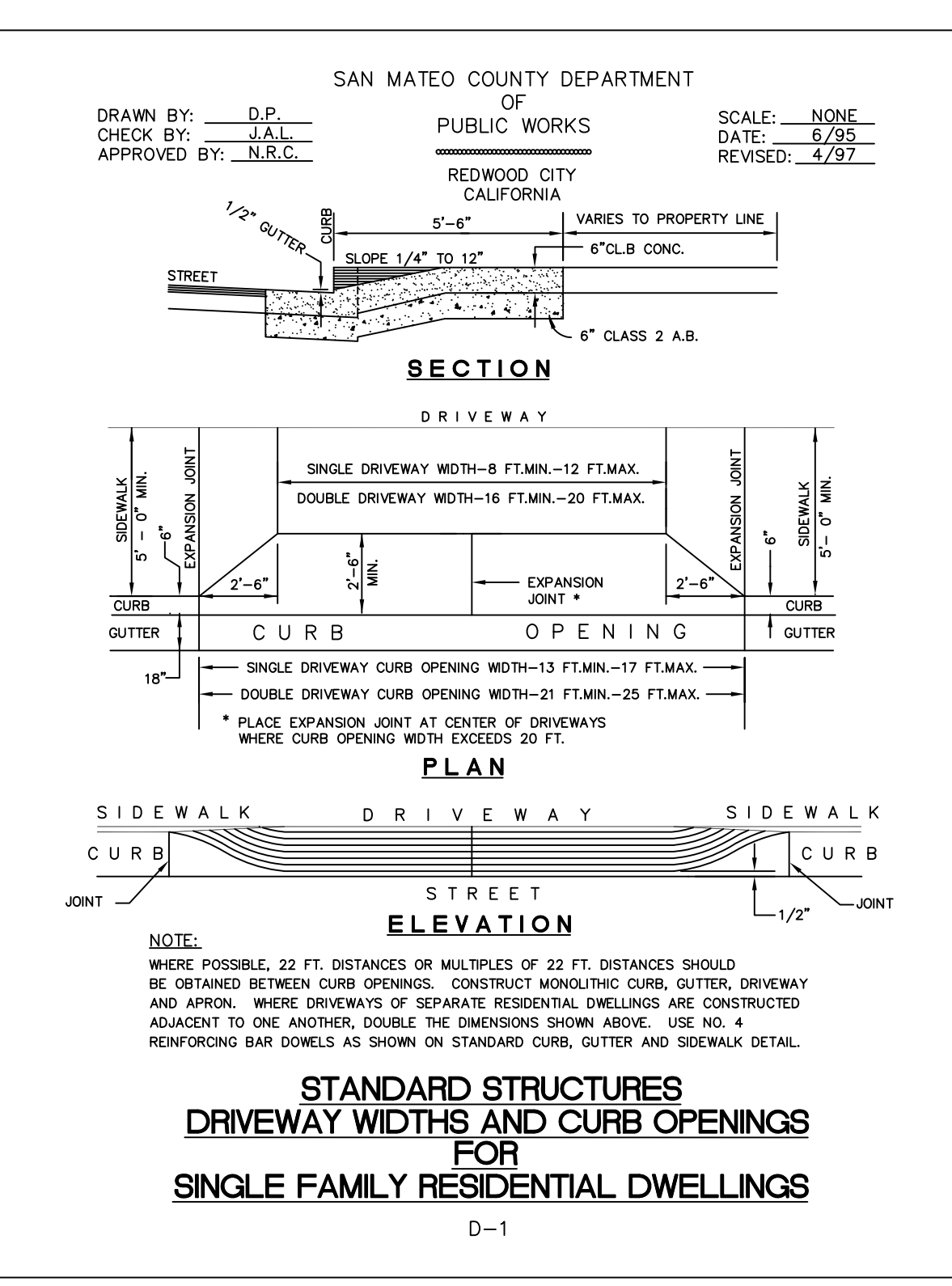
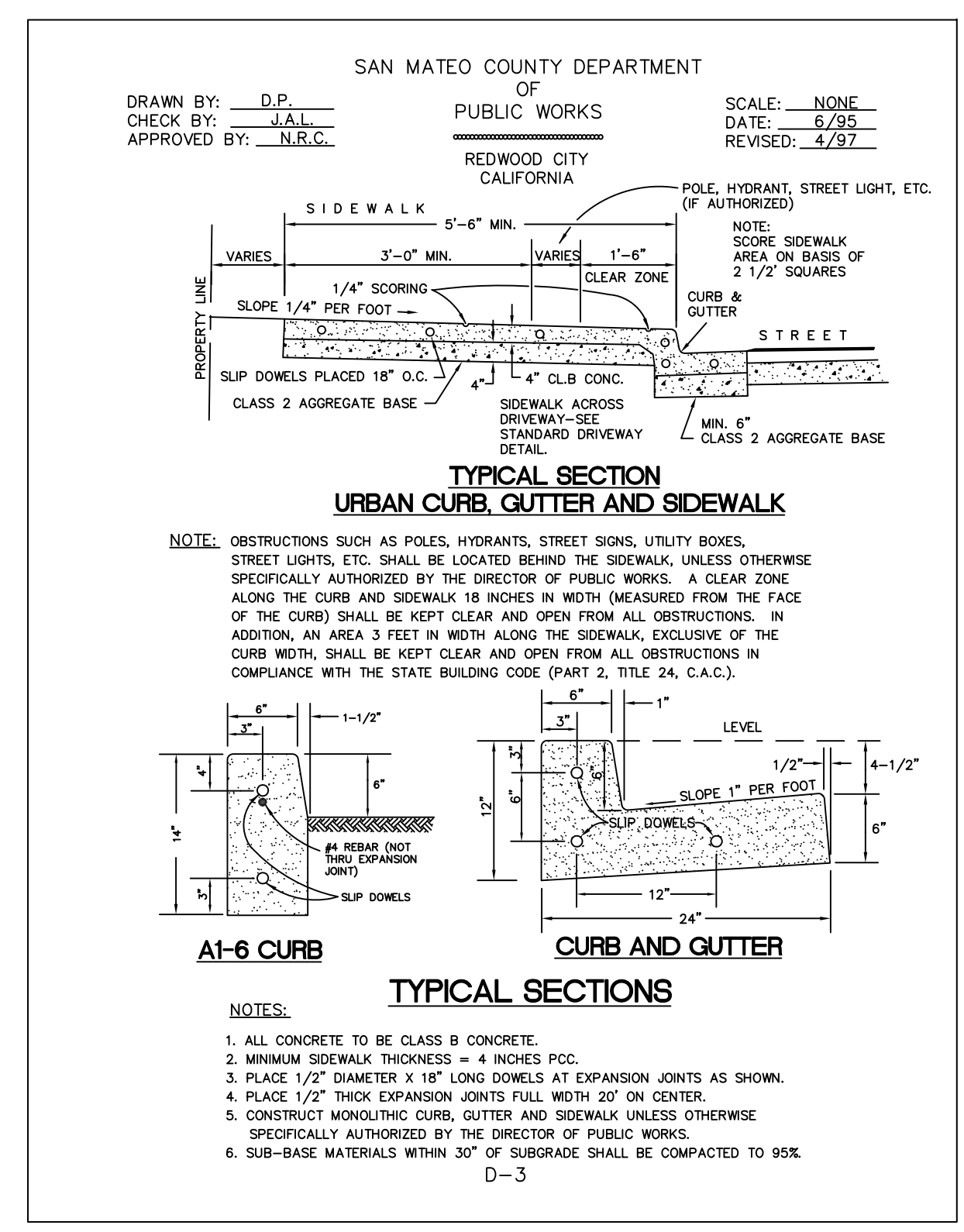
THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.

ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.

ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

**DRAINAGE NOTES**

1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
2. ALL DOWNSPOUT DRAIN LINES SHALL LEAD TO DETENTION BASIN, AS SHOWN. THE DETENTION BASIN SHALL DRAIN TO A SUMP PUMP AND ENERGY DISSIPATER, AS SHOWN.
3. ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
4. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DETENTION BASIN/ENERGY DISSIPATER TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

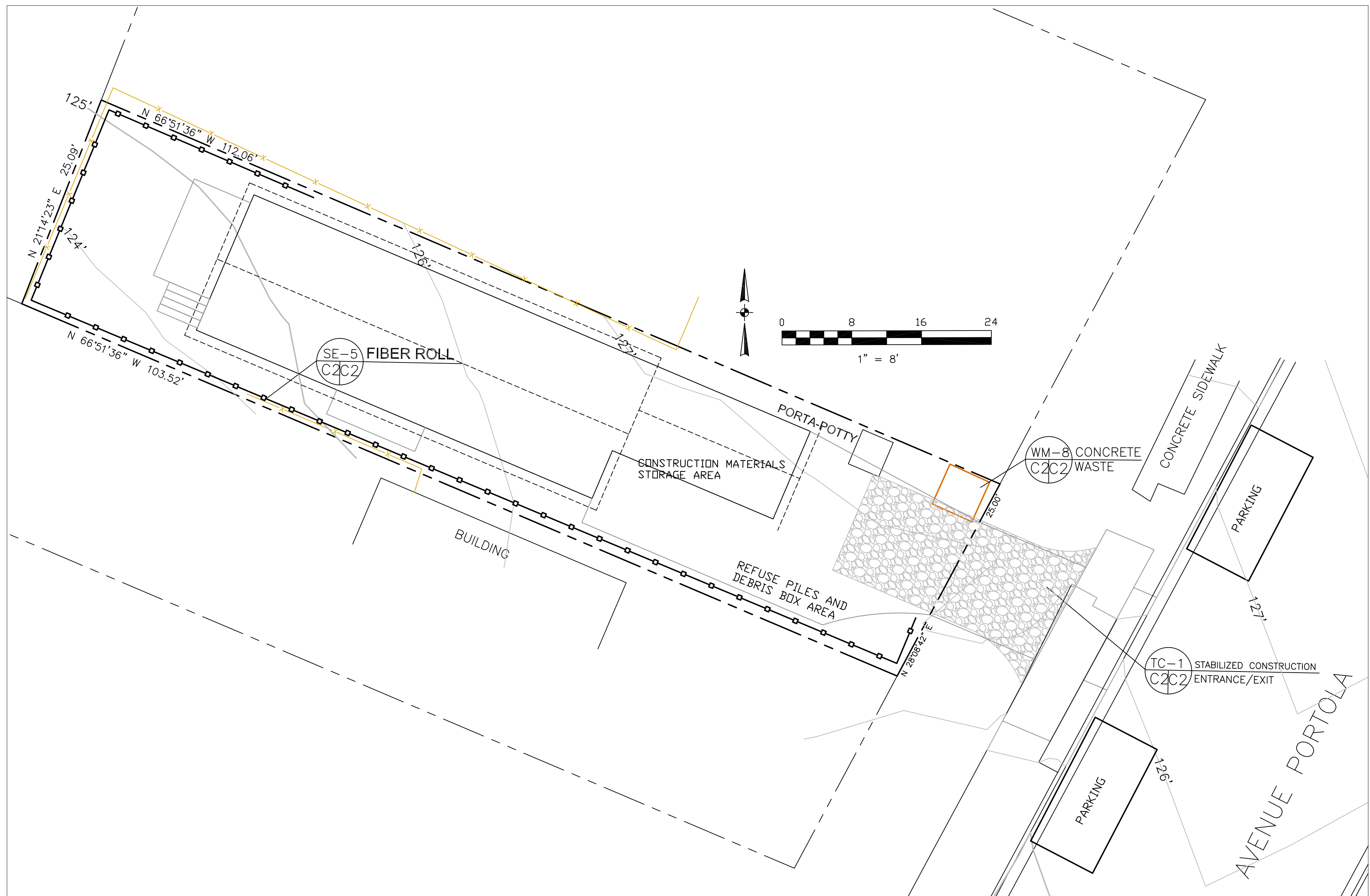


DATE: 12-3-19  
 DRAWN BY: CHK  
 CHECKED BY: AZG  
 REV. DATE: 10-11-20  
 REV. DATE:  
 REV. DATE:

Sigma Prime Geosciences, Inc.  
 SIGMA PRIME GEOSCIENCES, INC.  
 330 RICHMONT AVENUE  
 HALF MOON BAY, CA 94019  
 (650) 728-5690  
 FAX 728-3693

GRADING AND DRAINAGE PLAN

FREITAS PROPERTY  
 AVENUE PORTOLA  
 APN 047-208-120  
 EL GRANADA

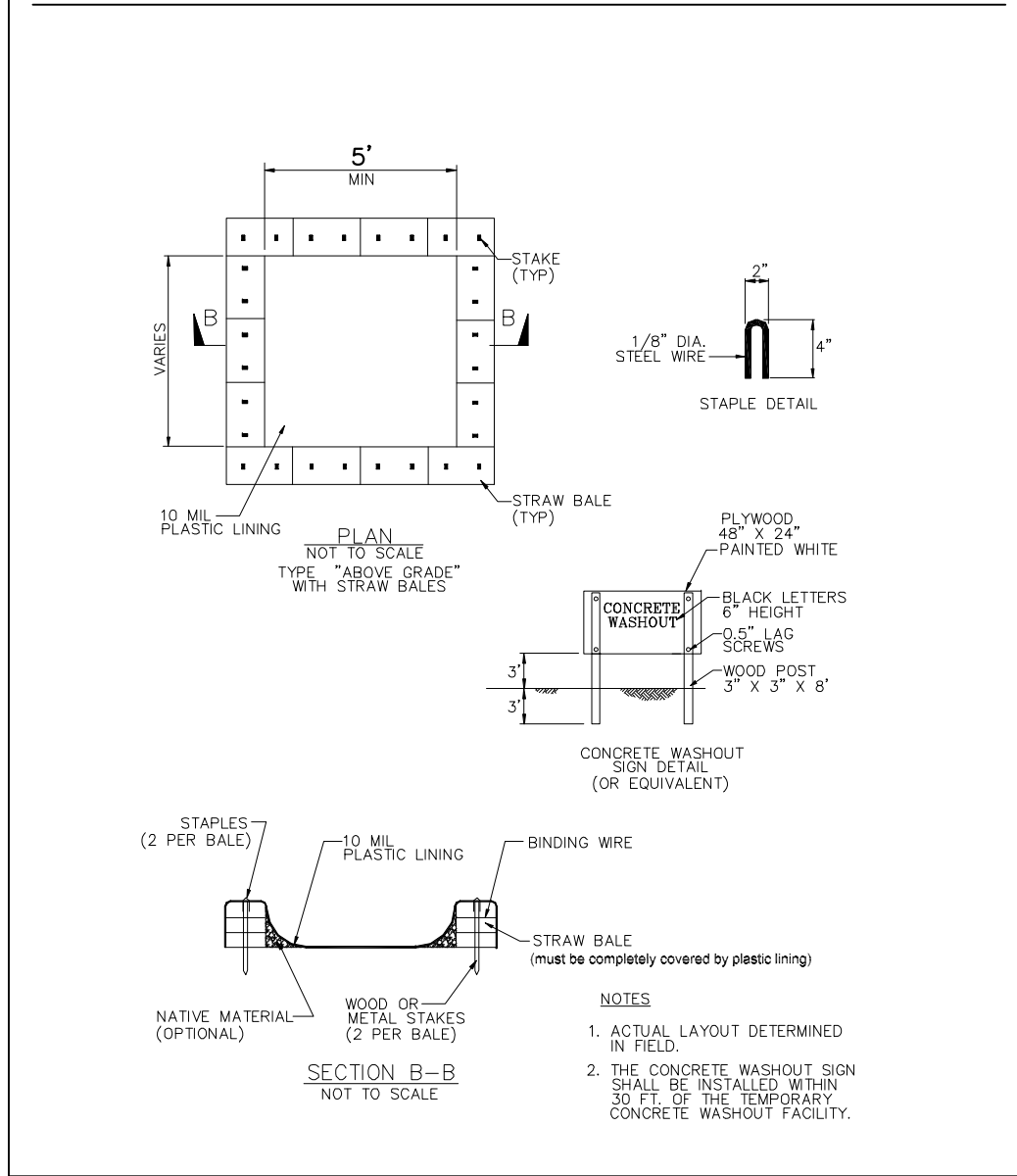


**GENERAL EROSION AND SEDIMENT CONTROL NOTES**

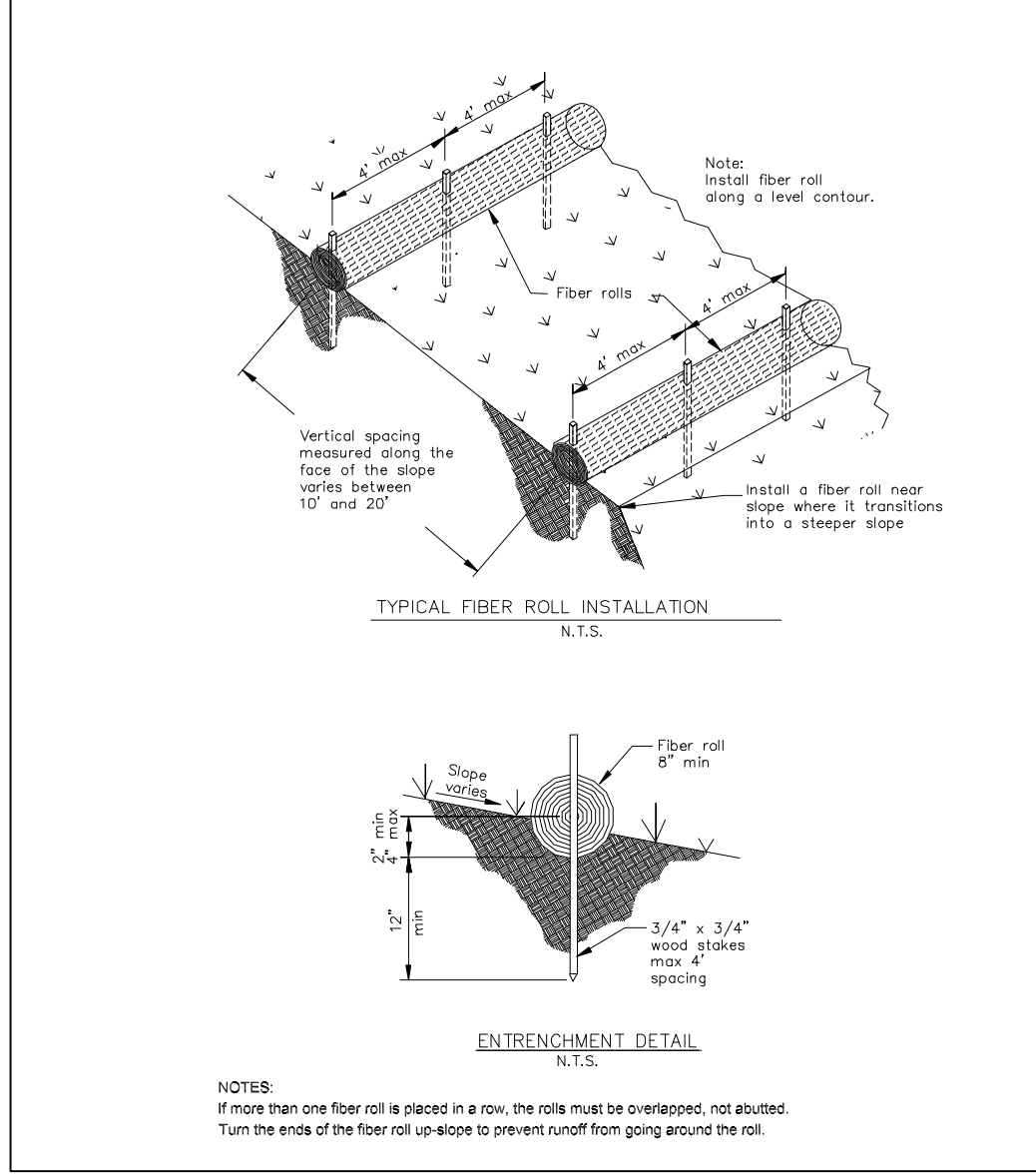


- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.
- There will be no trees or driplines on the site.

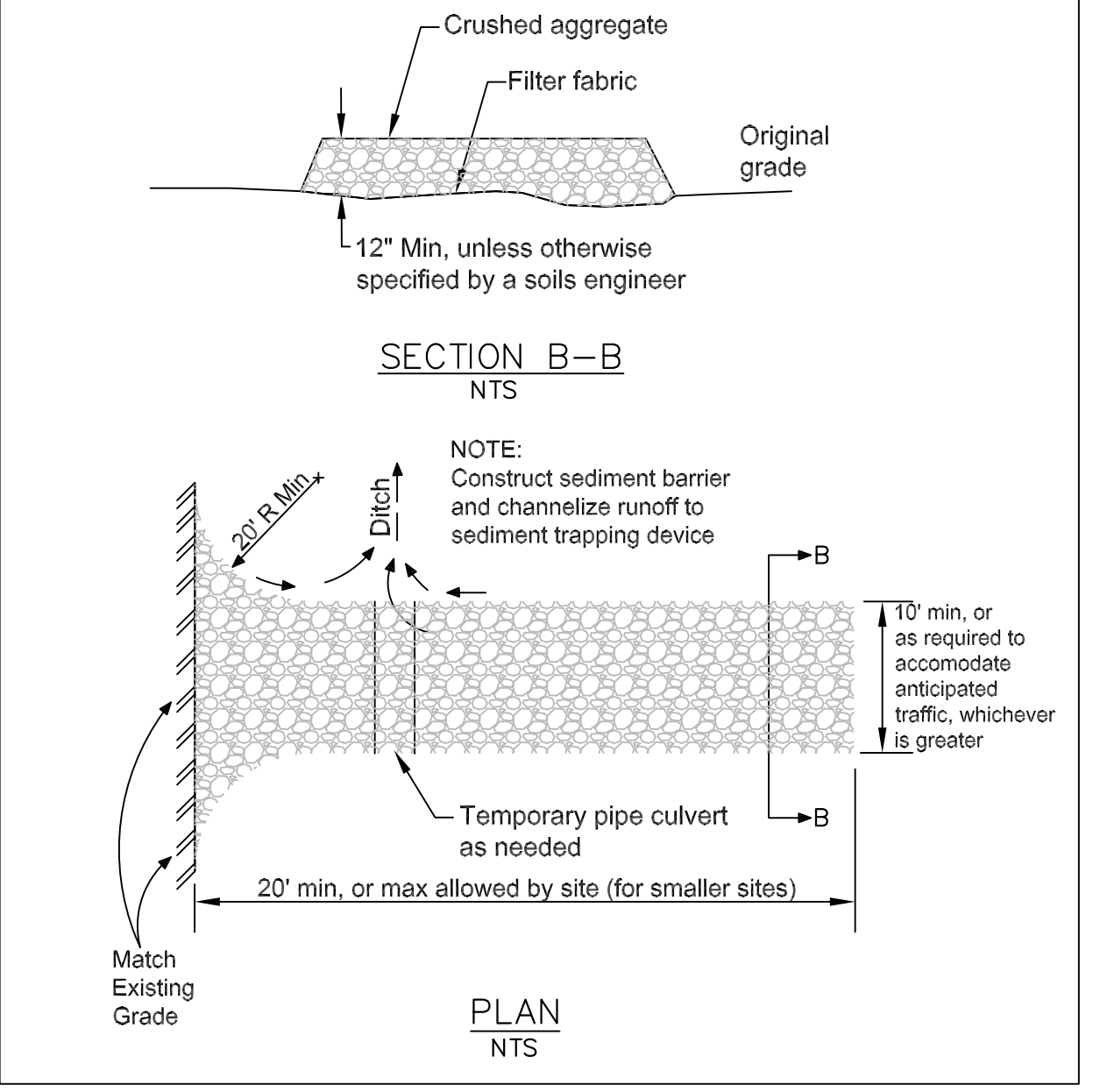
**CONCRETE WASTE MANAGEMENT WM-8**



**FIBER ROLLS SE-5**



**STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1**



**EROSION CONTROL POINT OF CONTACT**  
 THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.  
 NAME: SEAN FREITAS  
 TITLE/QUALIFICATION: OWNER  
 PHONE: 916-580-9981  
 PHONE:  
 E-MAIL: SEAN@GRAPHIA.COM



DATE: 12-3-19	DRAWN BY: CMK	CHECKED BY: AZG	REV. DATE: 10-11-20	REV. DATE:	REV. DATE:
Sigma Prime Geosciences, Inc. SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE HALF MOON BAY, CA 94019 (650) 728-3590 FAX 728-3593					

**EROSION AND SEDIMENT CONTROL PLAN**  
**FREITAS PROPERTY**  
**AVENUE PORTOLA**  
**APN 047-208-120**  
**EL GRANADA**

**SHEET**  
**C-2**





**County of San Mateo - Planning and Building Department**

# **ATTACHMENT D**

**From:** [Chris Johnson](#)  
**To:** [Kanoa Kelley](#)  
**Cc:** [Katie Kostiuk](#); [Rebecca Katkin](#); [Ruemel Panglao](#)  
**Subject:** CDRC Findings for Letter of Recommendation of Approval for PLN2020-00167  
**Date:** Friday, February 12, 2021 11:58:11 AM

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**CAUTION: This email originated from outside of San Mateo County. Unless you recognize the sender's email address and know the content is safe, do not click links, open attachments or reply.**

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Good afternoon, Kanoa,

**Following are CDRC Findings for Letter of Recommendation of Approval for PLN2020-00167; APN 047-208-120; Sean Freitas; Avenue Portola; 2/11/2021.**

Decision: Approved 3-0

**Findings**

—Section 6565.20 (C) SITE PLACEMENT AND STRUCTURE PLACEMENT; 2. Complement Other Structures in the Neighborhood; a. Privacy; (1) Home design respects the privacy of other houses by employing a one-story design and locating and orienting windows, entrances, and the rear deck to minimize and mitigate direct views into neighboring properties.

—Section 6565.20 (D) ELEMENTS OF DESIGN; 1. Building Mass, Shape and Scale; b. Neighborhood Scale; (1) Home respects the scale and feel of the neighborhood through single-story design, building dimensions and shape, roof design, facade articulation, and materials that are complementary to other homes in the neighborhood.

—Section 6565.20 (D) ELEMENTS OF DESIGN; 2. Architectural Style and Features; a. Architectural Style; (1) The home uses an architectural style, design elements, and materials that are complementary to the neighborhood, including a Coastal Craftsman style, lap siding, natural colors, and asphalt composite roofing.

**Suggestions**

—Paint the front door a strong complementary but contrasting color to the siding and trim; consider royal blue.

~~~~~  
Please let me know if you have any questions or comments.

Cheers,

Chris

Chris Johnson

El Granada Community Representative  
San Mateo County CDRC