

GENERAL CONDITIONS

01. NEW 2604 SQ.FT. SINGLE FAMILY HOME WITH 3 BEDROOMS, 3.5 BATHS, 672 SQ.FT., 2 CAR GARAGE AND 544 SQ.FT. DECKS

02. GENERAL CONDITIONS: PERFORM ALL WORK REQ'D BY THE CONTRACT DOCUMENTS FOR THE ALTERATION, RENOVATION, REPAIR & REHABILITATION OF THE DESIGNATED PREMISES, INCLUDING ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION, SCAFFOLDING & OTHER FACILITIES & SERVICES NECESSARY FOR THE PROPER & COMPLETE EXECUTION OF THE WORK. THESE GENERAL CONDITIONS SHALL APPLY TO ALL WORK INDICATED IN THIS DRAWING SET & SHALL EXTEND TO ANY CHANGES OR ADDITIONAL SCOPE DEVELOPED DURING THE COURSE OF THE PROJECT.

03. EXCLUSIONS: CONTRACTOR SHALL MAKE KNOWN TO ARCHITECT & OWNER ANY LIMITATIONS, EXCLUSIONS OR MODIFICATIONS TO THE PROJECT EXPLICITLY IN THE PROJECT ESTIMATE. UNLESS SPECIFICALLY EXCLUDED, THEY WILL BE PRESUMED TO BE INCLUDED IN THE PRICING OF THE PROJECT.

04. COMPLEMENTARY DOCUMENTS: THE ARCHITECT'S DRAWINGS, SPECIFICATIONS & CONSTRUCTION NOTES ARE COMPLEMENTARY, & WHAT IS CALLED FOR BY ONE SHALL BE BINDING AS IF CALLED FOR BY ALL.

05. INCONSISTENCIES: WHERE DIFFERENCES BETWEEN DRAWINGS, NOTES & SPECIFICATIONS OCCUR, THE DECISION OF THE ARCHITECT SHALL GOVERN AS TO WHICH TAKES PRECEDENCE. THE ARCHITECT SHALL PROMPTLY RESOLVE ANY SUCH DISCREPANCIES BROUGHT FORWARD BY THE CONTRACTOR.

06. MISSING INFORMATION: THE CONTRACTOR SHALL STUDY THE DRAWINGS, NOTES, SPECIFICATIONS & OTHER INSTRUCTIONS, & NOTIFY THE ARCHITECT OF ANY INCONSISTENCIES OR MISSING INFORMATION REQ'D FOR FABRICATION OR INSTALLATION OF THE WORK. THE CONTRACTOR SHALL REQUEST INSTRUCTIONS FROM THE ARCHITECT BEFORE PROCEEDING W/ THE WORK.

07. DOUBTFUL CONDITIONS / FIELD CONDITIONS: VERIFY ALL (E) CONDITIONS & DIMENSIONS AFFECTING THE WORK ON SITE. NOTIFY THE ARCHITECT OF ANY CONDITIONS THAT ARE FOUND CONTRARY TO THOSE SHOWN ON THE DRAWINGS, OR OF ANY DOUBTFUL CONDITIONS THAT MIGHT AFFECT QUALITY OR INTERFERE W/ THE PROPER COMPLETION OF WORK BEFORE COMMENCING WORK. COMMENCEMENT OF WORK INDICATES ACCEPTANCE OF (E) CONDITIONS.

08. PERMITS AND APPROVALS: OBTAIN ALL REQUIRED PERMITS & PAY FEES FOR PERMITS, LICENSES, INSPECTIONS, FILINGS & APPROVALS REQUIRED BY LOCAL LAWS, ORDINANCES & REGULATIONS NECESSARY FOR COMPLETION OF THE PROJECT. SCHEDULE REQUIRED INSPECTIONS IN A TIMELY MANNER SO AS NOT TO INTERRUPT PROGRESS OF THE WORK.

09. A VALID WORK PERMIT SHALL BE PROMINENTLY DISPLAYED AT THE JOB SITE FOR THE ENTIRE DURATION OF THE WORK.

10. COMPLIANCE WITH CODES: ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE SAN MATEO COUNTY PLANNING OFFICE, FIRE & EMERGENCY SERVICES & LOCAL UTILITY COMPANIES. WHERE REQUIREMENTS OF THESE CODES ARE CONTRADICTORY, THE MORE STRINGENT RULE SHALL APPLY.

11. MEANS AND METHODS: THE CONTRACTOR SHALL SUPERVISE THE WORK USING THE BEST SKILL & ATTENTION. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR, & SHALL HAVE CONTROL OVER, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES.

12. SAFETY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR INITIATING, MAINTAINING & SUPERVISING SAFETY PRECAUTIONS IN CONNECTION W/ THE WORK. HE SHALL GIVE NOTICES & COMPLY W/ ALL APPLICABLE LAWS, ORDINANCES, REGULATIONS & ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE SAFETY OF PERSONS AND PROPERTY, & THEIR PROTECTION FROM DAMAGE, INJURY & LOSS. HE SHALL INSURE THAT THE JOB SITE IS MAINTAINED AT ALL TIMES SO AS TO PREVENT INJURY OR DAMAGE TO ALL PERSONS WORKING ON OR VISITING THE PREMISES, & TO THEIR PROPERTY.

13. HAZARDOUS MATERIALS: IN THE EVENT THE CONTRACTOR ENCOUNTERS ASBESTOS OR PRODUCTS CONTAINING ASBESTOS, REMOVE ALL PERSONS FROM THE PROPERTY IMMEDIATELY W/O DISTURBING THESE PRODUCTS & NOTIFY THE OWNER. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT ALL PARTIES FROM POTENTIAL HAZARDS PRODUCED BY REMOVAL OF OR DAMAGE TO LEAD-BASED PAINTS OR OTHER SIM. HAZARDOUS MATERIALS, ON OR ABOUT THE PROPERTY.

14. SCHEDULE: SUBMIT A CONSTRUCTION SCHEDULE TO ARCHITECT & OWNER PRIOR TO COMMENCING WORK. THE SCHEDULE SHALL INDICATE THE CHRONOLOGICAL PHASES OF WORK THROUGH PROJECT COMPLETION. THE SCHEDULE SHALL INDICATE ORDERING LEAD TIME, START & COMPLETION DATES FOR EACH TRADE. CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING THE APPROVED SCHEDULE.

15. SEQUENCE AND COORDINATION: THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES & SUBCONTRACTORS FOR ALL PORTIONS OF THE WORK UNDER THIS CONTRACT. THE CONTRACTOR SHALL ALSO COOPERATE IN SEQUENCING INSTALLATION OF ITEMS FURNISHED BY THE OWNER.

16. APPROVED MATERIALS: THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. WHERE THE TERM "OR EQUAL" IS USED THE ARCHITECT SHALL DETERMINE THE ACCEPTABILITY OF A SUBSTITUTION REQUESTED BY THE CONTRACTOR. ALL MATERIALS SHALL BE NEW, UNUSED & OF THE HIGHEST QUALITY IN EVERY RESPECT, U.O.N. IN THE DRAWINGS, MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MFR'S RECOMMENDATIONS & INSTRUCTIONS.

17. LICENSED TRADESPEOPLE: WORK, INCLUDING PLUMBING, ELECTRICAL & OTHER TRADES, SHALL BE PERFORMED BY CONTRACTORS LICENSED IN THEIR TRADE, WHO SHALL OBTAIN ALL REQUIRED PERMITS, INSPECTIONS & SIGN-OFFS. HVAC SYSTEMS INSTALLERS MUST BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS, BY A PROGRAM ACCEPTABLE TO THE DBI, PER CAL GREEN 702.1

18. CURRENT DRAWINGS / REVISIONS: MAINTAIN A COMPLETE, CURRENT SET OF CONTRACT DOCUMENTS ON SITE THROUGHOUT CONST. FOR THE USE OF ALL TRADES. UPON RECEIPT OF ISSUED REVISIONS TO THE CONST. DOCS. BY THE ARCHITECT, THE CONTRACTOR SHALL IMMEDIATELY REVISE THE FIELD SET OF CONST. DOCS. & NOTIFY ALL AFFECTED TRADES OF THE REVISIONS.

19. LAYOUT OF WORK: LAYOUT WORK FROM DIMENSIONS & ALIGNMENTS SHOWN ON DRAWINGS & BE RESPONSIBLE FOR ALL MEASUREMENTS IN CONNECTION THEREWITH. THE CONTRACTOR SHALL IMMEDIATELY REPORT ANY DISCREPANCIES BETWEEN DRAWINGS & FIELD CONDITIONS TO THE ARCHITECT. **DO NOT SCALE DRAWINGS.**

20. QUALITY ASSURANCES:
A) ALL WORK SHALL BE PERFORMED & SUPERVISED BY WORKERS THOROUGHLY FAMILIAR W/ THE MATERIALS & METHODS SPECIFIED.
B) WORK SHALL BE INSTALLED PLUMB & LEVEL. SHOULD EX'G ADJ WORK NOT BE PLUMB & LEVEL, NEW WORK SHALL BE INSTALLED AS NECESSARY TO MEET THE EX'G WORK, W/O APPEARING TO EMPHASIZE THE VARIANCE, SUBJECT TO THE APPROVAL OF THE ARCHITECT.

21. SECURING OF PREMISES: SECURE THE PREMISES & MATERIALS WITHIN THE CONSTRUCTION AREA FOR THE DURATION OF CONSTRUCTION UNTIL OWNER'S FINAL ACCEPTANCE. TAKE ALL NECESSARY PRECAUTIONS AT THE END OF EACH WORK DAY TO INSURE UNAUTHORIZED PERSONS CANNOT ENTER THE JOB SITE.

22. PROTECTION DURING CONSTRUCTION: PROVIDE & MAINTAIN ALL NECESSARY COVERINGS & PROTECTION TO PREVENT DAMAGE, DISCOLORATION OR SOILING OF (E) & NEW CONST., FINISHES & BUILDING ELEMENTS. MAINTAIN PROTECTION UNTIL OWNER'S FINAL ACCEPTANCE. DUCT OPENINGS AND OTHER AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING ALL PHASES OF CONSTRUCTION, WITH TAPE, PLASTIC, SHEET METAL, OR OTHER ACCEPTABLE METHODS TO REDUCE THE AMOUNT OF WATER, DUST, AND DEBRIS ENTERING THE SYSTEM. UPON OWNER'S ACCEPTANCE, REMOVE ALL PROTECTION AND CLEAN ALL EXPOSED SURFACES. PROTECT HVAC SYSTEMS & COMPONENTS PER W/ SMACNA IAQ GUIDELINES.

23. MEANS OF EGRESS: ALL EX'G MEANS OF EGRESS FOR WORKERS & VISITORS TO SITE SHALL BE MAINTAINED CLEAR & FREE OF OBSTRUCTIONS SUCH AS BUILDING MATERIALS, TOOLS, ETC.

24. DELIVERIES: CONTRACTOR SHALL MAKE ALL REQ'D ARRANGEMENTS FOR DELIVERY & TRANSFER OF EQUIPMENT AND MATERIALS TO THE JOB SITE.

25. CUTTING AND PATCHING: PERFORM ALL CUTTING AND PATCHING REQ'D BY THE INSTALLATION OF NEW FRAMING, PLUMBING FIXTURES & CONNECTIONS, WIRING, ELECTRICAL & TELEPHONE OUTLETS, SWITCHES, HEATING & VENTILATION ELEMENTS TO PROVIDE A FINISHED PROJECT.

A) MATERIALS USED IN CUTTING & PATCHING SHALL BE IDENTICAL TO ORIGINAL MATERIALS U.O.N. IF IDENTICAL MATERIALS ARE NOT AVAILABLE, PROVIDE FINISHED WORK HAVING EQ. OR BETTER PERFORMANCE CRITERIA.
B) USE METHODS LEAST LIKELY TO DAMAGE (E) ELEMENTS OR ADJ. WORK.
C) LOCATE UTILITIES PRIOR TO CUTTING. CAP, VALVE, SEAL & PLUG ABANDONED UTILITIES.
D) PATCHING SHALL PROVIDE SOLID, TRUE & ALIGNED SUBSTRATES FOR THE INSTALLATION OF FINISHED MATERIALS.
E) PATCHING SHALL SEAMLESSLY JOIN THE IMMEDIATE EX'G ADJ CONST. IN MATERIALS, FINISH, GLOSS & COLOR. JOINTS SHALL BE DURABLE & INVISIBLE. CREATE TRUE, EVEN PLANES W/ UNIFORM CONT. APPEARANCE.
F) REPAINT ENTIRE ASSEMBLIES & SURFACES, NOT ONLY PATCHED AREAS.

26. REMOVALS: MAINTAIN A CLEAN & NEAT WORK SITE AT ALL TIMES. CLEAN-UP & REMOVE FROM THE PREMISES ALL WASTE MATERIALS, RUBBISH, WRAPPINGS, CONTAINERS & SALVAGES GENERATED BY CONST., DEMOLITION & THE DELIVERY & INSTALLATION OF WOODWORK, FURNITURE & APPLIANCES, WHETHER PROVIDED UNDER THIS CONTRACT OR NOT. 100% OF MIXED DEBRIS SHALL BE PROCESSED FOR RECYCLING

27. FINAL CLEANUP: ALL SPACES MUST BE LEFT VACUUM-CLEAN & ORDERLY, READY FOR OWNER OCCUPANCY. ALL SURFACES, INCLUDING COUNTERS, CABINET SHELVES & TOPS, MOLDINGS, DOOR & WINDOW HEADS, PLUMBING & LIGHTING FIXTURES, APPLIANCES, HVAC EQUIPMENT & FLOORS SHALL BE THOROUGHLY DUSTED W/ A FREQUENTLY RINSED DAMP CLOTH. AFTER DUSTING ALL SURFACES, FLOORS SHALL BE VACUUMED USING APPROPRIATE ATTACHMENTS. SCRAPE WINDOWS CLEAN W/ RAZOR & WASH.

28. PROJECT CLOSEOUT: UPON COMPLETION OF THE JOB THE CONTRACTOR SHALL SUBMIT ALL CERTIFICATES OF INSPECTION & A CERTIFICATE OF SUBSTANTIAL COMPLETION (AIA DOC. G-704) TO OWNER. UPON OWNER'S ACCEPTANCE, THE CONTRACTOR SHALL PERFORM A FINAL CLEANING.

29. PROJECT COMPLETION: THE PROJECT SHALL BE CONSIDERED COMPLETE WHEN THE WORK ON ARCHITECT'S PUNCH LIST HAS BEEN COMPLETED TO THE SATISFACTION OF THE ARCHITECT AND CLIENTS.

30. WARRANTY & GUARANTEE:
A) THE CONTRACTOR GUARANTEES THAT WORK COMPLETED UNDER THIS CONTRACT IS FREE FROM FAULTY MATERIALS & WORKMANSHIP, INCL. IMPROPER INSTALLATION. THIS GUARANTEE SHALL COVER A MINIMUM PERIOD OF ONE YEAR FOLLOWING THE DATE OF ACCEPTANCE OF THE WORK BY OWNER & SHALL BIND THE CONTRACTOR TO REPAIR OR REPLACE, PROMPTLY & EFFICIENTLY, ANY & ALL WORK & MATERIAL FOUND TO BE DEFECTIVE DURING THIS PERIOD, INCLUDING OTHER WORK NOT PERFORMED UNDER THIS CONTRACT, THAT IS DAMAGED BY SUCH DEFICIENCY.
B) NEITHER THE FINAL CERTIFICATE NOR THE FINAL PAYMENT, NOR ANY OTHER PROVISION IN THE CONTRACT, SHALL RELIEVE THE CONTRACTOR OF RESPONSIBILITY DESCRIBED IN THIS SECTION.
C) THIS WARRANTY IS IN ADDITION TO MANUFACTURER'S STANDARD WARRANTIES ON SPECIFIC PRODUCTS, MATERIALS & ASSEMBLIES.
D) IN THE EVENT ADDITIONAL PROFESSIONAL SERVICES ARE REQUIRED TO VERIFY & DIRECT REPAIRS OR REPLACEMENT OF WORK AS A DIRECT CONSEQUENCE OF THE FAILURE OF MATERIALS OR WORKMANSHIP GUARANTEED BY THE CONTRACTOR, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PAYMENT OF FEES FOR SUCH PROFESSIONAL SERVICES & ANY OTHER FEES NECESSARY TO CORRECT THE WORK.

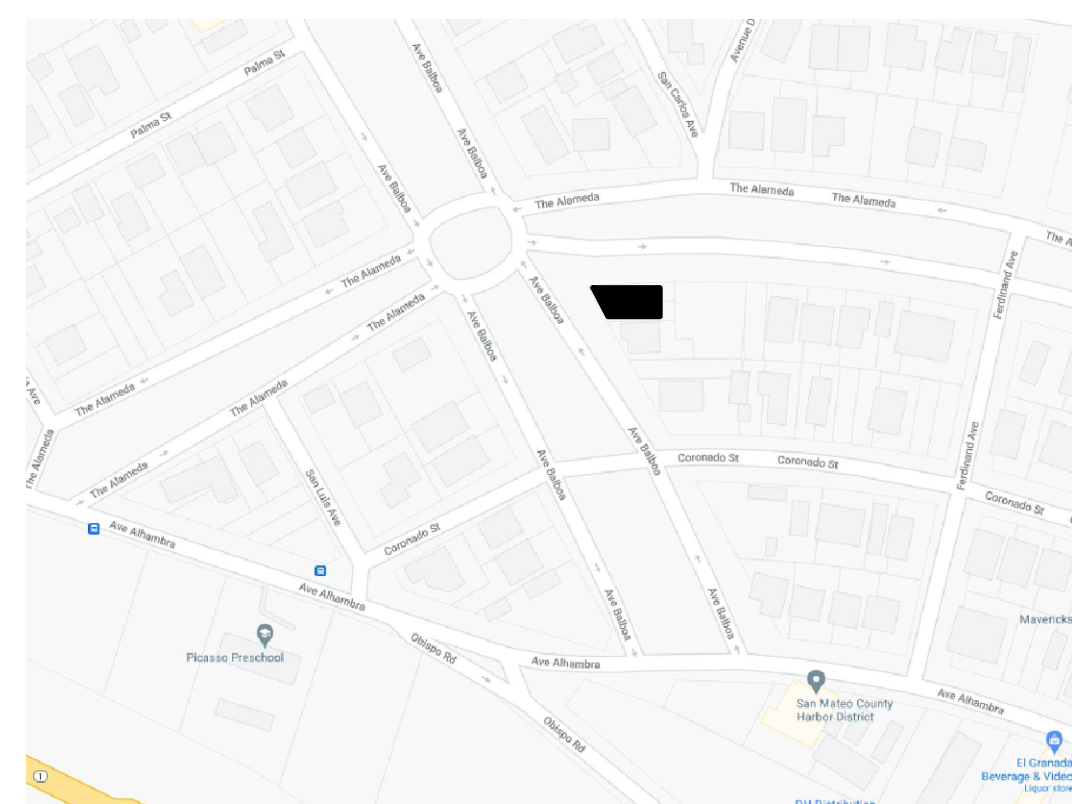
31. PER CALIFORNIA CIVIL CODE ARTICLE 1101.1 AND CALGREEN SECTION 301.1, FOR ALL BUILDING ALTERATIONS OR IMPROVEMENTS TO A SINGLE FAMILY RESIDENTIAL PROPERTY, EXISTING PLUMBING FIXTURES IN THE ENTIRE HOUSE THAT DO NOT MEET THE CURRENT FLOW RATES WILL NEED TO BE UPGRADED. WATER CLOSETS WITH A MAX. FLOW RATE OF 1.28 GPF. SHOWER HEADS WITH A FLOW RATE GREATER THAN 2.5 GPM WILL NEED TO BE REPLACED WITH MAX. 1.8 GPM SHOWER HEAD. LAVATORY AND KITCHEN FAUCETS WITH A FLOW RATE GREATER THAN 2.2 GPM WILL NEED TO BE REPLACED WITH A FAUCET WITH MAX. FLOW RATE 1.2 GPM (OR 1.8 GPM FOR KITCHEN FAUCETS).

32. WHEN ALTERATIONS REPAIRS, OR ADDITIONS REQUIRING A PERMIT OCCUR, THE INDIVIDUAL DWELLING UNIT SHALL BE EQUIPPED WITH SMOKE ALARMS LOCATED AS REQUIRED FOR NEW DWELLING PER CRC R314.2.2.

APPLICABLE CODES

2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA RESIDENTIAL CODE 2019 CALIFORNIA ELECTRICAL, MECHANICAL, PLUMBING AND FIRE CODES
2019 CALIFORNIA ENERGY CODE – TITLE 24 NATIONAL ELECTRIC CODE
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
COASTSIDE FIRE PROTECTION DISTRICT CODES AND STANDARDS
SAN MATEO COUNTY R3-S3 ZONING CODE

VICINITY MAP



ABBREVIATIONS

⊙	AT	INCL	INCLUDING
CL	CENTERLINE	JOB	JUNCTION BOX
PL	PROPERTY LINE		
Ø	DIAMETER OR ROUND	LAV	LAVATORY
# or LB	POUND OR NUMBER	LT	LIGHT/LIGHTING
(E)	EXISTING		
(N)	NEW		
X	TIMES OR BY (AS IN 2X4)	MAINT	MAINTENANCE
		MAT	MAXIMUM
		MAX	MECHANICAL
ADJ	ADJACENT	MFR	MANUFACTURER
AFF	ABOVE FINISHED FLOOR	MICRO	MICROWAVE
ALUM	ALUMINUM	MIN	MINIMUM
APPRD	APPROVED	MISC	MISCELLANEOUS
APPROX	APPROXIMATE	MTD	MOUNTED
ARCH	ARCHITECTURAL	MTL	METAL
AVG	AVERAGE		
BD	BOARD	N	NORTH
BTWN	BETWEEN	NIC	NOT IN CONTRACT
BLDG	BUILDING	NO OR #	NUMBER
BLKGG	BLOCKING	NOM	NOMINAL
BM	BEAM	NTS	NOT TO SCALE
BOS	BOTTOM OF STEEL		
BO	BOTTOM OF	O/	OVER
		OC	ON CENTER
CAB	CABINET	OD	OUTSIDE DIAMETER (DIM)
CEM	CEMENT	OPNG	OPENING
CH	CEILING HEIGHT	OPP	OPPOSITE
CLG	CEILING	OVHD	OVERHEAD
CLKG	CAULKING		
CLOS	CLOSET		
CLR	CLEAR	PART	PARTITION
CLR OPG	CLEAR OPENING	PLBG	PLUMBING
CO	CASED OPENING	PLAS	PLASTIC
COL	COLUMN	PLYWD	PLYWOOD
CONC	CONCRETE	PNTRY	PANTRY
CONSTR	CONSTRUCTION	PT	POINT
CONT	CONTINUOUS	PTD	PAINTED
CTR	CENTER		
		QUAL	QUALITY
		QTY	QUANTITY
		R	RISER
		REF	REFRIGERATOR
		REQ'D	REQUIRED
		RM	ROOM
		RO	ROUGH OPENING
		S	SOUTH
		SCHED	SCHEDULE
		SECT	SECTION
		SHT	SHEET
EA	EACH	SIM	SIMILAR
E	EAST	SPEC	SPECIFICATION
ELEV	ELEVATION	SQ	SQUARE
ELEC	ELECTRICAL	ST STL	STAINLESS STEEL
		STD	STAINED
EQ	EQUAL	STL	STEEL
EQPT	EQUIPMENT	STOR	STORAGE
EX'G	EXISTING	STRUCT	STRUCTURAL
EXT	EXTERIOR	SUSP	SUSPENDED
		SF	SQUARE FEET
		SYST	SYSTEM
		S.S.D.	SEE STRUCTURALDRAWINGS
		TEL	TELEPHONE
		TEMP	TEMPERED
		THK	THICK(NESS)
		TR	TRASH
		TV	TELEVISION
		TYP	TYPICAL
		UNF	UNFINISHED
		UN	UNLESS OTHERWISE NOTED
GA	GAUGE	UL	UNDERWRITERS LABORATORY
GALV	GALVANIZED	UTIL	UTILITY
GL	GLASS		
GWB	GYPSPUM WALL BOARD		
		VERT	VERTICAL
HB	HOSE BIB	VIF	VERIFY IN FIELD
HC	HANDICAPPED		
HDWR	HARDWARE		
		W	WEST
HT	HEIGHT	W/	WITH
HTG	HEATING		

SYMBOLS & GRAPHIC CONVENTIONS

SECTION DETAIL		WOOD FRAMING	
PLAN DETAIL		WOOD BLOCKING	
		PLYWOOD	
INTERIOR ELEVATION KEY		BATT INSULATION	
		RIGID INSULATION	
ENLARGED DETAIL		GYPSPUM WALL BOARD	
		LINE ABOVE	
ELEVATION / DATUM TAG		LINE BELOW	
ROOM NUMBER		EXISTING CONSTRUCTION TO BE DEMOLISHED	
SHEET NOTE		EXISTING CONSTRUCTION TO REMAIN	
DOOR NUMBER		NEW CONSTRUCTION	
WINDOW NUMBER			

PROJECT DESCRIPTION

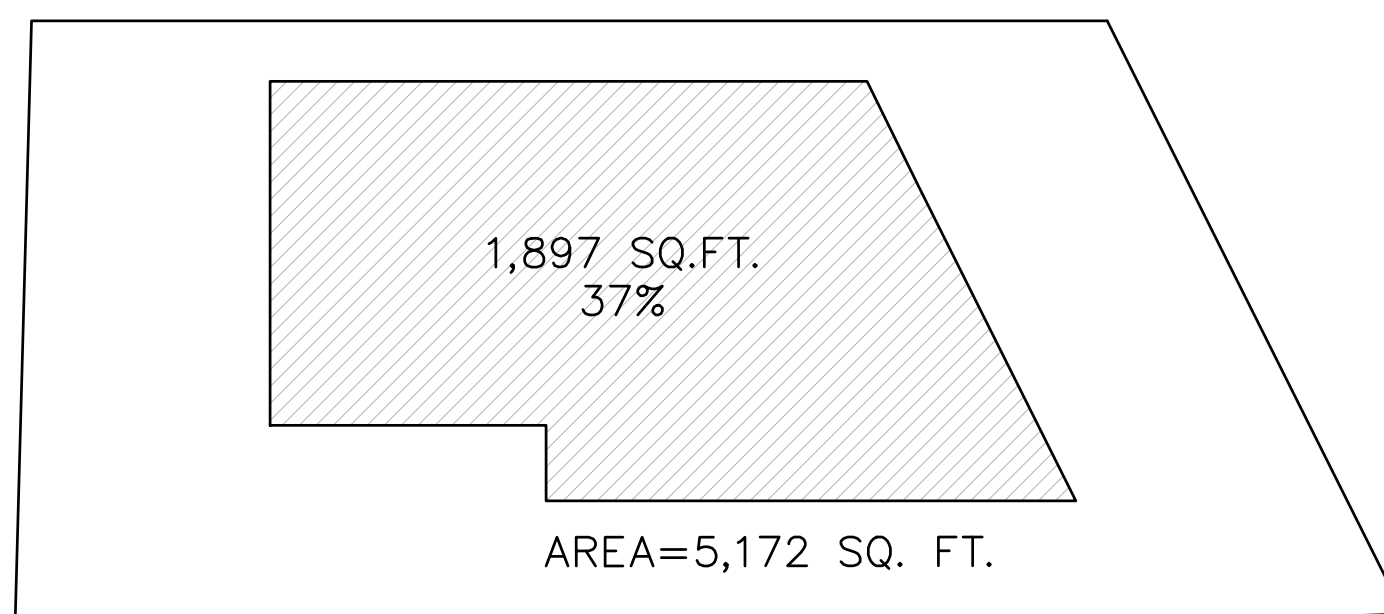
NEW 2604 SQ.FT. SINGLE FAMILY HOME WITH 3 BEDROOMS, 3.5 BATHS, 672 SQ.FT., 2 CAR GARAGE AND 544 SQ.FT. DECKS

PROJECT INFORMATION

APN: 047-207-060 & 047-207-070, TO BE MERGED
ZONING: R3-S3
USE TYPE: SINGLE FAMILY RESIDENCE
OCCUPANCY: R
CONSTRUCTION: WOOD FRAME- SPRINKLERED
PARCEL AREA: 5,172 SQ.FT
ALLOWED LOT COVERAGE: 50% = 2,586
PROPOSED LOT COVERAGE: 1,931 SQ.FT. (37%)
PROPOSED BUILDING AREA: 2,638 SQ.FT. CONDITIONED LIVING + 672 SQ.FT GARAGE / MECHANICAL + 544 SQ.FT. DECKS

PROPOSED BUILDING HEIGHT: 32' FROM AVG. GRADE TO HIGHEST POINT
FRONT SETBACK: 20'
REAR SETBACK: 20'
SIDE SETBACKS: 10' AT THE ALAMEDA SIDE, 5' OPP. SIDE

LOT COVERAGE DIAGRAM:



SHEET INDEX

ARCHITECTURAL	
A0.0	COVER SHEET
A0.1	DEMONSTRATION OF SCALE NORTHWEST CORNER
A0.2	DEMONSTRATION OF SCALE NORTH SIDE
A0.3	EXTERIOR MATERIALS
AB1.0	EXISTING SITE PLAN
A1.0	PROPOSED SITE/ROOF PLAN
A2.1	PROPOSED FIRST FLOOR PLAN
A2.2	PROPOSED SECOND FLOOR PLAN
A2.3	PROPOSED THIRD FLOOR PLAN
A2.4	PROPOSED REFLECTED CEILING PLANS
A3.0	PROPOSED EXTERIOR ELEVATIONS
A4.0	PROPOSED BUILDING SECTIONS
A4.1	PROPOSED BUILDING SECTIONS
LANDSCAPE	
L1.0	PROPOSED LANDSCAPE PLAN
CIVIL	
C-1	GRADING DRAINAGE & UTILITY PLAN
C-2	EROSION & SEDIMENT CONTROL & STAGING PLAN
C-3	CIVIL DETAILS
C-4	CONSTRUCTION BMP CHECKLIST

CLIENTS:

GREG BARSH & CAROLYN RUSSO
700 MARINA COTTAGE DRIVE
MEMPHIS, TN 38103

KATKIN ARCHITECTURE
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EL GRANADA CA 94018
415.706.0981

BARSH-RUSSO RESIDENCE

000 BALBOA
EL GRANADA, CA
APN 047-207-060/070

ISSUE:

NO.	DESCRIPTION	DATE
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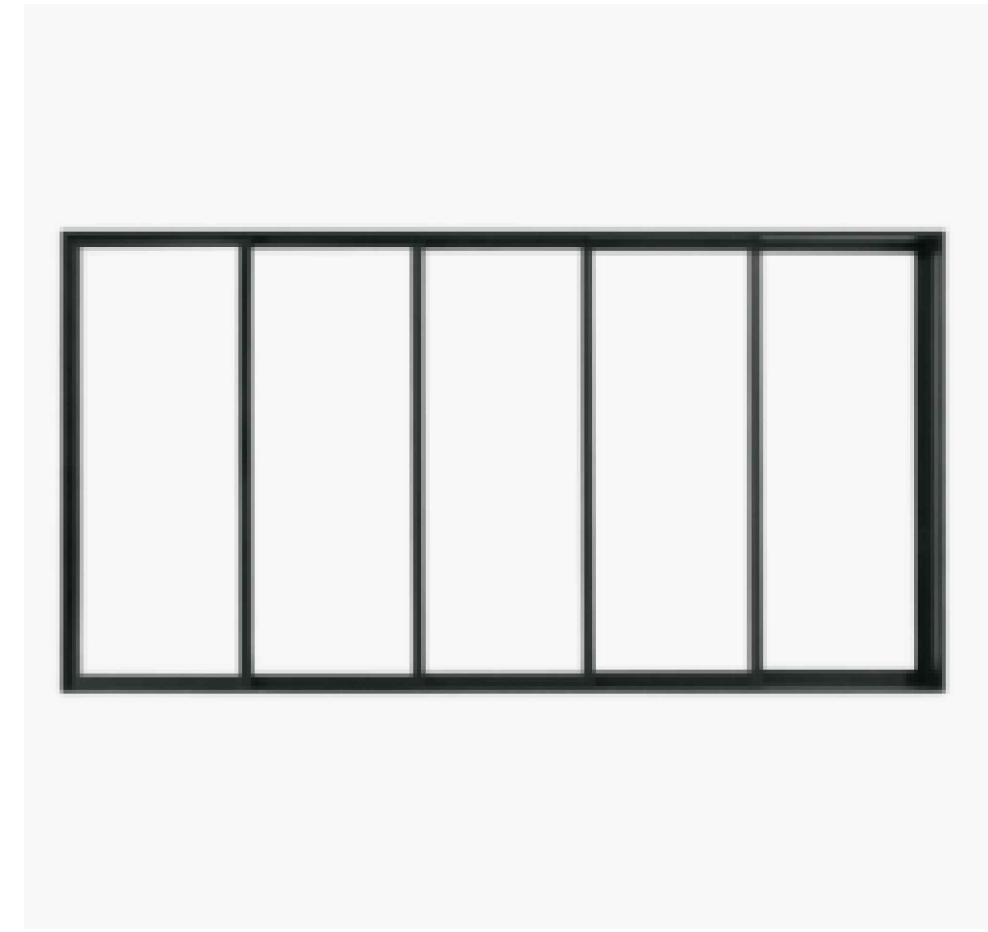
DESIGN REVIEW

SCALE: N.T.S.

SHEET DATE: 01.13.2022

A0.0
CODES, VICINITY MAP,
PROJECT DESCRIPTION,
SHEET INDEX

EXTERIOR PRODUCTS



WINDOWS AND MULTISLIDE DOORS:
MARVIN MODERN SIGNATURE
FIBERGLASS. COLOR: BLACK



ENTRY DOORS:
SIX LITE FIBERGLASS OR MTL.
COLOR: BLACK

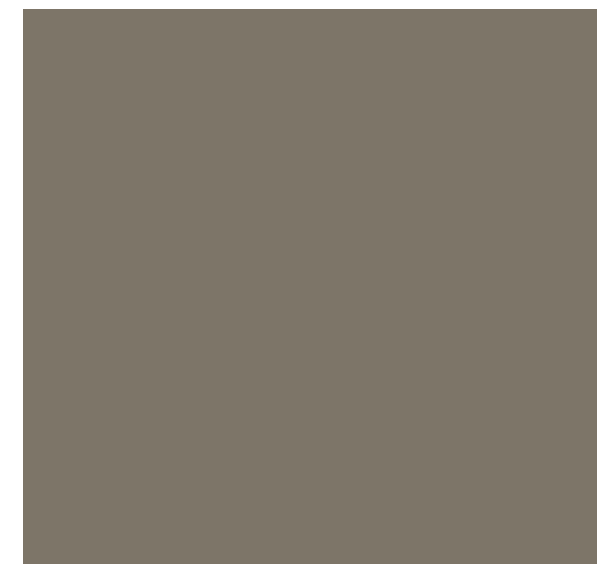


GARAGE DOORS:
CLOPAY CANYON RIDGE MODERN
3" PLANK W/ HALF SIDE LITES
COLOR: BLACK

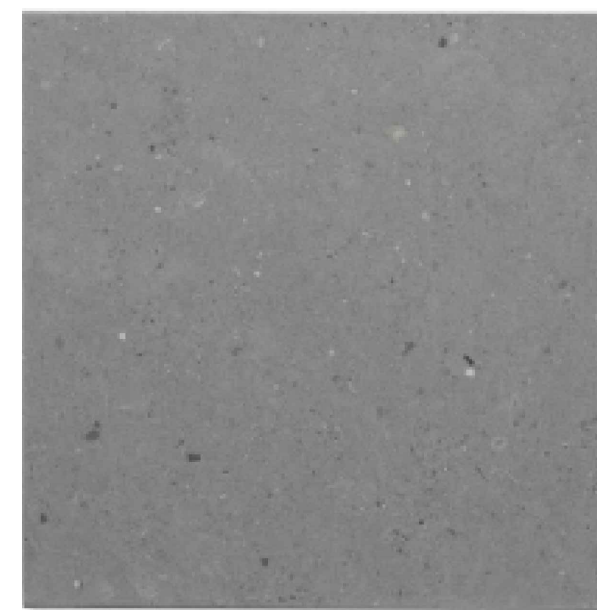
EXTERIOR FINISHES AND LIGHTS (ALL EXTERIOR LIGHTING DARK SKY RATED)



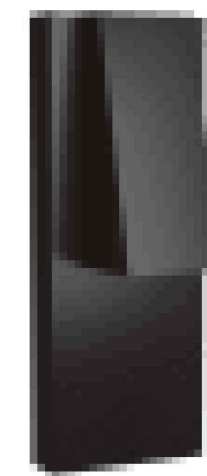
PRIMARY SIDING:
BORAL WOOD GRAIN
6" NICKEL GAP
STAINED: WARM MEDIUM BROWN



SECONDARY SIDING:
PAINTED SMOOTH STUCCO
COLOR: MEDIUM WARM GREY



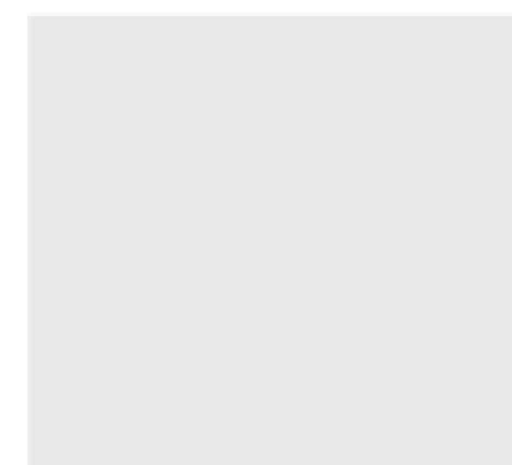
DECK PAVERS:
LA PALMA LIMESTONE



EXTERIOR SCONCES
TECH LIGHTING: PEAK"
13" COLOR DIMMING LED
COLOR: BLACK



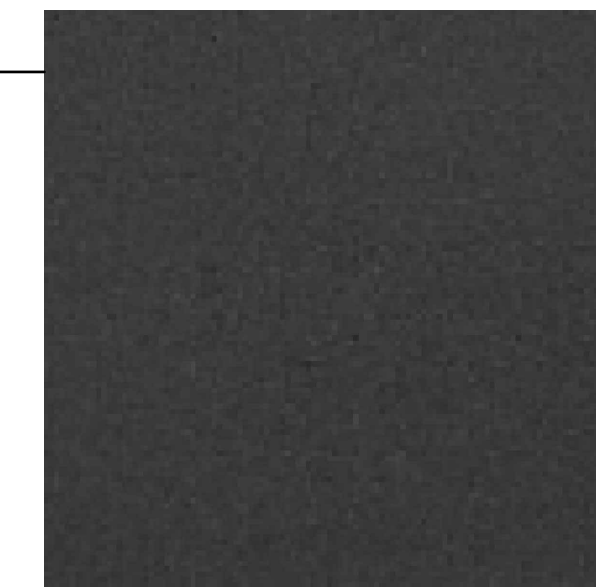
EXTERIOR PATH LIGHTS
KICHLER "TUBING" OR EQ.
PATH LIGHT



Energy Gray 322

PRIMARY ROOFING
TPO
COLOR: ENERGY GREY

FASCIA & ACCENT SIDING:
POWDER COATED/PTD.
GAVLAVNIZED ALUM.
COLOR: MATTE BLACK



DECK RAILS: GLASS



EXTERIOR DOWNLIGHTS
NORA LED DAMP RATED
3000 K



EXTERIOR PATH LIGHTS
WAC LED HORIZONTAL
STEP LIGHT



GREEN ROOF
SEMPER GREEN OR EQ.
SEDUM MIXED BLANKET



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PROJECT:

BARSH-RUSSO
RESIDENCE
000 BALBOA
EL GRANADA, CA
APN 047-207-060/070

ISSUE:

NO.	DESCRIPTION	DATE

DESIGN REVIEW

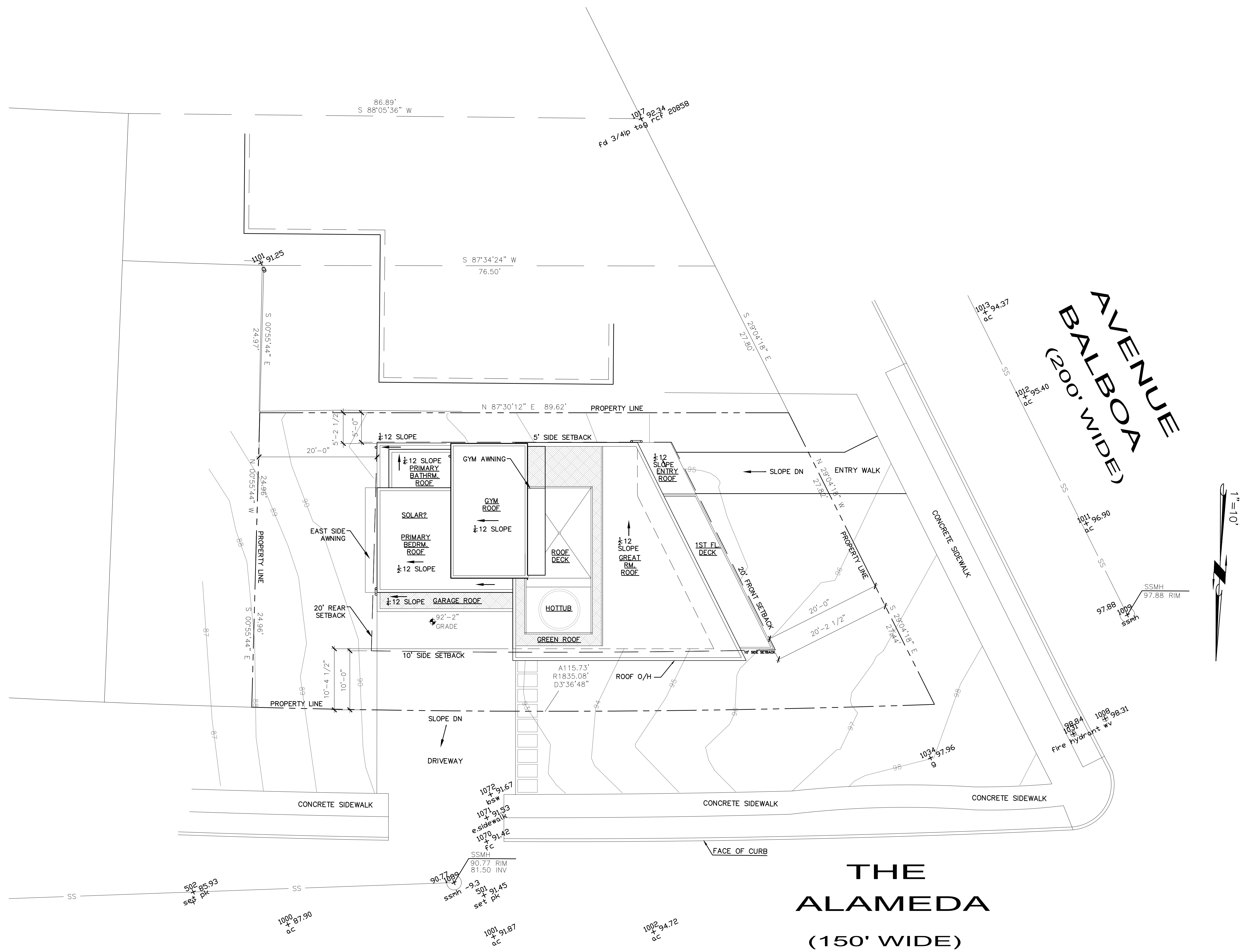
SCALE: N.T.S.

SHEET DATE: 01.13.2022

A0.3
EXTERIOR MATERIALS

CLIENTS:
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PROJECT:

**BARSH-RUSSO
 RESIDENCE**
 000 BALBOA
 EL GRANADA, CA
 APN 047-207-060/070

ISSUE:

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DESIGN REVIEW

SCALE: 1/8"=1'-0"

SHEET DATE: 01.13.2022

A1.0
 PROPOSED
 SITE/ROOF PLAN

CLIENTS:
**GREG BARSH &
 CAROLYN RUSSO**
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 P.O. BOX 2115
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 415.706.0981

LICENSED ARCHITECT
**REBECCA
 SHAW KATKIN**
 NO. C-30747
 1.31.23
 RENEWAL DATE
Rebecca Katkin
 STATE OF CALIFORNIA

PROJECT:

**BARSH-RUSSO
 RESIDENCE**
 000 BALBOA
 EL GRANADA, CA
 APN 047-207-060/070

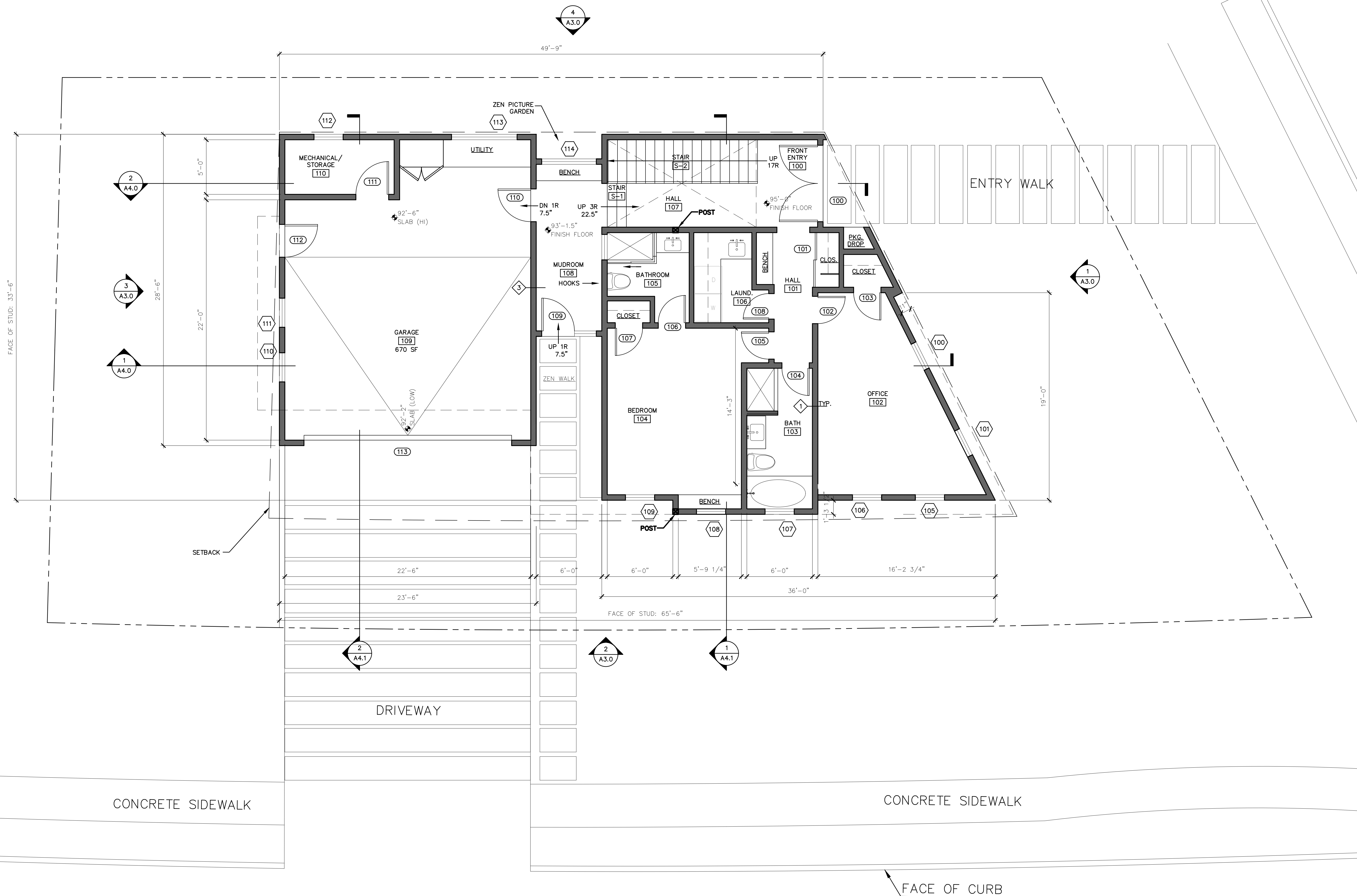
ISSUE:
 NO. DESCRIPTION DATE

DESIGN REVIEW

SCALE: 1/4"=1'-0"

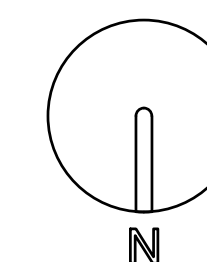
SHEET DATE: 01.13.2022

A2.1
 PROPOSED FIRST
 FLOOR PLAN



INTERIOR PARTITION SCHEDULE

- ① 2X4 INTERIOR WALL
- ② 2X6 INTERIOR WALL W/ SOUND INSULATION. TYP. © POCKET DOORS
- ③ 1 HR. FIRE RATED WALL ASSEMBLY





PROJECT:

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 RESIDENCE**
 000 BALBOA
 EL GRANADA, CA
 APN 047-207-060/070

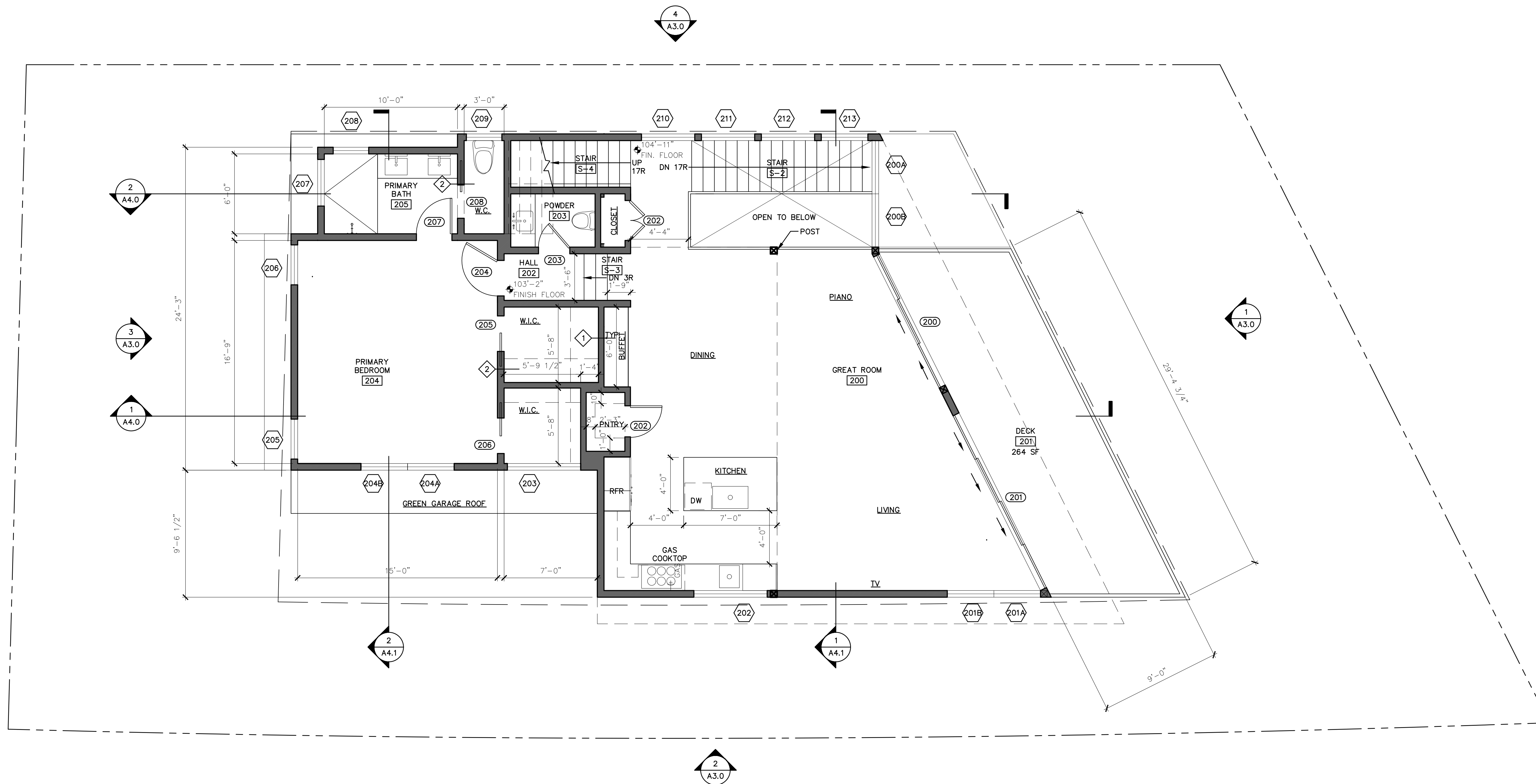
ISSUE:
 NO. DESCRIPTION DATE

DESIGN REVIEW

SCALE: 1/4"=1'-0"

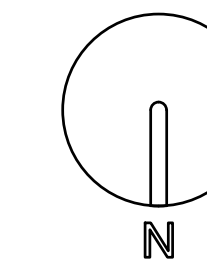
SHEET DATE: 01.13.2022

A2.2
 PROPOSED SECOND
 FLOOR PLAN



INTERIOR PARTITION SCHEDULE

- ① — 2X4 INTERIOR WALL
- ② — 2X6 INTERIOR WALL W/ SOUND INSULATION. TYP. © POCKET DOORS
- ③ — 1 HR. FIRE RATED WALL ASSEMBLY

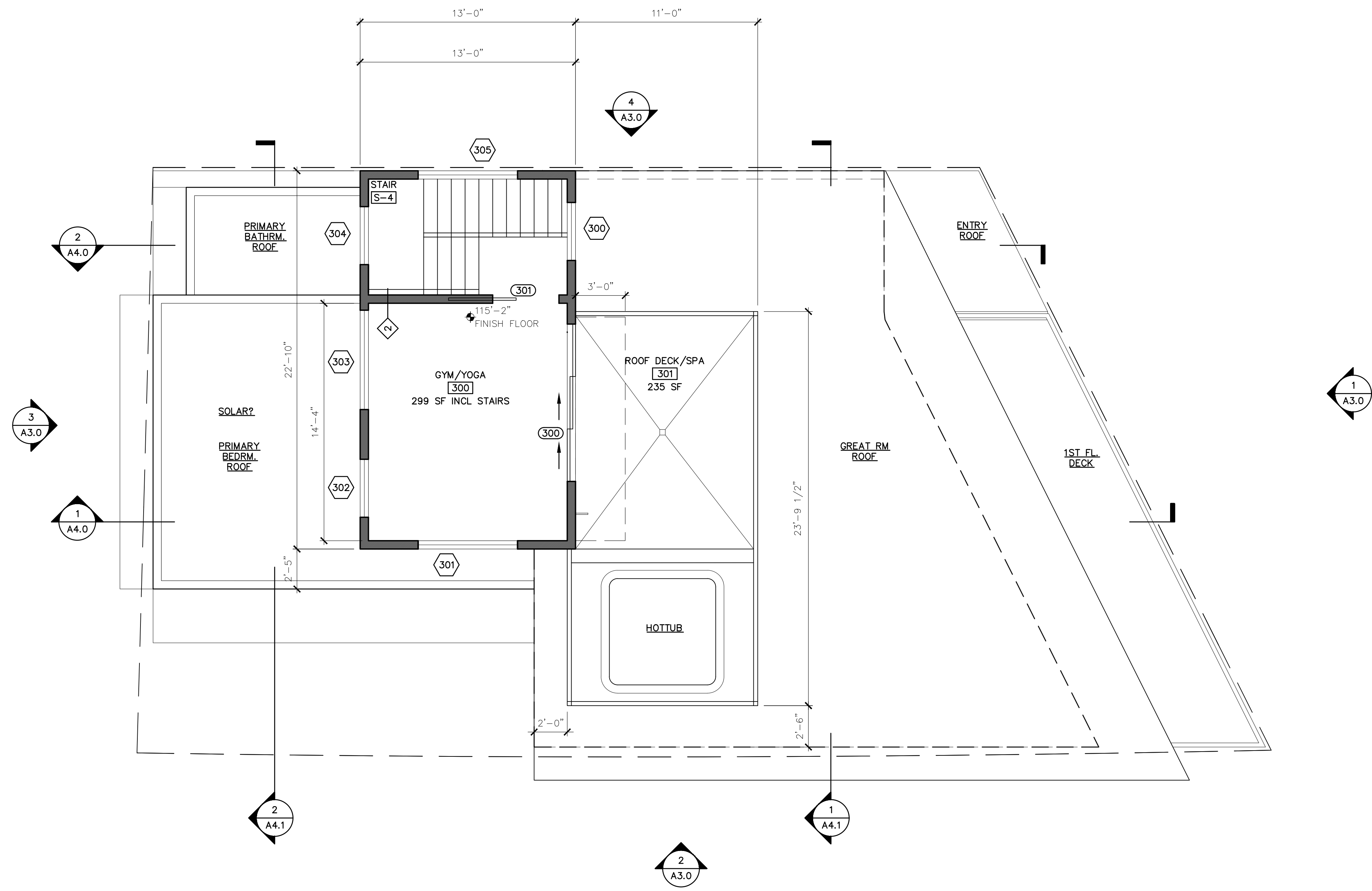


GENERAL NOTES

A2.2
 PROPOSED SECOND
 FLOOR PLAN

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 700 MARINA COTTAGE DRIVE
 MEMPHIS, TN 38103

**KATKIN
 ARCHITECTURE**
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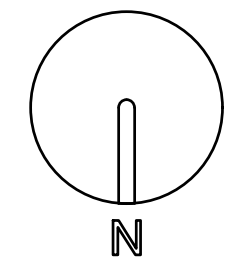


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 APN 047-207-060/070

INTERIOR PARTITION SCHEDULE

- ① — 2X4 INTERIOR WALL
- ② — 2X6 INTERIOR WALL W/ SOUND INSULATION. TYP. @ POCKET DOORS
- ③ — 1 HR. FIRE RATED WALL ASSEMBLY



GENERAL NOTES

ISSUE:
 NO. DESCRIPTION DATE

DESIGN REVIEW

SCALE: 1/4"=1'-0"

SHEET DATE: 01.13.2022

A2.3
 PROPOSED THIRD
 FLOOR PLAN

CLIENTS:

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APN 047-207-060/070

ISSUE:

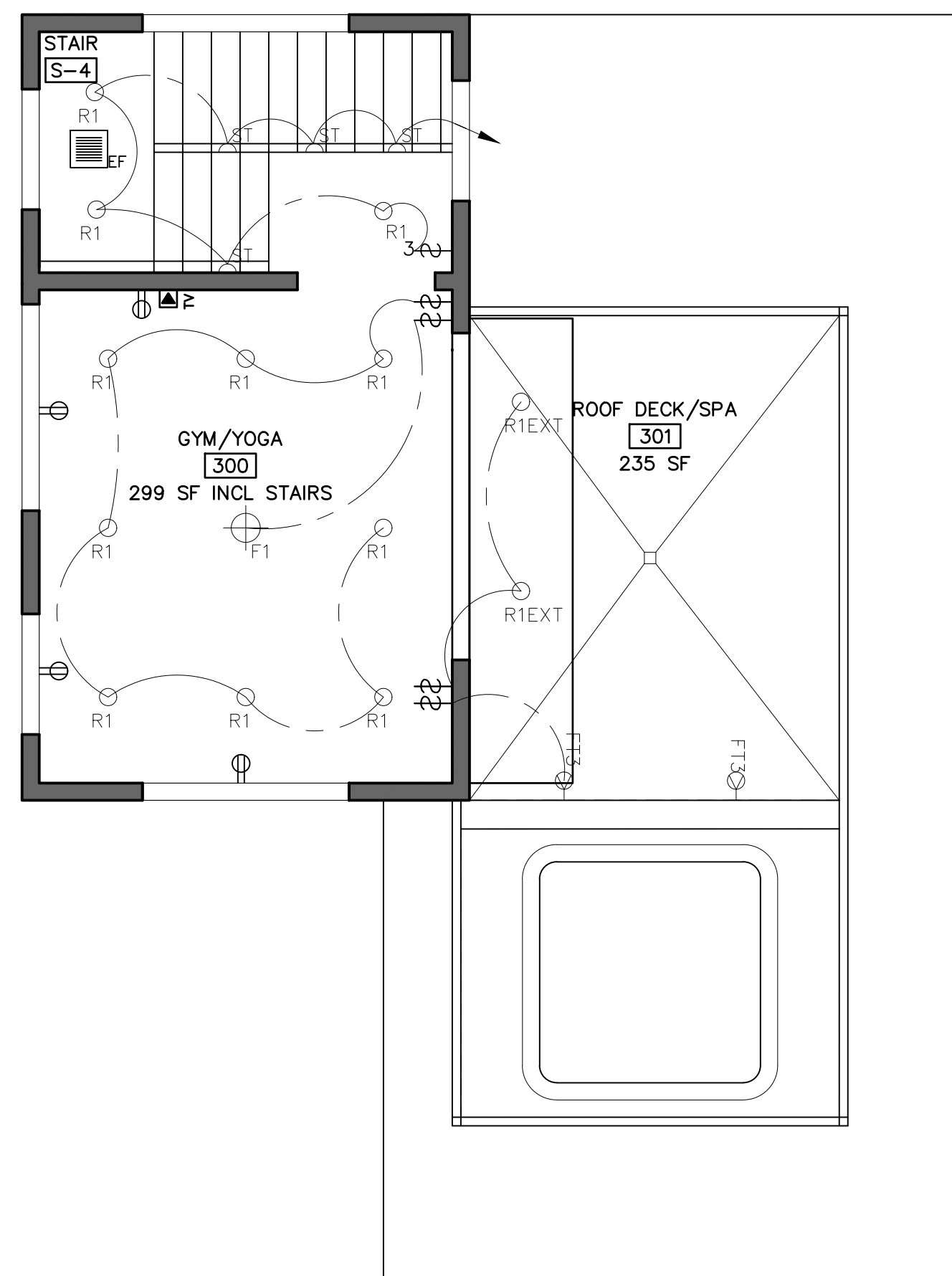
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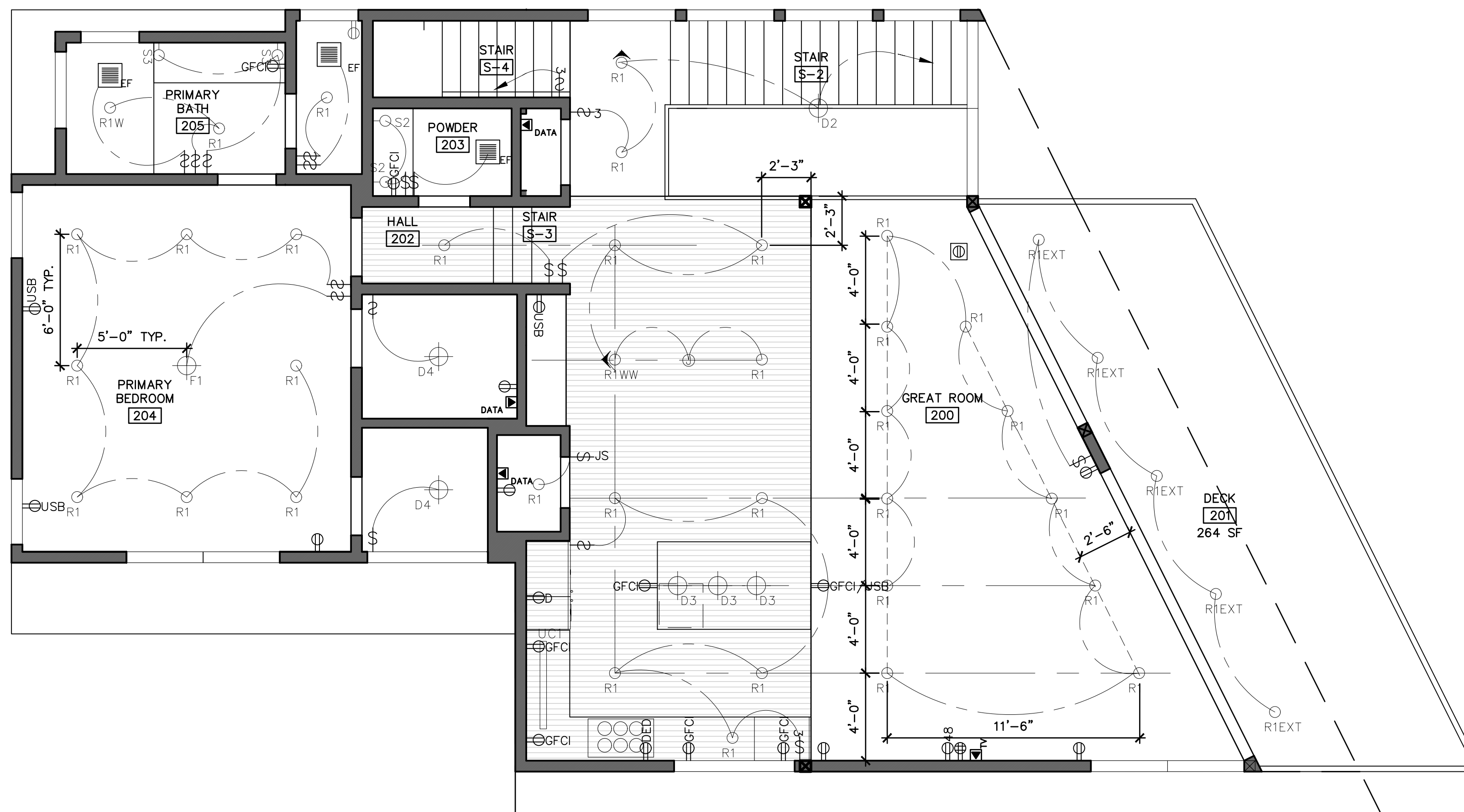
SCALE: 1/4"=1'-0"

SHEET DATE: 01.13.2022

A2.4
PROPOSED
REFLECTED CEILING
PLANS



3 PROPOSED THIRD FLOOR REFLECTED CEILING PLAN
1/4"=1'-0"



2 PROPOSED SECOND FLOOR REFLECTED CEILING PLAN
1/4"=1'-0"

LIGHTING LEGEND:

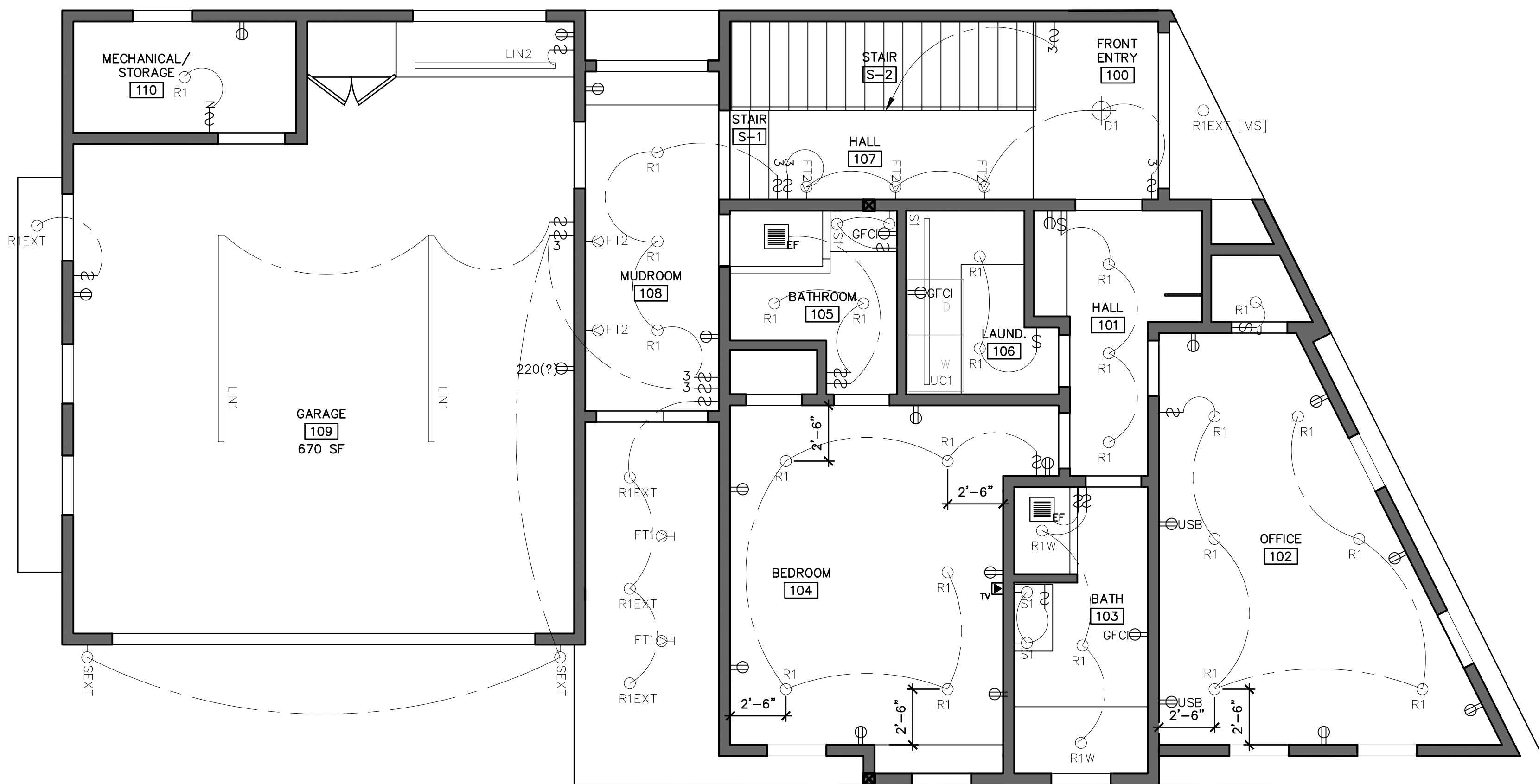
- R1 LED CAN DOWNLIGHT
- R1W LED CAN DOWNLIGHT - WET LOCATION
- R1WW LED CAN WALL WASH
- R1EXT LED CAN DOWNLIGHT - EXTERIOR
- ⊕ D DECORATIVE CEILING FIXTURE
- ⊕ F CEILING FAN
- S WALL SCONCE
- SEXT EXTERIOR SCONCE
- ▮ LIN LINEAR SUSPENSION
- ▮ UC LED TAPE LIGHT
- ⊕ FT FOOT LIGHT
- ⊕ ST STEP LIGHT
- ⊕ EF EXHAUST FAN

ELECTRICAL LEGEND:

- ⊕ RECEPTACLE
- ⊕ GFCI GFCI RECEPTACLE
- ⊕ GFCI EXT GFCI EXTERIOR RECEPTACLE (COORD. VOLTAGE AS INDICATED)
- ⊕ 220 220V RECEPTACLE
- ⊕ SWITCH - WIFI ENABLED DIMMABLE CONTROL
- ⊕ JS JAMB SWITCH
- ⊕ 3=3WAY SWITCH - WIFI ENABLED DIMMABLE CONTROL
- ⊕ DATA DATA PORT - CAT 6
- ⊕ HVAC SUPPLY/RETURN/WHOLE HOUSE FAN
- ⊕ JUNCTION BOX

LIGHTING & ELECTRICAL NOTES:

1. ALL SWITCHES TO BE WIFI CAPABLE AND WITH DIMMING CONTROL. Lutron PD-5ANS-WH-R OR SIM. COORD. W/ ARCH. & OWNERS
2. ALL LIGHTING TO BE HIGH EFFICACY
4. ALL LIGHTING CONTROLS TO BE DIMMABLE
5. SPEAKERS, A/V SYSTEMS, AND SMART HOME FUNCTIONS T.B.D.



1 PROPOSED FIRST FLOOR REFLECTED CEILING PLAN
1/4"=1'-0"

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PROJECT:

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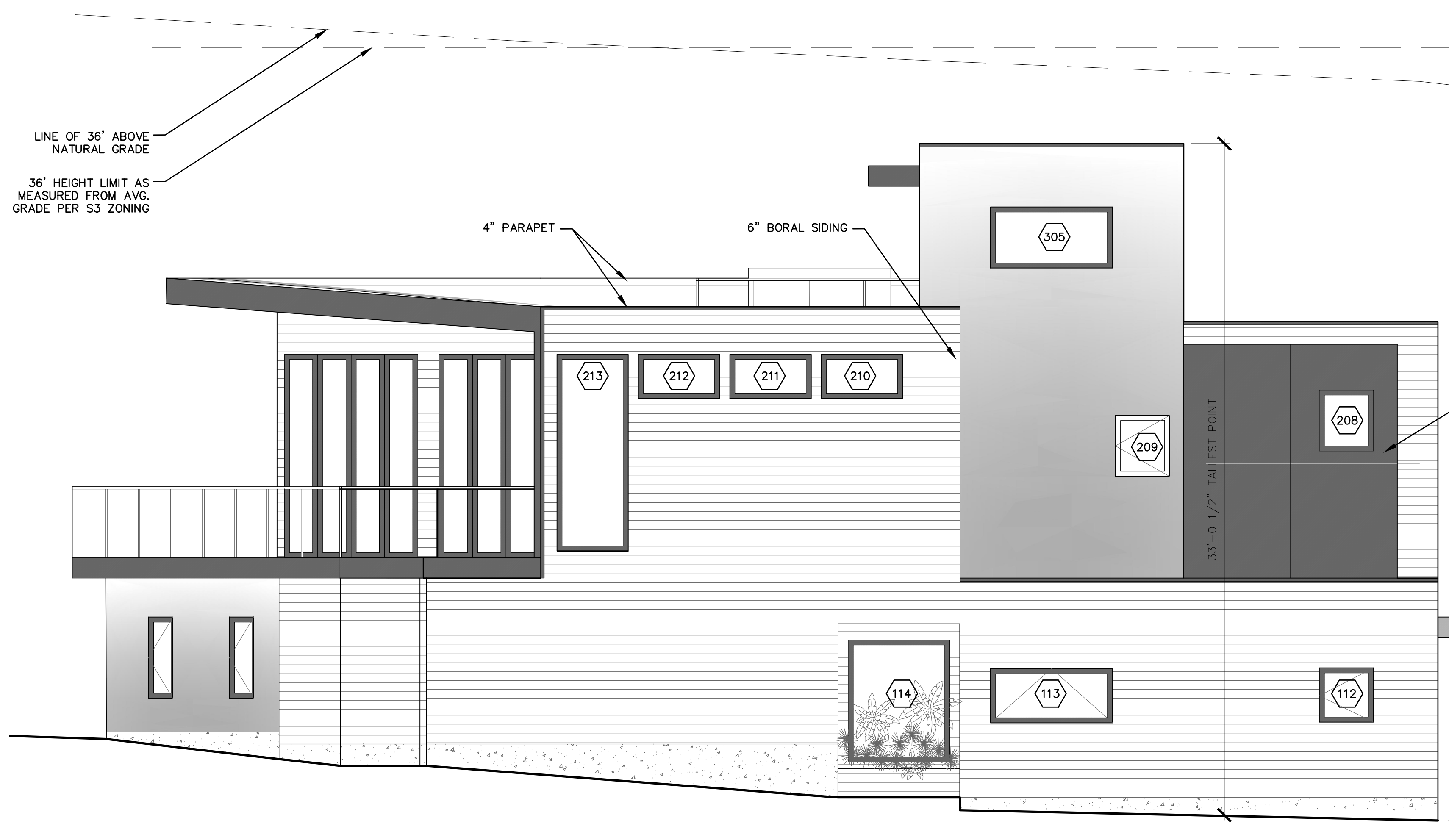
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NO.	DESCRIPTION	DATE

DESIGN REVIEW

SCALE: 1/4"=1'-0"
 SHEET DATE: 01.13.2022

A3.0
 PROPOSED EXTERIOR
 ELEVATIONS



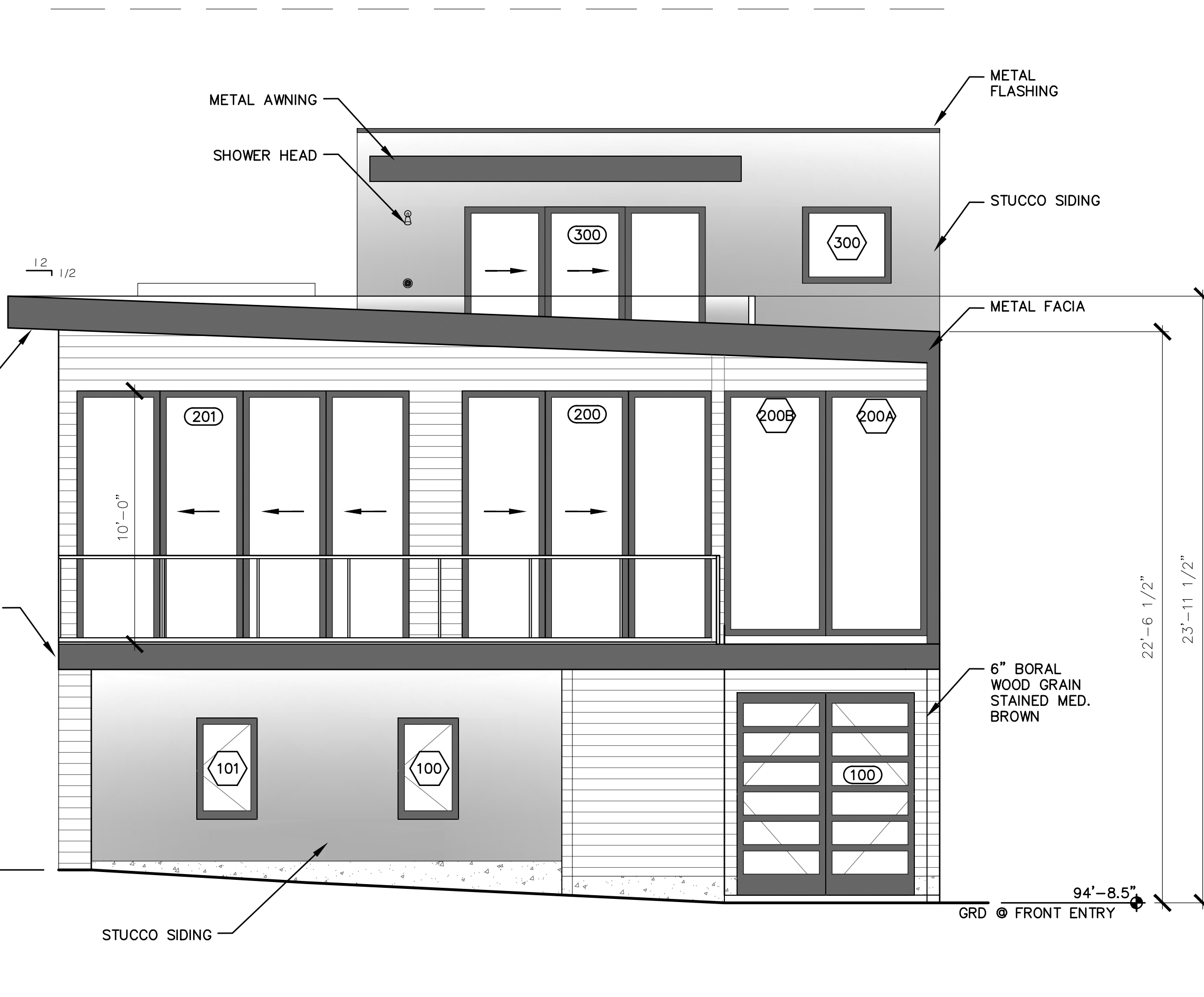
④ SOUTH EXTERIOR ELEVATION
 1/4"=1'-0"



③ EAST EXTERIOR ELEVATION
 1/4"=1'-0"



② NORTH EXTERIOR ELEVATION
 1/4"=1'-0"



① WEST EXTERIOR ELEVATION
 1/4"=1'-0"



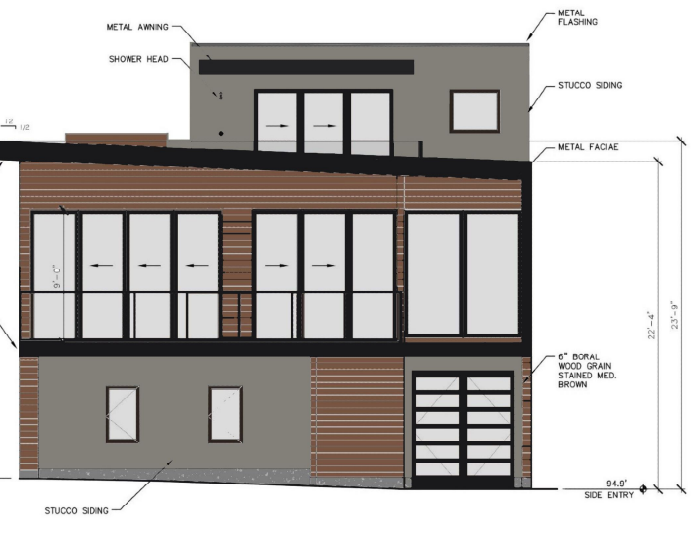
④ SOUTH EXTERIOR ELEVATION
1/4"=1'-0"



③ EAST EXTERIOR ELEVATION
1/4"=1'-0"



② NORTH EXTERIOR ELEVATION
1/4"=1'-0"



① WEST EXTERIOR ELEVATION
1/4"=1'-0"

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PROJECT:

BARSH-RUSSO RESIDENCE
000 BALBOA
EL GRANADA, CA
APN 047-207-060/070

REVISION STATUS:

REV.	DATE	DESCRIPTION

SCALE: 1/4"=1'-0"
DATE: 10.12.2021
PHASE: PLANNING PERMIT

A3.0
PROPOSED EXTERIOR ELEVATIONS

CLIENTS:
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LICENSED ARCHITECT
 REBECCA
 SHAW KATKIN
 NO. C-30747
 1.31.23
 RENEWAL DATE
Rebecca Shaw Katkin
 ARCHITECT
 OF CALIFORNIA

PROJECT:

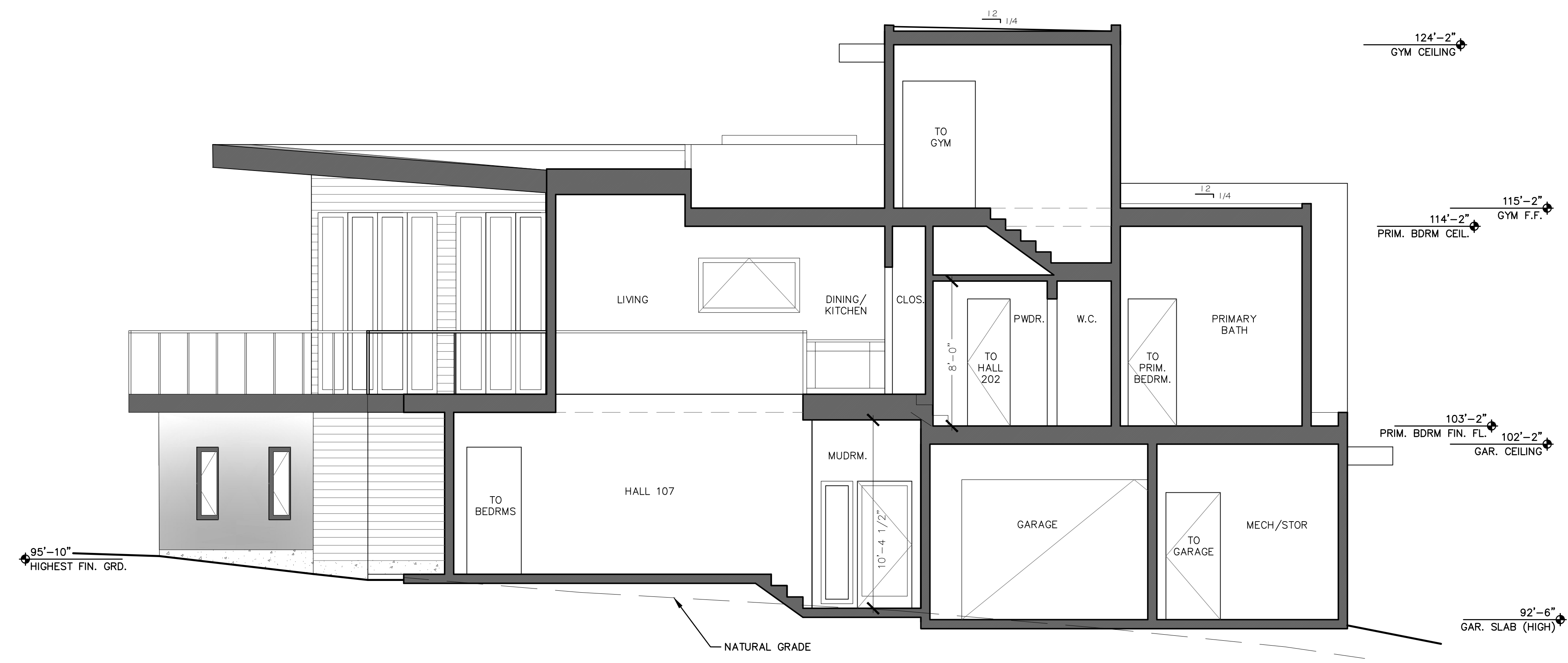
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 APN 047-207-060/070

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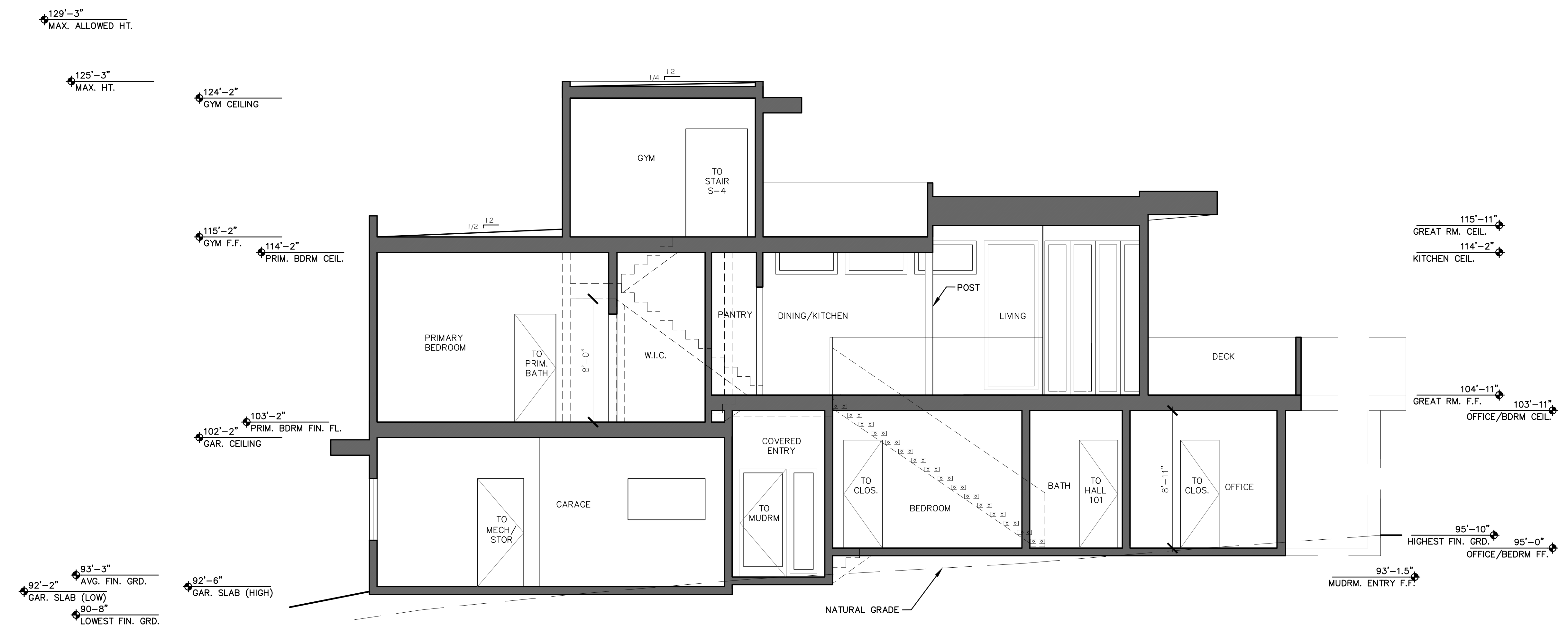
DESIGN REVIEW

SCALE: 1/4"=1'-0"
 SHEET DATE: 01.13.2022

A4.0
 PROPOSED BUILDING
 SECTIONS



2 PROPOSED WEST TO EAST SECTION
 1/4"=1'-0"



1 PROPOSED EAST TO WEST SECTION
 1/4"=1'-0"

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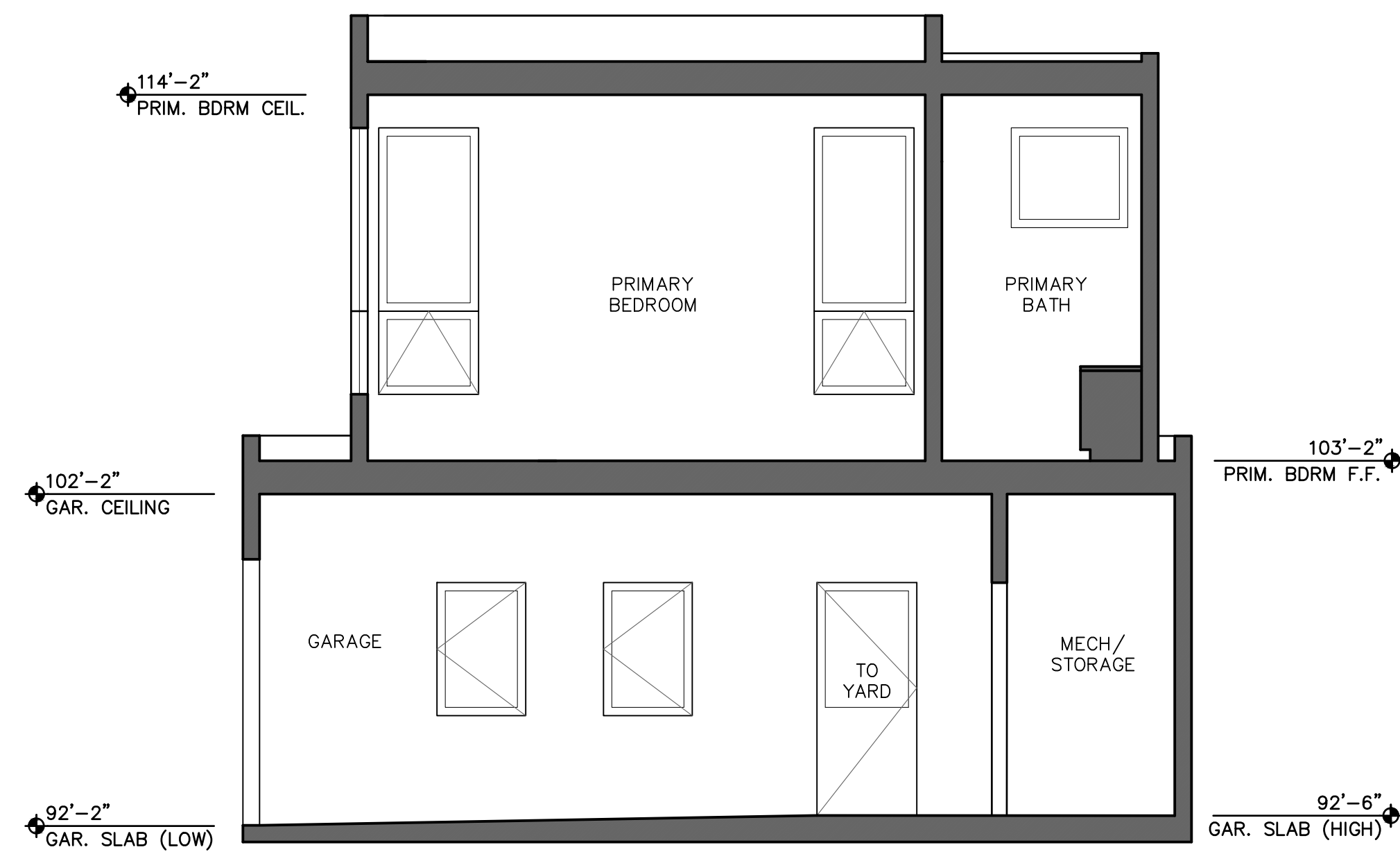
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A4.1
PROPOSED BUILDING
SECTIONS



2 PROPOSED N TO S SECTION, GARAGE & PRIM. BDRM. ROOF
1/4"=1'-0"

129'-3"
MAX. ALLOWED HT.

125'-3"
MAX. HT.

93'-3"
AVG. FIN. GRD.

90'-8"
LOWEST FIN. GRD.



1 PROPOSED N TO S SECTION, BEDROOM & GREAT RM.
1/4"=1'-0"

PLANT LEGEND	TYPE	SPECIES	SIZE	QUANT.
1.	SUCCULENT	AGAVE AMERICANA	2'-4' TALL"	9
2.	FLOWERING PERENNIAL	ANIGOZANTHOS GOLD VELVET "KANGAROO PAW"	3'-4' TALL"	18
3.	FLOWERING PERENNIAL	GREIVILLIA PEACHES AND CREAM	4'-6' TALL"	9
4.	PERENNIAL GRASS	CHONDROPETALUM ELEPHANTINUM	4'-6' TALL"	7
5.	FLOWERING PERENNIAL	ACACIA COGNATAACACIA (COUSIN ITT)	2'-3' TALL"	15
6.	FLOWERING TREE	CEANOTHUS RAY HARTMAN	15'	2
7.	FRUIT TREE	CITRUS MEYER-PROVED MEYER LEMON	6'-10'	1

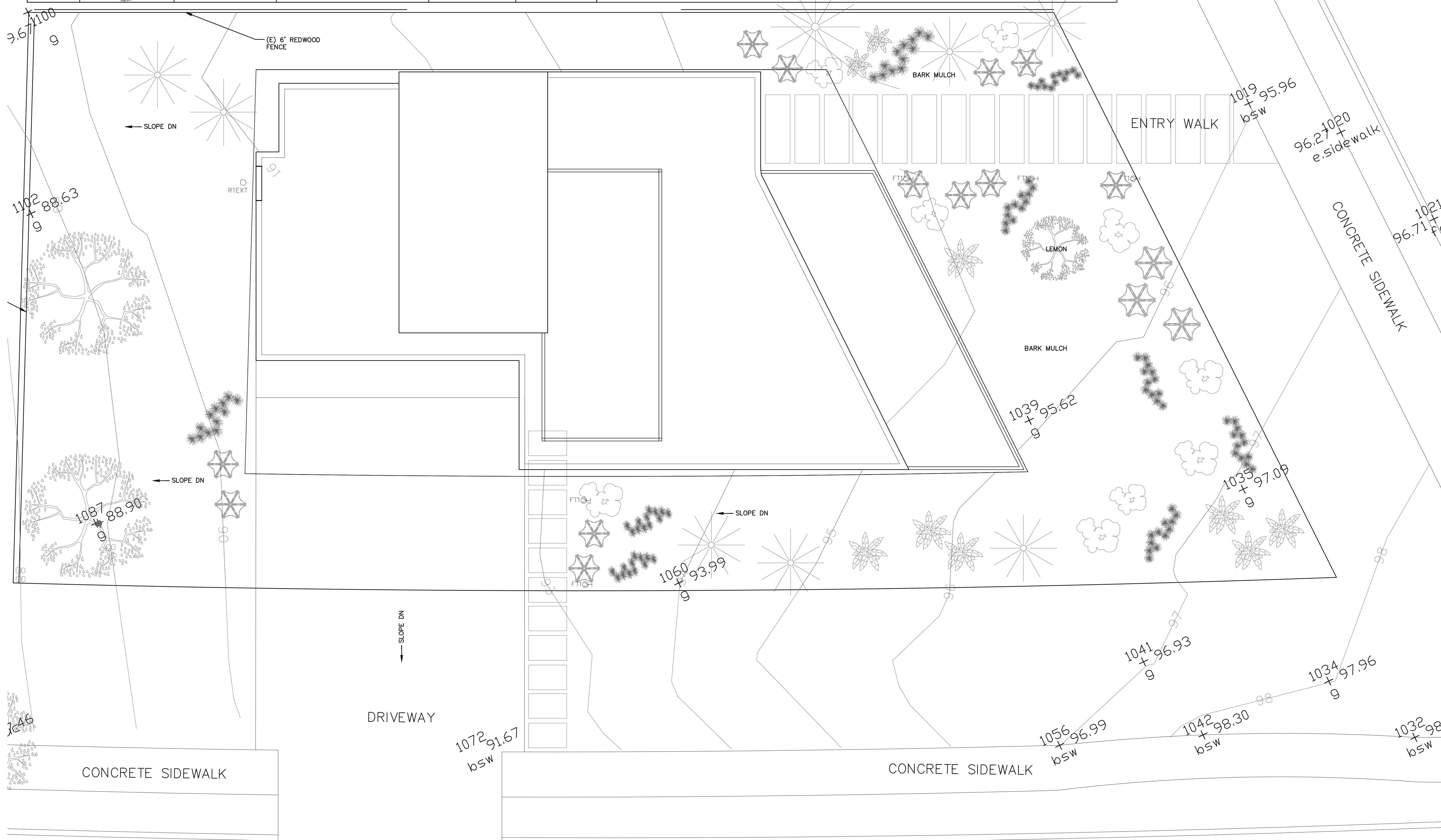


LANDSCAPE NOTES:

1. A MINIMUM THREE INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS, EXCEPT TURF AREAS, CREEPING OR ROOTING GROUND COVERS, OR DIRECT SEEDING APPLICATIONS, WHERE MULCH IS CONTRA INDICATED.
2. MINIMUM 75% OF PLANTINGS SHALL HAVE A WUCOLS PLANT FACTOR OF 0.3
3. AT THE TIME OF FINAL INSPECTION THE PERMIT APPLICANT MUST SUPPLY THE OWNER WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE & IRRIGATION MAINTENANCE.
4. UNLESS CONTRADICTED BY THE SOILS TEST, COMPOST AT A RATE OF MIN. 4 CUBIC YARDS PER 1,000 S.F. OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL

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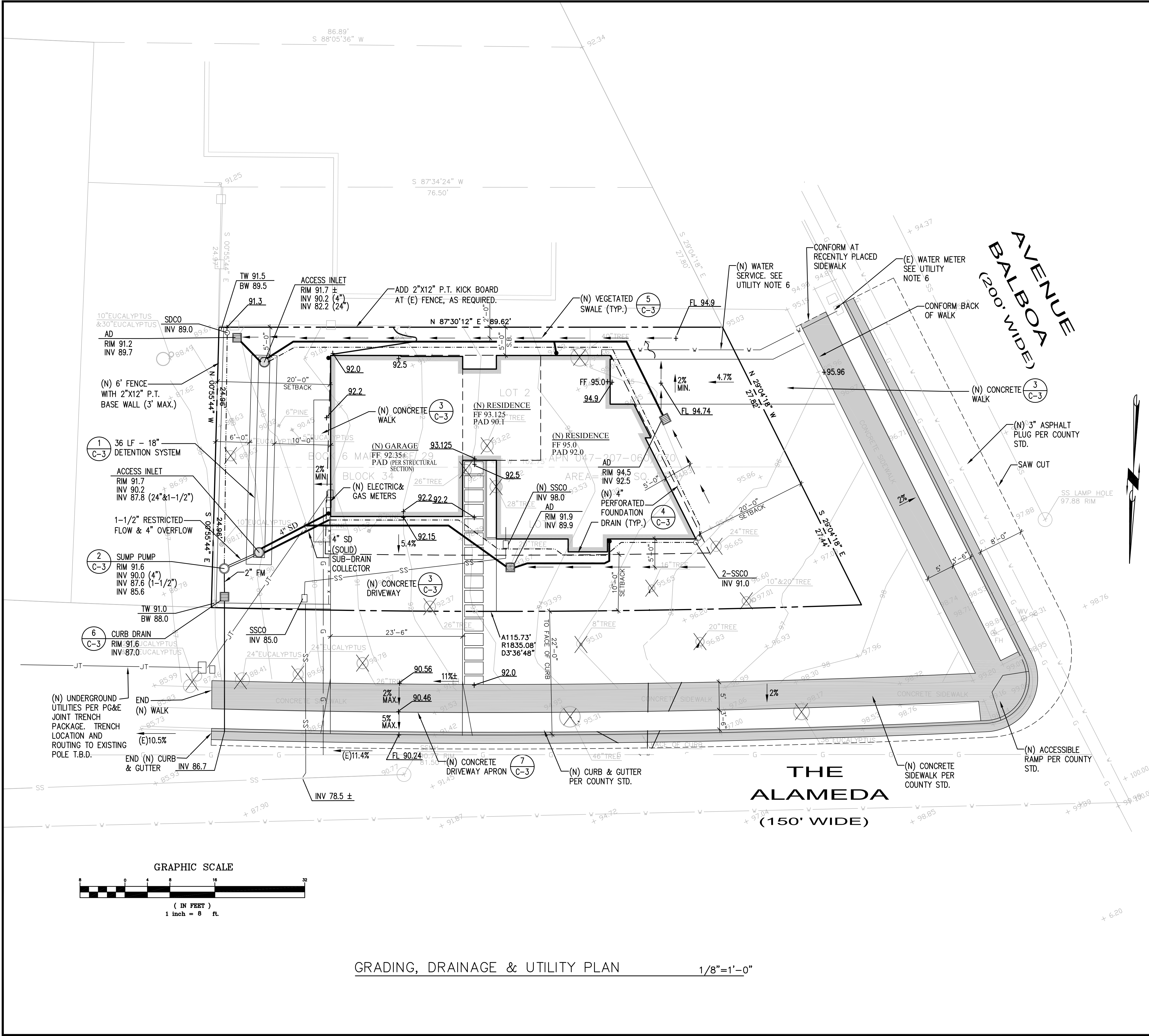
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DESIGN REVIEW

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 SHEET DATE: 01.13.2021

L1.0
 LANDSCAPE PLAN



GRADING, DRAINAGE & UTILITY PLAN 1/8"=1'-0"

- GENERAL NOTES:**
- CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS & SETBACKS WITH ARCHITECTURAL PLANS.
 - TOPOGRAPHIC INFORMATION PROVIDED BY SAVIOR P. MICALLEF LAND SURVEYING, DATED MARCH 13, 2021.
 - SLOPE PORCHES, LANDINGS AND TERRACES 2% AWAY FROM RESIDENCE.
 - PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM THE HOUSE PERIMETER BY SLOPING THE FINISHED GROUND SURFACE AT LEAST 5% AWAY FROM RESIDENCE.
 - CONTRACTOR TO CONTACT SOILS ENGINEER TO COORDINATE INSPECTIONS AT LEAST ONE WEEK PRIOR TO PENDING INSPECTIONS.
 - ALL GRADING AND TRENCH BACKFILL TO BE PERFORMED PER THE GEOTECHNICAL ENGINEERS RECOMMENDATIONS. ALL FOUNDATION DRAINS AND BASEMENT SUBDRAINS TO BE INSTALLED PER GEOTECHNICAL ENGINEER'S RECOMMENDATIONS AND ALL INSTALLATIONS TO BE INSPECTED BY GEOTECHNICAL ENGINEER.
 - IT IS RECOMMENDED THAT AN AS-BUILT PLAN FOR THE DRAINAGE SYSTEM BE PREPARED AT THE COMPLETION OF CONSTRUCTION.
 - THE OWNER RECOGNIZES THAT THE DRAINAGE FACILITIES WILL NEED TO BE PERIODICALLY CLEANED OF DEBRIS DURING THE FUNCTIONAL LIFE OF THE SYSTEM.
 - CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS. THEY SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING. VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES BEFORE STARTING CONSTRUCTION.
 - ANY SITE WORK THAT DEVIATES FROM WHAT IS SHOWN ON THE PLANS SHALL HAVE THE ENGINEER'S APPROVAL PRIOR TO PROCEEDING WITH THE DEVIATING WORK ITEM.
 - CONTRACTOR SHALL CALL "UNDERGROUND SERVICE ALERT" (800) 642-2444, 48 HOURS PRIOR TO EXCAVATION.
 - FOR ADDITIONAL SITE LAYOUT INFORMATION SEE ARCHITECTURAL AND LANDSCAPE PLANS.
 - CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE TOWN OF EL GRANADA PRIOR TO PERFORMING ANY WORK WITHIN THE PUBLIC RIGHT OF WAY OR WORK ON TOWN UTILITIES LIKE WATER, SEWER, AND STORM DRAINAGE.
 - CONTRACTOR SHALL ADHERE TO "BEST MANAGEMENT PRACTICES" (BMP)'S GUIDELINES DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR STORING, USING, AND DISPOSING OF ALL HAZARDOUS MATERIALS, IN ACCORDANCE WITH ALL STATE AND LOCAL LAWS. SEE CONSTRUCTION BMP'S CHECKLIST PLAN SHEET.
 - CONTRACTOR SHALL REVIEW AND UNDERSTAND GRADING AND DRAINAGE GUIDELINES SET FORTH IN THE GEOTECHNICAL REPORT PRIOR TO STARTING ANY SITE WORK.
 - CONTRACTOR SHALL ADHERE TO CAL OSHA STANDARD WHEN GRADING AND EXCAVATING.
 - PER TOWN, "UNLESS OTHERWISE APPROVED BY THE FIRE DEPT., ALL NEW OR RECONFIGURED DRIVEWAYS SHALL HAVE MIN. WIDTH OF FOURTEEN FEET, WITH MAX SLOPE OF 16%, EXCEPT THAT THE FIRST FIFTEEN FEET SHALL HAVE SLOPE NO GREATER THAN 5%." DRIVEWAY SHALL BE ALL WEATHER ROAD SURFACE TO SUPPORT FIRE APPARATUS.
 - ALL CONNECTIONS TO TOWN WATER/SEWER/STORM DRAIN FACILITIES AND ONSITE DETENTION FACILITIES SHALL BE INSPECTED BY TOWN PRIOR TO TRENCH BACKFILL. CONTRACTOR SHALL COORDINATE WITH THE TOWN OF EL GRANADA PUBLIC WORKS DEPARTMENT FOR INSPECTION.
 - ANY DAMAGE RIGHT OF WAY INFRASTRUCTURES AND OTHERWISE DISPLACED CURB, GUTTER AND/OR PARKING STRIP SHALL BE REMOVED AND REPLACED, AS DIRECTED BY THE TOWN ENGINEER OR HIS DESIGNEE. CONTRACTOR SHALL COORDINATE WITH STREET DEPARTMENT SUPERVISOR, FOR SITE VISIT PRIOR TO FINAL SIGN-OFF.
 - CONTRACTOR/PERMITEE SHALL SCHEDULE TWO INSPECTIONS WITH THE PUBLIC WORKS DEPARTMENT FOR THE PARKING STRIP INSTALLATION: (1) AFTER THE COMPACTION OF THE BASE/BEDDING MATERIAL AND (2) UPON THE COMPLETION.
 - ALL GRADING FOR WHICH THE TOWN HAS REQUIRED A SOILS REPORT SHALL BE SUPERVISED. DURING THE PLACEMENT AND COMPACTION PERIOD, BY THE SOILS ENGINEER OF RECORD AND SHALL BE PERFORMED IN CONFORMANCE WITH THE PROVISIONS OF EL GRANADA MUNICIPAL CODE AND CHAPTER 33 OF THE UNIFORM BUILDING CODE (UBC). THE SOILS ENGINEER SHALL CERTIFY SUCH GRADING WORK, UPON COMPLETION OF THE WORK, IN WRITING AND PROVIDED TO TOWN PRIOR TO FINAL SIGN-OFF. THE TOWN ENGINEERING DEPARTMENT SHALL CONTACTED FOR TWO (2) INSPECTIONS (650.375.7444). FIRST, INSPECTION FOLLOWING COMPLETION OF MASS GRADING BUT PRIOR TO THE FIRST FOUNDATION INSPECTION. SECOND, FOLLOWING COMPLETION OF ALL GRADING OPERATIONS, BUT PRIOR TO LANDSCAPE INSTALLATION.
 - CIVIL ENGINEER AND SOILS ENGINEER OF RECORD SHALL PROVIDE PROFESSIONAL INSPECTIONS WITHIN SUCH ENGINEER'S AREA OF TECHNICAL SPECIALTY PER SECTION 3317 OF UBC. IN THE COURSE OF FULFILLING THEIR RESPECTIVE DUTIES, THE ENGINEERS FIND THAT THE WORK IS NOT BEING DONE IN CONFORMANCE WITH HMC, UBC OR THE APPROVED GRADING AND DRAINAGE PLANS. THE DISCREPANCIES SHALL BE REPORTED IMMEDIATELY, IN WRITING, TO THE PERMITTED AND TO THE ENGINEERING DEPARTMENT. FINAL INSPECTION SHALL NOT BE SCHEDULED UNTIL THE CERTIFICATION LETTERS FOR THE CIVIL ENGINEER AND SOILS ENGINEER HAVE BEEN RECEIVED BY THE TOWN.
 - RETAINING WALLS SHALL NOT EXCEED THE ALLOWABLE HEIGHT OF 6' WITHIN THE PROPERTY LINE SETBACK LINE AND 4.5' WITHIN THE AREA BETWEEN PROPERTY LINE AND SETBACK.
 - CONTRACTOR SHALL TAKE EXTREME CARE AND PROTECT ALL EXISTING TREES TO REMAIN, AS REQUIRED BY THE LANDSCAPE PLAN. PROTECTION SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT ARBORIS REPORTS, AND SHALL BE INSPECTED BY THE ARBORIST PRIOR TO THE COMMENCEMENT OF GRADING ACTIVITIES.
 - ALL POOLS (INCLUDING SWIMMING, SPAS, HOT TUBS, AND FOUNTAINS) SHALL DRAIN TO EXISTING SEWER SYSTEM. ALL WATER FROM THESE SYSTEMS SHALL BE DECHLORINATED PRIOR TO BEING DISCHARGED TO THE MUNICIPAL SANITARY SEWER SYSTEM. ANY DISCHARGE OF POOL, SPA, HOT TUB, OR FOUNTAINS TO THE STORM DRAIN SYSTEM IS PROHIBITED.
 - GRADING SHALL OCCUR ONLY BETWEEN MAY 1ST AND SEPTEMBER 30TH, UNLESS OTHERWISE APPROVED IN WRITING BY THE TOWN ENGINEER IN CONJUNCTION WITH AN APPROVED EROSION AND SEDIMENT CONTROL PLAN. GRADING OPERATIONS SHALL BE ACCOMPLISHED ONLY BETWEEN THE HOURS OF 8:00 AM TO 5:00 PM, MONDAY THROUGH FRIDAY, (HMC 15.24.080-G). NORMALLY SCHEDULED CONSTRUCTION ACTIVITIES SHALL ADHERE TO THE TOWN'S NOISE ORDINANCE.
 - FAILURE TO COMPLY WITH ANY PERMIT CONDITION MAY RESULT IN A "STOP WORK" ORDER OF OTHER PENALTY.

- UTILITY NOTES:**
- CONTRACTOR TO ASSIST OWNER IN COORDINATION WITH PG&E FOR THE INSTALLATION/RELOCATION OF GAS, ELECTRIC, PHONE AND TV SERVICES. SIZE OF NEW SERVICE TO BE DETERMINED BY PG&E.
 - CONTRACTOR SHALL ASSIST OWNER TO PERMIT NEW SEWER LATERAL AND SERVICE WITH THE COASTSIDE SEWER DISTRICT. INSTALL CLEANOUTS AT PROPERTY LINE AND AT NEW HOME AS SHOWN ON PLAN. A DISTRICT APPROVED BACKFLOW PREVENTION DEVICE SHALL BE INSTALLED IF REQUIRED BY DISTRICT.
 - ALL SEWER WORK TO BE IN CONFORMANCE WITH THE COUNTY AND DISTRICT STANDARDS.
 - ALL STORM DRAIN PIPE SHALL BE PVC SDR 35, SLOPED AT 1% UNLESS OTHERWISE SPECIFIED ON THE PLANS. PIPE SHALL BE SIZED AS SPECIFIED ON THE PLANS. ALL DIRECTION CHANGES SHALL BE MADE WITH A WYE CONNECTION, ELBOWS AND TEE'S SHOULD BE AVOIDED.
 - ALL DOWN SPOUTS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM, AS SHOWN ON PLAN. ALL PIPE SHALL BE 4" PVC SDR 35 PIPE OR EQUIVALENT. SEE ARCHITECTURAL PLANS FOR EXACT LOCATION OF THE DOWN SPOUTS.
 - THE EXISTING WATER METER AND LATERAL IS TO REMAIN. CONTRACTOR TO INSTALL BACKFLOW PREVENTION DEVICE AND ISOLATION VALVE, IF CURRENTLY NOT ON SYSTEM. DEVICES SHALL BE INSTALLED ON THE DISCHARGE SIDE OF METER AND BE PLACED WITHIN ONE FOOT OF METER. A PRESSURE REDUCING VALVE SHALL BE INSTALLED AT BUILDING FACE. A NEW COPPER WATER SERVICE TO HOME SHALL BE INSTALLED. CONTRACTOR SHALL COORDINATE THE SIZING OF THE SERVICE WITH THE PROJECT FIRE SPRINKLER PLANS.
 - PATIO DRAINS (PD) SHALL BE 8" MINIMUM IN DIAMETER OR WIDTH. STYLE PER LANDSCAPE ARCHITECT'S DIRECTION. AREA DRAINS (AD) SHALL BE 12" NOS (OR EQUIVALENT). DRAIN INLETS (DI) SHALL BE STACKED CHRISTY B9 OR EQUAL.

UTILITY NOTES:

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EARTHWORK TABLE

	CUT	FILL
HOUSE	90 CY	0 CY
DRIVEWAY	9 CY	15 CY
REAR/FRONT/SIDE YARD	15 CY	75 CY
TOTAL	114 CY	90 CY
EXPORT	24 CY	

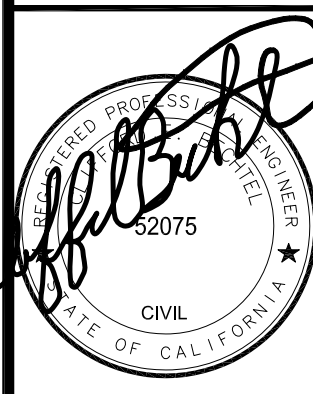
EXCESS MATERIAL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER. EARTHWORK QUANTITIES HAVE BEEN PROVIDED FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL ESTIMATE HIS/HER OWN QUANTITIES TO COMPLETE JOB PER CONTRACT WITH OWNER.

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 650-333-0103
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BARSH - RUSSO RESIDENCE
 000 AVENUE BALBOA
 SAN MATEO COUNTY

El Granada

DATE 10/14/21
 SCALE AS NOTED
 REVISIONS:
 DRAWN J.G.
 CHECKED C.B.
 JOB No. 2021765
 SHEET No. **C-1**
 OF 4 SHEETS

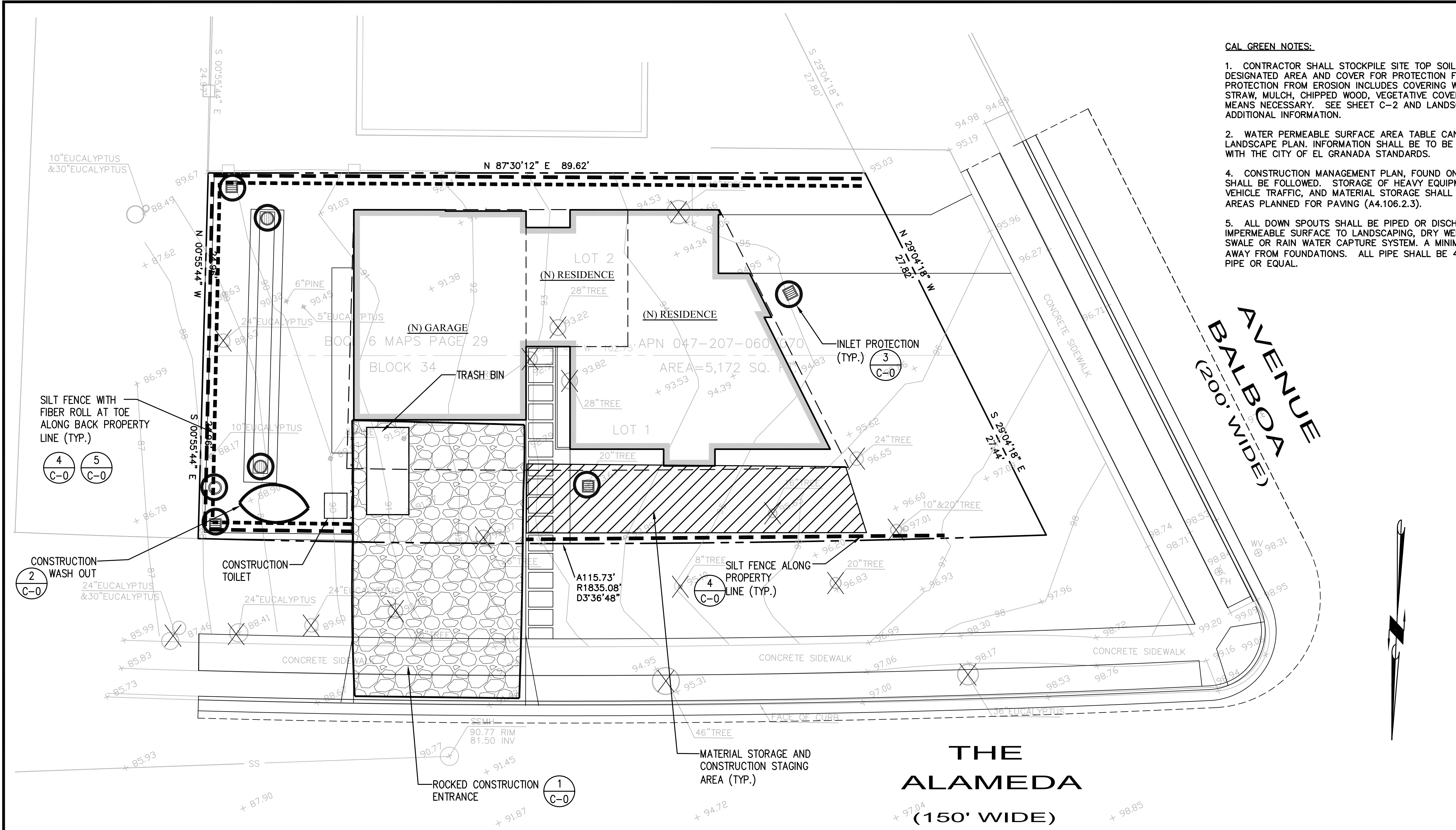


CAL GREEN NOTES:

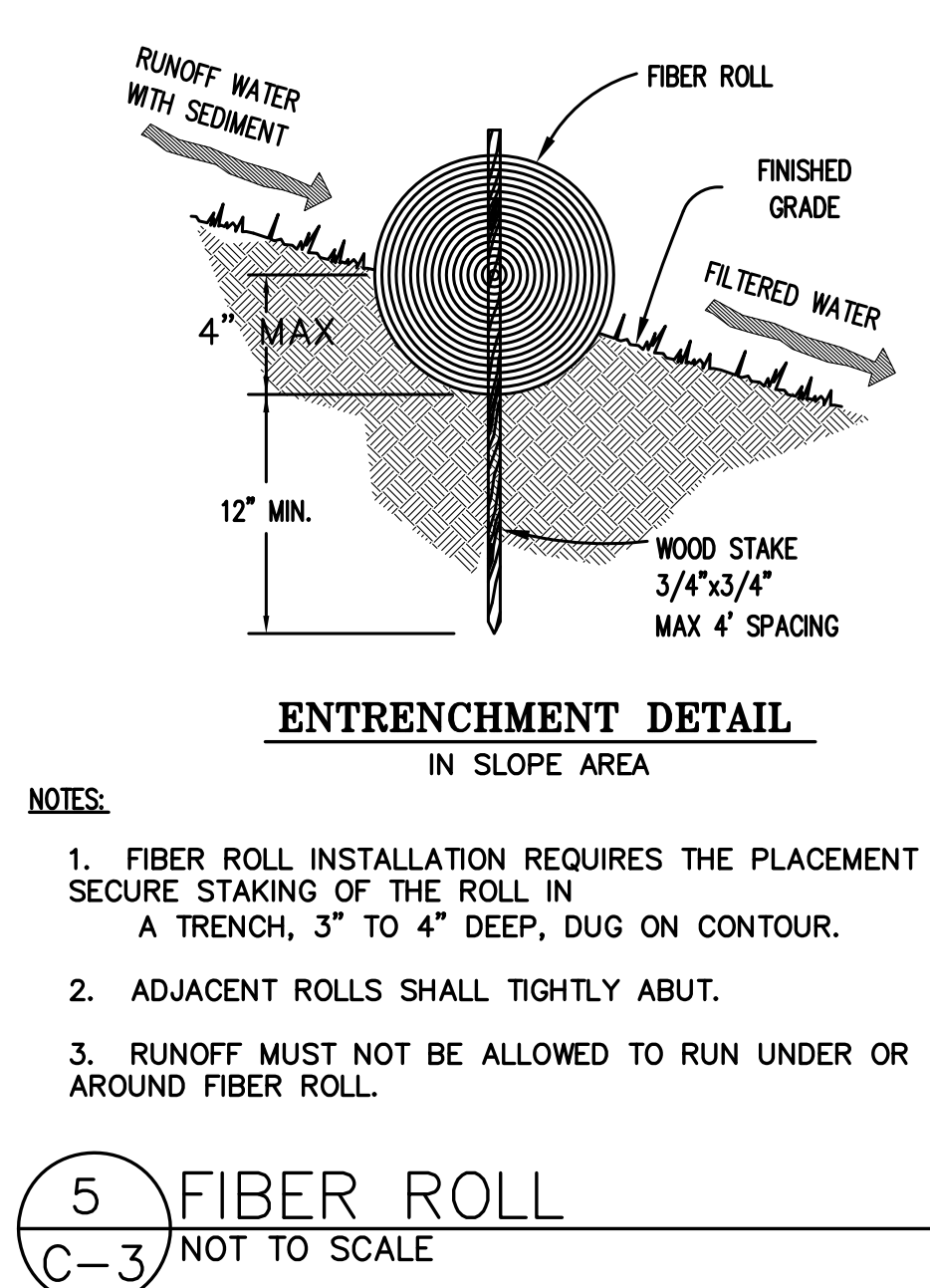
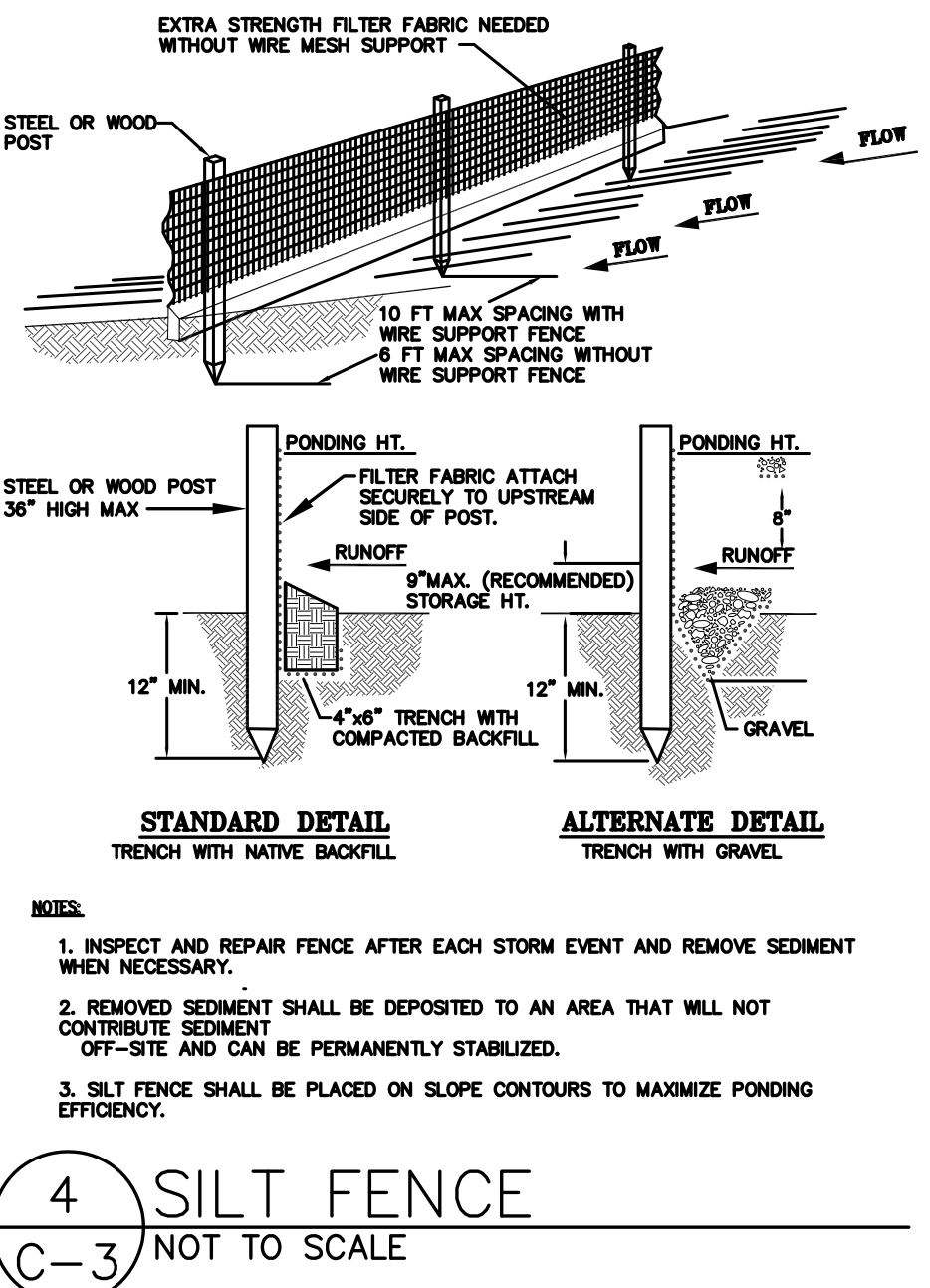
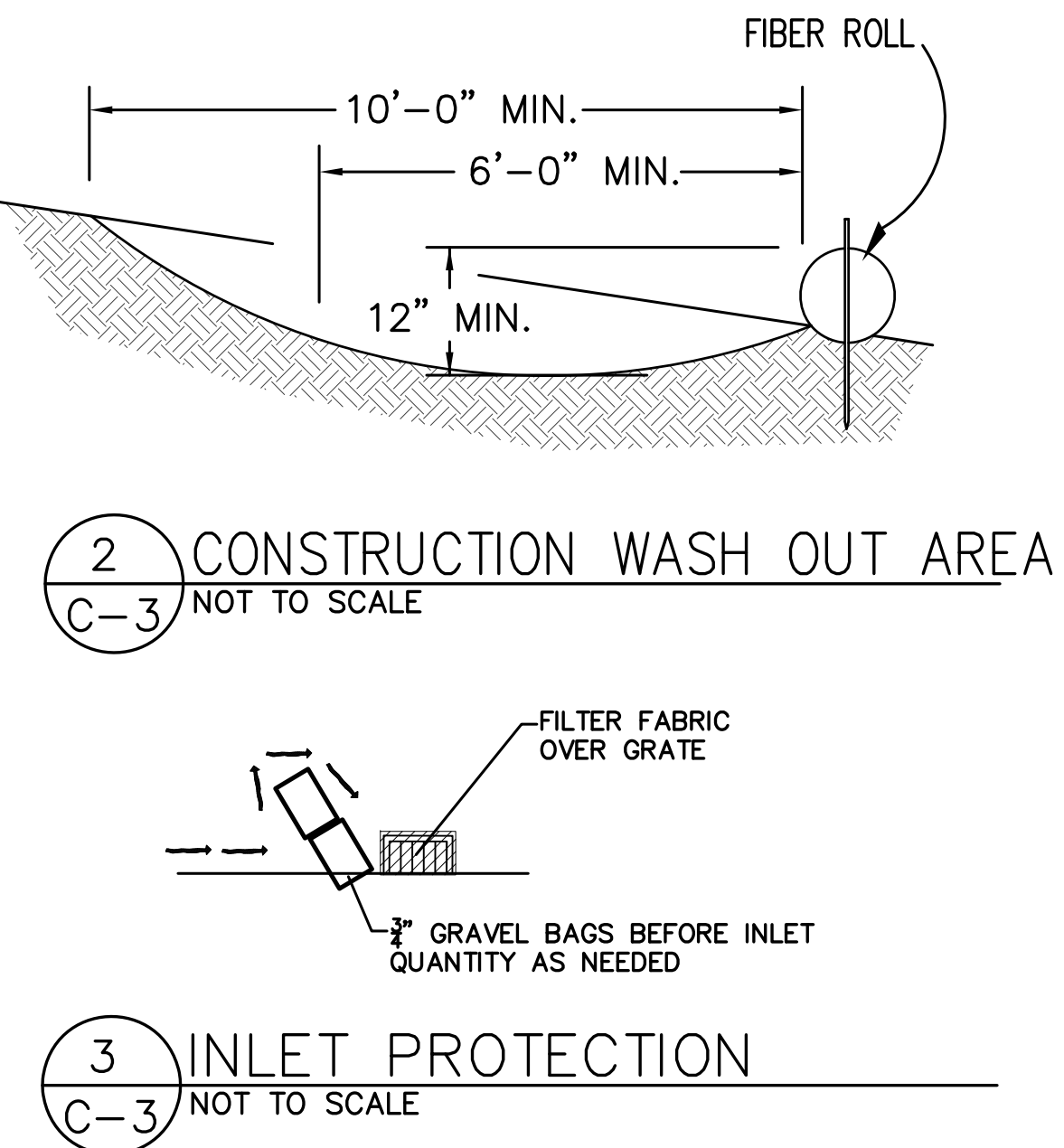
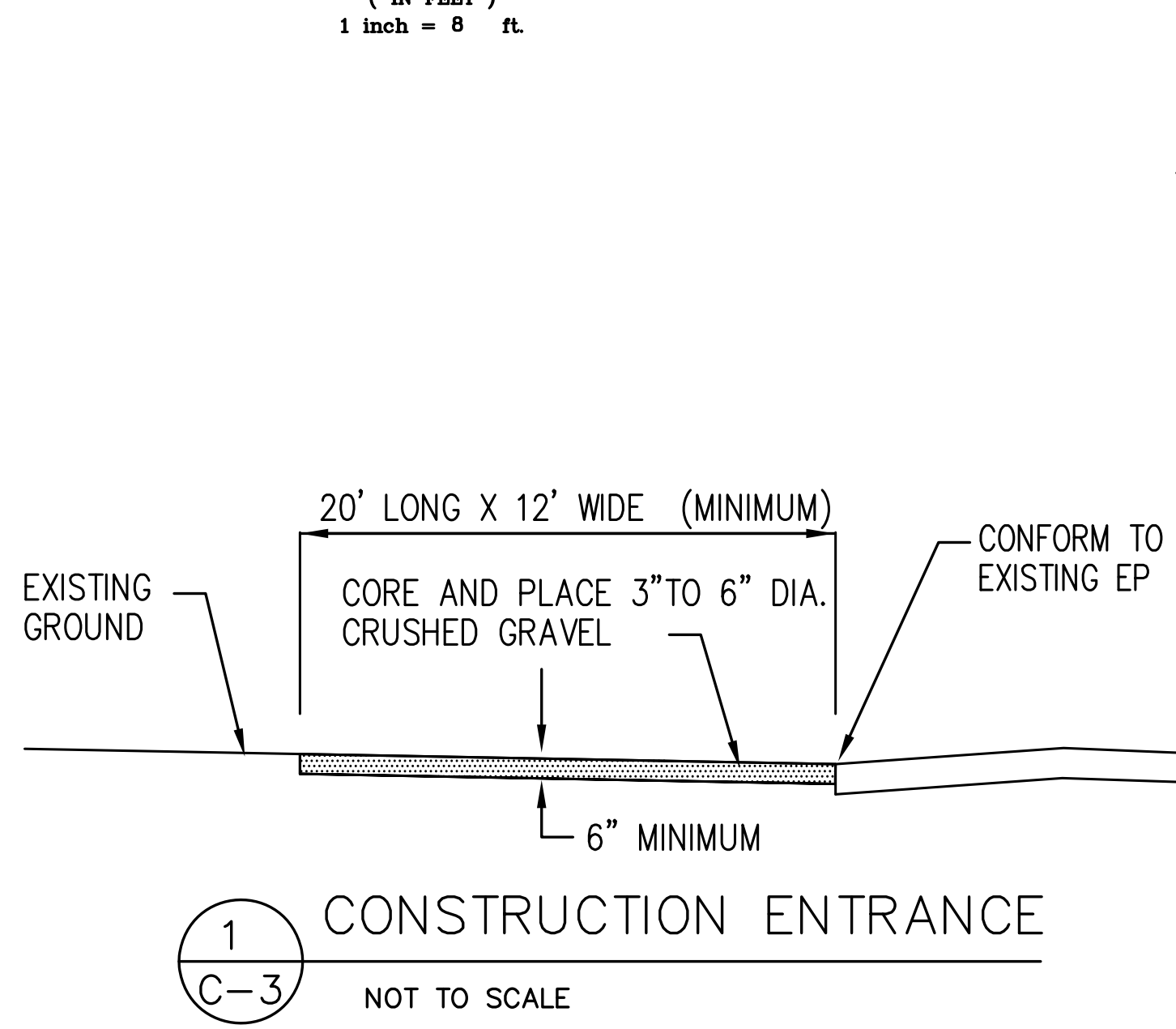
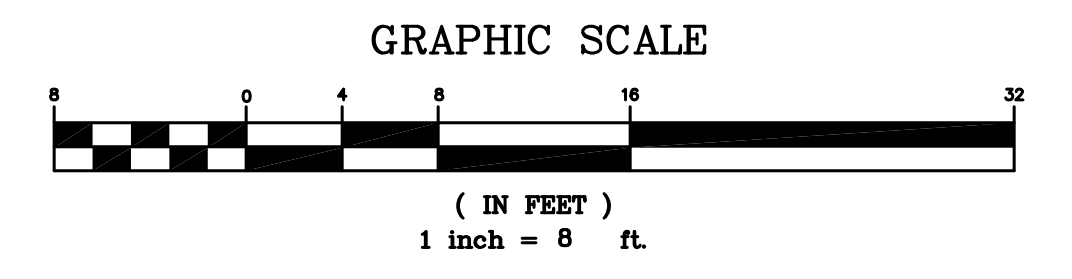
- CONTRACTOR SHALL STOCKPILE SITE TOP SOIL FOR REUSE IN A DESIGNATED AREA AND COVER FOR PROTECTION FROM EROSION. PROTECTION FROM EROSION INCLUDES COVERING WITH TARPS, STRAW, MULCH, CHIPPED WOOD, VEGETATIVE COVER OR OTHER MEANS NECESSARY. SEE SHEET C-2 AND LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- WATER PERMEABLE SURFACE AREA TABLE CAN BE FOUND WITH LANDSCAPE PLAN. INFORMATION SHALL BE TO BE IN CONFORMANCE WITH THE CITY OF EL GRANADA STANDARDS.
- CONSTRUCTION MANAGEMENT PLAN, FOUND ON SHEET C-2 SHALL BE FOLLOWED. STORAGE OF HEAVY EQUIPMENT PARKING, VEHICLE TRAFFIC, AND MATERIAL STORAGE SHALL BE LIMITED TO AREAS PLANNED FOR PAVING (A4.106.2.3).
- ALL DOWN SPOUTS SHALL BE PIPED OR DISCHARGED ON AN IMPERMEABLE SURFACE TO LANDSCAPING, DRY WELL, SUMP, BIO SWALE OR RAIN WATER CAPTURE SYSTEM. A MINIMUM OF 5- FEET AWAY FROM FOUNDATIONS. ALL PIPE SHALL BE 4" PVC SDR 35 PIPE OR EQUAL.

EROSION AND SEDIMENT CONTROL NOTES:

- STORM DRAIN POLLUTION PREVENTION: PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK BAGS, HAY BALES, TEMPORARY DRAINAGE SWALES, FIBER ROLLS, SILT FENCES, BERMS OR STORM DRAIN INLET FILTERS.
- THE EXISTING CONCRETE DRIVEWAY SHALL SERVE AS THE STABILIZED CONSTRUCTION ENTRANCE.
- FIBER ROLL(S) SHALL BE INSTALLED, IF REQUIRED BY CITY, PRIOR TO THE INCEPTION OF ANY WORK ON-SITE, AND SHALL REMAIN IN PLACE UNTIL THE LANDSCAPING GROUND COVER IS INSTALLED.
- DRY SWEEPING METHODS SHALL BE USED TO REMOVE ANY DEBRIS AND/OR SOIL TRACKED ON BALBOA AVE. DRY SWEEPING SHALL BE DONE AT THE END OF EACH WORK DAY.
- THE CONTRACTOR SHALL FOLLOW AND USE BEST MANAGEMENT PRACTICES (BMP) FOR DISCHARGE INTO THE CITY'S STORM WATER SYSTEM DURING SITE STRIPPING, HAULING, EARTH MOVING ACTIVITIES, HEAVY EQUIPMENT OPERATIONS, GENERAL CONSTRUCTION AND SITE SUPERVISION, PAINTING, APPLICATIONS AND USE OF SOLVENTS AND ADHESIVES, LANDSCAPING AND GARDENING.
- STOCKPILED MATERIAL SHALL BE COVERED WITH VISQUEEN OR A TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
- ONCE THE PROPOSED ON-SITE DRAINAGE INLETS HAVE BEEN INSTALLED, THE CONTRACTOR SHALL PROTECT ANY BARE SOIL FROM ENTERING THE INLETS BY INSTALLING FILTER FABRIC UNDER THE INLET GRATES. THE FILTER FABRIC SHALL REMAIN UNTIL NATURAL GROUND COVER IS ESTABLISHED.
- CONTRACTOR SHALL CONTROL DUST AS OFTEN AS REQUIRED BY THE CITY ENGINEER.
- IF EROSION DEVELOPS IN A TEMPORARY EROSION PROTECTED AREA OR ANY ESTABLISHED VEGETATED AREA, THE CONTRACTOR SHALL IMMEDIATELY ALLEVIATE AND REMEDY THE PROBLEM AND TAKE PREVENTATIVE MEASURES TO MINIMIZE THE POSSIBILITY OF ITS REOCCURRENCE AND ALSO TO PREVENT THE RESULTING FLOW OF SOILS OR WATER WITH SUSPENDED SOILS FROM GETTING INTO THE TOWN'S DRAINAGE SYSTEM OR ANY NATURAL DRAINAGE CHANNEL OR DITCH.
- CONTRACTOR MAY BE REQUIRED TO SUBMIT A LOGISTICS PLAN TO THE PUBLIC WORKS DEPARTMENT PRIOR TO COMMENCING WORK THAT ADDRESSES ALL IMPACTS TO THE CITY'S RIGHT-OF-WAY, INCLUDING, BUT NOT LIMITED TO: PEDESTRIAN CONTROL, TRAFFIC CONTROL, TRUCK ROUTES, MATERIAL DELIVERIES, CONTRACTOR'S PARKING, CONCRETE POURS, CRANE LIFTS, WORK HOURS, NOISE CONTROL, DUST CONTROL, STORM WATER POLLUTION PREVENTION, CONTRACTOR'S CONTACT, NOTICING OF AFFECTED SURROUNDING PROPERTIES, AND SCHEDULE OF WORK. THE REQUIREMENT TO SUBMIT A LOGISTICS PLAN WILL BE DEPENDENT ON THE NUMBER OF APPLICATIONS PUBLIC WORKS ENGINEERING RECEIVES WITH CLOSE PROXIMITY TO HELP MITIGATE AND CONTROL THE IMPACT TO THE PUBLIC RIGHT-OF-WAY. IF NECESSARY, PUBLIC WORKS MAY REQUIRE A LOGISTICS PLAN DURING CONSTRUCTION.



EROSION AND SEDIMENT CONTROL & STAGING PLAN 1/8"=1'-0"



COUNTY NOTES

- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit construction access routes to stabilized, designated access points.
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and Construction Best Management Practices.
- Construction sites are required to have erosion control materials on-site during the "off-season."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.
- Use of plastic sheeting between October 1st and April 30th is not acceptable, unless for use on stockpiles where the stockpile is also protected with fiber rolls containing the base of the stockpile.

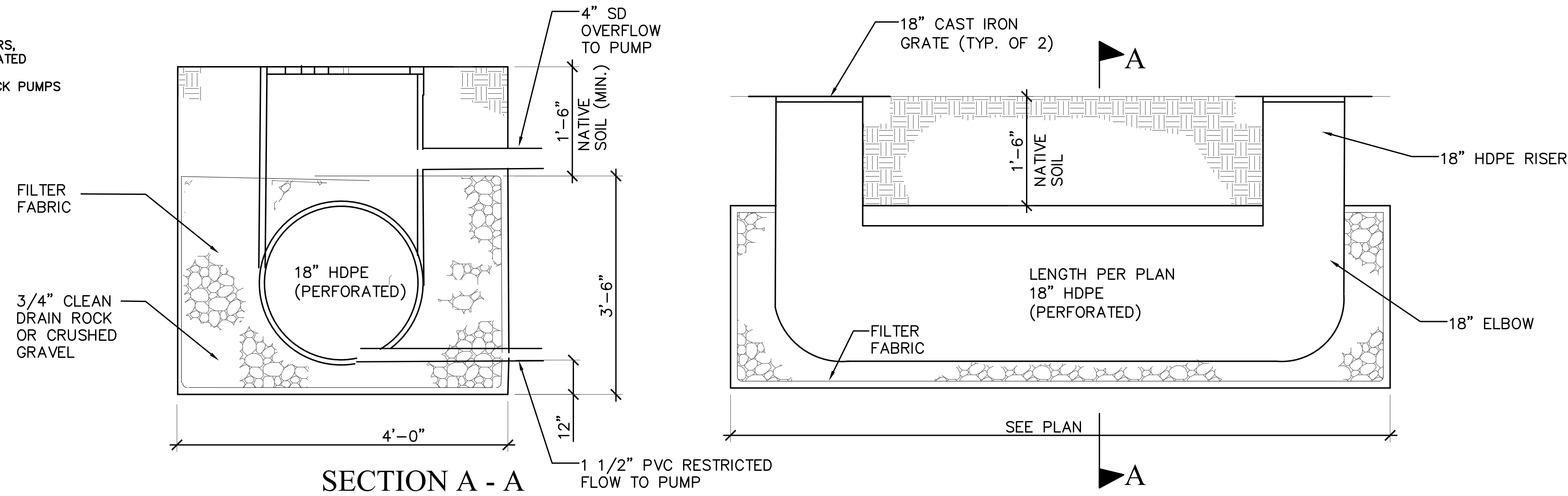
C. For Your Reference Only - Erosion Control Policies for Construction Sites:

Project erosion and sediment control measures shall be maintained as necessary throughout the duration of the permit to be effective. If significant field changes are made, revised plans must be submitted for approval. The building inspector has the authority to require additional measures at any time, and may cancel any requested inspection if any measures are found to be deficient. A Stop Work Notice may be issued pursuant to the County's Stormwater Enforcement Response Plan until corrections have been made and applicable fees paid for staff enforcement time. The property owner shall demonstrate via building inspection, that the site is stabilized either with adequate erosion control or landscaping, prior to issuance of the Certificate of Occupancy.

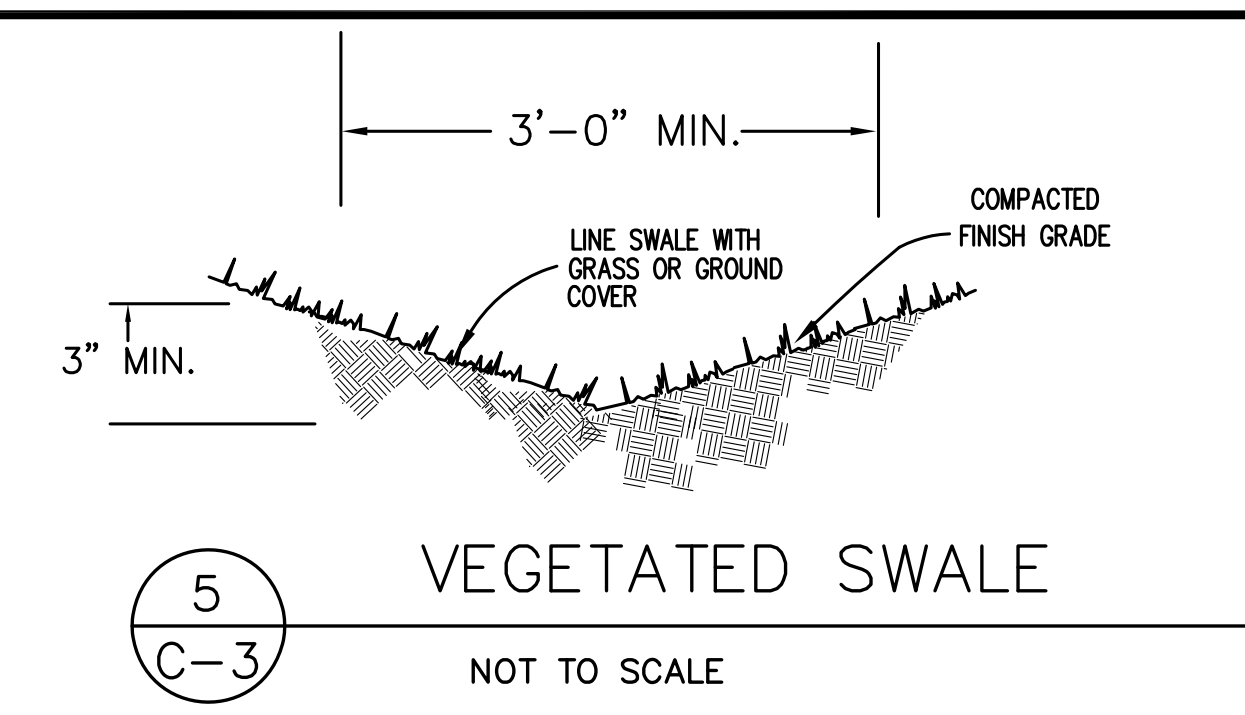
- NOTES:**
- FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 3" TO 4" DEEP, DUG ON CONTOUR.
 - ADJACENT ROLLS SHALL TIGHTLY ABUT.
 - RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND FIBER ROLL.

SITE DRAINAGE MAINTENANCE REQUIREMENTS

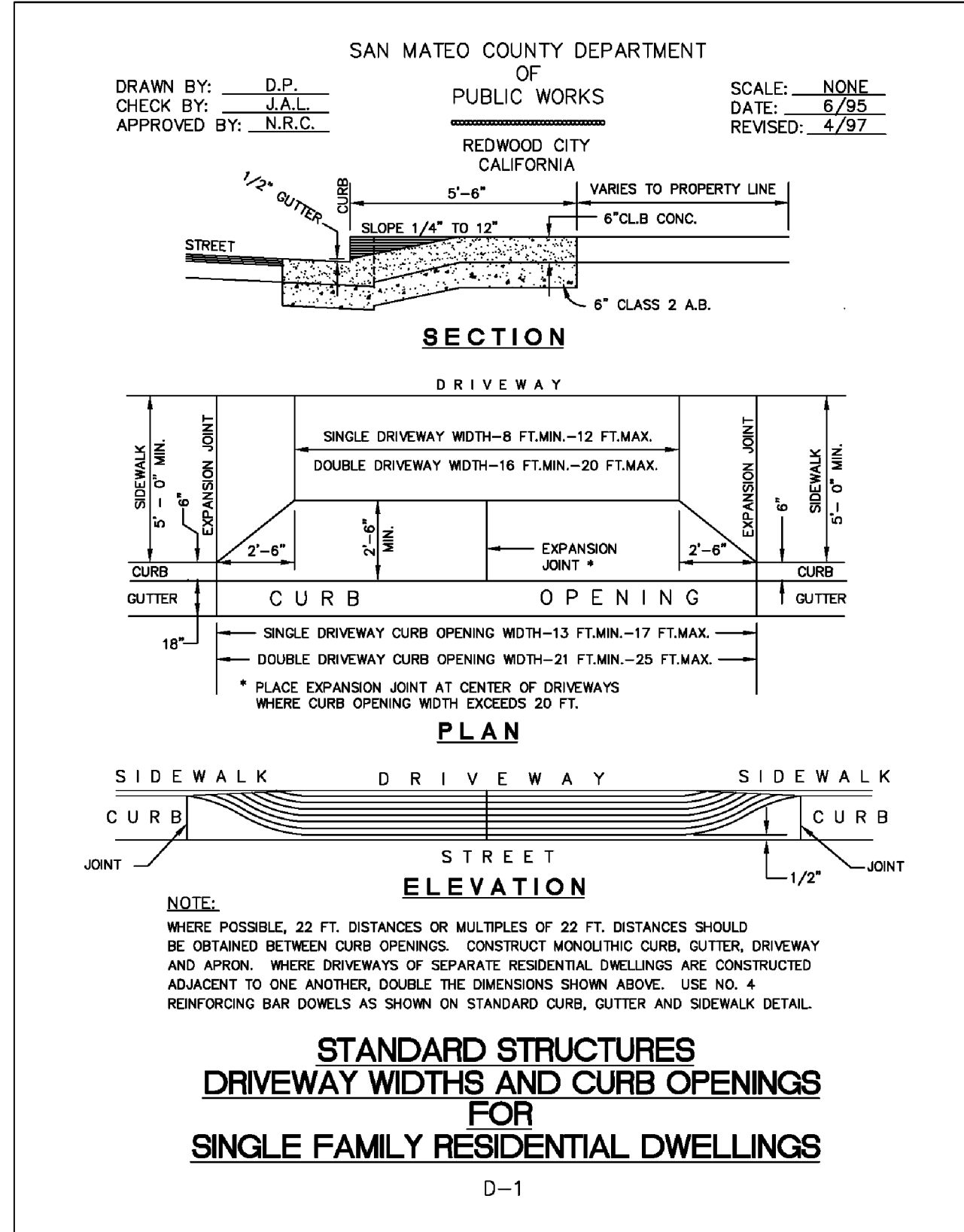
- FALL, CLEAN ALL DRAINAGE INLETS AND HOUSE GUTTERS, AND MOW THE VEGETATION WITHIN THE SIDE YARD VEGETATED SWALES. SEDIMENT REMOVED AND VEGETATION CLIPPINGS SHALL BE DISPOSED OF OFF SITE OR IN TRASH BIN. CHECK PUMPS ARE IN GOOD WORKING ORDER.
- SPRING, (ONCE A YEAR) REMOVE ALL SEDIMENT BUILD UP IN THE BOTTOM OF DETENTION TANK. SEDIMENT TO BE DISPOSED OF OFF SITE OR IN TRASH BIN.
- SPRING, REMOVE ALL SEDIMENT BUILD UP IN ALL DRAIN INLETS. DISPOSE OF SEDIMENT OFF SITE OR IN TRASH BIN.



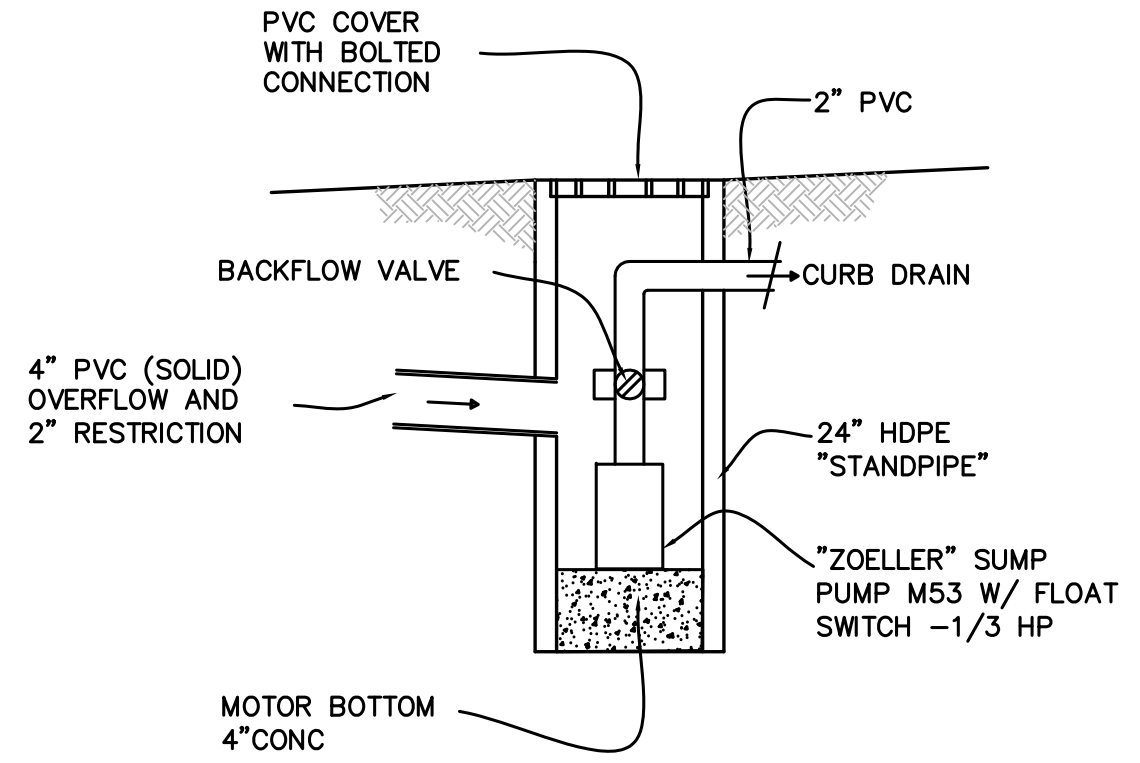
SECTION A - A
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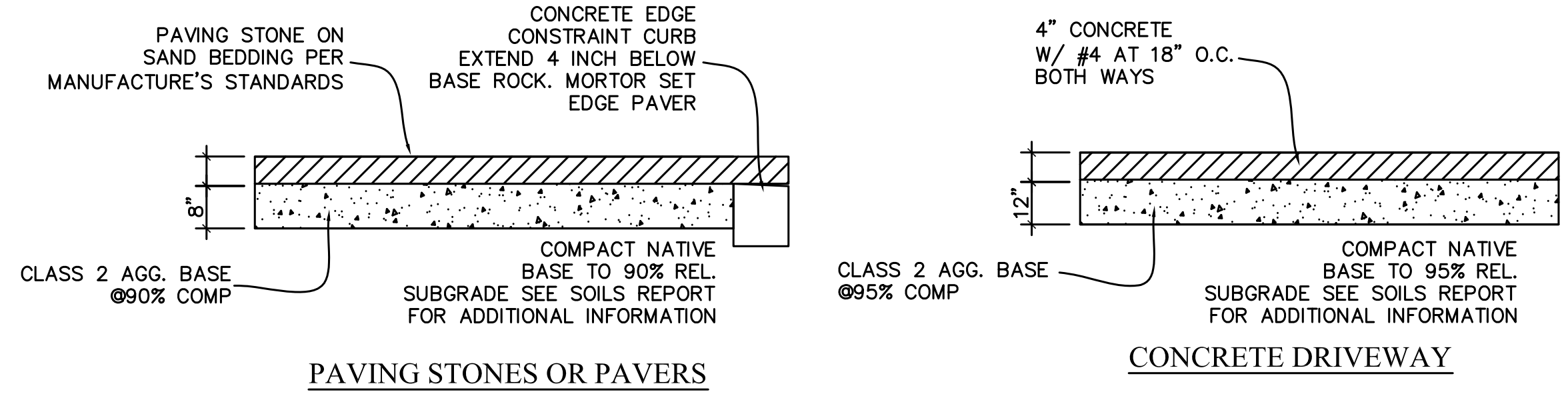
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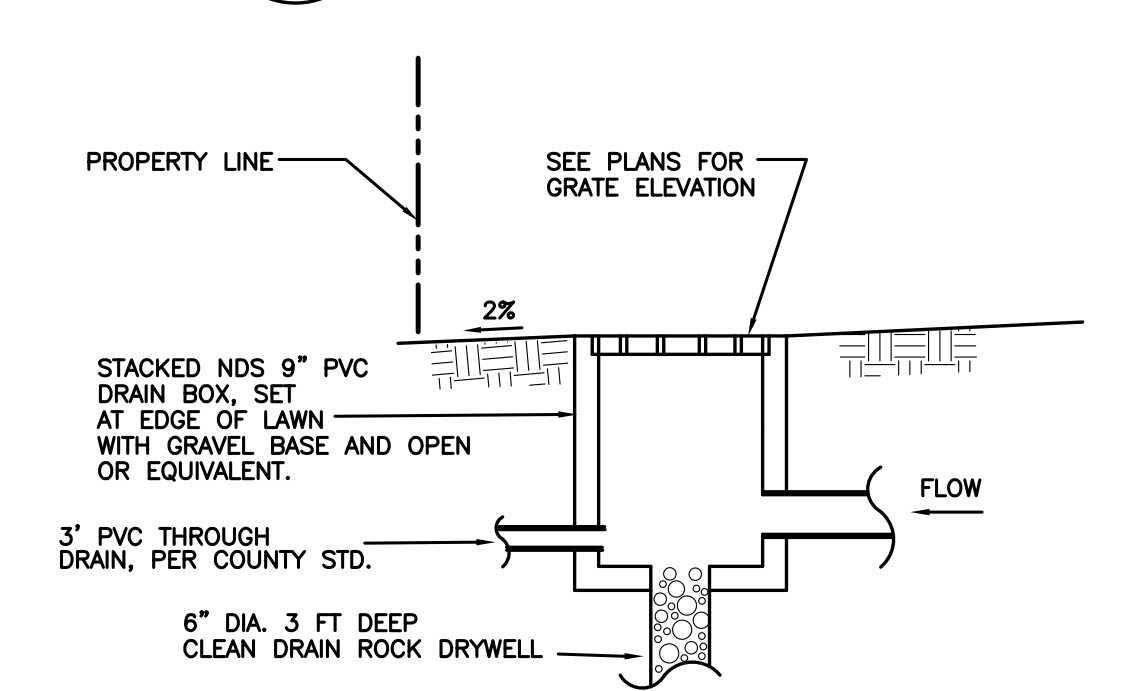
**STANDARD STRUCTURES
DRIVEWAY WIDTHS AND CURB OPENINGS
FOR
SINGLE FAMILY RESIDENTIAL DWELLINGS**
D-1



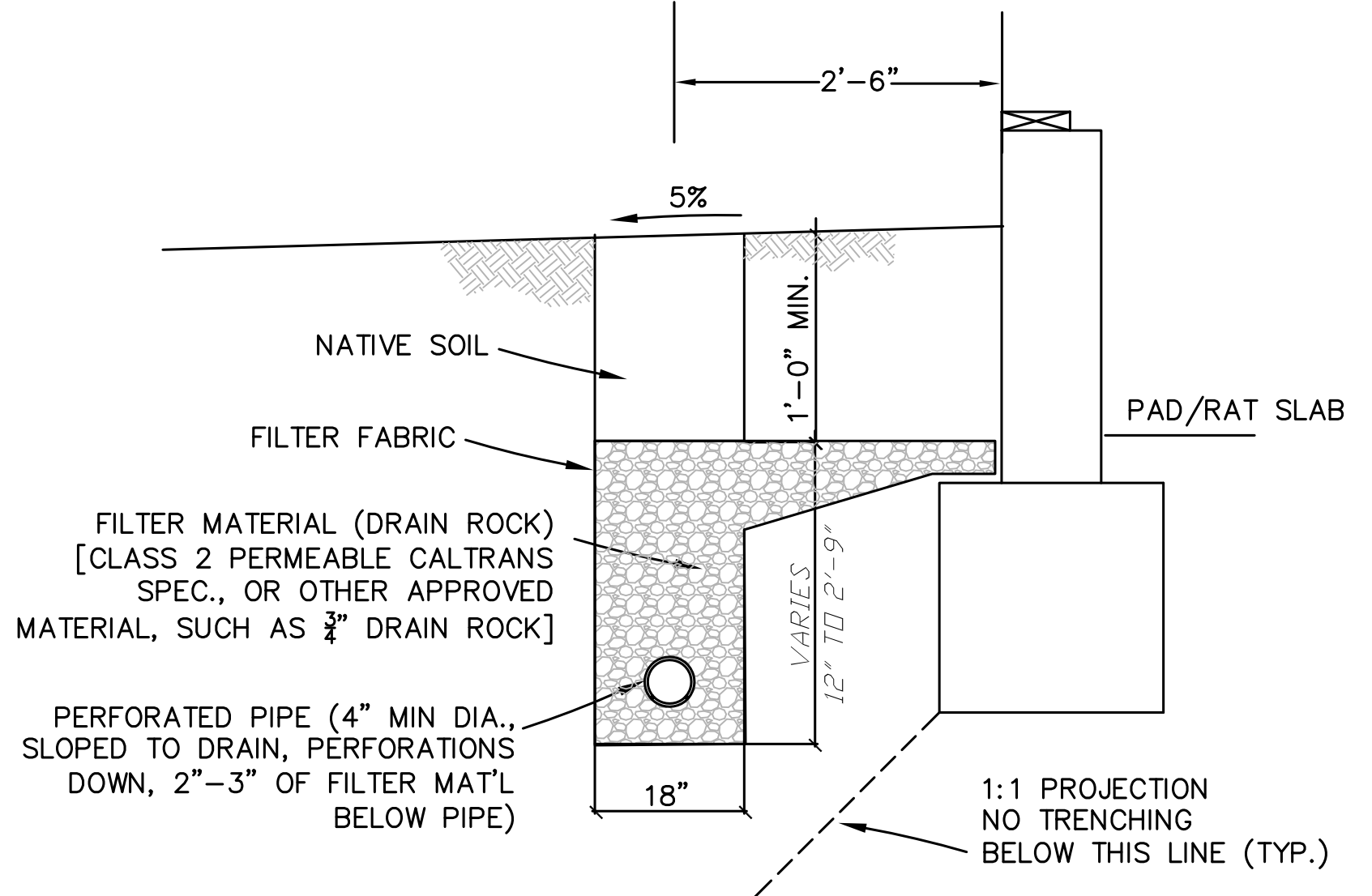
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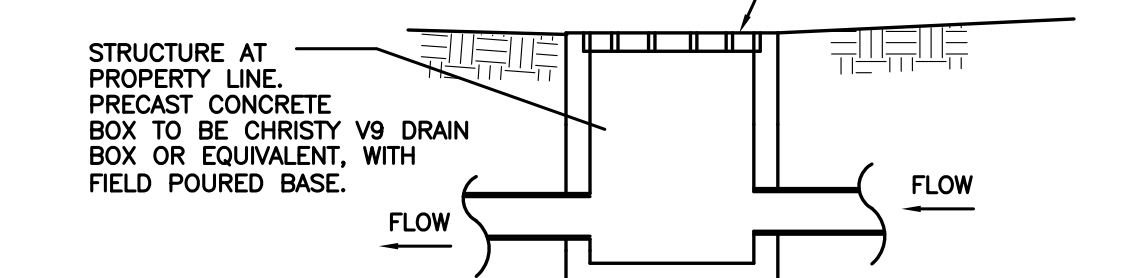
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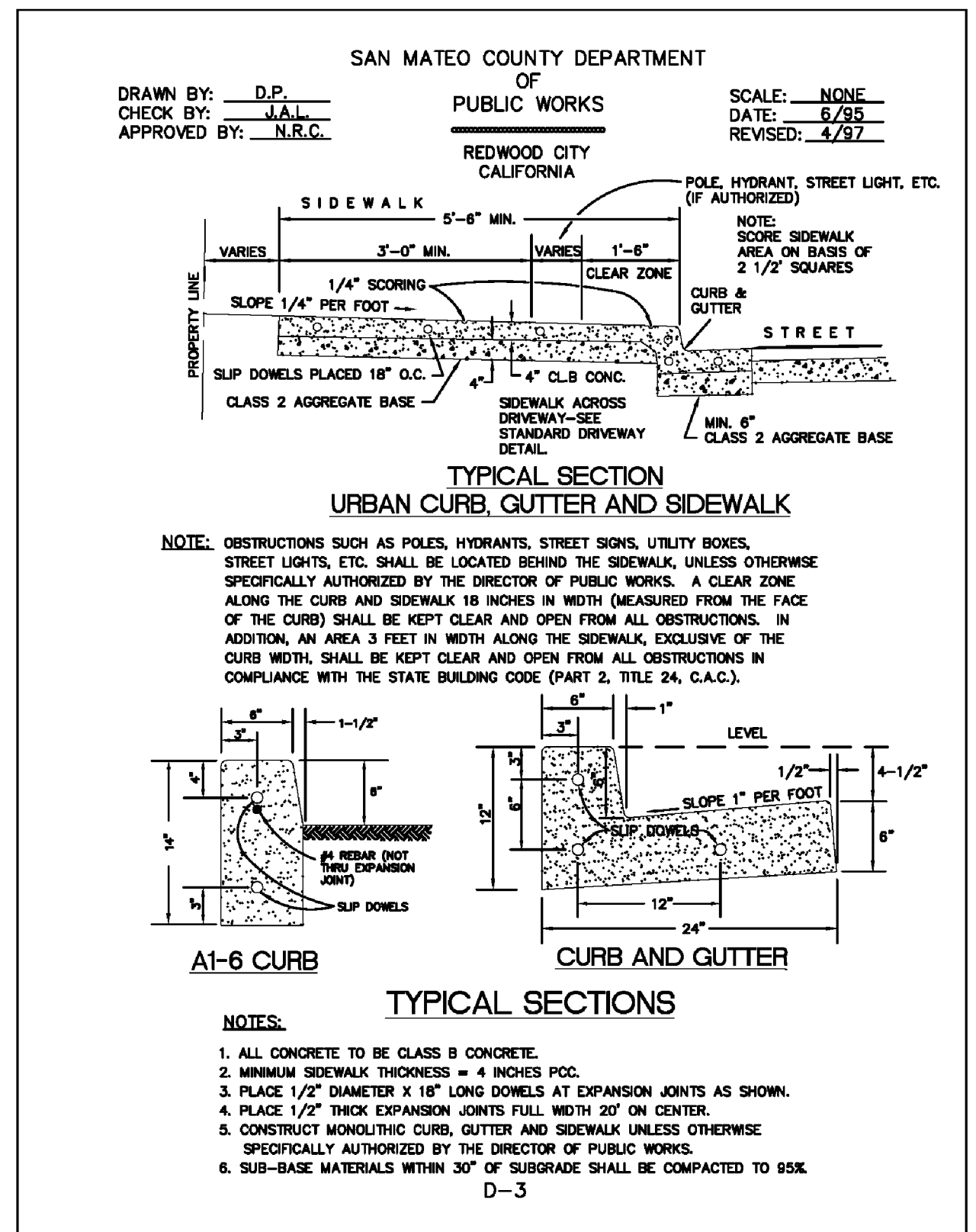
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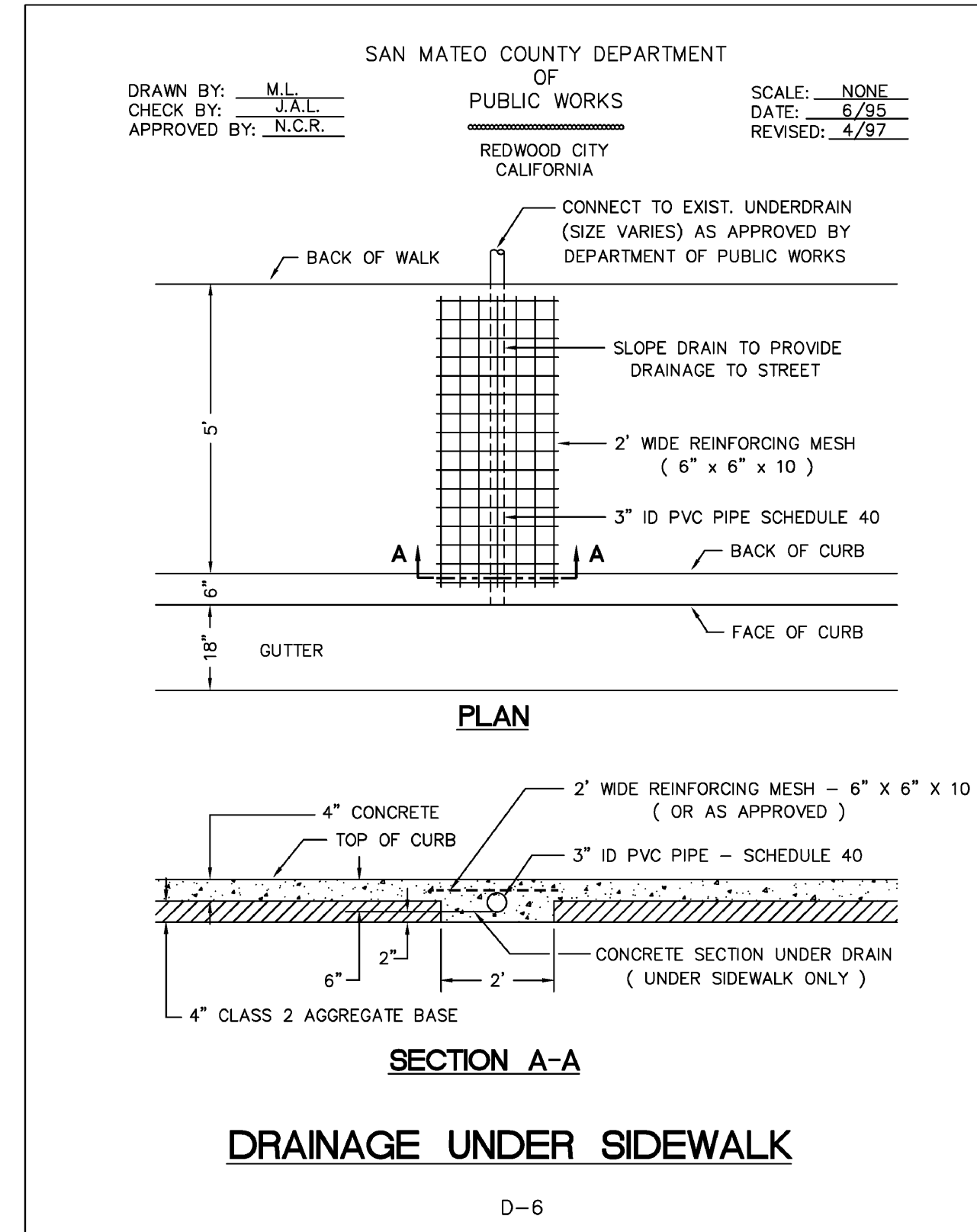
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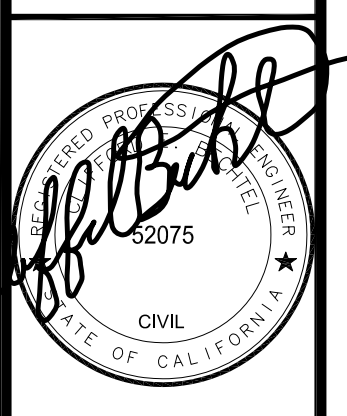


**TYPICAL SECTIONS
URBAN CURB, GUTTER AND SIDEWALK**
D-3



DRAINAGE UNDER SIDEWALK
D-6

COUNTY DETAILS
NOT TO SCALE



California
BARSH - RUSSO RESIDENCE
000 AVENUE BALBOA
SAN MATEO COUNTY
El Granada

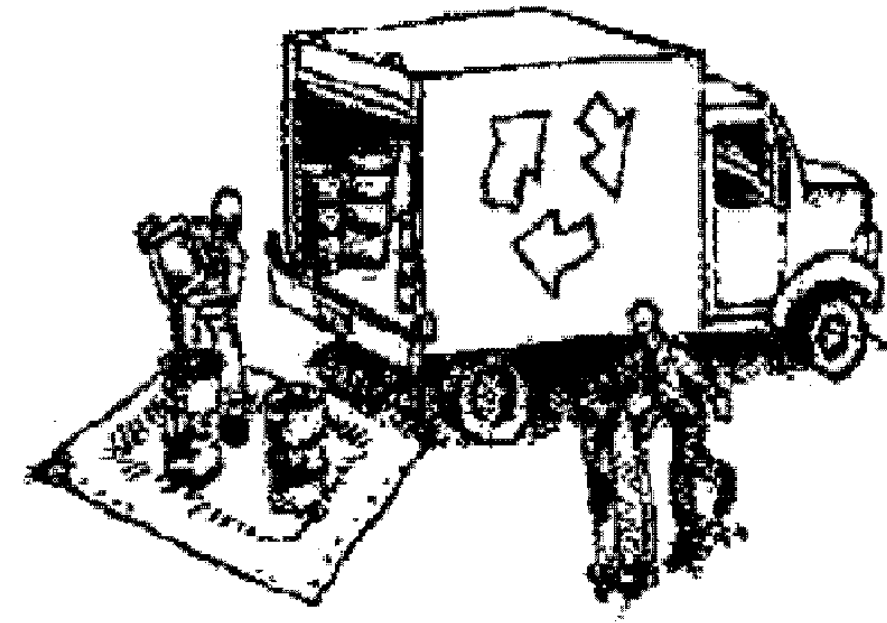
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CHECKED C.B.
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Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work

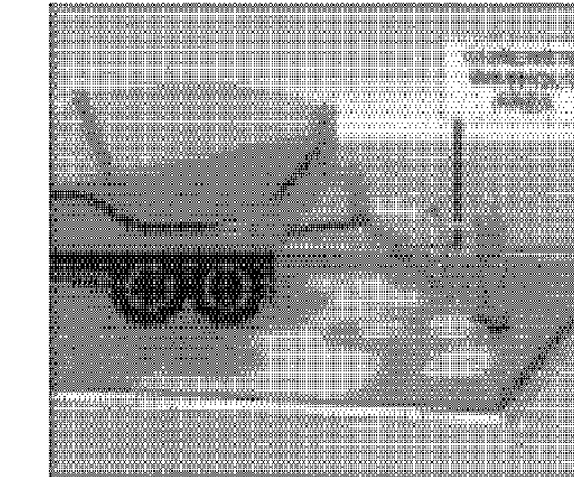


- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



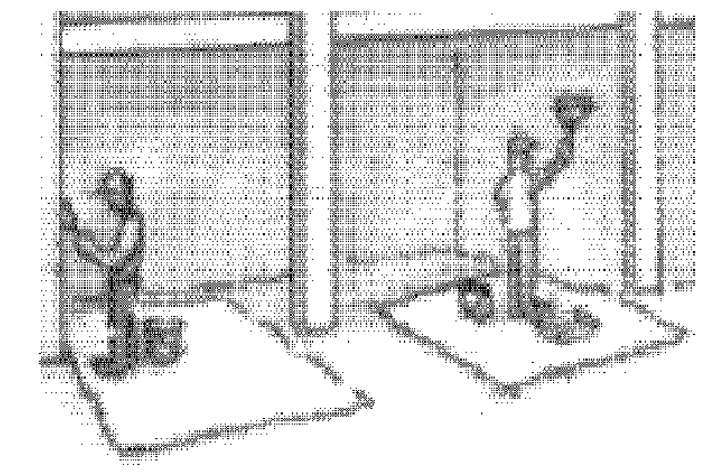
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

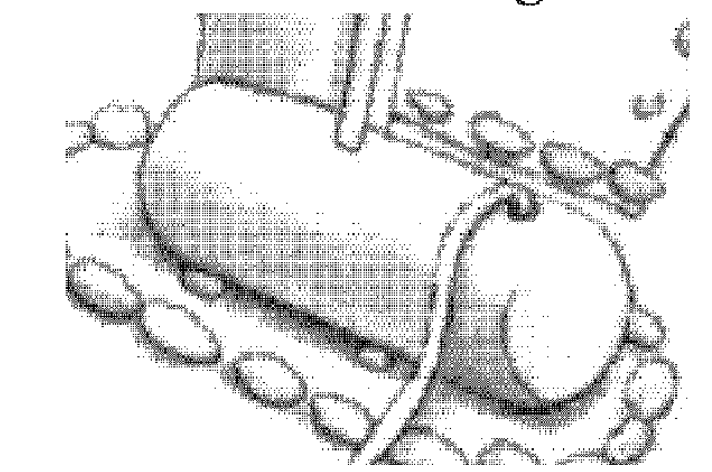
Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!



California

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SAN MATEO COUNTY

El Granada

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