



CLIENTS:

GREG BARSH &
CAROLYN RUSSO
700 MARINA COTTAGE DRIVE
MEMPHIS, TN 38103

KATKIN
ARCHITECTURE
P.O. BOX 2115
EL GRANADA CA 94018
415.706.0981



PROJECT:

BARSH-RUSSO
RESIDENCE
000 BALBOA
EL GRANADA, CA
APN 047-207-060/070

ISSUE:

NO.	DESCRIPTION	DATE

DESIGN REVIEW

SCALE: N.T.S.

SHEET DATE: 01.13.2022

A0.1
DEMONSTRATION
OF SCALE:
NORTHWEST CORNER



CLIENTS:

GREG BARSH &
CAROLYN RUSSO
700 MARINA COTTAGE DRIVE
MEMPHIS, TN 38103

KATKIN
ARCHITECTURE
P.O. BOX 2115
EL GRANADA CA 94018
415.706.0981



PROJECT:

BARSH-RUSSO
RESIDENCE
000 BALBOA
EL GRANADA, CA
APN 047-207-060/070

ISSUE:

NO.	DESCRIPTION	DATE

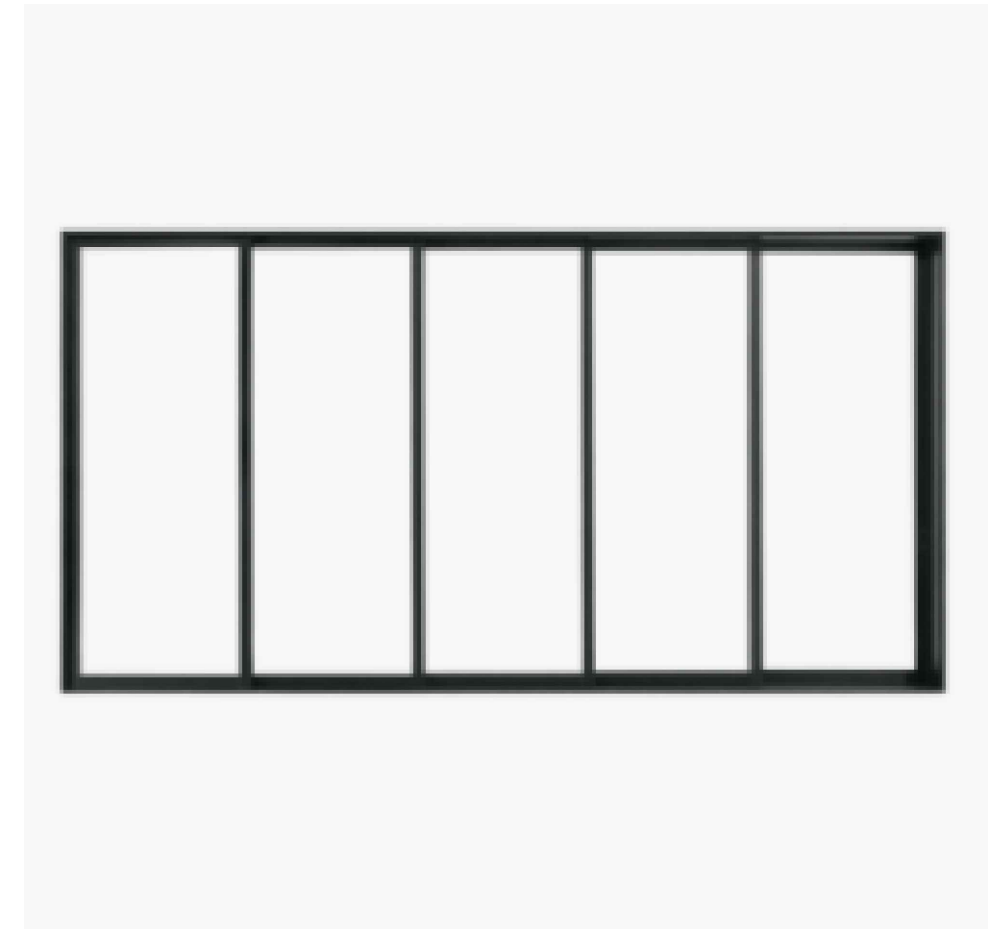
DESIGN REVIEW

SCALE: N.T.S.

SHEET DATE: 01.13.2022

A0.2
DEMONSTRATION
OF SCALE:
NORTH SIDE

EXTERIOR PRODUCTS



WINDOWS AND MULTISLIDE DOORS:
MARVIN MODERN SIGNATURE
FIBERGLASS. COLOR: BLACK

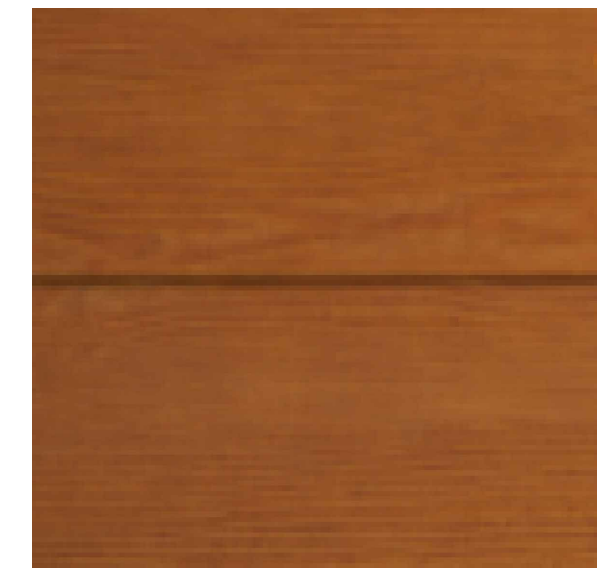


ENTRY DOORS:
SIX LITE FIBERGLASS OR MTL.
COLOR: BLACK

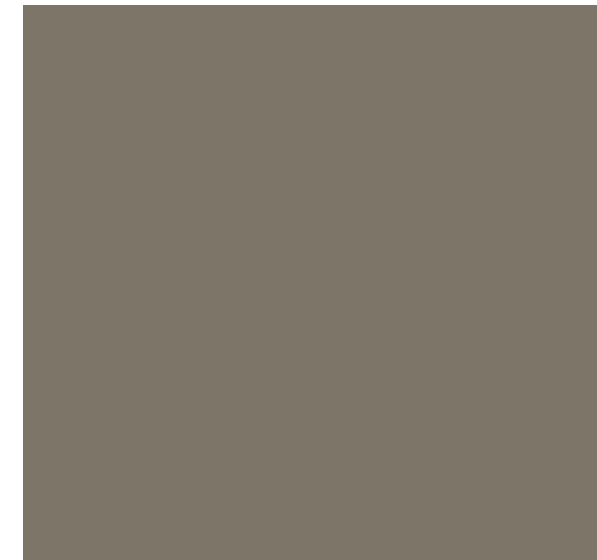


GARAGE DOORS:
CLOPAY CANYON RIDGE MODERN
3" PLANK W/ HALF SIDE LITES
COLOR: BLACK

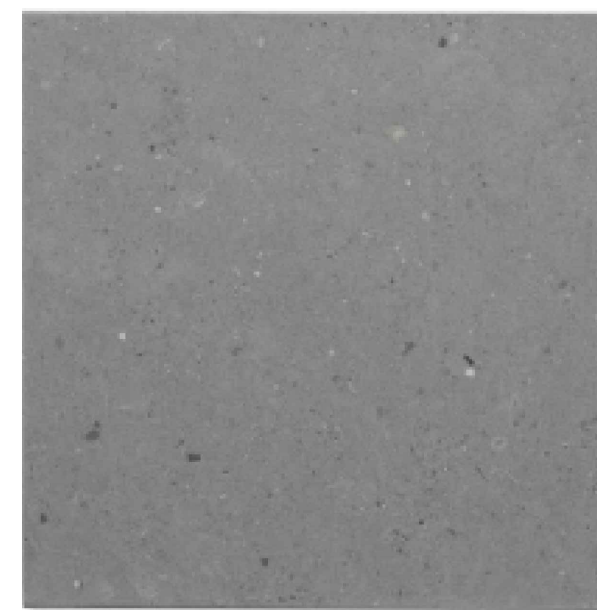
EXTERIOR FINISHES AND LIGHTS (ALL EXTERIOR LIGHTING DARK SKY RATED)



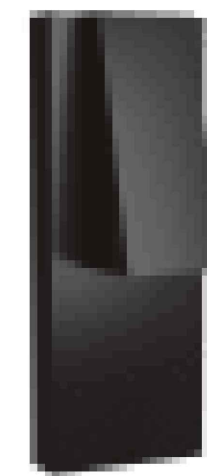
PRIMARY SIDING:
BORAL WOOD GRAIN
6" NICKEL GAP
STAINED: WARM MEDIUM BROWN



SECONDARY SIDING:
PAINTED SMOOTH STUCCO
COLOR: MEDIUM WARM GREY



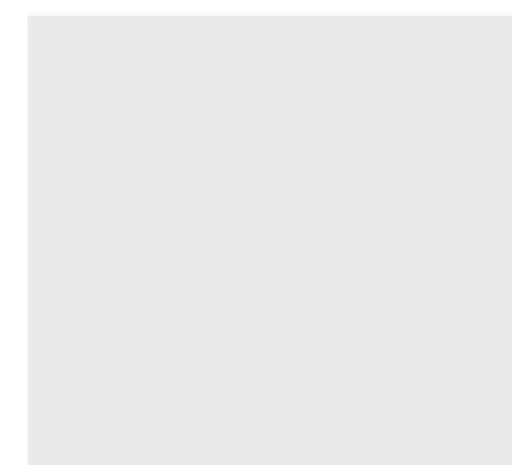
DECK PAVERS:
LA PALMA LIMESTONE



EXTERIOR SCONCES
TECH LIGHTING: PEAK"
13" COLOR DIMMING LED
COLOR: BLACK



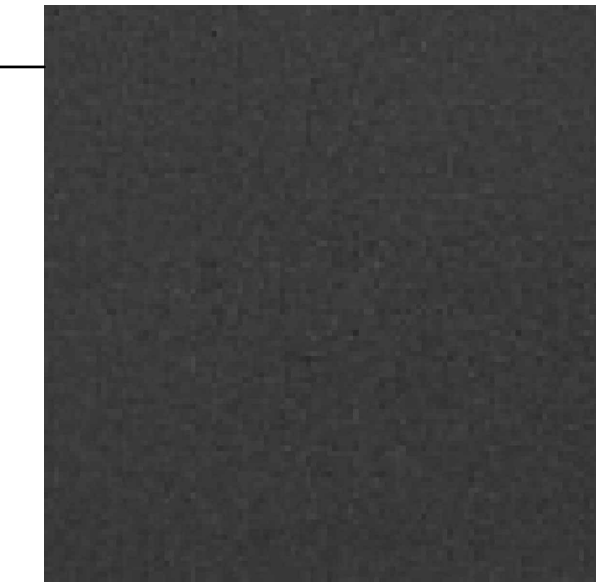
EXTERIOR PATH LIGHTS
KICHLER "TUBING" OR EQ.
PATH LIGHT



Energy Gray 322

PRIMARY ROOFING
TPO
COLOR: ENERGY GREY

FASCIA & ACCENT SIDING:
POWDER COATED/PTD.
GAVLAVNIZED ALUM.
COLOR: MATTE BLACK



DECK RAILS: GLASS



EXTERIOR DOWNLIGHTS
NORA LED DAMP RATED
3000 K



EXTERIOR PATH LIGHTS
WAC LED HORIZONTAL
STEP LIGHT



GREEN ROOF
SEMPER GREEN OR EQ.
SEDUM MIXED BLANKET



CLIENTS:

GREG BARSH &
CAROLYN RUSSO
700 MARINA COTTAGE DRIVE
MEMPHIS, TN 38103

KATKIN
ARCHITECTURE
P.O. BOX 2115
EL GRANADA CA 94018
415.706.0981



PROJECT:

BARSH-RUSSO
RESIDENCE
000 BALBOA
EL GRANADA, CA
APN 047-207-060/070

ISSUE:

NO.	DESCRIPTION	DATE

DESIGN REVIEW

SCALE: N.T.S.

SHEET DATE: 01.13.2022

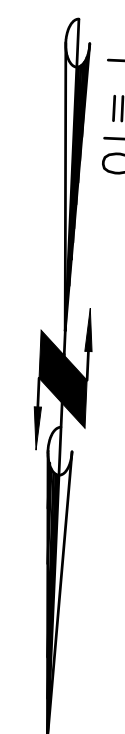
A0.3
EXTERIOR MATERIALS

CLIENTS:
GREG BARSH &
CAROLYN RUSSO
700 MARINA COTTAGE DRIVE
MEMPHIS, TN 38103

KATKIN
ARCHITECTURE
P.O. BOX 2115
EL GRANADA CA 94018
415.706.0981



AVENUE
BALBOA
(200' WIDE)



THE
ALAMEDA
(150' WIDE)

PROJECT:

BARSH-RUSSO
RESIDENCE
000 BALBOA
EL GRANADA, CA
APN 047-207-060/070

ISSUE:

NO.	DESCRIPTION	DATE
-----	-------------	------

DESIGN REVIEW

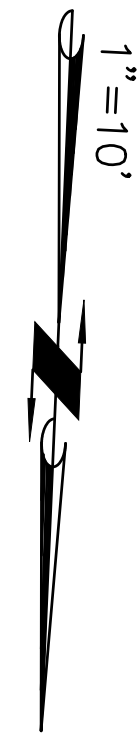
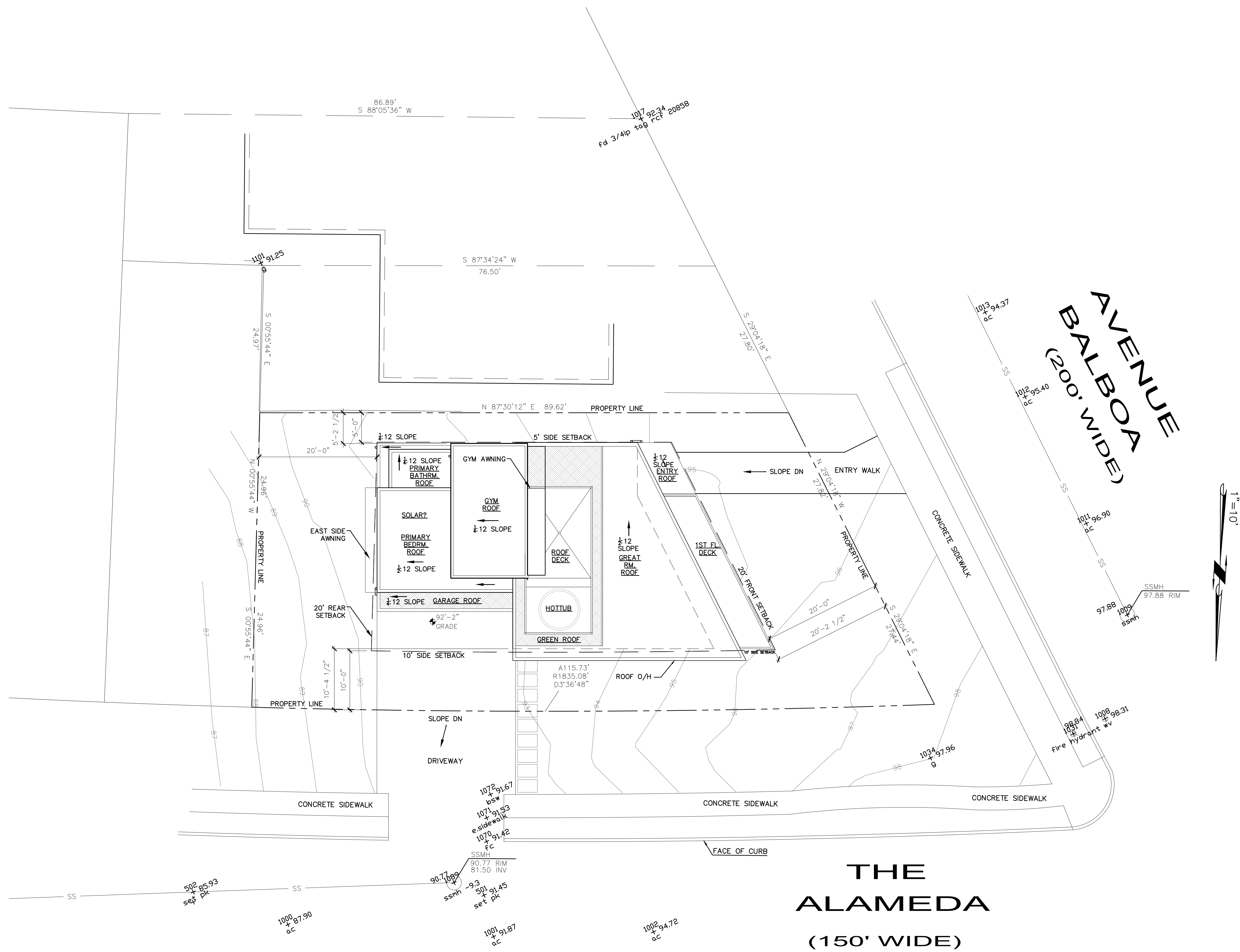
SCALE: 1/8"=1'-0"

SHEET DATE: 01.13.2022

AB1.0
EXISTING SITE PLAN

CLIENTS:
**GREG BARSH &
 CAROLYN RUSSO**
 700 MARINA COTTAGE DRIVE
 MEMPHIS, TN 38103

**KATKIN
 ARCHITECTURE**
 P.O. BOX 2115
 EL GRANADA CA 94018
 415.706.0981



PROJECT:

**BARSH-RUSSO
 RESIDENCE**
 000 BALBOA
 EL GRANADA, CA
 APN 047-207-060/070

ISSUE:

NO.	DESCRIPTION	DATE

DESIGN REVIEW

SCALE: 1/8"=1'-0"

SHEET DATE: 01.13.2022

A1.0
 PROPOSED
 SITE/ROOF PLAN

CLIENTS:
**GREG BARSH &
 CAROLYN RUSSO**
 700 MARINA COTTAGE DRIVE
 MEMPHIS, TN 38103

**KATKIN
 ARCHITECTURE**
 P.O. BOX 2115
 EL GRANADA CA 94018
 415.706.0981

LICENSED ARCHITECT
**REBECCA
 SHAW KATKIN**
 NO. C-30747
 1.31.23
 RENEWAL DATE
Rebecca Katkin
 STATE OF CALIFORNIA

PROJECT:

**BARSH-RUSSO
 RESIDENCE**
 000 BALBOA
 EL GRANADA, CA
 APN 047-207-060/070

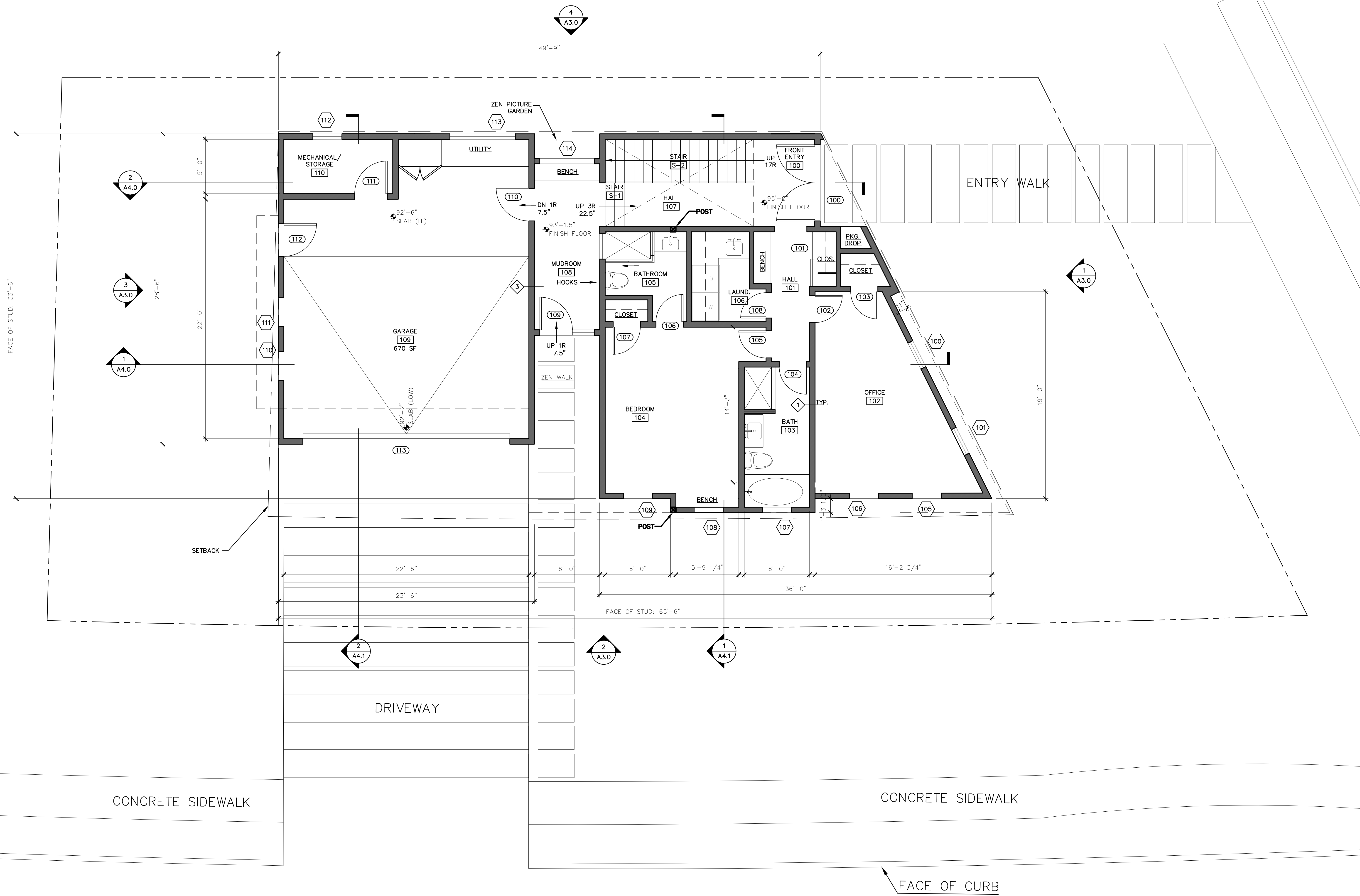
ISSUE:
 NO. DESCRIPTION DATE

DESIGN REVIEW

SCALE: 1/4"=1'-0"

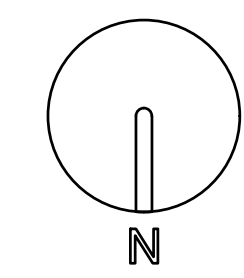
SHEET DATE: 01.13.2022

A2.1
 PROPOSED FIRST
 FLOOR PLAN



INTERIOR PARTITION SCHEDULE

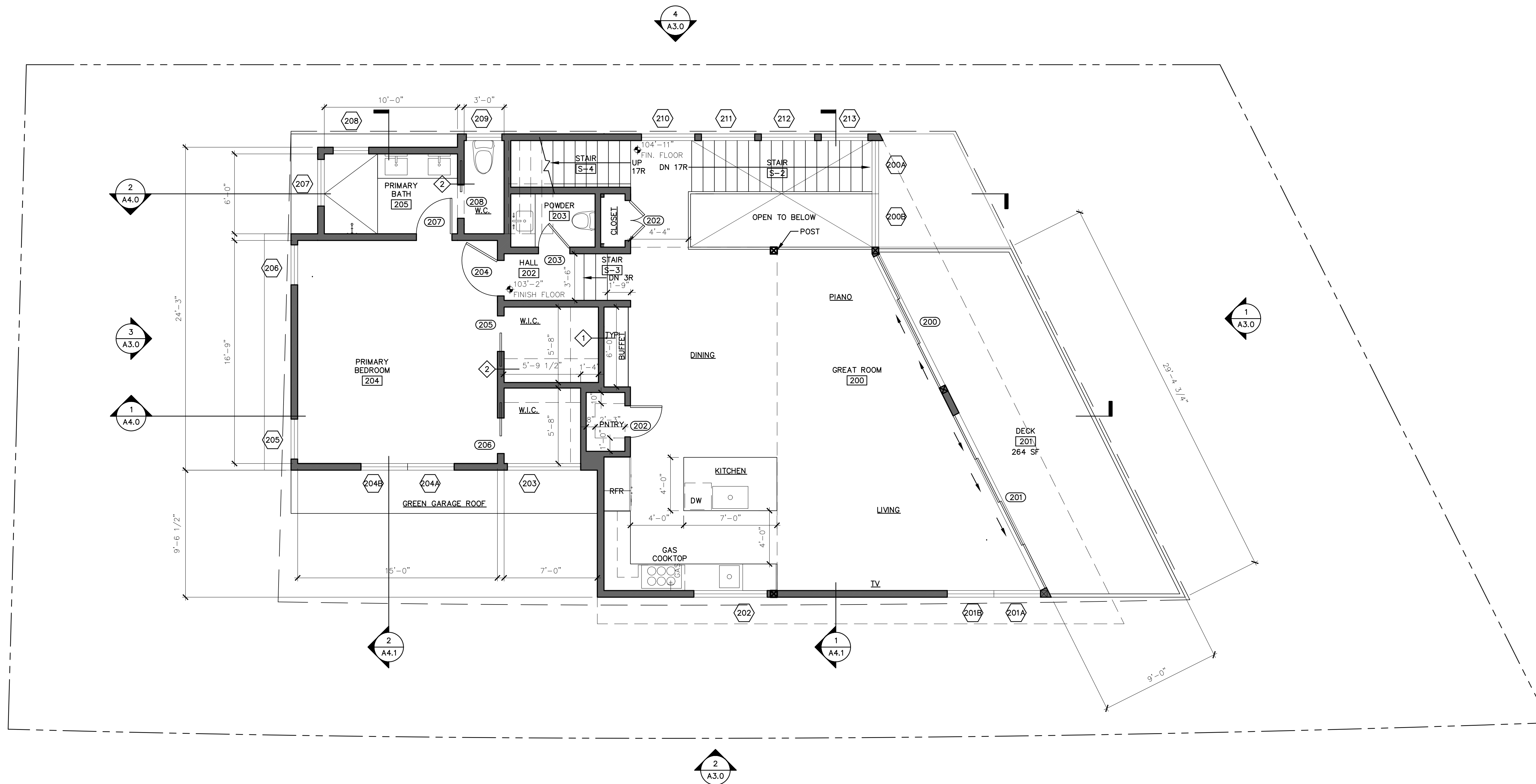
- ① 2X4 INTERIOR WALL
- ② 2X6 INTERIOR WALL W/ SOUND INSULATION. TYP. © POCKET DOORS
- ③ 1 HR. FIRE RATED WALL ASSEMBLY





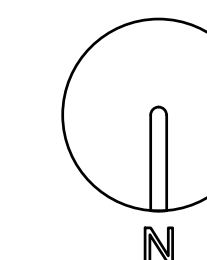
PROJECT:

**BARSH-RUSSO
 RESIDENCE**
 000 BALBOA
 EL GRANADA, CA
 APN 047-207-060/070



INTERIOR PARTITION SCHEDULE

- ① — 2X4 INTERIOR WALL
- ② — 2X6 INTERIOR WALL W/ SOUND INSULATION. TYP. © POCKET DOORS
- ③ — 1 HR. FIRE RATED WALL ASSEMBLY



GENERAL NOTES

ISSUE:
 NO. DESCRIPTION DATE

DESIGN REVIEW

SCALE: 1/4"=1'-0"

SHEET DATE: 01.13.2022

A2.2
 PROPOSED SECOND
 FLOOR PLAN

CLIENTS:

GREG BARSH &
CAROLYN RUSSO
700 MARINA COTTAGE DRIVE
MEMPHIS, TN 38103

KATKIN
ARCHITECTURE
P.O. BOX 2115
EL GRANADA CA 94018
415.706.0981



PROJECT:

BARSH-RUSSO
RESIDENCE
000 BALBOA
EL GRANADA, CA
APN 047-207-060/070

ISSUE:

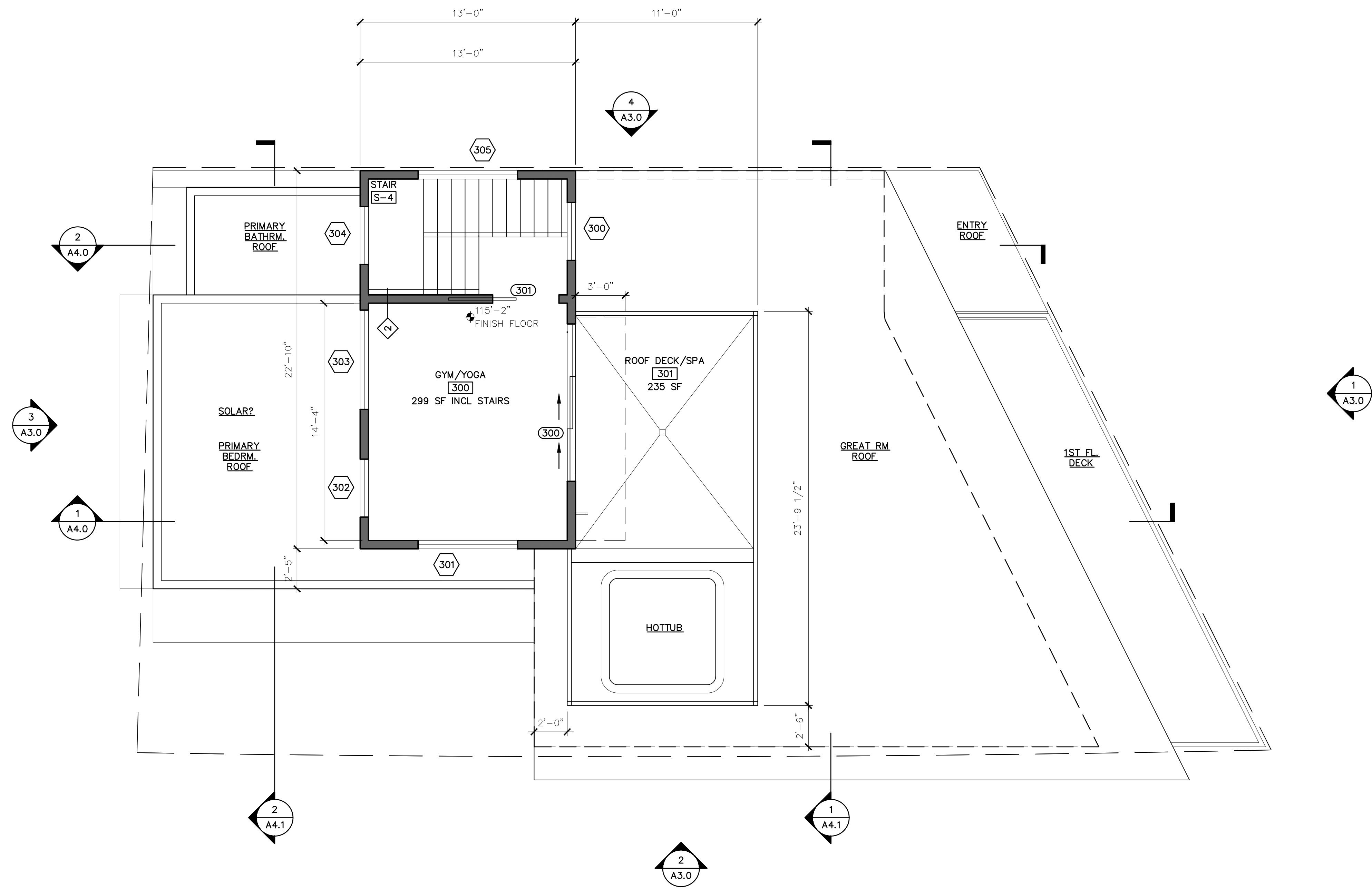
NO. DESCRIPTION DATE

DESIGN REVIEW

SCALE: 1/4"=1'-0"

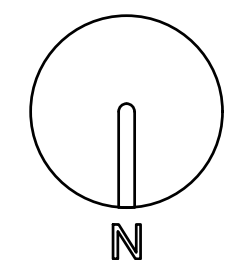
SHEET DATE: 01.13.2022

A2.3
PROPOSED THIRD
FLOOR PLAN



INTERIOR PARTITION SCHEDULE

- ① — 2X4 INTERIOR WALL
- ② — 2X6 INTERIOR WALL W/ SOUND INSULATION. TYP. @ POCKET DOORS
- ③ — 1 HR. FIRE RATED WALL ASSEMBLY



GENERAL NOTES

CLIENTS:

GREG BARSH &
CAROLYN RUSSO
700 MARINA COTTAGE DRIVE
MEMPHIS, TN 38103

KATKIN
ARCHITECTURE
P.O. BOX 2115
EL GRANADA, CA 94018
415.706.0981



PROJECT:

BARSH-RUSSO
RESIDENCE

000 BALBOA
EL GRANADA, CA
APN 047-207-060/070

ISSUE:

NO.	DESCRIPTION	DATE

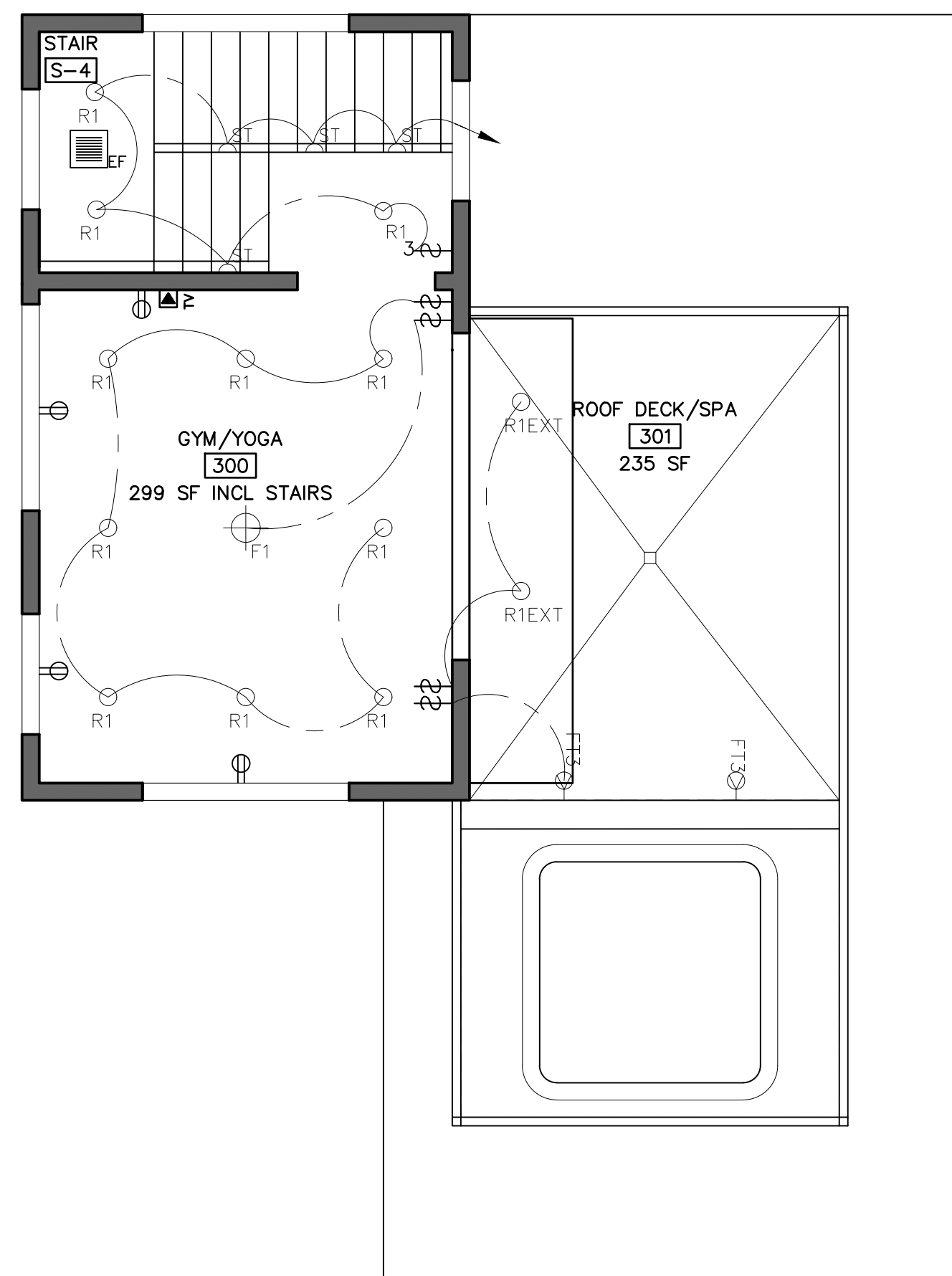
DESIGN REVIEW

SCALE: 1/4"=1'-0"

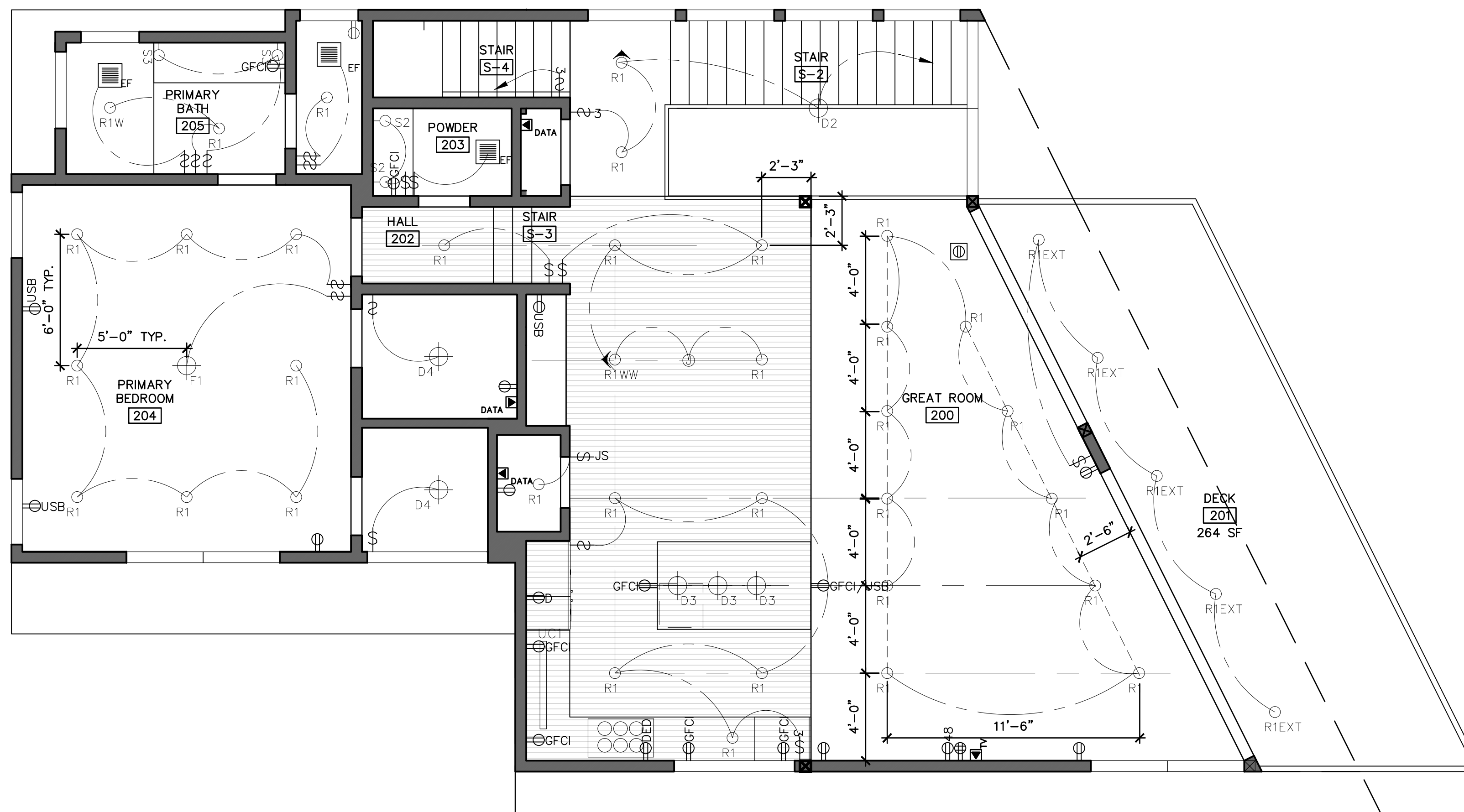
SHEET DATE: 01.13.2022

A2.4

PROPOSED
REFLECTED CEILING
PLANS



3 PROPOSED THIRD FLOOR REFLECTED CEILING PLAN
1/4"=1'-0"



2 PROPOSED SECOND FLOOR REFLECTED CEILING PLAN
1/4"=1'-0"

LIGHTING LEGEND:

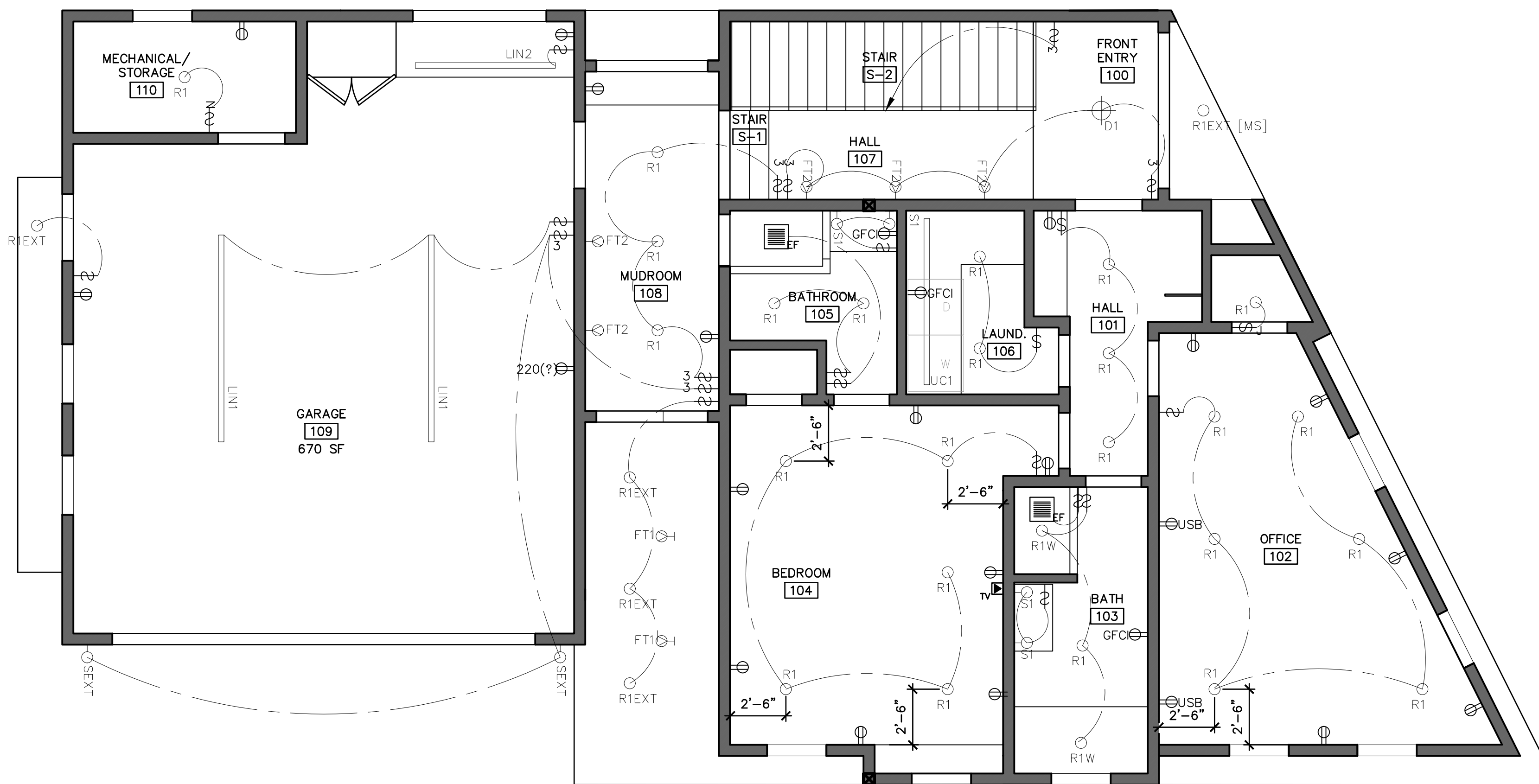
- R1 LED CAN DOWNLIGHT
- R1W LED CAN DOWNLIGHT - WET LOCATION
- R1WW LED CAN WALL WASH
- R1EXT LED CAN DOWNLIGHT - EXTERIOR
- ⊕ D DECORATIVE CEILING FIXTURE
- ⊕ F CEILING FAN
- S WALL SCONCE
- SEXT EXTERIOR SCONCE
- ▮ LIN LINEAR SUSPENSION
- ▮ UC LED TAPE LIGHT
- ⊕ FT FOOT LIGHT
- ⊕ ST STEP LIGHT
- ⊕ EF EXHAUST FAN

ELECTRICAL LEGEND:

- ⊕ RECEPTACLE
- ⊕ GFCI GFCI RECEPTACLE
- ⊕ GFCI EXT GFCI EXTERIOR RECEPTACLE (COORD. VOLTAGE AS INDICATED)
- ⊕ 220 220V RECEPTACLE
- ⊕ SWITCH - WIFI ENABLED DIMMABLE CONTROL
- ⊕ JS JAMB SWITCH
- ⊕ 3=3WAY SWITCH - WIFI ENABLED DIMMABLE CONTROL
- ⊕ DATA DATA PORT - CAT 6
- ⊕ HVAC SUPPLY/RETURN/WHOLE HOUSE FAN
- ⊕ JUNCTION BOX

LIGHTING & ELECTRICAL NOTES:

1. ALL SWITCHES TO BE WIFI CAPABLE AND WITH DIMMING CONTROL. Lutron PD-5ANS-WH-R OR SIM. COORD. W/ ARCH. & OWNERS
2. ALL LIGHTING TO BE HIGH EFFICACY
4. ALL LIGHTING CONTROLS TO BE DIMMABLE
5. SPEAKERS, A/V SYSTEMS, AND SMART HOME FUNCTIONS T.B.D.



1 PROPOSED FIRST FLOOR REFLECTED CEILING PLAN
1/4"=1'-0"

CLIENTS:
**GREG BARSH &
 CAROLYN RUSSO**
 700 MARINA COTTAGE DRIVE
 MEMPHIS, TN 38103

**KATKIN
 ARCHITECTURE**
 P.O. BOX 2115
 EL GRANADA, CA 94018
 415.706.0981

PROJECT:

**BARSH-RUSSO
 RESIDENCE**
 000 BALBOA
 EL GRANADA, CA
 APN 047-207-060/070

ISSUE:
 NO. DESCRIPTION DATE

DESIGN REVIEW

SCALE: 1/4"=1'-0"
 SHEET DATE: 01.13.2022

A3.0
 PROPOSED EXTERIOR
 ELEVATIONS



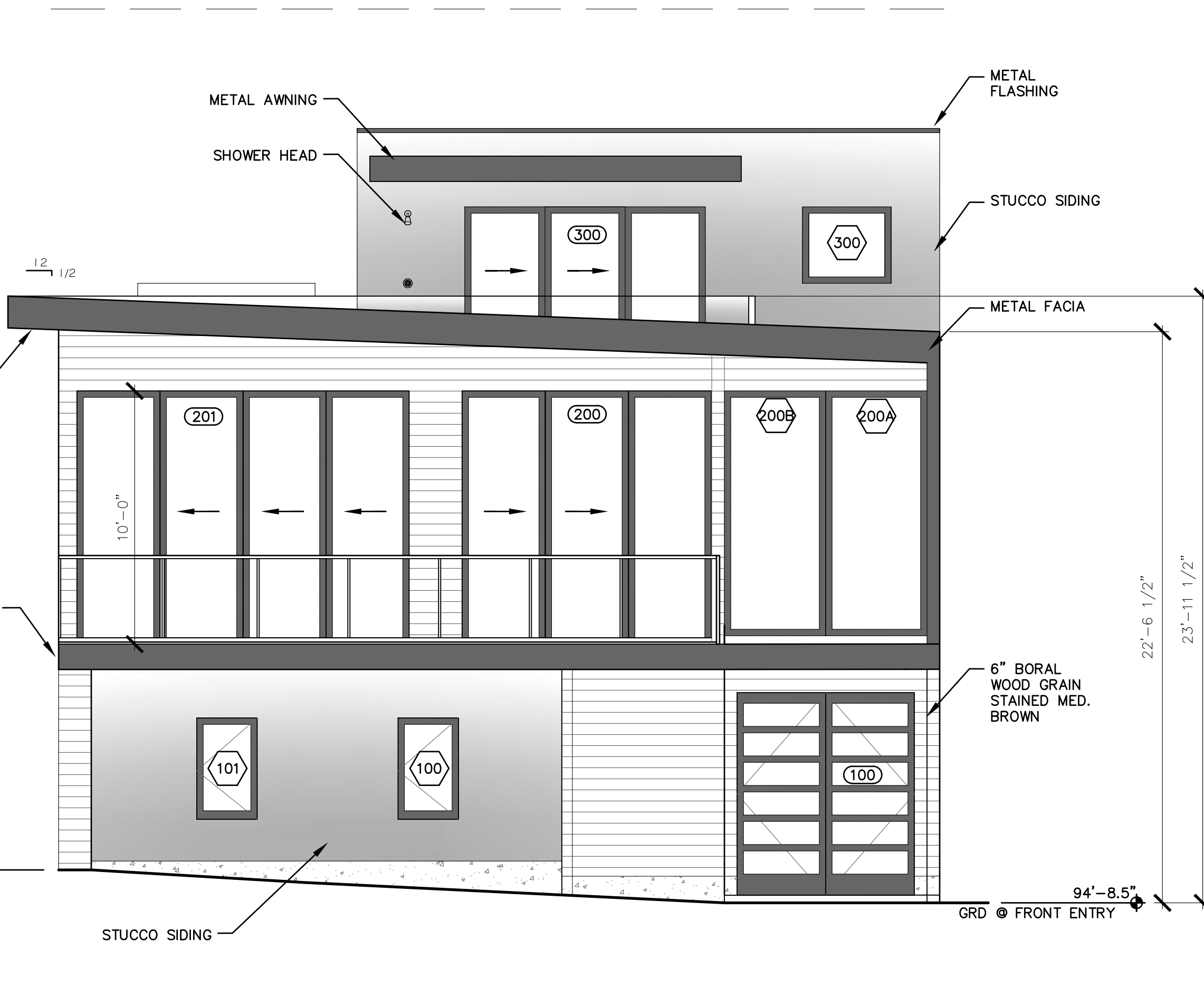
④ SOUTH EXTERIOR ELEVATION
 1/4"=1'-0"



③ EAST EXTERIOR ELEVATION
 1/4"=1'-0"



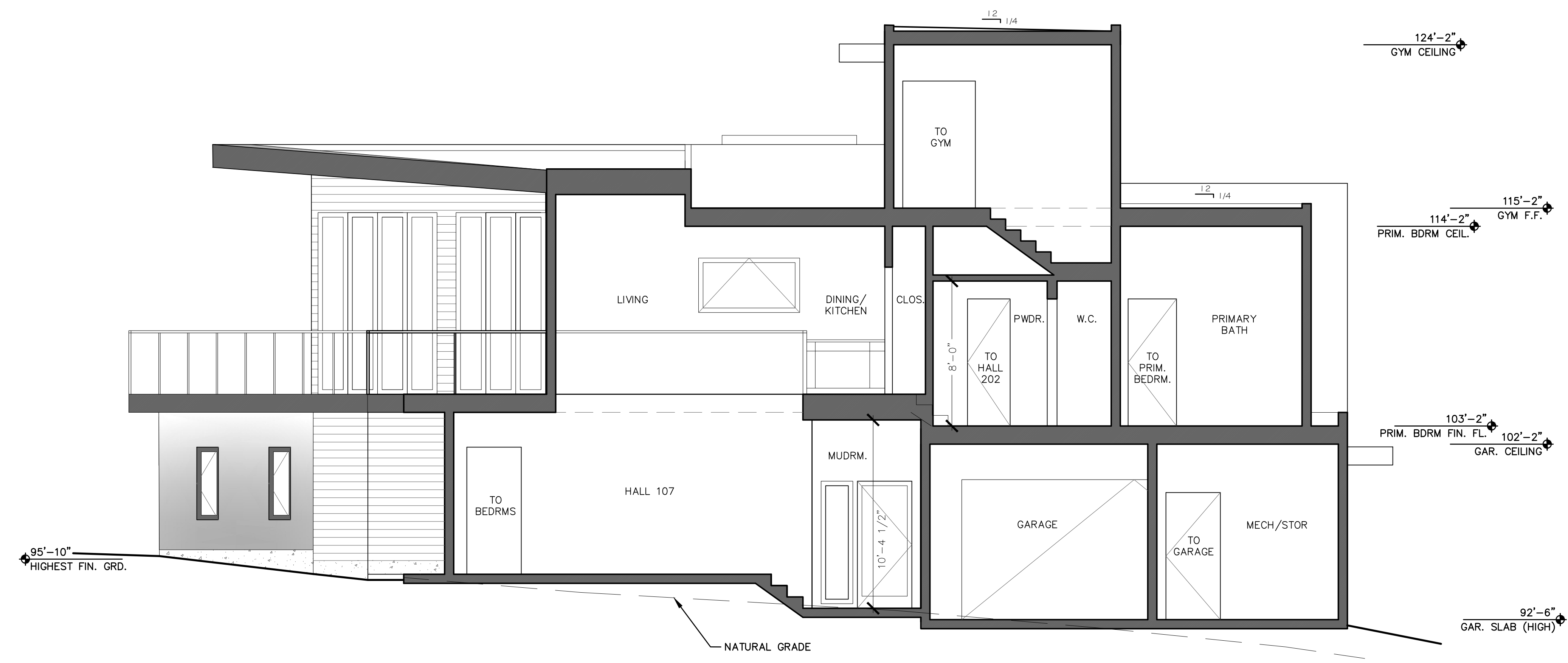
② NORTH EXTERIOR ELEVATION
 1/4"=1'-0"



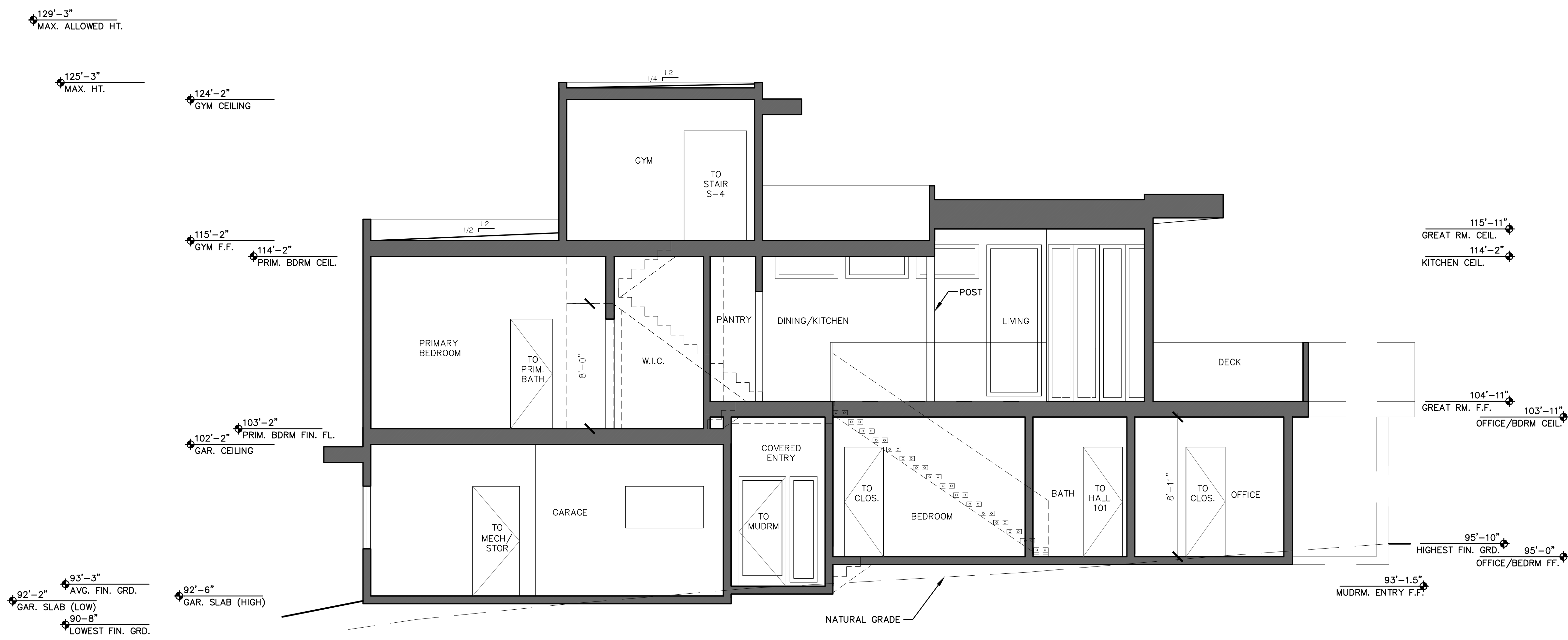
① WEST EXTERIOR ELEVATION
 1/4"=1'-0"

CLIENTS:
**GREG BARSH &
 CAROLYN RUSSO**
 700 MARINA COTTAGE DRIVE
 MEMPHIS, TN 38103

**KATKIN
 ARCHITECTURE**
 P.O. BOX 2115
 EL GRANADA CA 94018
 415.706.0981



2 PROPOSED WEST TO EAST SECTION
 1/4"=1'-0"



1 PROPOSED EAST TO WEST SECTION
 1/4"=1'-0"

PROJECT:

**BARSH-RUSSO
 RESIDENCE**
 000 BALBOA
 EL GRANADA, CA
 APN 047-207-060/070

ISSUE:
 NO. DESCRIPTION DATE

DESIGN REVIEW

SCALE: 1/4"=1'-0"
 SHEET DATE: 01.13.2022

A4.0
 PROPOSED BUILDING
 SECTIONS

CLIENTS:

GREG BARSH &
CAROLYN RUSSO
700 MARINA COTTAGE DRIVE
MEMPHIS, TN 38103

KATKIN
ARCHITECTURE
P.O. BOX 2115
EL GRANADA CA 94018
415.706.0981



PROJECT:

BARSH-RUSSO
RESIDENCE
000 BALBOA
EL GRANADA, CA
APN 047-207-060/070

ISSUE:

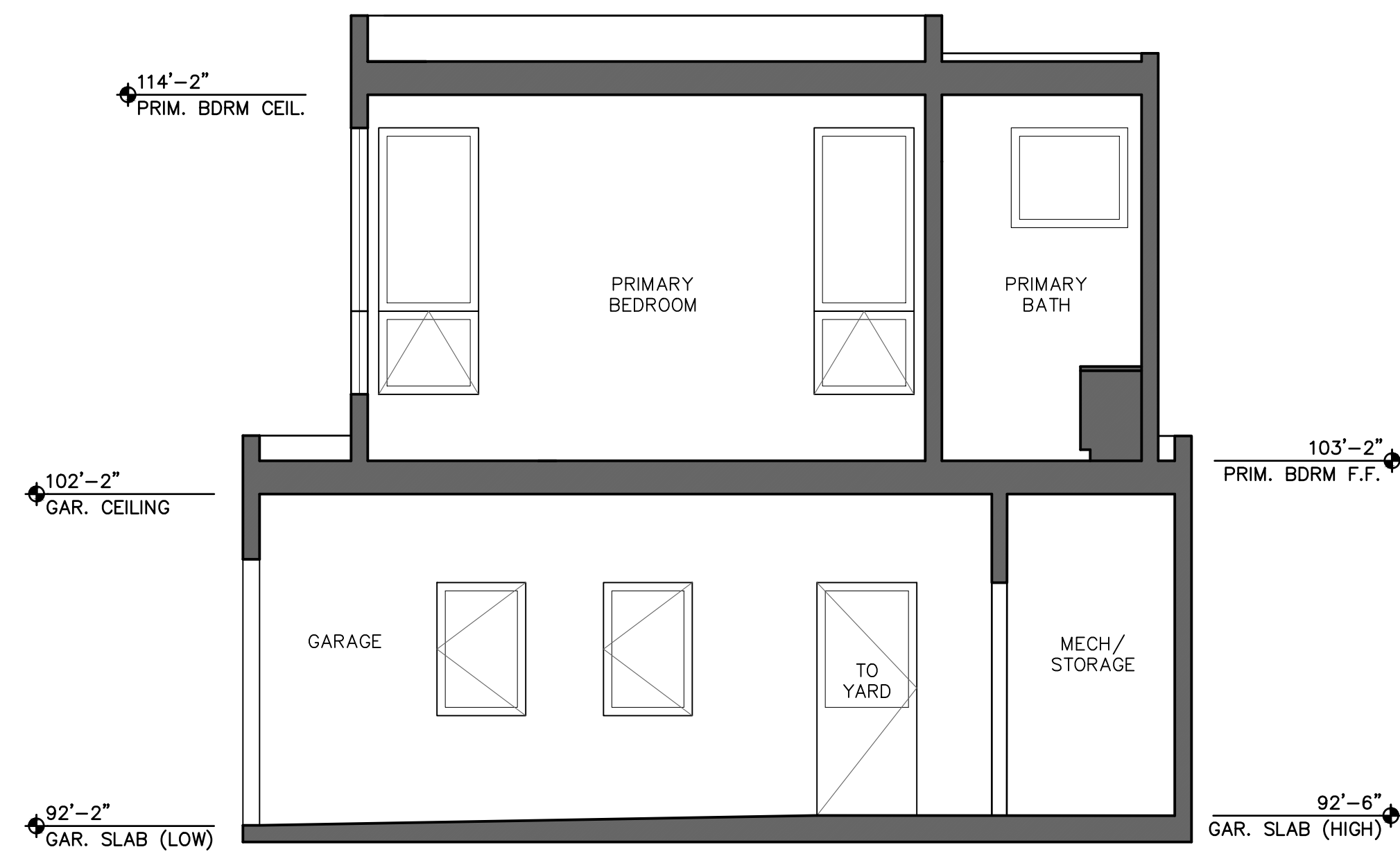
NO. DESCRIPTION DATE

DESIGN REVIEW

SCALE: 1/4"=1'-0"

SHEET DATE: 01.13.2022

A4.1
PROPOSED BUILDING
SECTIONS



2 PROPOSED N TO S SECTION, GARAGE & PRIM. BDRM. ROOF
1/4"=1'-0"

129'-3"
MAX. ALLOWED HT.

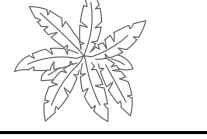


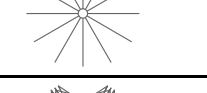



125'-3"
MAX. HT.

93'-3"
AVG. FIN. GRD.

90'-8"
LOWEST FIN. GRD.

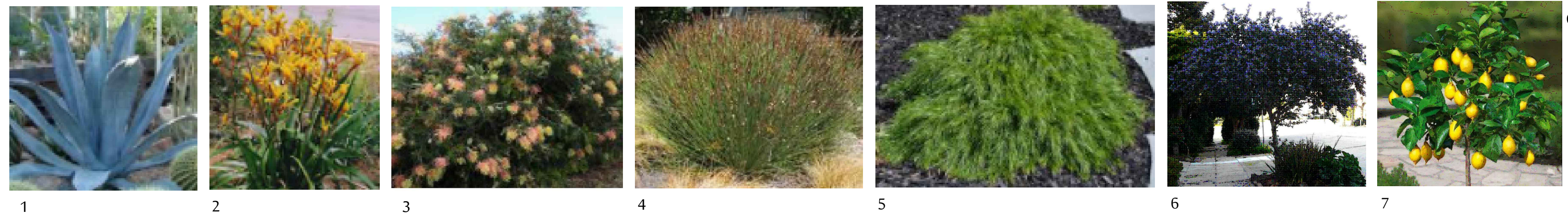


1 PROPOSED N TO S SECTION, BEDROOM & GREAT RM.
1/4"=1'-0"

PLANT LEGEND	TYPE	SPECIES	SIZE	QUANT.
1. 	SUCCULENT	AGAVE AMERICANA	2'-4' TALL"	9
2. 	FLOWERING PERENNIAL	ANIGOZANTHOS GOLD VELVET "KANGAROO PAW"	3'-4' TALL"	18
3. 	FLOWERING PERENNIAL	GREIVILLIA PEACHES AND CREAM	4'-6' TALL"	9
4. 	PERENNIAL GRASS	CHONDROPETALUM ELEPHANTINUM	4'-6' TALL"	7
5. 	FLOWERING PERENNIAL	ACACIA COGNOTAACACIA (COUSIN ITT)	2'-3' TALL"	15
6. 	FLOWERING TREE	CEANOTHUS RAY HARTMAN	15'	2
7. 	FRUIT TREE	CITRUS MEYER-PROVED MEYER LEMON	6'-10'	1

LANDSCAPE NOTES:

1. A MINIMUM THREE INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS, EXCEPT TURF AREAS, CREEPING OR ROOTING GROUND COVERS, OR DIRECT SEEDING APPLICATIONS, WHERE MULCH IS CONTRA INDICATED.
2. MINIMUM 75% OF PLANTINGS SHALL HAVE A WUCOLS PLANT FACTOR OF 0.3
3. AT THE TIME OF FINAL INSPECTION THE PERMIT APPLICANT MUST SUPPLY THE OWNER WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE & IRRIGATION MAINTENANCE.
4. UNLESS CONTRADICTED BY THE SOILS TEST, COMPOST AT A RATE OF MIN. 4 CUBIC YARDS PER 1,000 S.F. OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL



CLIENTS:
GREG BARSH & CAROLYN RUSSO
 700 MARINA COTTAGE DRIVE
 MEMPHIS, TN 38103

KATKIN ARCHITECTURE
 P.O. BOX 2115
 EL GRANADA CA 94018
 415.706.0981



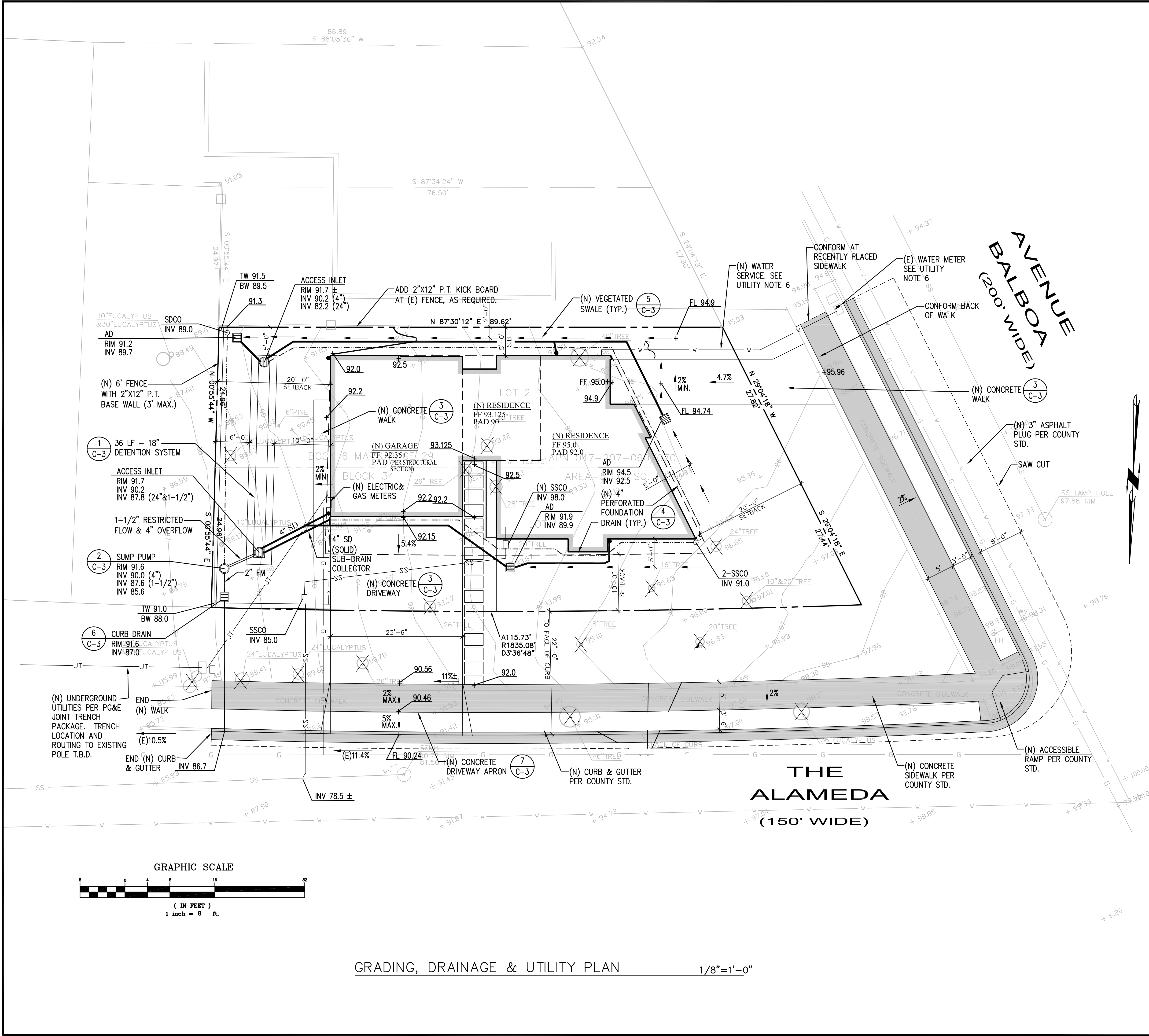
PROJECT:
BARSH-RUSSO RESIDENCE
 000 BALBOA
 EL GRANADA, CA
 APN 047-207-060/070

ISSUE:	NO.	DESCRIPTION	DATE

DESIGN REVIEW

SCALE: 1/4"=1'-0"
 SHEET DATE: 01.13.2021

L1.0
 LANDSCAPE PLAN



- GENERAL NOTES:**
- CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS & SETBACKS WITH ARCHITECTURAL PLANS.
 - TOPOGRAPHIC INFORMATION PROVIDED BY SAVIOR P. MICALLEF LAND SURVEYING, DATED MARCH 13, 2021.
 - SLOPE PORCHES, LANDINGS AND TERRACES 2% AWAY FROM RESIDENCE.
 - PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM THE HOUSE PERIMETER BY SLOPING THE FINISHED GROUND SURFACE AT LEAST 5% AWAY FROM RESIDENCE.
 - CONTRACTOR TO CONTACT SOILS ENGINEER TO COORDINATE INSPECTIONS AT LEAST ONE WEEK PRIOR TO PENDING INSPECTIONS.
 - ALL GRADING AND TRENCH BACKFILL TO BE PERFORMED PER THE GEOTECHNICAL ENGINEERS RECOMMENDATIONS. ALL FOUNDATION DRAINS AND BASEMENT SUBDRAINS TO BE INSTALLED PER GEOTECHNICAL ENGINEER'S RECOMMENDATIONS AND ALL INSTALLATIONS TO BE INSPECTED BY GEOTECHNICAL ENGINEER.
 - IT IS RECOMMENDED THAT AN AS-BUILT PLAN FOR THE DRAINAGE SYSTEM BE PREPARED AT THE COMPLETION OF CONSTRUCTION.
 - THE OWNER RECOGNIZES THAT THE DRAINAGE FACILITIES WILL NEED TO BE PERIODICALLY CLEANED OF DEBRIS DURING THE FUNCTIONAL LIFE OF THE SYSTEM.
 - CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS. THEY SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING. VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES BEFORE STARTING CONSTRUCTION.
 - ANY SITE WORK THAT DEVIATES FROM WHAT IS SHOWN ON THE PLANS SHALL HAVE THE ENGINEER'S APPROVAL PRIOR TO PROCEEDING WITH THE DEVIATING WORK ITEM.
 - CONTRACTOR SHALL CALL "UNDERGROUND SERVICE ALERT" (800) 642-2444, 48 HOURS PRIOR TO EXCAVATION.
 - FOR ADDITIONAL SITE LAYOUT INFORMATION SEE ARCHITECTURAL AND LANDSCAPE PLANS.
 - CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE TOWN OF EL GRANADA PRIOR TO PERFORMING ANY WORK WITHIN THE PUBLIC RIGHT OF WAY OR WORK ON TOWN UTILITIES LIKE WATER, SEWER, AND STORM DRAINAGE.
 - CONTRACTOR SHALL ADHERE TO "BEST MANAGEMENT PRACTICES" (BMP)'S GUIDELINES DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR STORING, USING, AND DISPOSING OF ALL HAZARDOUS MATERIALS, IN ACCORDANCE WITH ALL STATE AND LOCAL LAWS. SEE CONSTRUCTION BMP'S CHECKLIST PLAN SHEET.
 - CONTRACTOR SHALL REVIEW AND UNDERSTAND GRADING AND DRAINAGE GUIDELINES SET FORTH IN THE GEOTECHNICAL REPORT PRIOR TO STARTING ANY SITE WORK.
 - CONTRACTOR SHALL ADHERE TO CAL OSHA STANDARD WHEN GRADING AND EXCAVATING.
 - PER TOWN, "UNLESS OTHERWISE APPROVED BY THE FIRE DEPT., ALL NEW OR RECONFIGURED DRIVEWAYS SHALL HAVE MIN. WIDTH OF FOURTEEN FEET, WITH MAX SLOPE OF 16%, EXCEPT THAT THE FIRST FIFTEEN FEET SHALL HAVE SLOPE NO GREATER THAN 5%." DRIVEWAY SHALL BE ALL WEATHER ROAD SURFACE TO SUPPORT FIRE APPARATUS.
 - ALL CONNECTIONS TO TOWN WATER/SEWER/STORM DRAIN FACILITIES AND ONSITE DETENTION FACILITIES SHALL BE INSPECTED BY TOWN PRIOR TO TRENCH BACKFILL. CONTRACTOR SHALL COORDINATE WITH THE TOWN OF EL GRANADA PUBLIC WORKS DEPARTMENT FOR INSPECTION.
 - ANY DAMAGE RIGHT OF WAY INFRASTRUCTURES AND OTHERWISE DISPLACED CURB, GUTTER AND/OR PARKING STRIP SHALL BE REMOVED AND REPLACED, AS DIRECTED BY THE TOWN ENGINEER OR HIS DESIGNEE. CONTRACTOR SHALL COORDINATE WITH STREET DEPARTMENT SUPERVISOR, FOR SITE VISIT PRIOR TO FINAL SIGN-OFF.
 - CONTRACTOR/PERMITEE SHALL SCHEDULE TWO INSPECTIONS WITH THE PUBLIC WORKS DEPARTMENT FOR THE PARKING STRIP INSTALLATION: (1) AFTER THE COMPACTION OF THE BASE/BEDDING MATERIAL AND (2) UPON THE COMPLETION.
 - ALL GRADING FOR WHICH THE TOWN HAS REQUIRED A SOILS REPORT SHALL BE SUPERVISED, DURING THE PLACEMENT AND COMPACTION PERIOD, BY THE SOILS ENGINEER OF RECORD AND SHALL BE PERFORMED IN CONFORMANCE WITH THE PROVISIONS OF EL GRANADA MUNICIPAL CODE AND CHAPTER 33 OF THE UNIFORM BUILDING CODE (UBC). THE SOILS ENGINEER SHALL CERTIFY SUCH GRADING WORK, UPON COMPLETION OF THE WORK, IN WRITING AND PROVIDED TO TOWN PRIOR TO FINAL SIGN-OFF. THE TOWN ENGINEERING DEPARTMENT SHALL CONTACTED FOR TWO (2) INSPECTIONS (650.375.7444). FIRST, INSPECTION FOLLOWING COMPLETION OF MASS GRADING BUT PRIOR TO THE FIRST FOUNDATION INSPECTION. SECOND, FOLLOWING COMPLETION OF ALL GRADING OPERATIONS, BUT PRIOR TO LANDSCAPE INSTALLATION.
 - CIVIL ENGINEER AND SOILS ENGINEER OF RECORD SHALL PROVIDE PROFESSIONAL INSPECTIONS WITHIN SUCH ENGINEER'S AREA OF TECHNICAL SPECIALTY PER SECTION 3317 OF UBC. IN THE COURSE OF FULFILLING THEIR RESPECTIVE DUTIES, THE ENGINEERS FIND THAT THE WORK IS NOT BEING DONE IN CONFORMANCE WITH HMC, UBC OR THE APPROVED GRADING AND DRAINAGE PLANS. THE DISCREPANCIES SHALL BE REPORTED IMMEDIATELY, IN WRITING, TO THE PERMITTED AND TO THE ENGINEERING DEPARTMENT. FINAL INSPECTION SHALL NOT BE SCHEDULED UNTIL THE CERTIFICATION LETTERS FOR THE CIVIL ENGINEER AND SOILS ENGINEER HAVE BEEN RECEIVED BY THE TOWN.
 - RETAINING WALLS SHALL NOT EXCEED THE ALLOWABLE HEIGHT OF 6' WITHIN THE PROPERTY LINE SETBACK LINE AND 4.5' WITHIN THE AREA BETWEEN PROPERTY LINE AND SETBACK.
 - CONTRACTOR SHALL TAKE EXTREME CARE AND PROTECT ALL EXISTING TREES TO REMAIN, AS REQUIRED BY THE LANDSCAPE PLAN. PROTECTION SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT ARBORIS REPORTS, AND SHALL BE INSPECTED BY THE ARBORIST PRIOR TO THE COMMENCEMENT OF GRADING ACTIVITIES.
 - ALL POOLS (INCLUDING SWIMMING, SPAS, HOT TUBS, AND FOUNTAINS) SHALL DRAIN TO EXISTING SEWER SYSTEM. ALL WATER FROM THESE SYSTEMS SHALL BE DECHLORINATED PRIOR TO BEING DISCHARGED TO THE MUNICIPAL SANITARY SEWER SYSTEM. ANY DISCHARGE OF POOL, SPA, HOT TUB, OR FOUNTAINS TO THE STORM DRAIN SYSTEM IS PROHIBITED.
 - GRADING SHALL OCCUR ONLY BETWEEN MAY 1ST AND SEPTEMBER 30TH, UNLESS OTHERWISE APPROVED IN WRITING BY THE TOWN ENGINEER IN CONJUNCTION WITH AN APPROVED EROSION AND SEDIMENT CONTROL PLAN. GRADING OPERATIONS SHALL BE ACCOMPLISHED ONLY BETWEEN THE HOURS OF 8:00 AM TO 5:00 PM, MONDAY THROUGH FRIDAY, (HMC 15.24.080-G). NORMALLY SCHEDULED CONSTRUCTION ACTIVITIES SHALL ADHERE TO THE TOWN'S NOISE ORDINANCE.
 - FAILURE TO COMPLY WITH ANY PERMIT CONDITION MAY RESULT IN A "STOP WORK" ORDER OF OTHER PENALTY.

- UTILITY NOTES:**
- CONTRACTOR TO ASSIST OWNER IN COORDINATION WITH PG&E FOR THE INSTALLATION/RELOCATION OF GAS, ELECTRIC, PHONE AND TV SERVICES. SIZE OF NEW SERVICE TO BE DETERMINED BY PG&E.
 - CONTRACTOR SHALL ASSIST OWNER TO PERMIT NEW SEWER LATERAL AND SERVICE WITH THE COASTSIDE SEWER DISTRICT. INSTALL CLEANOUTS AT PROPERTY LINE AND AT NEW HOME AS SHOWN ON PLAN. A DISTRICT APPROVED BACKFLOW PREVENTION DEVICE SHALL BE INSTALLED IF REQUIRED BY DISTRICT.
 - ALL SEWER WORK TO BE IN CONFORMANCE WITH THE COUNTY AND DISTRICT STANDARDS.
 - ALL STORM DRAIN PIPE SHALL BE PVC SDR 35, SLOPED AT 1% UNLESS OTHERWISE SPECIFIED ON THE PLANS. PIPE SHALL BE SIZED AS SPECIFIED ON THE PLANS. ALL DIRECTION CHANGES SHALL BE MADE WITH A WYE CONNECTION, ELBOWS AND TEE'S SHOULD BE AVOIDED.
 - ALL DOWN SPOUTS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM, AS SHOWN ON PLAN. ALL PIPE SHALL BE 4" PVC SDR 35 PIPE OR EQUIVALENT. SEE ARCHITECTURAL PLANS FOR EXACT LOCATION OF THE DOWN SPOUTS.
 - THE EXISTING WATER METER AND LATERAL IS TO REMAIN. CONTRACTOR TO INSTALL BACKFLOW PREVENTION DEVICE AND ISOLATION VALVE, IF CURRENTLY NOT ON SYSTEM. DEVICES SHALL BE INSTALLED ON THE DISCHARGE SIDE OF METER AND BE PLACED WITHIN ONE FOOT OF METER. A PRESSURE REDUCING VALVE SHALL BE INSTALLED AT BUILDING FACE. A NEW COPPER WATER SERVICE TO HOME SHALL BE INSTALLED. CONTRACTOR SHALL COORDINATE THE SIZING OF THE SERVICE WITH THE PROJECT FIRE SPRINKLER PLANS.
 - PATIO DRAINS (PD) SHALL BE 8" MINIMUM IN DIAMETER OR WIDTH. STYLE PER LANDSCAPE ARCHITECT'S DIRECTION. AREA DRAINS (AD) SHALL BE 12" NOS (OR EQUIVALENT). DRAIN INLETS (DI) SHALL BE STACKED CHRISTY B9 OR EQUAL.

EARTHWORK TABLE

	CUT	FILL
HOUSE	90 CY	0 CY
DRIVEWAY	9 CY	15 CY
REAR/FRONT/SIDE YARD	15 CY	75 CY
TOTAL	114 CY	90 CY
EXPORT	24 CY	

EXCESS MATERIAL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER. EARTHWORK QUANTITIES HAVE BEEN PROVIDED FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL ESTIMATE HIS/HER OWN QUANTITIES TO COMPLETE JOB PER CONTRACT WITH OWNER.

DATE 10/14/21
SCALE AS NOTED
REVISIONS:

DRAWN J.G.
CHECKED C.B.
JOB No. 2021765
SHEET No.

C-1
 OF 4 SHEETS

CLIFFORD BECHTEL AND ASSOCIATES, INC.
 Engineering and Project Management
 1321 254th Place, SE
 SAMMAMISH, WA 98075
 650-333-0103
 cliffbechtel@comcast.net

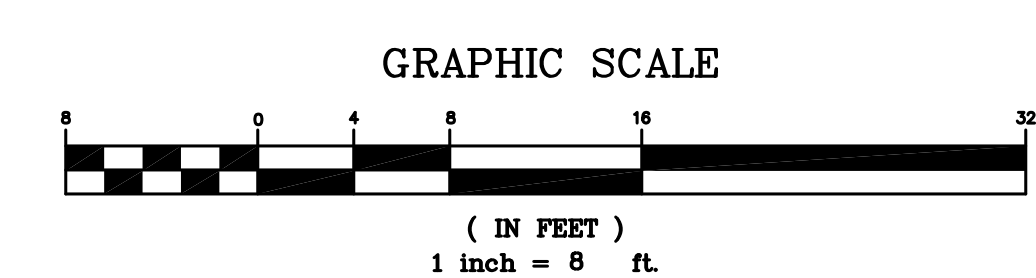
Barsh - Russo
 CIVIL
 52075
 STATE OF CALIFORNIA

California
San Mateo County
El Granada

BARSH - RUSSO RESIDENCE
000 AVENUE BALBOA
SAN MATEO COUNTY

GRADING, DRAINAGE & UTILITY PLAN

GRADING, DRAINAGE & UTILITY PLAN 1/8"=1'-0"



CLIFFORD BECHTEL AND ASSOCIATES, INC.
 Engineering and Project Management
 1321 254th Place, SE
 SAMMAMISH, WA 98075
 650-333-0103
 cliffbechtel@comcast.net

Barsh - Russo
 CIVIL
 52075
 STATE OF CALIFORNIA

California
San Mateo County
El Granada

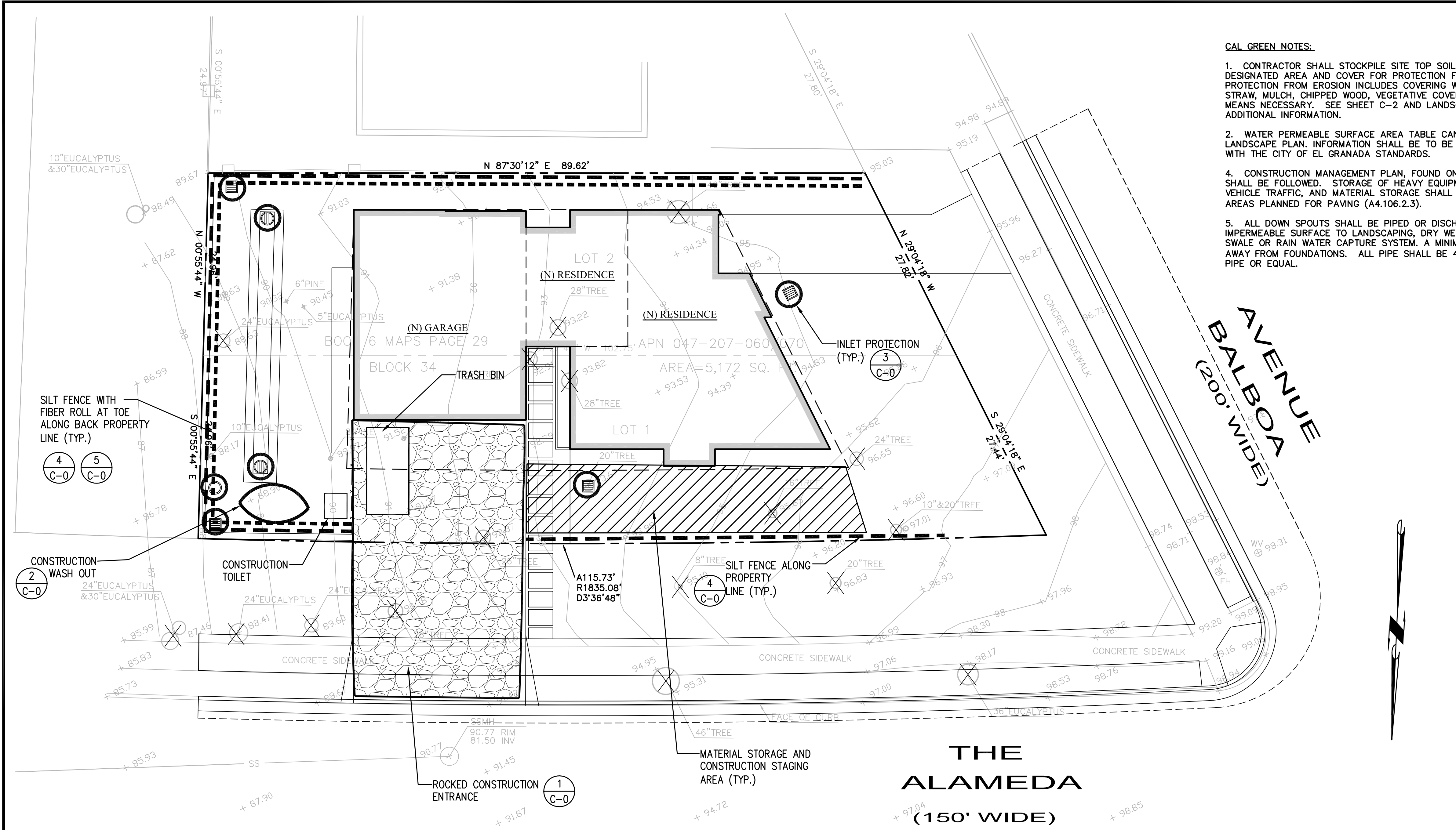
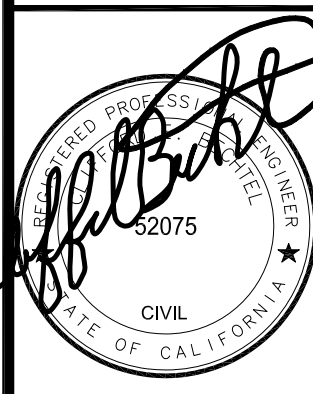
BARSH - RUSSO RESIDENCE
000 AVENUE BALBOA
SAN MATEO COUNTY

GRADING, DRAINAGE & UTILITY PLAN

DATE 10/14/21
SCALE AS NOTED
REVISIONS:

DRAWN J.G.
CHECKED C.B.
JOB No. 2021765
SHEET No.

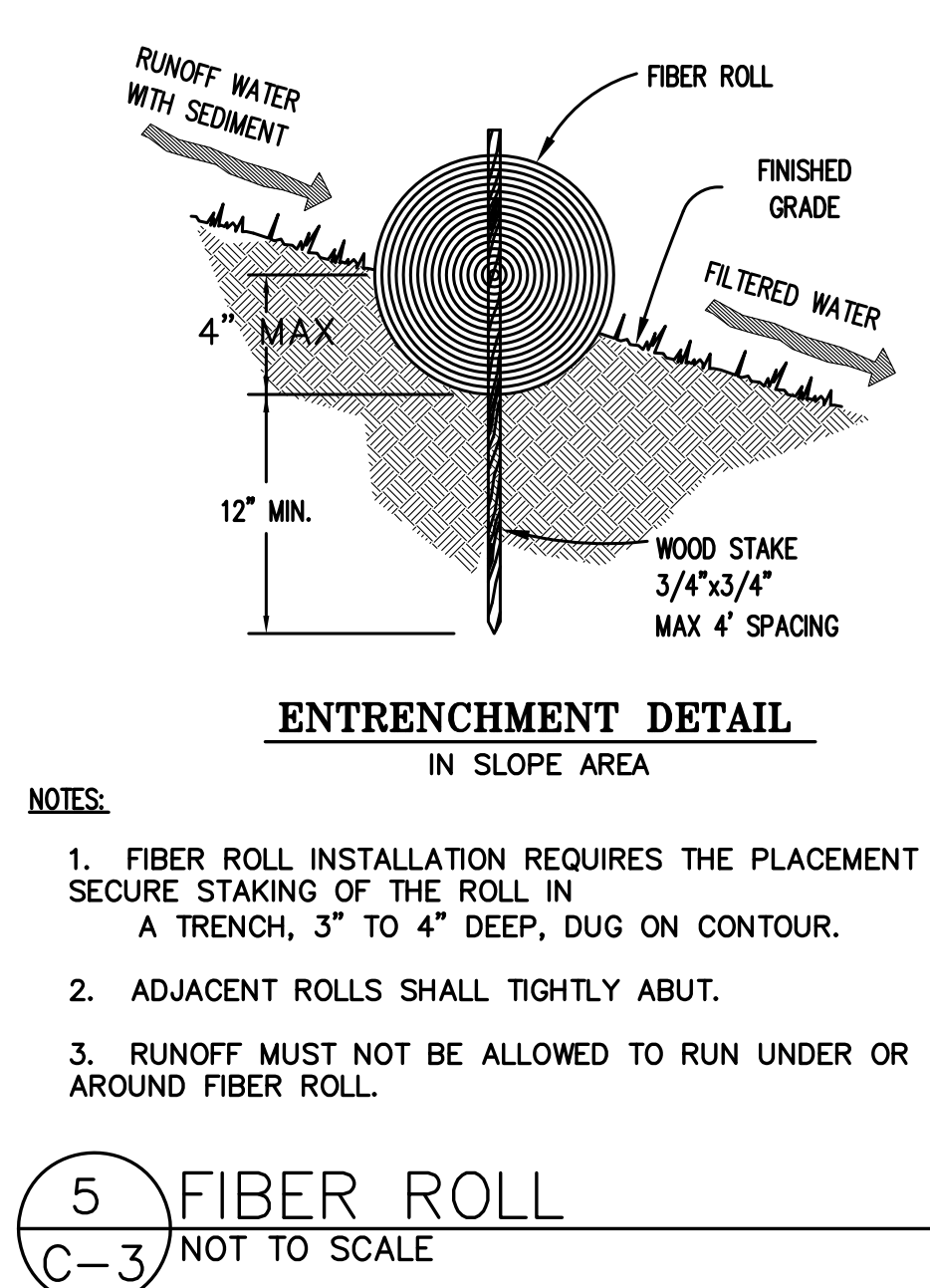
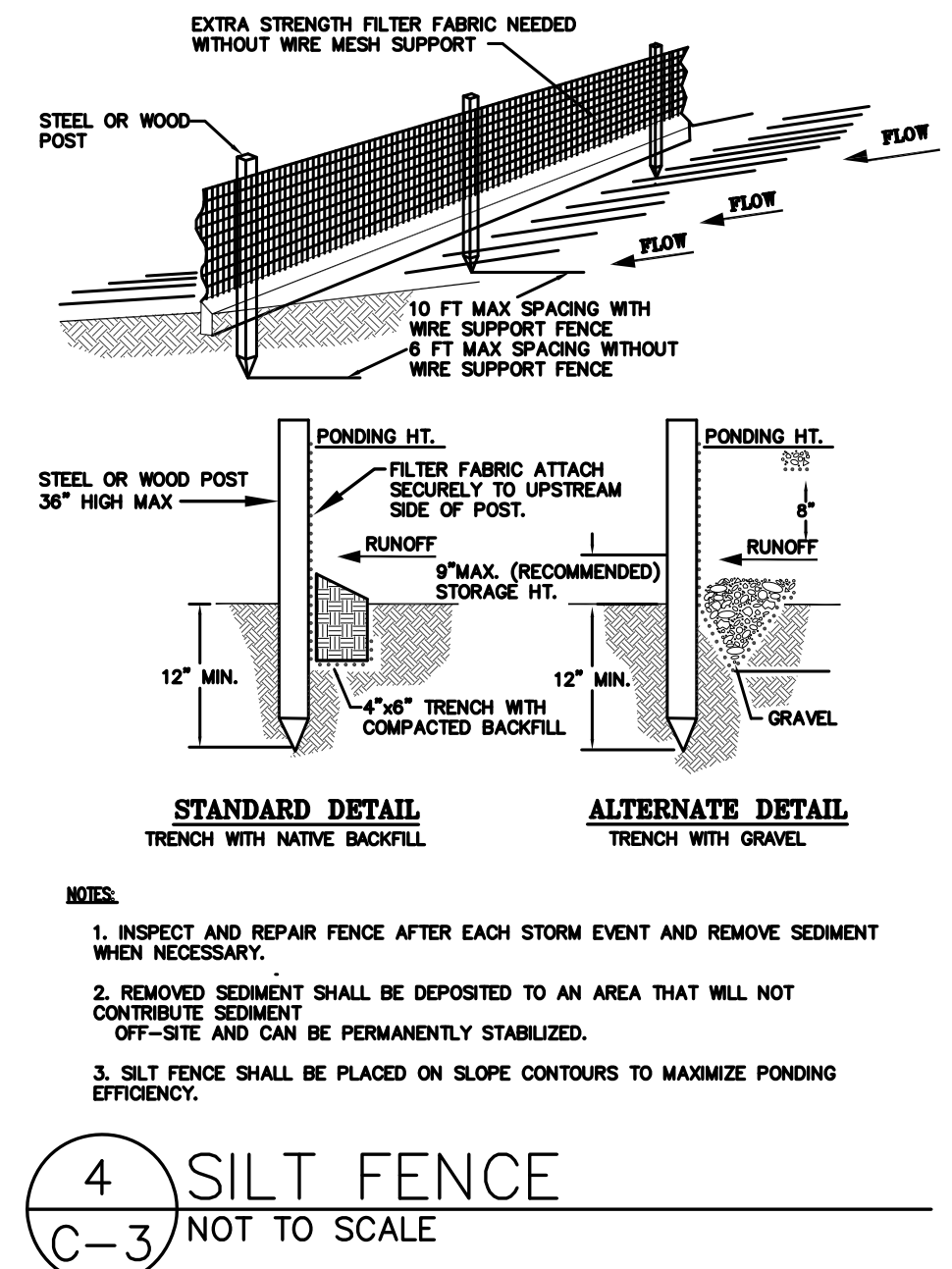
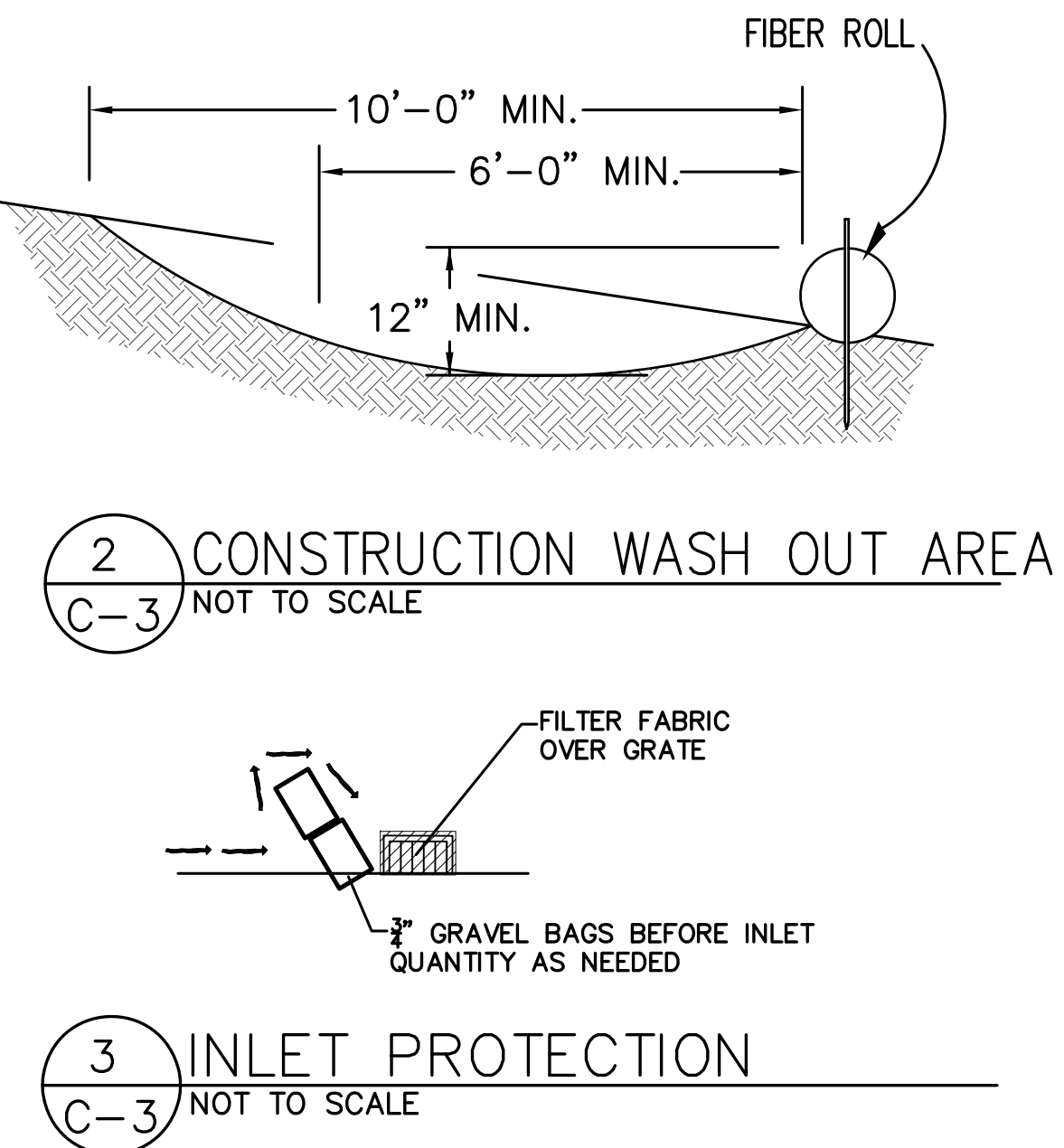
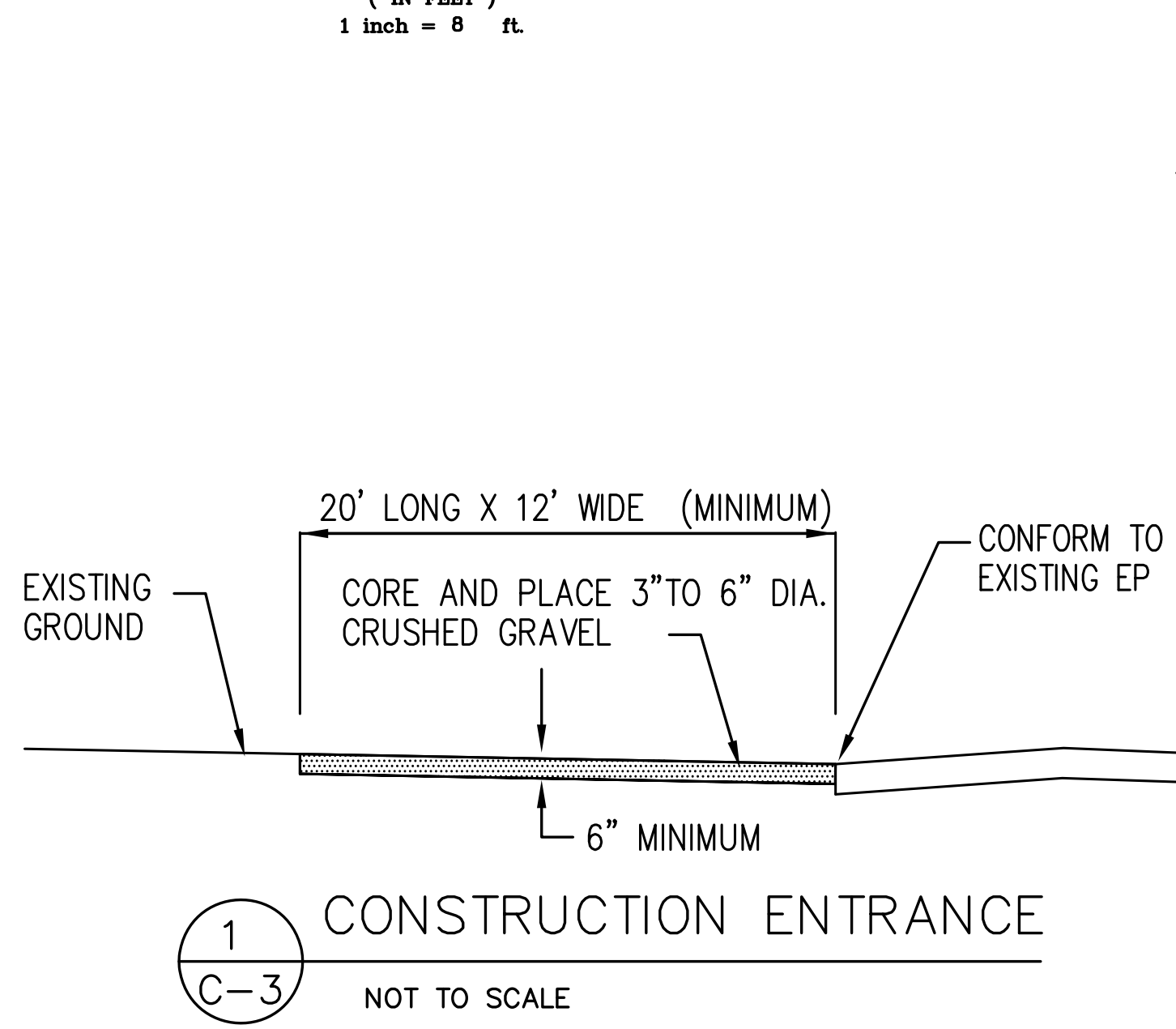
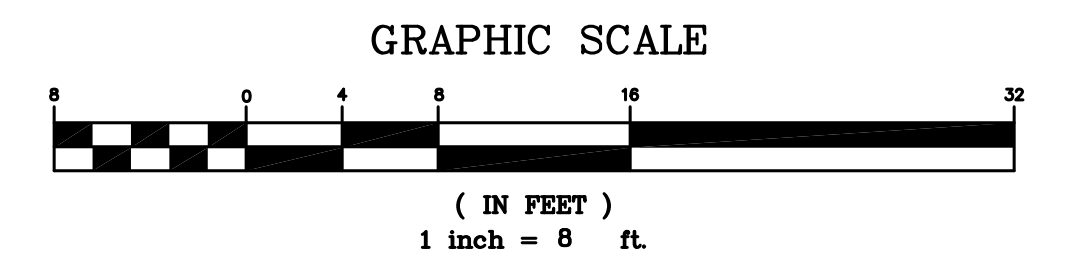
C-1
 OF 4 SHEETS



- CAL GREEN NOTES:**
- CONTRACTOR SHALL STOCKPILE SITE TOP SOIL FOR REUSE IN A DESIGNATED AREA AND COVER FOR PROTECTION FROM EROSION. PROTECTION FROM EROSION INCLUDES COVERING WITH TARPS, STRAW, MULCH, CHIPPED WOOD, VEGETATIVE COVER OR OTHER MEANS NECESSARY. SEE SHEET C-2 AND LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
 - WATER PERMEABLE SURFACE AREA TABLE CAN BE FOUND WITH LANDSCAPE PLAN. INFORMATION SHALL BE TO BE IN CONFORMANCE WITH THE CITY OF EL GRANADA STANDARDS.
 - CONSTRUCTION MANAGEMENT PLAN, FOUND ON SHEET C-2 SHALL BE FOLLOWED. STORAGE OF HEAVY EQUIPMENT PARKING, VEHICLE TRAFFIC, AND MATERIAL STORAGE SHALL BE LIMITED TO AREAS PLANNED FOR PAVING (A4.106.2.3).
 - ALL DOWN SPOUTS SHALL BE PIPED OR DISCHARGED ON AN IMPERMEABLE SURFACE TO LANDSCAPING, DRY WELL, SUMP, BIO SWALE OR RAIN WATER CAPTURE SYSTEM. A MINIMUM OF 5- FEET AWAY FROM FOUNDATIONS. ALL PIPE SHALL BE 4" PVC SDR 35 PIPE OR EQUAL.

- EROSION AND SEDIMENT CONTROL NOTES:**
- STORM DRAIN POLLUTION PREVENTION: PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK BAGS, HAY BALES, TEMPORARY DRAINAGE SWALES, FIBER ROLLS, SILT FENCES, BERMS OR STORM DRAIN INLET FILTERS.
 - THE EXISTING CONCRETE DRIVEWAY SHALL SERVE AS THE STABILIZED CONSTRUCTION ENTRANCE.
 - FIBER ROLL(S) SHALL BE INSTALLED, IF REQUIRED BY CITY, PRIOR TO THE INCEPTION OF ANY WORK ON-SITE, AND SHALL REMAIN IN PLACE UNTIL THE LANDSCAPING GROUND COVER IS INSTALLED.
 - DRY SWEEPING METHODS SHALL BE USED TO REMOVE ANY DEBRIS AND/OR SOIL TRACKED ON BALBOA AVE. DRY SWEEPING SHALL BE DONE AT THE END OF EACH WORK DAY.
 - THE CONTRACTOR SHALL FOLLOW AND USE BEST MANAGEMENT PRACTICES (BMP) FOR DISCHARGE INTO THE CITY'S STORM WATER SYSTEM DURING SITE STRIPPING, HAULING, EARTH MOVING ACTIVITIES, HEAVY EQUIPMENT OPERATIONS, GENERAL CONSTRUCTION AND SITE SUPERVISION, PAINTING, APPLICATIONS AND USE OF SOLVENTS AND ADHESIVES, LANDSCAPING AND GARDENING.
 - STOCKPILED MATERIAL SHALL BE COVERED WITH VISQUEEN OR A TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
 - ONCE THE PROPOSED ON-SITE DRAINAGE INLETS HAVE BEEN INSTALLED, THE CONTRACTOR SHALL PROTECT ANY BARE SOIL FROM ENTERING THE INLETS BY INSTALLING FILTER FABRIC UNDER THE INLET GRATES. THE FILTER FABRIC SHALL REMAIN UNTIL NATURAL GROUND COVER IS ESTABLISHED.
 - CONTRACTOR SHALL CONTROL DUST AS OFTEN AS REQUIRED BY THE CITY ENGINEER.
 - IF EROSION DEVELOPS IN A TEMPORARY EROSION PROTECTED AREA OR ANY ESTABLISHED VEGETATED AREA, THE CONTRACTOR SHALL IMMEDIATELY ALLEVIATE AND REMEDY THE PROBLEM AND TAKE PREVENTATIVE MEASURES TO MINIMIZE THE POSSIBILITY OF ITS REOCCURRENCE AND ALSO TO PREVENT THE RESULTING FLOW OF SOILS OR WATER WITH SUSPENDED SOILS FROM GETTING INTO THE TOWN'S DRAINAGE SYSTEM OR ANY NATURAL DRAINAGE CHANNEL OR DITCH.
 - CONTRACTOR MAY BE REQUIRED TO SUBMIT A LOGISTICS PLAN TO THE PUBLIC WORKS DEPARTMENT PRIOR TO COMMENCING WORK THAT ADDRESSES ALL IMPACTS TO THE CITY'S RIGHT-OF-WAY, INCLUDING, BUT NOT LIMITED TO: PEDESTRIAN CONTROL, TRAFFIC CONTROL, TRUCK ROUTES, MATERIAL DELIVERIES, CONTRACTOR'S PARKING, CONCRETE POURS, CRANE LIFTS, WORK HOURS, NOISE CONTROL, DUST CONTROL, STORM WATER POLLUTION PREVENTION, CONTRACTOR'S CONTACT, NOTICING OF AFFECTED SURROUNDING PROPERTIES, AND SCHEDULE OF WORK. THE REQUIREMENT TO SUBMIT A LOGISTICS PLAN WILL BE DEPENDENT ON THE NUMBER OF APPLICATIONS PUBLIC WORKS ENGINEERING RECEIVES WITH CLOSE PROXIMITY TO HELP MITIGATE AND CONTROL THE IMPACT TO THE PUBLIC RIGHT-OF-WAY. IF NECESSARY, PUBLIC WORKS MAY REQUIRE A LOGISTICS PLAN DURING CONSTRUCTION.

EROSION AND SEDIMENT CONTROL & STAGING PLAN 1/8"=1'-0"



COUNTY NOTES

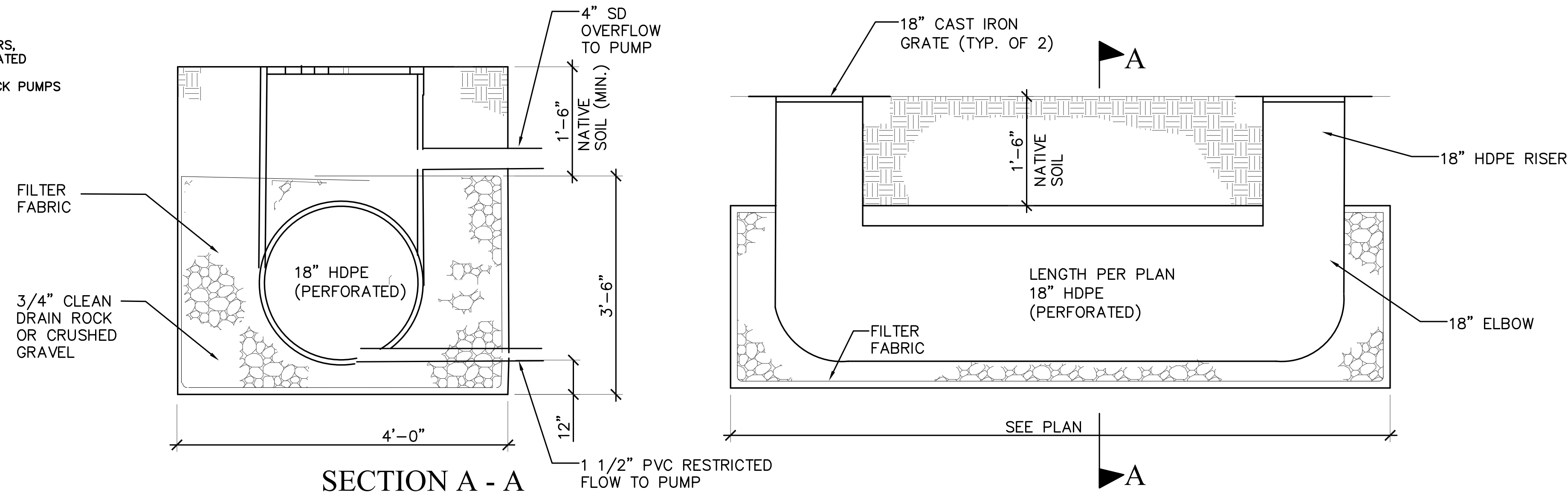
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit construction access routes to stabilized, designated access points.
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Construction sites are required to have erosion control materials on-site during the "off-season."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.
- Use of plastic sheeting between October 1st and April 30th is not acceptable, unless for use on stockpiles where the stockpile is also protected with fiber rolls containing the base of the stockpile.

C. For Your Reference Only - Erosion Control Policies for Construction Sites:

Project erosion and sediment control measures shall be maintained as necessary throughout the duration of the permit to be effective. If significant field changes are made, revised plans must be submitted for approval. The building inspector has the authority to require additional measures at any time, and may cancel any requested inspection if any measures are found to be deficient. A Stop Work Notice may be issued pursuant to the County's Stormwater Enforcement Response Plan until corrections have been made and applicable fees paid for staff enforcement time. The property owner shall demonstrate via building inspection, that the site is stabilized either with adequate erosion control or landscaping, prior to issuance of the Certificate of Occupancy.

SITE DRAINAGE MAINTENANCE REQUIREMENTS

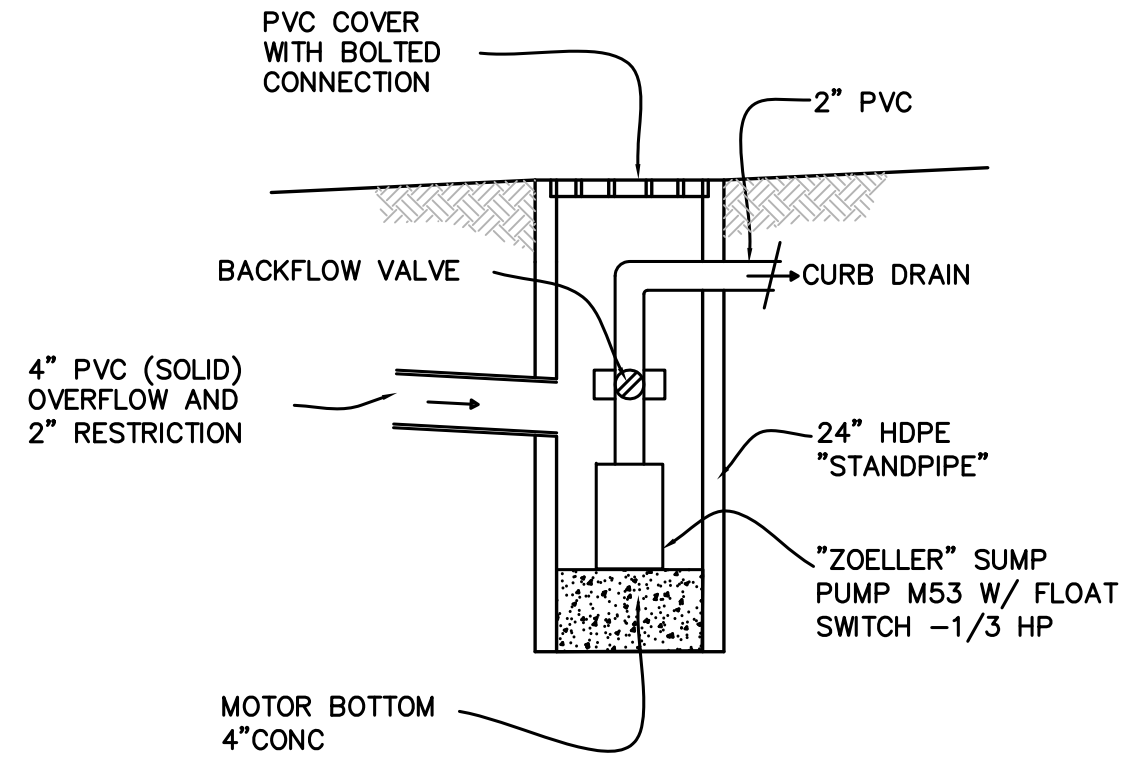
- FALL, CLEAN ALL DRAINAGE INLETS AND HOUSE GUTTERS, AND MOW THE VEGETATION WITHIN THE SIDE YARD VEGETATED SWALES. SEDIMENT REMOVED AND VEGETATION CLIPPINGS SHALL BE DISPOSED OF OFF SITE OR IN TRASH BIN. CHECK PUMPS ARE IN GOOD WORKING ORDER.
- SPRING, (ONCE A YEAR) REMOVE ALL SEDIMENT BUILD UP IN THE BOTTOM OF DETENTION TANK. SEDIMENT TO BE DISPOSED OF OFF SITE OR IN TRASH BIN.
- SPRING, REMOVE ALL SEDIMENT BUILD UP IN ALL DRAIN INLETS. DISPOSE OF SEDIMENT OFF SITE OR IN TRASH BIN.



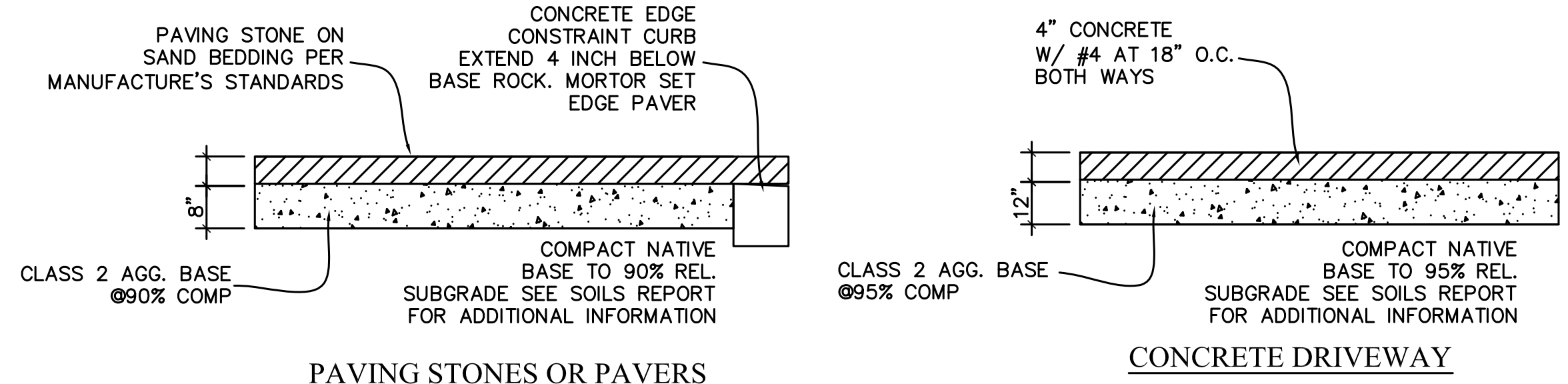
SECTION A - A
1
C-3
NOT TO SCALE

DETECTION SYSTEM

NOT TO SCALE



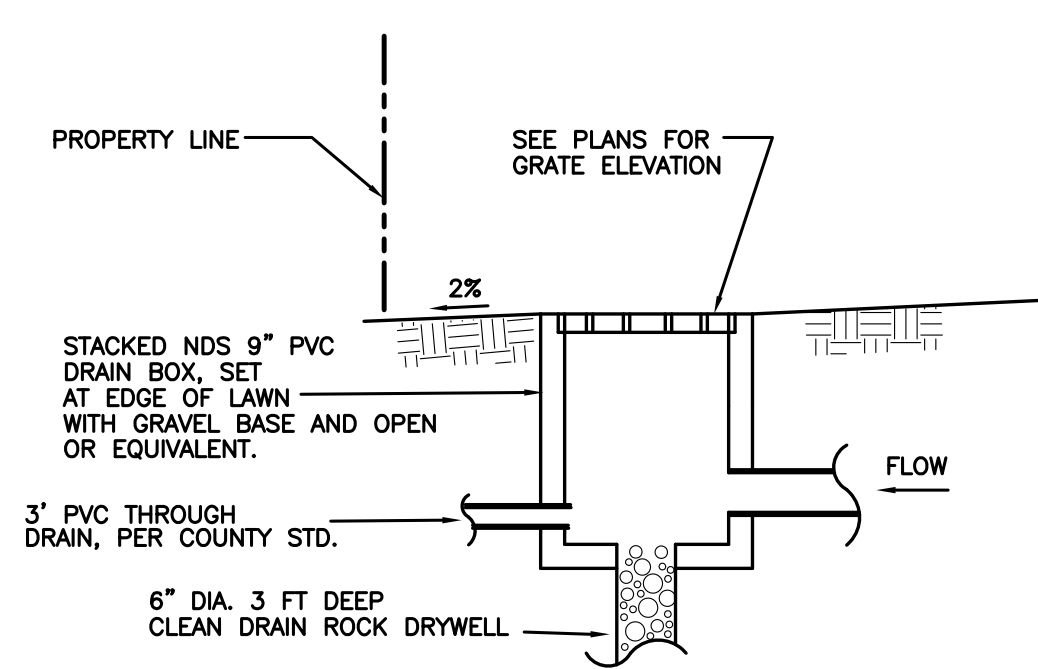
2
C-3
NOT TO SCALE



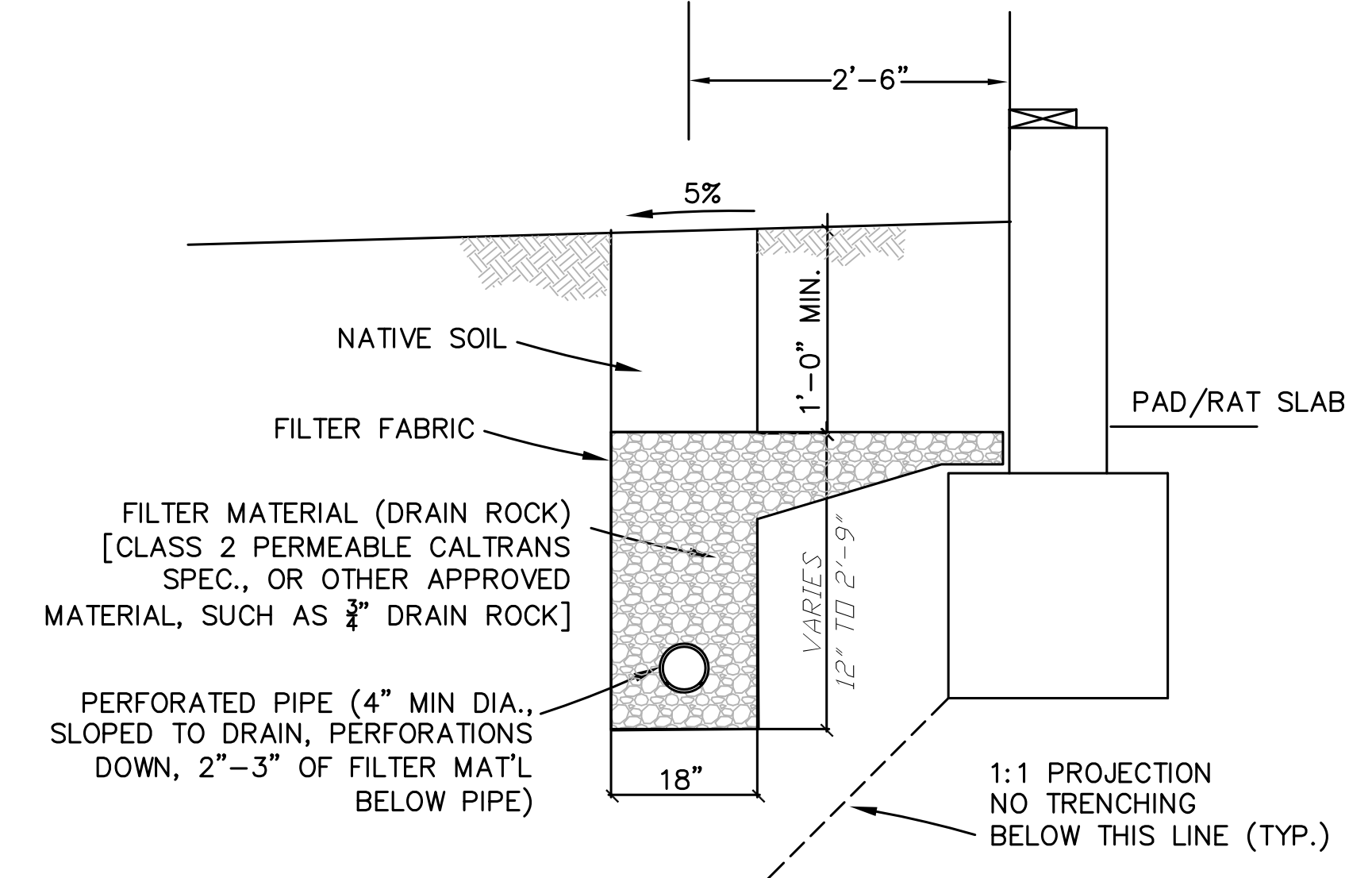
3
C-3
NOT TO SCALE

PAVEMENT SECTION

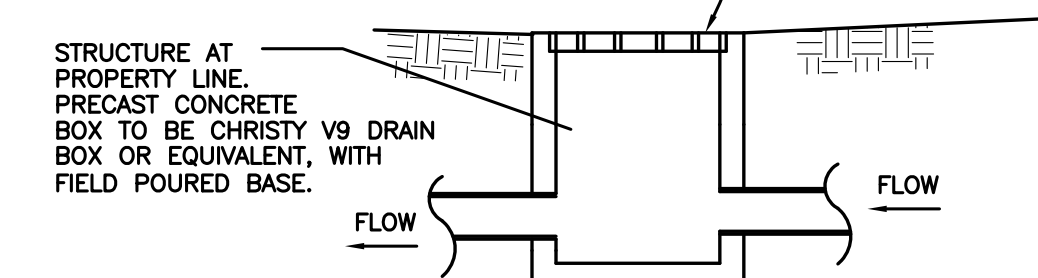
NOT TO SCALE



6
C-3
NOT TO SCALE



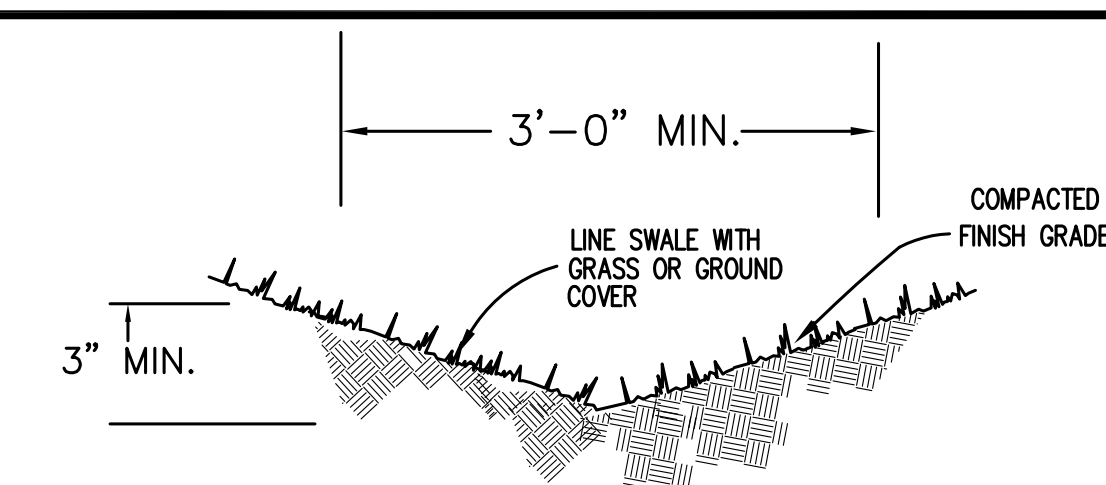
4
C-3
NOT TO SCALE



7
C-3
NOT TO SCALE

AREA DRAIN

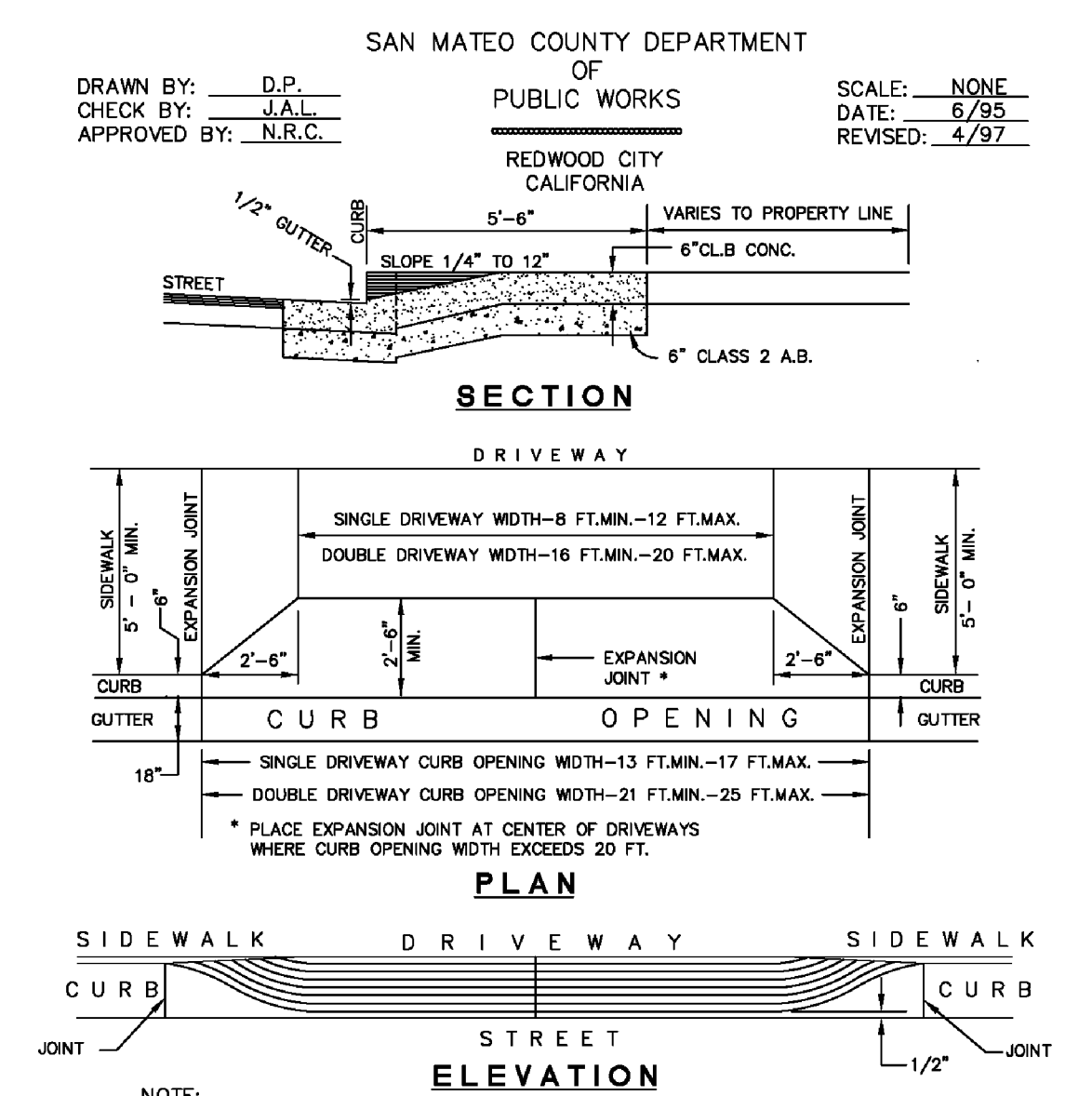
NOT TO SCALE



5
C-3
NOT TO SCALE

VEGETATED SWALE

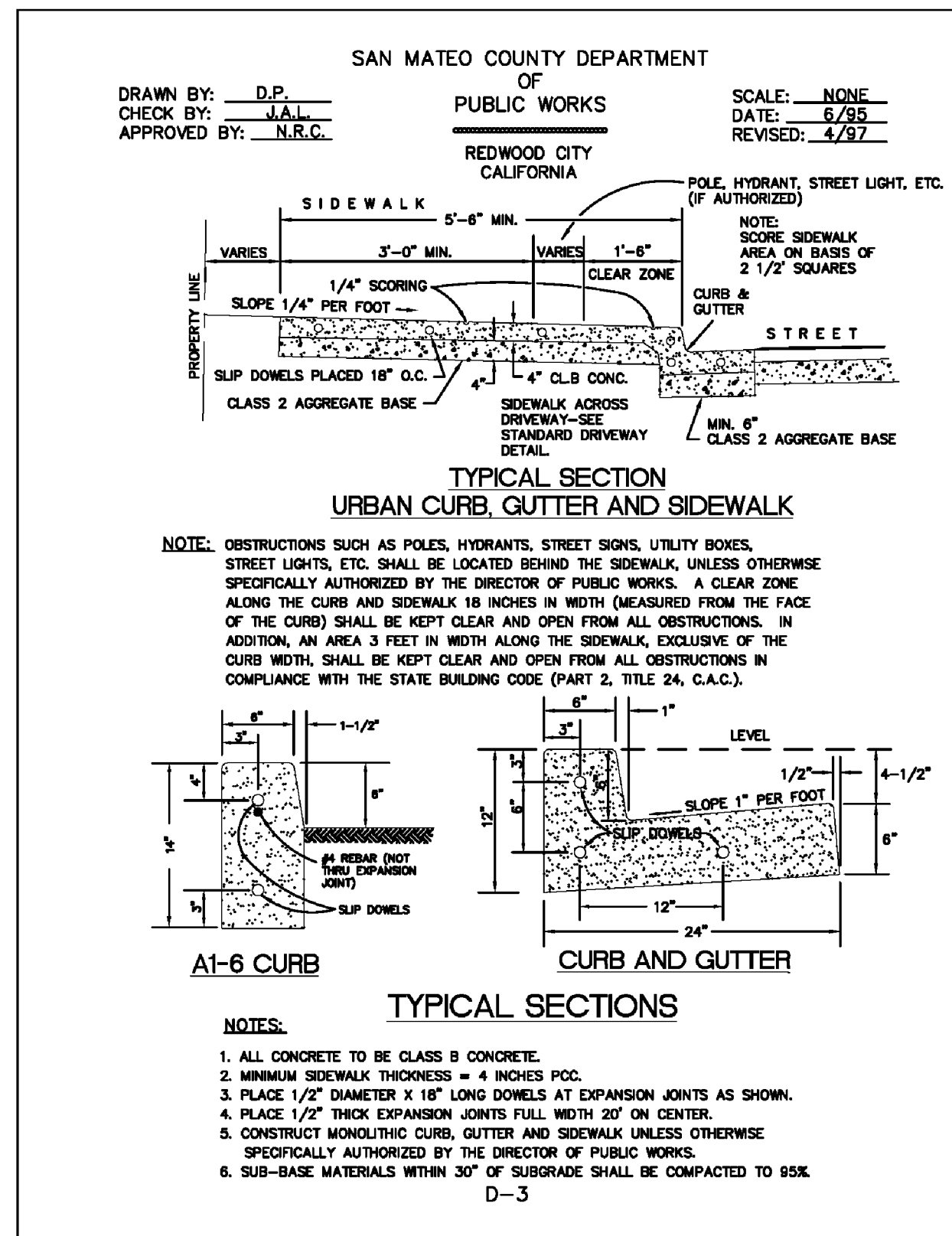
NOT TO SCALE



D-1
NOT TO SCALE

STANDARD STRUCTURES DRIVEWAY WIDTHS AND CURB OPENINGS FOR SINGLE FAMILY RESIDENTIAL DWELLINGS

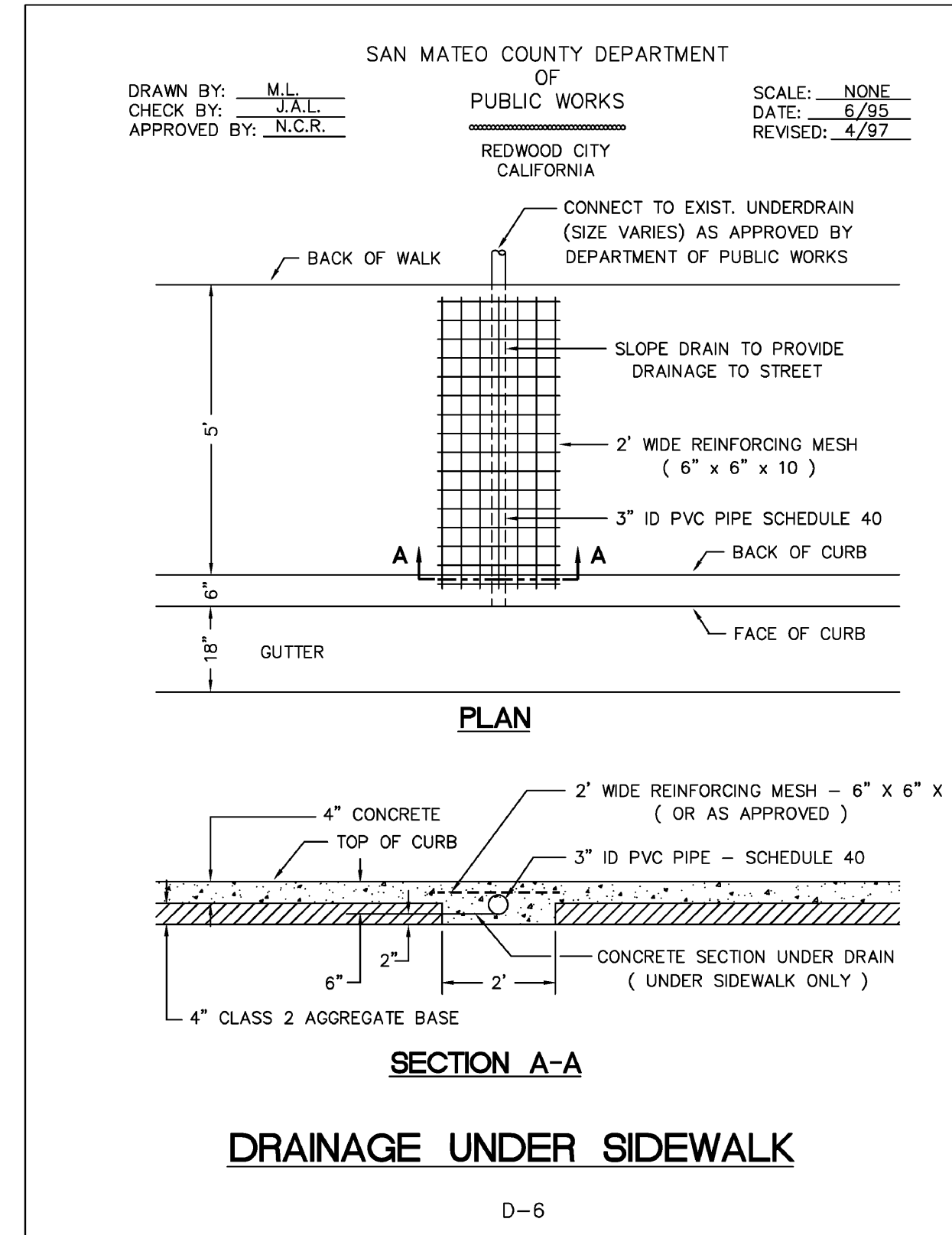
NOT TO SCALE



D-3
NOT TO SCALE

TYPICAL SECTIONS URBAN CURB, GUTTER AND SIDEWALK

- NOTES:
- ALL CONCRETE TO BE CLASS B CONCRETE.
 - MINIMUM SIDEWALK THICKNESS = 4 INCHES PCC.
 - PLACE 1/2" DIAMETER X 18" LONG DOMES AT EXPANSION JOINTS AS SHOWN.
 - PLACE 1/2" THICK EXPANSION JOINTS FULL WIDTH 20' ON CENTER.
 - CONSTRUCT MONOLITHIC CURB, GUTTER AND SIDEWALK UNLESS OTHERWISE SPECIFICALLY AUTHORIZED BY THE DIRECTOR OF PUBLIC WORKS.
 - SUB-BASE MATERIALS WITHIN 30' OF SUBGRADE SHALL BE COMPACTED TO 95%.



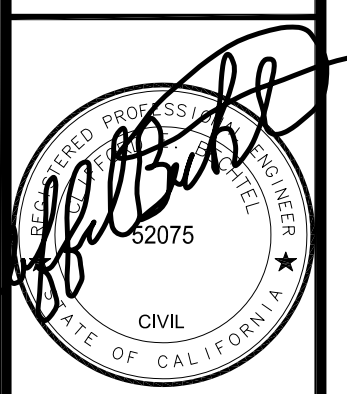
D-6
NOT TO SCALE

DRAINAGE UNDER SIDEWALK

NOT TO SCALE

COUNTY DETAILS

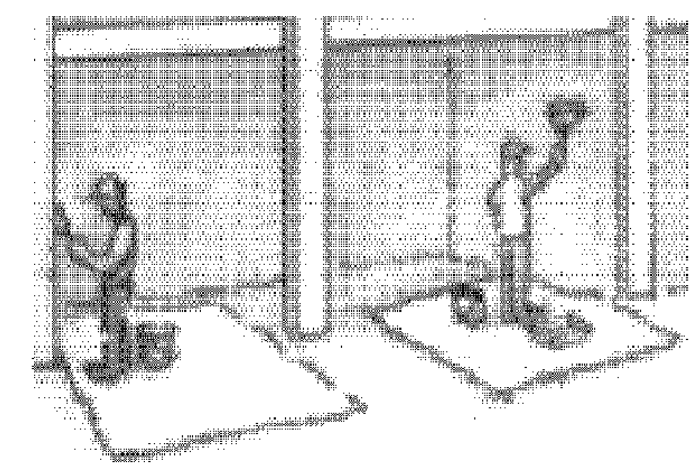
NOT TO SCALE



Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

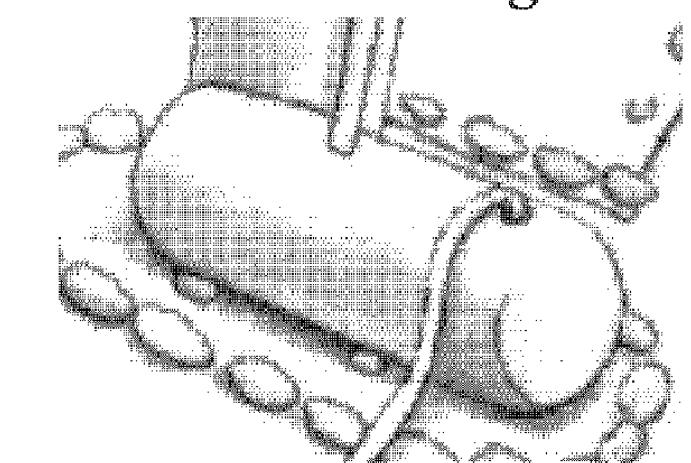
Painting & Paint Removal



Painting Cleanup and Removal

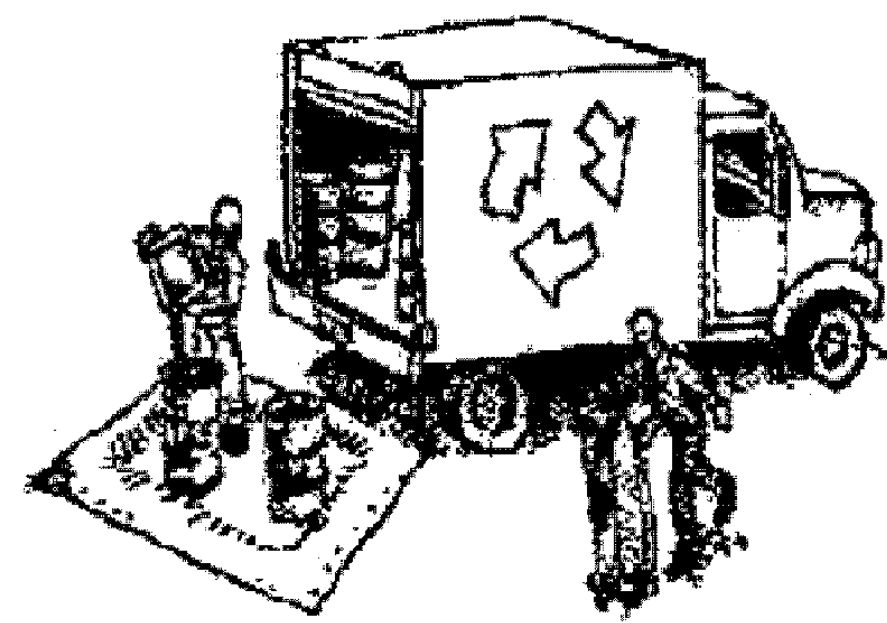
- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

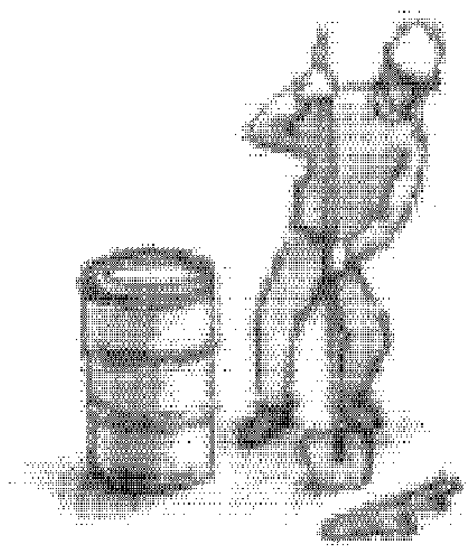
Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work

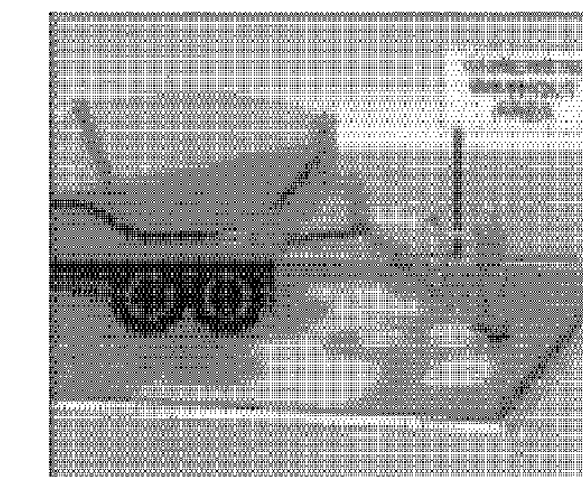


- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

What are you shopping for?



Shipping to: **San Mateo, CA** ▼

COVID-19 Update: Service & Delivery Info

Item # bci3921005

WAC Lighting Pack of 2 Pop-in 4" LED Recessed Trim and New Construction Housing Downlight - IC Rated and Airtight

Model: **R4DRDN-F930-WT-2**

[Write a Review](#)



\$76.95

Free Shipping!

Leaves the Warehouse in 3 to 5 business days - [Shipping to 94401](#)

Finish: White - 500 In Stock

Package Quantity: 2 Pack

2 Pack



−

1

+

Add to Cart

Save to Project

Compare

Buy Now, Special Financing Available!

On purchases of \$500 for 6 months, or \$1,000 for 12 months made with your Build.com Credit Card¹

[Click Here for Details](#)

Customers Also Viewed



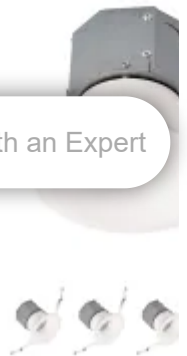
WAC Lighting R4DRDN-F930-6

\$218.95



WAC Lighting R4DRDN-F9

\$39.95



WAC Lighting R4DRDR-

\$107.95

Chat with an Expert

— Overview

Product Overview

Pop-in is a powerful 1,000 Lumen minimum profile recessed downlight with driver and electrical connection junction box attached to the fixture for an easy installation.

Features

- **Pack of 2 Fixtures**
- R4DRDN includes a new construction frame-in kit, may be configured in field for remodel
- For remodel version (no frame-in kit) see WAC Lighting R4DRDR-F9
- Installs into ceiling thickness between 0.5" and 1.5"
- Hanger bars extend from 14.5" to 24.5"
- Electrical wiring box directly on the back of fixture
- Insulated ceiling rated and airtight
- Solid aluminum construction for maximum durability and minimum product weight
- Dimmable 100% - 10% with an electronic low voltage (ELV) or 100% - 5% with a TRIAC dimmer
- ETL rated for wet locations
- Energy Star certified
- California Title 24 energy compliant
- 2 Year finish and 5 year mechanical manufacturer warranty

Dimensions

- Trim Size: 4"
- Trim Width/Diameter: 5"
- Total Height: 4-5/8"
- Beam Spread: 45°
- Product Weight: 2.01 lbs
- Cutout Size: 4-1/4"

 Chat with an Expert

Electrical Specifications

- Luminary Type: Integrated LED
- Wattage: 12 watts
- Lumens: 1035
- Color Temperature: 3000K
- Color Rendering Index: 90CRI
- Voltage: 120
- Average Hours: 50000

Additional WAC Lighting Links

- [View the Manufacturer Warranty](#)
- [Browse all WAC Lighting Products](#)
- [WAC Lighting Pop-in Collection](#)

This product is listed under the following manufacturer number(s):

WAC Lighting R4DRDN-F930-WT-2

White

Manufacturer Resources



Installation Sheet



Specification Sheet

Dimensions and Measurements

Aperture Size	?	4 in.
Cutout Size	?	4.25 in.
Depth	?	8.58 in.
Height	?	4.63 in.
Package Size	?	2
Product Weight	?	0.9 lbs.
Quantity	?	2
Trim Size	?	4 in.
Width	?	14.5 in.

Chat with an Expert

Included Components

Bulb Included	?	Yes
---------------	---	-----

Characteristics and Features

Airtight	?	Yes
Bulb Base	?	Integrated LED
Bulb Type	?	LED
Bulk Pack	?	Yes
Color Temperature	?	3000K
Dimmable	?	Yes

Housing Type	?	New Construction Housing
Light Direction	?	Down Lighting
Material	?	Aluminum
Number of Bulbs	?	1
Retrofit	?	No
Sloped Ceiling Compatible	?	No
Trim Style	?	Open Trims, Shower Trims, Reflector Trims

Electrical and Operational Information

Average Hours	?	50000 Hours
Color Rendering Index (CRI)	?	90
Lumens	?	1035
Power Source	?	Hardwired
Voltage	?	277, 120, 240
Voltage Type	?	Line Voltage
Wattage	?	12

 Chat with an Expert

Warranty and Product Information

Collection	?	Pop-in
Country Of Origin	?	China
Energy Star	?	Yes
ETL Listed	?	Yes
Fire Rated	?	No
IC Rating	?	IC
Location Rating	?	Wet Location
Manufacturer Warranty	?	2 Year Finish, 5 Year
Series	?	WAC Limited
Title 24	?	Yes

What are you shopping for?



Shipping to: **San Mateo, CA** ▼

COVID-19 Update: Service & Delivery Info

Item # bci3628951

Tech Lighting Peak 13" Tall Warm Color Dimming LED Outdoor Wall Sconce

Model: **700WSPEAKI-LEDWD**

[Write a Review](#)



\$152.00

Free Shipping!

Leaves the Warehouse Tomorrow, August 26th - [Shipping to 94401](#)

Finish: Graphite - **145 In Stock**

Chat with an Expert

Graphite



–

1

+

Add to Cart

Save to Project

Compare

Buy Now, Special Financing Available!

On purchases of \$500 for 6 months, or \$1,000 for 12 months made with your Build.com Credit Card¹

[Click Here for Details](#)

Customers Also Viewed



WAC Lighting WS-W53610

\$137.95



Tech Lighting 700WSQDR-LEDWD

\$180.00



Tech Lighting 700OWN1

\$134.00

— Overview

Product Overview

Features

- Integrated 13.2 watt LED lighting
- 3000K - 2200K Warm color dimming LEDs
- Color temperature gradually warms as light dims

Chat with an Expert

- Designed for outdoor use
- Dark sky compliant
- Dimmable with compatible ELV dimmer switches
- ETL rated for wet locations
- Compliant with California Title 24 energy standards
- Covered under Tech Lighting's 5 year warranty

Dimensions

- Height: 13"
- Width: 5"
- Extension: 4-5/16"
- Depth: 4-5/16"
- Product Weight: 3 lbs
- Backplate Height: 13"
- Backplate Width: 5"
- Backplate Depth: 1-1/2"

Electrical Specifications

- Wattage: 13.2 watts
- Lumens: 295
- Color Temperature: 2200K or 3000K
- Color Rendering Index: 90CRI
- Average Hours: 35000

Additional Tech Lighting Links

- [View the Manufacturer Warranty](#)
- [Browse all Tech Lighting Products](#)
- [Tech Lighting Quick Ship Collection](#)

This product is listed under the following manufacturer number(s):

[Tech Lighting 700WSPEAKZ-LEDWD](#)

Bronze

[Tech Lighting 700WSPEAKI-LEDWD](#)

Graphite

Manufacturer Resources



[Installation Sheet](#)



[Specification Sheet](#)



Chat with an Expert

Dimensions and Measurements


Backplate Depth	?	1.5 in.
Backplate Height	?	13 in.
Backplate Width	?	5 in.
Depth	?	4.3 in.
Extension	?	4.3 in.
Height	?	13 in.
Product Weight	?	3 lbs.
Width	?	5 in.

Included Components

Bulb Included	?	Yes
----------------------	---	-----

Characteristics and Features

Bulb Base	?	Integrated LED
Bulb Type	?	LED
Color Temperature	?	2200K, 3000K
Dimmable	?	Yes
Energy Efficient	?	Yes
Full Backplate	?	Yes
Genre	?	Modern
Light Direction	?	Ambient Lighting
Material	?	Aluminum
Number of Bulbs	?	1
Reversible Mounting	?	Yes
RGB	?	Yes
Sconce Type	?	Wall Washer
Shade Color	?	Bronze

Shade Shape  Specialty

Theme  Modern

Electrical and Operational Information

Average Hours  35000 Hours


Color Rendering Index (CRI)  90

Lumens  295

Power Source  Hardwired


Voltage  120

Wattage  13.2

Watts Per Bulb  13.2

Warranty and Product Information

ADA  Yes

Collection  Peak


Country Of Origin  China

Dark Sky  Yes

ETL Listed  Yes

Location Rating  Wet Location

Manufacturer Warranty  5 Year

Series  Peak

Title 24  Yes

Related Tech Lighting Categories

[Browse by Brand](#)

[New Releases](#)

[Rail & Cable Lighting](#)

[Quick Ship by Tech Lighting](#)

[Pendants](#)

[Chandeliers](#)

 Chat with an Expert



America's Favorite Doors™



CANYON RIDGE ▼ COACHMAN GRAND HARBOR GALLERY STEEL BRIDGEPORT STEEL CLASSIC STEEL MODERN STEEL AVANTE RESERVE ▼ CLASSIC WOOD

HOME / RESIDENTIAL GARAGE DOORS / CANYON RIDGE MODERN

FAUX WOOD MODERN GARAGE DOORS



Double click to zoom
click to zoom



CANYON RIDGE® MODERN

★★★★★ 3.3 (7) Write a review

insulated modern style garage doors with faux wood-look composite overlays.



Canyon Ridge® Modern garage doors combine the beautiful look of wood with contemporary design. Streamline the look of a traditional home or add a sophisticated touch to a modern or mid-century style exterior with these durable faux wood modern doors.

Save

WHERE TO BUY

SEE ON MY HOUSE

OVERVIEW DESIGN OPTIONS CONSTRUCTION BROCHURE INSTALLATION & CARE VIDEOS

Customize your Clopay® Canyon Ridge® Modern garage door with your preferred design, color, hardware and glazing options. Choose from horizontal plank designs, aluminum inlays, and full-view glass options. If you are in search of more color options, our [ColorBlast® program](#) allows you to select from hundreds of Sherwin-Williams®

CHAT WITH US +

DOOR DESIGNS

PLANK DESIGN 6"

Shown below in 6" Plank. Also available in 3" Plank



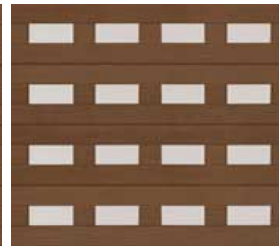
PLANK



PLANK - SHORT WINDOWS
DOWN SIDE



PLANK - SHORT WINDOWS
DOWN BOTH SIDES



PLANK - ALL WINDOWS



PLANK - LONG WINDOWS
DOWN SIDE



PLANK - LONG WINDOWS
DOWN BOTH SIDES

METAL (ALUMINUM) INLAY DESIGNS



METAL INLAY

FULL VIEW DESIGNS

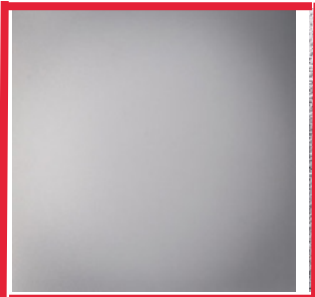


FULL VIEW

SPECIALTY GLASS OPTIONS



RAIN*



FROSTED*



OBSCURE*

*Available on Plank and Full-View Design Options only.
Note: Impact rated windows available only in clear.

MATERIAL OPTIONS

PLANK CLADDING



CLEAR CYPRESS



MAHOGANY

METAL (ALUMINUM) INLAY CLADDING



CLEAR CYPRESS



MAHOGANY

FULL VIEW OVERLAY

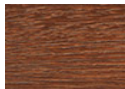


CLEAR CYPRESS



MAHOGANY

COLORS



WALNUT FINISH



DARK FINISH



MEDIUM FINISH



WHITE FINISH*



BLACK FINISH



SLATE FINISH



PRIMED

[REQUEST COLOR SAMPLES](#)

Black and White Finish available only on Mahogany cladding and overlays.



Optima® – 880™ Series

★★★★★ 4.4 (254) [Write a review](#)

Customize This Spa

1. Color

2. Cabinet Color

3. Packages (Optional, Additional Cost)

4. Professional Delivery & Installation Required

(Additional Cost)

Please consult with your local dealer about professional delivery and installation services.

Your delivery zip code: 94019 [Change](#)



Your Retailer

Paradise Valley Spas
1737 South El Camino Real
SAN MATEO, CA 94402

[See How This Works](#)

Select Color / Cabinet Color

\$\$\$\$ [Unlock Pricing](#)

[See in Showroom](#)

[Need Help? Contact Us](#)

Product Details

Description

The Optima® has the best of everything, with room for up to seven adults and a variety of seat heights formed to fit diverse body types comfortably.

Details

The Optima® has the best of everything, with room for up to seven adults and a variety of seat heights formed to fit diverse body types comfortably. And with unique Fluidix® jet configurations and more massage therapy jets for the neck and shoulders than any other model, the Optima® is our most popular non-lounge Sundance® spa model. Experience Fluidix® jets, from soft, skin-soothing bubbles that deliver aromatherapy to deep tissue release. While the customer-favorite Accu-Ssage™ Seat is included in this spa, two unique jet configurations, with hip massage, make these seats exclusive to the Optima® model. A jetted foot dome also targets fatigued feet from any seat.

Specs

Dimensions: 89" x 89" x 37.5"

Volume: 410 gal / 1552.01 liters

Dry Weight: 924 lbs / 419.11 lbs

Jets: 47

Primary Pump: North America (60 Hz): 1-Speed/2.5 HP Continuous, 11.3A Max., 56 Frame

Secondary Pump: North America (60 Hz): 1-Speed/2.5 HP Continuous, 11.3A Max., 56 Frame

[View All](#)

Dimensions

Height (in): 37.5

Length (in): 89.0

Width (in): 89.0

Features



CLEARRAY® UV-C Technology + Filtration

Treats water with the power of nature-inspired UV-C technology to neutralize waterborne pathogens, resulting in clean, fresh water. 880™ MicroClean® Ultra Filtration System with horizontal MicroClean® Ultra Filter, SlipStream™ weir, Dynamic Flow™ Circulation Pump and CLEARRAY® system.



Lighting and Waterfalls

Multicolor SunGlow™ LED lighting brightens up the spa interior, AquaTerrace™ waterfall, footwell and backlit grab bars.



Controls

Advanced i-Touch Control of use with a glowing, color and icon-driven menus, making spa is easy day or night. optional SmartTub™ System

Seating & Jets

Great Tub and Dealer!

"Just purchased my 3rd Sundance spa and am extremely happy with the tub as well as the exceptional service from the dealer"

- Bradzac1 from Edmonton

Nice Spa

"We bought this spa about a month ago and so far am pleased with it. This is our 2nd sundance spa. We bought our 1st on in 1998 and used it till 2017. Never had any major problems. Original pumps were still working fine after 19 years. We decided it was time for a new spa and after the years of service we got from our 1st one, we were only interested in the sundance brand."

- Whitney19 from Indiana

Happy Happy

"We are so happy we bought this spa. It has been one of the best investments we have had."

- Rose from Michigan

[Read all reviews](#)



[Brochure Download](#)



[Financing](#)



[Free Consultation](#)



[Showrooms](#)

Help & Support

[Customer Service](#)

[FAQs](#)

[Terms of Service](#)

[Buyer's Guide](#)

[Get a Quote](#)

[Free Brochure](#)

Owners

[Product Registration](#)

[Manuals & Guides](#)

[Trade-In](#)

Our Brand

[About Us](#)

[Hydrotherapy](#)

[Sponsorships](#)

[Our Blog](#)

[Careers](#)

[Patents](#)

Vendor & Partners

[Become a Dealer](#)

Stay Connected



[Privacy Policy](#) | [Patents](#) | [Sitemap](#)

© 2021 Sundance® Spas Inc. All rights reserved.

We use cookies and other technologies to enhance your experience, for analytics, and to show you relevant advertising. By continuing to use our website, you consent to our use of cookies. For more information, see [Cookie Settings](#).

Yes